



Placentia Planning Commission Agenda

Regular Meeting
July 12, 2022
City Council Chambers
401 E. Chapman Avenue, Placentia, CA 92870

SPECIAL PROCEDURES NOTICE DURING COVID-19 EMERGENCY

On March 4, 2020, Governor Newsom proclaimed a State of Emergency as a result of the threat of the COVID-19 virus. On March 17, 2020, Governor Newsom issued Executive Order N-29-20, which temporarily suspends requirements of the Brown Act allowing Planning Commission Members to hold public meetings via teleconferencing and make public meetings accessible telephonically or otherwise electronically to all members of the public seeking to observe and to address the Planning Commission.

Given the health risks associated with COVID-19, please be advised that while the City Council Chambers are open to the public, some or all of the Placentia Planning Commission Members may attend this meeting via teleconference. Those locations are not listed on the agenda and are not accessible to the public. Seating in the Council Chambers will be limited.

How to Observe the Meeting

To maximize public safety while maintaining transparency and public access in addition to being open to the public, all Planning Commission meetings are available to view live on AT&T U-verse (Channel 99), Spectrum (Channel 3), and online at www.placentia.org/pctv.

Join Zoom Meeting

https://us02web.zoom.us/j/86832656452?pwd=fCum8aBVHr0ygRtspJOVH_nIf8HcpJ.1

Meeting ID: 868 3265 6452 Passcode: 977842

or dial +16699006833, 86832656452#

How to Submit Public Comment

Members of the public may provide public comment in person in a safe and socially distanced manner. Comments may also be sent for Planning Commission consideration by email to Sylvia Minjares at sminjares@placentia.org. Please limit submitted comments to 200 words or less. Comments received before or during a Planning Commission meeting, until the close of the **Oral Communications** portion of the agenda, may not be read during the Planning Commission meeting but will be summarized in the public record, subject to the regular time limitations per speaker. Longer submittals will be included in the public record. If you are unable to provide your comments in writing, please contact the Development Services Department for assistance at (714) 993-8124.

Americans with Disabilities Act Accommodation

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at cityclerk@placentia.org or by calling (714) 993-8231. Notification 48 hours prior to the meeting will generally enable City Staff to make reasonable arrangements to ensure accessibility while maintaining public safety. (28 CFR 35.102.35.104 ADA Title II)

Until further notice the City will implement the guidelines of the California Department of Public Health in regards to social distancing.

The City of Placentia thanks you in advance for taking all precautions to prevent the spread of the COVID-19 virus. The City will return to normal Planning Commission meeting procedures as soon as the emergency has ended.



Placentia Planning Commission Agenda

Regular Meeting

July 12, 2022

City Council Chambers

401 E. Chapman Avenue, Placentia, CA 92870

Frank Perez
Chair

Matthew Rocke
Vice Chair

Brandon Evans
Commissioner

Claudia Keller
Commissioner

Dennis Lee
Commissioner

Nick Polichetti
Commissioner

City of Placentia
401 E Chapman Avenue
Placentia, CA 92870

Phone: (714) 993-8124
Fax: (714) 528-4640
Website: www.placentia.org

Procedures for Addressing the Commission

Any person who wishes to speak regarding an item on the agenda or on a subject within the Planning Commission's jurisdiction during the "Oral Communications" portion of the agenda should fill out a "Speaker Request Form" and give it to the Commission Secretary BEFORE that portion of the agenda is called. Testimony for Public Hearings will only be taken at the time of the hearing.

The Commission encourages free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks brief. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of an entire group. To encourage all views, the Commission discourages clapping, booing or shouts of approval or disagreement from the audience.

PLEASE SILENCE CELL PHONES AND OTHER ELECTRONIC EQUIPMENT WHILE THE COMMISSION IS IN SESSION.

Special Accommodations

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (714) 993-8231. Notification 48 hours prior to the meeting will generally enable City staff to make reasonable arrangements to ensure accessibility.
(28 CFR 35.102.35.104 ADA Title II)

Copies of all agenda materials are available for public review in the Office of the City Clerk, City Planning Division Counter, Placentia Library Reference Desk, and the internet at www.placentia.org under the Planning Commission page. Persons who have questions concerning any agenda item may call the City Planning Division at (714) 993-8124 to make inquiry concerning the nature of the item described on the agenda.

In compliance California Government Code Section 54957.5, any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda that are not exempt from disclosure under the Public Records Act will be made available for public inspection at the City Clerk's Office at City Hall, 401 East Chapman Avenue, Placentia, during normal business hours.

Study Sessions are open to the public and held in the City Council Chambers or City Hall Community Room.

REGULAR MEETING
6:30 p.m. – City Council Chambers

CALL TO ORDER:

ROLL CALL:

Commissioner Evans
Commissioner Keller
Commissioner Lee
Commissioner Polichetti
Vice Chair Rocke
Chair Perez

PLEDGE OF ALLEGIANCE:

ORAL COMMUNICATIONS: (PLEASE SEE PAGE ONE FOR SPECIAL INSTRUCTIONS ON SUBMITTING PUBLIC COMMENT DURING THE COVID-19 CRISIS)

At this time the public may address the Planning Commission concerning any agenda item, which is not a public hearing item, or on matters within the jurisdiction of the Planning Commission. There is a five (5) minute time limit for each individual addressing the Planning Commission.

CONSENT CALENDAR:

1. **Planning Commission Meeting Minutes – June 14, 2022**
Recommended Actions: Approve

REGULAR AGENDA: None

PUBLIC HEARING:

1. **Applicant:** U-Haul Company of Orange County

Project Location: 860 S. Placentia Avenue

Development Plan Review (DPR) 2021-03 and Use Permit (UP) 2021-04: A request to approve a Development Plan Review (DPR) and Use Permit (UP) to allow for the construction and operation of two industrial buildings measuring approximately 23'-9" high, 34,063 square feet (Building 1) and 44'-0" high, 33,219 square feet (Building 2), including associated landscape and hardscape improvements, on an improved property owned and operated by U-Haul. The subject property is located within the Manufacturing (M) Zoning District currently addressed as 860 S. Placentia Avenue. The subject property is located south of W. Orangethorpe Avenue, east of S Placentia Avenue and contains the U-Haul Truck Sales Super Center of Placentia.

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Development Plan Review No. (DPR) 2021-03 and Use Permit No. (UP) 2021-04; and
2. Receive the staff report, consider all public testimony, ask any questions of Staff **(PLEASE SEE PAGE ONE FOR SPECIAL INSTRUCTIONS ON SUBMITTING PUBLIC COMMENT DURING THE COVID-19 CRISIS)**; and
3. Close the public hearing; and
4. Adopt Resolution No. PC-2022-13, a Resolution of the Planning Commission of the City of Placentia, California, finding that approval of DPR 2021-03 and UP 2021-04 is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15332 (Class 32 – In-Fill Development Projects) and approving DPR 2021-03 and UP 2021-04 and making findings to permit the construction of two industrial buildings with a total floor area of approximately 34,063 square feet and 33,219 square feet within the M (Manufacturing) Zoning District on property located at 860 S. Placentia Avenue.

2. Applicant: Anna Ayupova, representing La Biblioteca Cigar Lounge

Project Location: 128 W. Santa Fe Avenue, Suite B

Use Permit Modification (MOD) 2020-09: A request to permit the modification of Use Permit No. 2020-09 to allow for the onsite sale and consumption of beer and wine (Type 42 ABC License) in conjunction with the operation and existing approximately 1,705 square-foot cigar lounge and an approximately 400 square-foot outdoor patio area, located at 128 W. Santa Fe Avenue, Suite B, within the Old Town Placentia Revitalization Plan (O-T) Zoning District.

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit Modification (MOD) 2020-09; and
2. Receive the staff report and consider all public testimony, ask any questions of Staff **(PLEASE SEE PAGE ONE FOR SPECIAL INSTRUCTIONS ON SUBMITTING PUBLIC COMMENT DURING THE COVID-19 CRISIS)**; and
3. Close the public hearing; and
4. Adopt Resolution PC-2022-10, a Resolution of the Planning Commission of the City of Placentia, approving Use Permit Modification (MOD) 2020-09 and making findings to permit the onsite sale of beer and wine (ABC Type 42 License) in conjunction with the operation of an existing approximately 1,705

square-foot cigar lounge and an approximately 400 square-foot outdoor patio area, located at 128 W. Santa Fe Avenue, Suite B, in the Main Street Subarea of the Old Town Placentia Revitalization Plan (O-T) Zoning District; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR S 15301 (Class 1 - Existing Facilities) and the City of Placentia Environmental Guidelines.

3. Applicant: Blain Meith

Project Location: 1451 E. Howard Place

Tentative Parcel Map (TPM) 2022-123: A request to permit the subdivision of an approximately 0.44-acre (19,007 square foot) parcel into three (3) parcels for a property within the SP-7 (Specific Plan 7) Zoning District located at 1451 E. Howard Place (Assessor's Parcel Number 341-431-01). The requested subdivision will allow for future sales and conveyance of the lots. Placentia Municipal Code (PMC) Section 22.80.010(a) requires a Parcel Map for all subdivisions of four or fewer parcels and Section 22.80.060(c) requires that the Planning Commission take action to recommend to the City Council conditional approval or denial of the map.

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Tentative Parcel Map (TPM) 2022-123; and
2. Receive the staff report and consider all public testimony, ask any questions of Staff **(PLEASE SEE PAGE ONE FOR SPECIAL INSTRUCTIONS ON SUBMITTING PUBLIC COMMENT DURING THE COVID-19 CRISIS)**; and
3. Close the public hearing; and
4. Adopt Resolution PC-2022-12, a Resolution of the Planning Commission of the City of Placentia, recommending to the City of Placentia City Council approval of TPM 2022-123 to permit the subdivision of an approximately 0.44-acre (19,007 square feet) parcel into three (3) parcels for a property within SP-7 (Specific Plan 7) located at 1451 E. Howard Place (Assessor's Parcel Number 341-431-01) and to make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines.

4. Applicant: Blain Meith

Project Location: 412 N. Tidland Circle

Tentative Parcel Map (TPM) 2022-126: A request the subdivision of an approximately 0.36-acre (15,681 square foot) parcel into two (2) parcels for a property within the SP-7

(Specific Plan 7) Zoning District located at 412 N. Tidland Circle (Assessor's Parcel Number 341-433-34). The requested subdivision will allow for future sales and conveyance of the lots. Placentia Municipal Code (PMC) Section 22.80.010(a) requires a Parcel Map for all subdivisions of four or fewer parcels and Section 22.80.060(c) requires that the Planning Commission take action to recommend to the City Council conditional approval or denial of the map.

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Tentative Parcel Map (TPM) 2022-126; and
2. Receive the staff report and consider all public testimony, ask any questions of Staff (**PLEASE SEE PAGE ONE FOR SPECIAL INSTRUCTIONS ON SUBMITTING PUBLIC COMMENT DURING THE COVID-19 CRISIS**); and
3. Close the public hearing; and
4. Adopt Resolution PC-2022-11, a Resolution of the Planning Commission of the City of Placentia, recommending to the City of Placentia City Council approval of TPM 2022-126 to permit the subdivision of an approximately 0.36-acre (15,681 square feet) parcel into two (2) parcels for a property within SP-7 (Specific Plan 7) located at 412 N. Tidland Circle (Assessor's Parcel Number 341-433-34) and to make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines.

OLD BUSINESS: None

NEW BUSINESS: None

DEVELOPMENT REPORT:

DIRECTOR'S REPORT: None

PLANNING COMMISSION REQUESTS

Commission members may make requests or ask questions of Staff. If a Commission member would like to have formal action taken on a requested matter, it will be placed on a future Commission Agenda.

ADJOURNMENT

The Planning Commissioners CLOSE to the regular Planning Commission meeting on August 9, 2022 at 6:30 p.m. in the City Council Chambers located at 401 East Chapman Avenue, Placentia CA, 92870.

CERTIFICATION OF POSTING

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, hereby certify that the Agenda for the July 12, 2022 Regular Meeting of the Planning Commission of the City of Placentia was posted on July 7, 2022.



Joseph M. Lambert, Secretary

**PLACENTIA PLANNING COMMISSION
MINUTES OF THE REGULAR MEETING**

June 14, 2022

The regular meeting of the Placentia Planning Commission of June 14, 2022 was called to order at 6:32 p.m. in the City Council Chambers, 401 East Chapman Avenue, Placentia, by Chair Perez.

ROLL CALL:

PRESENT: Commissioners Evans, Keller, Polichetti,
Perez, Roche
PRESENT (VIDEO CONFERENCE): Lee
ABSENT: None

OTHERS PRESENT: Keith Collins, Deputy City Attorney
Luis Estevez, Deputy City Administrator
Joseph M. Lambert, Director of Development Services
Andrew Gonzales, Senior Planner
Lesley Whittaker, Associate Planner
Kathrine Kuo, Planning Technician
Sylvia Minjares, Office Assistant

PLEDGE OF ALLEGIANCE: Commissioner Polichetti

ORAL COMMUNICATIONS: None

CONSENT CALENDAR:

1. **Planning Commission Meeting Minutes – May 10, 2022**
Recommended Actions: Approve

Motion by Polichetti, second by Roche carried on a (5-0-0-1) vote to approve the recommended actions.

Ayes: Evans, Keller, Perez, Polichetti, Roche
Noes: None
Absent: None
Abstain: Lee

REGULAR AGENDA:

1. **Applicant: City of Placentia**
Project Location: Citywide
General Plan Conformance Finding for Fiscal Year 2022-23 Capital Improvement Program

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. It is recommended that the Planning Commission adopt Resolution No. PC-2022-09, a Resolution of the Planning Commission of the City of Placentia, California finding that the subject Finding of General Plan Conformity is not a project pursuant to §15061(b)(3) of the CEQA Guidelines; and, finding that the Fiscal Year 2022-23 Capital Improvement Program conforms to the adopted General Plan and recommending the City Council approve the Capital Improvement Program.

Chair Perez opened the public hearing.

Deputy City Administrator Luis Estevez presented the staff report and an overview of the agenda item to the Commission.

Mr. Estevez provided the Commissioners with a Capital Improvement Program (CIP) matrix. Mr. Estevez described the current and next Fiscal Year's CIP projects and expenditures, noting how each project will be funded, and identified which General Plan Element(s) each project is consistent with.

Mr. Estevez and Director of Development Services Joseph Lambert answered the Commissioners questions and clarified points regarding funding for the Golden Avenue Bridge project and projected start date. They also clarified CIP Project #8302 and how work vehicles are ordered. Mr. Lambert also noted that each project is consistent with the General Plan, some are consistent with multiple Elements.

Motion by Keller, second by Rocke carried on a (6-0-0-0) vote to approve the recommended actions.

Ayes: Evans, Keller, Lee, Perez, Polichetti, Rocke
Noes: None
Absent: None
Abstain: None

PUBLIC HEARINGS:

1. **Applicant:** Lisa Silva, representing The Art of Dance & Ballet Academy
Project Location: 1840 N. Placentia Avenue
Use Permit (UP) 2022-02: A request to permit a 9,900-square foot dance studio within an existing one-story, multitenant commercial retail center located in the Sierra Vista Plaza Retail Center at 1840 N. Placentia Avenue, within the C-1 (Neighborhood Commercial) Zoning District.

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit (UP) 2022-02; and
2. Receive the staff report and consider all public testimony; and
3. Close the public hearing; and
4. Adopt Resolution PC-2022-06, a resolution of the Planning Commission of the City of Placentia, approving UP 2022-02 and making findings to permit the establishment and operation of a 9,900-square foot dance studio located within an existing multi-tenant commercial office center within the C-1 (Neighborhood Commercial) Zoning District on property located at 1840 N. Placentia Avenue; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR S 15301 (Class 1 - Existing Facilities) and the City of Placentia Environmental Guidelines.

Chair Perez opened the public hearing.

Associate Planner Lesley Whittaker presented the staff report and provided an overview of the proposed project to the Commission.

Ms. Whittaker provided a project site plan, floor plan, current site photos, the hours of operation, number of employees, and zoning standards.

No public comments were received for or against the proposed project prior to the meeting.

No questions were asked by the Commission.

The Applicant, Lisa Silva, provided an overview of the current business operations, the various dance programs that are offered, and discussed her desire to continue to do business within the City of Placentia.

Ms. Silva also noted that she would like to amend the hours of operation to include Sunday hours from 10:00 am to 2:00 pm.

Terry Parker, the property manager for Sierra Vista Plaza, spoke regarding his interest in the addition of this business to the shopping center.

Katie Elmore, a dance studio student, spoke regarding her support of the proposed project.

In response to questions from Chair Perez, the Applicant stated her understanding and acceptance of the Conditions of Approval for the Use Permit.

Chair Perez closed the public hearing.

Motion by Rocke, second by Evans carried on a (6-0-0-0) vote to approve the recommended actions with the amendment to the hours of operation.

Ayes: Evans, Keller, Lee, Perez, Polichetti, Rocke

Noes: None
Absent: None
Abstain: None

2. **Applicant:** Ivan D. Seguel, representing Fearless Taekwondo and Martial Arts

Project Location: 1876 N. Placentia Avenue

Use Permit (UP) 2022-03: A request for a martial arts studio in an existing 2,615 sq. ft. commercial retail building located at 1876 N. Placentia Avenue, within the C-1 (Neighborhood Commercial) Zoning District.

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit No. (UP) 2022-03; and
2. Receive the Staff Report and consider all public testimony; and
3. Close the public hearing; and
4. Adopt Resolution PC-2022-07, a resolution of the Planning Commission of the City of Placentia, approving UP 2022-03 and making findings to permit the establishment and operation of a martial arts studio in an existing 2,615 sq. ft. commercial retail building located at a multi-tenant commercial shopping center within the C-1 (Neighborhood Commercial) Zoning District on property located at 1876 N. Placentia Avenue; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR S 15301 (Class 1 - Existing Facilities) and the City of Placentia Environmental Guidelines.

Chair Perez opened the public hearing.

Planning Technician Kathrine Kuo presented the staff report and provided an overview of the proposed project to the Commission.

Ms. Kuo provided a project site plan, floor plan, current site photos, the hours of operation, number of employees, and zoning standards.

Ms. Kuo also noted that alcohol would not be served at the proposed juice bar.

Public comments were received in favor of the proposed project and were submitted to the Commission prior to the meeting.

Ms. Kuo answered Commissioner Evan's question regarding the amount of studio space that will be allocated for the proposed juice bar and who will operate it.

The Applicant, Ivan Daniel Seguel, provided an overview of the current business operations and the number of years he has been in business in Placentia at another location. Mr. Seguel also shared a testimonial written by one of his students and stated that most of his students reside in the City of Placentia.

The Applicant answered Commissioner Roche’s question regarding whether the back door would be closed during business hours.

Terry Parker, the property manager for Sierra Vista Plaza, spoke in favor of adding this business to the subject shopping center.

The mother of a martial arts student spoke regarding her support of the proposed project.

In response to questions from Chair Perez, the Applicant stated his understanding and acceptance of the Conditions of Approval for the Use Permit.

Chair Perez closed the public hearing.

Motion by Evans, second by Keller carried on a (6-0-0-0) vote to approve the recommended actions.

Ayes: Evans, Keller, Lee, Perez, Polichetti, Roche
Noes: None
Absent: None
Abstain: None

3. **Applicant: City of Placentia**
Project Location: Citywide
Zone Code Amendment (ZCA) 2022-03

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Open the Public Hearing Concerning Zone Code Amendment (ZCA) 2022-03, Receive the Staff Report and Consider All Public Testimony, and Close the Public Hearing; and
2. Adopt Resolution No. PC-2022-08, A Resolution of the Planning Commission of the City of Placentia, recommending that City Council find that adoption of the Zoning Code Amendment related to updating development standards and regulatory requirements regarding SB 9 is not a “project” under the California Environmental Quality Act pursuant to SB 9 as adopted by the State of California; and, recommending that City Council approve Zoning Code Amendment No. 2022-03, whereby development standards and regulatory requirements in Title 22 (“Subdivisions”) and Title 23 (“Zoning”) of the Placentia Municipal Code would be amended to refine the city’s development standards in compliance with Senate Bill 9 (SB 9) as enacted by the State of California.

Chair Perez opened the public hearing.

Director of Development Services Joseph Lambert presented the staff report and provided a brief background on the proposed item.

Mr. Lambert summarized the proposed changes to the draft ordinance, as prepared by Staff and the City Attorney’s office.

Mr. Lambert answered the Commissioners' questions regarding the existing residential zoning regulations related to trees, landscaping plans, fire sprinkler requirements, fire inspections, and City building inspector training specific to the new requirements being adopted and in place already.

Chair Perez closed the public hearing.

Motion by Keller, second by Rocke carried on a (6-0-0-0) vote to approve the recommended actions.

Ayes: Evans, Keller, Lee, Perez, Polichetti, Rocke
Noes: None
Absent: None
Abstain: None

OLD BUSINESS: None

NEW BUSINESS: None

DEVELOPMENT REPORT:

Director of Development Services Joseph Lambert provided updates regarding Village Plaza Phase 2, Shea Homes, Clyde's Hot Chicken, and North Orange County Audi.

DIRECTOR'S REPORT: Director of Development Services Joseph Lambert informed the Commissioners of the passing of the Commission's previous Chair, Christine Schaefer.

PLANNING COMMISSION REQUESTS:

ADJOURNMENT:

Chair Perez closed the Planning Commission Regular Meeting at 8:00 p.m. to the regular meeting of Tuesday, July 12, 2022, at 6:30 p.m. in the City Council Chambers at 401 East Chapman Avenue, Placentia, CA.

Submitted by,

Joseph M. Lambert,
Secretary to the Planning Commission



Placentia Planning Commission

AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: ANDREW GONZALES, SENIOR PLANNER

DATE: JULY 12, 2022

SUBJECT: **DEVELOPMENT PLAN REVIEW NO. DPR 2021-03 AND USE PERMIT NO. 2021-04 TO PERMIT THE CONSTRUCTION OF TWO INDUSTRIAL BUILDINGS WITH A TOTAL FLOOR AREA OF 34,063 SQUARE FEET AND 33,219 SQUARE FEET LOCATED ON A DEVELOPED LOT WITHIN THE MANUFACTURING (M) ZONING DISTRICT AT 860 S. PLACENTIA AVENUE (U-HAUL INDUSTRIAL BUILDINGS)**

RECOMMENDATION

It is recommended that the Planning Commission take the following action:

- 1) Open Public Hearing concerning Development Plan Review No. DPR 2021-03 and Use Permit No. UP 2021-04; and
- 2) Receive the Staff Report, consider all Public Testimony, ask any questions of Staff; and
- 3) Close the public hearing; and
- 4) Adopt Resolution No. PC-2022-13, a Resolution of the Planning Commission of the City of Placentia, California, finding that approval of DPR 2021-03 and UP 2021-04 is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15332 (Class 32 – In-Fill Development Projects) and approving DPR 2021-03 and UP 2021-04 and making findings to permit the construction of two industrial buildings with a total floor area of approximately 34,063 square feet and 33,219 square feet within the M (Manufacturing) Zoning District on property located at 860 S. Placentia Avenue.

REQUEST:

The applicant, U-Haul Company of Orange County ("Applicant" hereinafter), requests approval of a Development Plan Review (DPR) and Use Permit (UP) to allow for the construction and operation of two industrial buildings measuring approximately 23'-9" high, 34,063 square feet (Building 1) and 44'-0" high, 33,219 square feet (Building 2), including associated landscape and hardscape improvements, on an improved property owned and operated by U-Haul. The subject property is located within the Manufacturing

(M) Zoning District currently addressed as 860 S. Placentia Avenue. The subject property is located south of W. Orangethorpe Avenue, east of S Placentia Avenue and contains the U-Haul Truck Sales Super Center of Placentia.

PROJECT BACKGROUND:

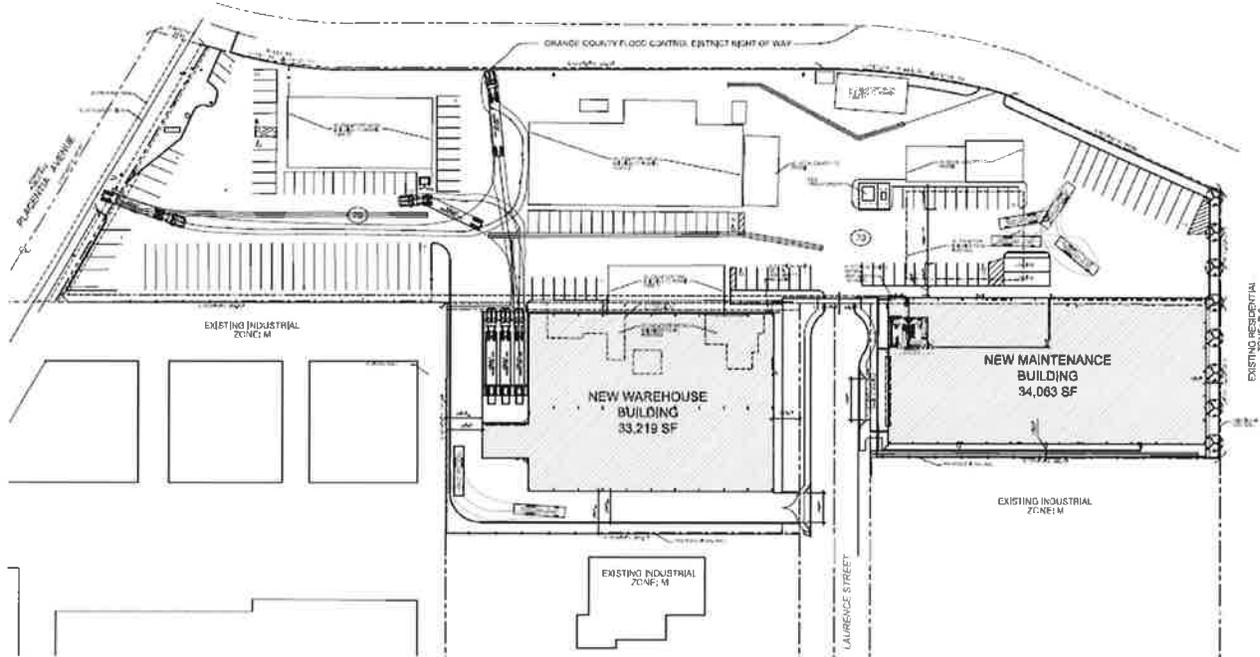
The project site contains U-Haul Truck Sales Super Center of Placentia, a surface parking lot, and several structures. The project site is located north of Lawrence Street, south of the Orange County Flood Control District facility, west of Arnold Drive, and east of S. Placentia Avenue. Surrounding uses include the Twin Palms Mobile Home Park to the north, single-family residences to the east, light industrial and commercial uses to the south, and light industrial uses (City of Fullerton) and the Placentia Retarding Basin across S. Placentia Avenue to the west. U-Haul was established and has maintained operation of the subject site for over 60 years.



PROJECT DESCRIPTION:

As part of the proposed project, the applicant will demolish several existing structures and a single-family residence, in their place constructing two industrial buildings measuring approximately 23'-9" high, 34,063 square feet (Building 1- Maintenance) and 44'-0" high, 33,219 square feet (Building 2 - Warehouse) along the southern end of the property, near the Lawrence Street cul-de-sac. Additional improvements include curb cuts, landscaping upgrades throughout the site, and extending driveway access on Lawrence Street. The proposed project would expand U-Haul operations on the existing site. The new buildings will serve as additional ancillary support uses to the U-Haul operations on a regional

basis, which include maintenance repair of U-Haul vehicles and equipment and additional warehousing/indoor storage opportunities. The two proposed new buildings are located on the southern portion of the property as indicated in the image below:



Primary vehicular access to the two buildings will be provided from an approximately 30-foot-wide driveway along S. Placentia Avenue that serves both north and southbound traffic accessing the site. The buildings will be sited more than 300 feet from the primary driveway entrance and will contain all vehicular circulation onsite. The site is designed so that all access is directed from S. Placentia Avenue, without the necessity of utilizing Lawrence Street, which requires access through the La Jolla residential neighborhood. Vehicular access to industrial property is highly discouraged by the City's 2019 General Plan.

Landscaping will buffer the full expanse of the easterly boundary, which abuts both single- and multi-family housing units. The landscape buffer will be approximately 15 feet wide and contain approximately eight evergreen trees from different geneses as the California Pepper tree, Aleppo Pine, and Brisbane Box, which are all capable of growing up to 40 feet high, with a canopy spread of 30 feet wide at maturity. In combination with different groundcover and shrubs the landscaping will provide an adequate buffer between the buildings and nearby residences.

Applicable Code Section – Placentia Municipal Code

The subject property is currently M. The project will be required to comply with the development standards and use requirements set forth in the Placentia Municipal Code (PMC) for projects within the M Zoning District. Pursuant to PMC Section 23.75.010(a), construction of new buildings shall require a DPR and, pursuant to PMC Section 23.47.040(a)(10), any use within 100 feet from a residential boundary requires a UP, and

both entitlements are evaluated at a noticed public hearing before the Planning Commission.

PROJECT CHARACTERISTICS

Subject Site and Surrounding Land Uses

The table below illustrates the site and surrounding existing land uses, General Plan Land Use designation and zoning:

	Existing Land Use	Land Use Element General Plan Designation	Zoning Map Designation
Existing	U-Haul Sales Super Center	Industrial	Manufacturing District (M)
Proposed	Two Industrial Buildings – 34,063 sq. ft. maintenance building (Building 1) & 33,219 sq. ft. warehouse building (Building 2)	Industrial	M
North (across Carbon Creek Channel)	Twin Palms Mobile Home Park	Low Density Residential	Single-Family Residential District – Combining Mobile Home Park District (R-1(MHP))
South	Industrial Uses	Industrial	M
East	Single and Multi-Family Units	Medium Density Residential	Low-Medium Density Multiple-Family District
West	Industrial Uses & water retention Basin	City of Anaheim	City of Anaheim

ZONING COMPLIANCE ANALYSIS

Site Development Standards

The project is located within the M Zoning District. Based on staff’s analysis, the project meets all the minimum and maximum development standards of the PMC, including

minimum setbacks, maximum building height, and minimum off-street parking requirements. The following matrix provides a summary of compliance with the identified development standards:

STANDARD	PROJECT	
	Building 1	Building 2
Height 54 ft. maximum	23 ft. 9-in.	44 ft.
Setbacks Front Yard Setback – 15 ft. min. & landscaped Side Yard Setback - 10 ft min. Street Side Yard – 15 ft. min. & landscaped Rear Yard Setback - 10 ft. min. & landscaped	Front: +15 ft. landscaped West Side Yard: 26 ft. 6 in. East Side Yard: 22 ft. 0 in. Rear Yard: No Rear Yard	Front: +22 ft. landscaped South Side Yard: 10 ft. West Side Yard: 15 ft. 0 in. Rear Yard: 15 ft. 0 in.
Parking Two spaces per 1,000 sq. ft. up to 20,000 sq. ft. plus one space per 1,000 sq. ft. of area over 20,000 sq. ft. 87 spaces minimum Building 1 @ 34,063 sq. ft. – 47 spaces min. Building 2 @ 33,219 sq. ft. – 40 spaces min. 46 spaces minimum (existing buildings) Total - 133 spaces minimum	140 spaces provided	
Loading Spaces Unit Size (sq. ft.) 20,000-and over – 2 Type B (Buildings 1 & 2)	2 Type B spaces (Buildings 1 & 2)	

Other Departmental Concerns and Requirements

The Divisions of Planning and Building, the Public Works Department (includes Engineering Division), Police Department and Fire and Life Safety Department have reviewed the application and submitted comments, but had no major concerns with the proposal. All applicable code requirements and conditions of approval have been incorporated into a draft resolution for consideration by the Planning Commission.

ISSUES ANALYSIS:

General Plan Consistency

The General Plan features policies that promotes the reinvestment of underutilized properties while being sensitive to the suburban atmosphere by implementing design measures that is sensitive to nearby residential uses. The proposed development is consistent with the following Land Use policies of the General Plan:

Land Use Element

Policy 1.4 – Preserve and improve industrial uses that provide manufacturing employment opportunities, through infrastructure upgrades, enhanced aesthetics, and new business development strategies.

Policy 2.5 – Orient land uses that create employment opportunities toward major and primary arterial streets so that activities associated with these uses will have minimal effect upon adjacent residential neighborhoods.

Policy 2.11 – Preserve neighborhoods integrity by routing extraneous traffic around neighborhoods.

Health, Wellness, and Environmental Justice Element

Policy 10.2 – Discourage locating truck routes on primarily residential streets and in DACs.

Policy 12.7 – Re-designate truck routes away from sensitive land uses including schools, hospitals, elder and childcare facilities, or residences, where feasible.

Development of two large areas of an existing developed property will promote further compatibility with newer development within the surrounding area while furthering the economic vitality of the property by allowing greater economic investment into underutilized portions of the site. Impact fees will be required to be paid by the developer in an effort to offset any associated impacts on City services and facilities. Overall, the proposed development will be consistent with the General Plan and will result in a compatible continuation to an existing land use that will assist in facilitating greater revitalization of the surrounding area. Based on the General Plan policies listed above, the site is designed so that all access is directed from S. Placentia Avenue, without the

necessity of utilizing Lawrence Street, which requires access through the La Jolla residential neighborhood.

PMC Consistency

Incorporation of the recommended conditions of approval will result in a project that complies with the provisions of the M Zoning District. The proposed project, with incorporation of the recommended conditions of approval, will meet or exceed the provisions of the M Zoning District and other applicable provisions of the PMC, including minimum parking requirements, minimum setbacks, and maximum building height.

Land Use Compatibility

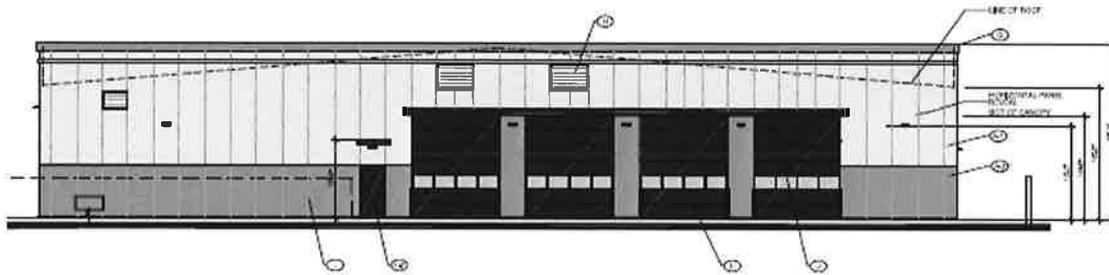
The project will be compatible with the surrounding area as the development will revitalize an aging property with two new industrial buildings within underutilized portions of the lot. The two industrial buildings will be located within Placentia's southwesterly city limits and will have a symbiotic relationship with the surrounding Placentia and Anaheim industrial properties, while being sensitive to the existing environment of the La Jolla residential neighborhood to the south and east.

All business activities will be fully contained within each building's interior, with all exterior activity areas (e.g., truck loading/unloading) to be screened from public view and oriented away from sensitive land uses receptors. Any potential noise impacts will be addressed through the business being required to adhere to the City's noise ordinance (PMC Section 23.76.050, Exterior Noise Standard). The project design will resemble other newly approved modern industrial buildings located within the city's industrial zones and will assist in facilitating further development within the greater area. Based upon the use, overall site layout, compliance with the code, and building design, the proposed developments are not anticipated to result in any adverse impacts to the surrounding area.

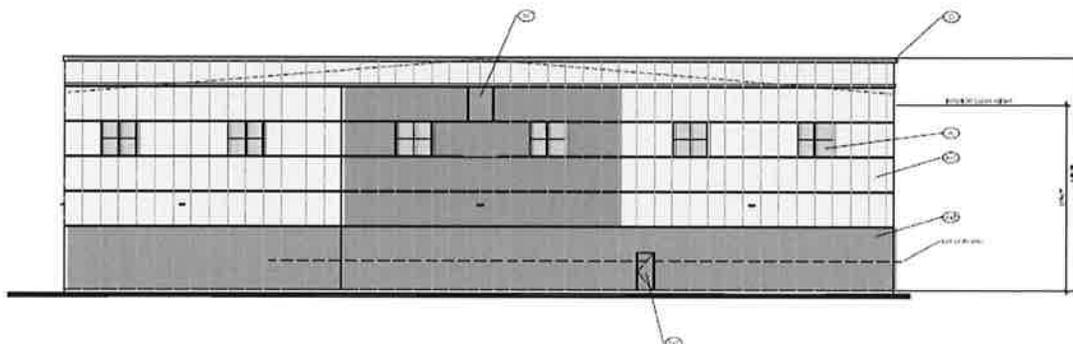
Landscaping

Proposed landscaping for the project will include a mix of native and ornamental varieties along much of the site perimeter of the development. Tree plantings along the site perimeter would include varieties such as California Pepper tree, Aleppo Pine, Brisbane boxes, including shrubs as Texas Privet, Sweet Bay, and Fraser's Photinia. Other native/ornamental species will serve as ground cover throughout the development. The landscaping plan will be conditioned to meet the requirements of the MWELO (Model Water Efficient Landscape Ordinance) as required by the City's code.

Architecture, Materials and Color Palette



Building 1 – West Elevation Facing Lawrence Street



Building 2 – East Elevation Facing Lawrence Street

The architectural design theme of the project aims to create ideal building proportions with a seamless continuous rhythm throughout each building's exterior elevation, resulting in a contemporary design for each building. The project exhibits a high-quality design that is well-articulated with aesthetically pleasing exterior building finishes. The design of both buildings are modern with an emphasis on geometric form and a strong focus on horizontal and vertical lines. Along the building facades, building breaks are achieved by reveals, score lines, contrasting paint colors, punched out windows, and metal canopies, minimizing the visual mass of the structure. The majority of the glazing areas consist of clerestory glazing, which provides a uniform distribution of daylight throughout the building interior. The horizontality of both the main building entry canopies and the painted horizontal elements provide a unifying feature for each building, creating a uniform business park feel. However, it is city staff's determination that the Lawrence Street elevations are visually muted and require additional visual enhancement. To further dress up each elevation, city staff is conditioning that those facades be enhanced with additional architectural embellishments subject to the approval of the Development Services Director (Condition No. 6g).

Planning, Community, Economic Development, and Housing Ad Hoc Committee

All major development projects within the City of Placentia require review by the Planning, Community, Economic Development, and Housing Ad Hoc Committee. The Committee reviewed this project on March 22, 2022. The Committee did request that the applicant make modifications to both the site and building design, all of which were addressed in the revised plans. The modifications requested by the Committee were the following:

1. Relocate the warehouse building's loading docks of away from Lawrence Street;
2. Restrict direct vehicular access by commercial big rig trucks (fifth wheel trucks) to the warehouse building's loading docks from Lawrence Street, take access from Placentia Avenue;
3. Restrict commercial vehicular access to the subject property from Lawrence Street unless in case of an emergency, take access from Placentia Avenue; and
4. Enhanced articulation of the building facades utilizing such methods as budling reveals, score lines, contrasting color/materials, windows, and canopies.

Upon review of the latest iteration of the development project, it is the determination of city staff that the submitted modifications to the site design of the buildings and architecture meets the intent of the changes requested by the Committee, including mandating the submission and recordation of a use covenant that will restrict improper use of Lawrence Street for associated business activities (Condition No. 14c).

CEQA

The applicant acquired the services of Kimley-Horn and Associates, who prepared an environmental analysis for the construction and operation of the proposed industrial buildings. Upon their analysis Kimley-Horn concluded that no adverse environmental impacts would result from the development project and determined that the project meets and complies with the conditions and requirements of CEQA Guidelines Section 15332 (Class 32) (Attachment No. 5).

The City of Placentia acquired the services of Tom Dodson and Associated (TDA) to peer review and analyze Kimley-Horn's assumptions and conclusions. Based upon TDA's analysis, it was determined that with the submission of a supporting technical memorandum by Kimley-Horn, that the project meets and complies with the conditions and requirements of CEQA Guidelines Section 15332 (Class 32) (Attachment No. 6).

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgement and find that DPR 2021-03 and UP 2021-04 is exempt from CEQA pursuant to State CEQA Guidelines § 15332 (Class 32 – Infill Development Projects) as the entitlement is to approve an infill development project.

PUBLIC NOTIFICATION:

Legal notice was published in the Placentia News Times, legal notices were sent to property owners of record within a 300-foot radius of the subject property, and legal notice was posted at the City of Placentia Civic Center on June 30, 2022, pursuant to all applicable provisions of the PMC. As of July 7, 2022, staff has received no comments in support or opposition of the request.

CONCLUSION

The proposed project is consistent with the City's General Plan and adheres to all minimum and maximum development standards within the PMC. With the recommended conditions of approval, the proposed development will be compatible with adjacent land uses and will not result in any adverse impacts onto the surrounding area.

RECOMMENDATION

Staff recommends that the Planning Commission of the City of Placentia adopt Resolution PC-2022-13 approving DPR 2021-03 and UP 2021-04.

Prepared and submitted by:


Andrew A. Gonzales
Senior Planner

Review and approved by:


Joseph M. Lambert
Director of Development Services

ATTACHMENTS

1. Resolution No. PC-2022-13 approving DPR 2021-03 and UP 2021-04
2. Project Plans Dated and Received June 14, 2022
3. Colors and Materials Board Dated and Received June 14, 2022
4. Site Photographs
5. Kimley Horn CEQA Exemption & Environmental Assessment Dated July 20, 2021
6. Tom Dodson & Associates CEQA Peer Review Dated August 17, 2021

RESOLUTION NO. PC-2022-13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA, CALIFORNIA, FINDING THAT APPROVAL OF DEVELOPMENT PLAN REVIEW NO. 2021-03 AND USE PERMIT NO. 2021-04 IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA SECTION 15332 AND APPROVING DEVELOPMENT PLAN REVIEW NO. 2021-03 AND USE PERMIT NO. 2021-04 AND MAKING FINDINGS TO PERMIT THE DEVELOPMENT AND OPERATION OF TWO INDUSTRIAL BUILDINGS WITH A TOTAL FLOOR AREA OF APPROXIMATELY 34,063 SQUARE FEET AND 33,219 SQUARE FEET LOCATED ON A DEVELOPED LOT WITHIN THE MANUFACTURING (M) ZONING DISTRICT AT 860 S. PLACENTIA AVENUE (U-HAUL COMPANY OF ORANGE COUNTY).

A. Recitals.

WHEREAS, U-Haul Company of Orange County, C/O Jason Mastriana (“Applicant” hereinafter), located at 860 S. Placentia Avenue, filed an application for approval for Development Plan Review No. DPR 2021-03 and Use Permit No. 2022-04, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Development Plan Review and Use Permit request is referred to as the “Application”;

WHEREAS, the subject property is currently located within the M (Manufacturing) Zoning District;

WHEREAS, the land use type of the subject site is designed as Industrial by the of City of Placentia’s General Plan Land Use Element;

WHEREAS, pursuant to the Placentia Municipal Code (PMC) Section 23.75.010, approval of a DPR by the Planning Commission is required for construction of new buildings in all zones;

WHEREAS, pursuant to the Placentia Municipal Code (PMC) Section 23.47.040(a)(10), approval of a UP by the Planning Commission is required for the establishment of any “M” use located within 100 feet from the exterior boundary of a residentially zoned property;

WHEREAS, on July 12, 2022, this Commission conducted a duly noticed public hearing, as required by law, and concluded said hearing prior to adoption of this Resolution; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Placentia as follows:

SECTION NO. 1: Based on the evidence presented and the findings set forth, DPR 2021-03 is hereby found to be consistent with the Placentia General Plan and the implementation thereof.

SECTION NO. 2: Development Plan Review. Based upon substantial evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff report, verbal testimony, and development plans, this Commission hereby specifically finds as follows:

a. The project meets or exceeds the criteria established in PMC Section 23.75.020 because the development of the industrial buildings meets all minimum and maximum development requirements required for the project; and

b. Conditions of Approval have been prepared as necessary to prevent: (A) detriment to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development or within the city, or (B) injurious to the property or improvements within the neighborhood or within the city, and;

c. The proposed development will be consistent with the latest adopted general plan as it will preserve and improve an industrial use that provides manufacturing employment opportunities, through infrastructure upgrades, enhanced aesthetics, and new business development strategies, thereby furthering established policies located within the General Plan. The project has also been designed to comply with all policies of the General Plan including vehicular access; and

d. Conditions necessary to secure the purposes of Section 23.75.020, including guarantees and evidence of compliance with conditions, are made part of the development approval to lessen potential impacts and enhance the functionality of the subject site.

SECTION NO. 3: Use Permit. Based upon substantial evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff report, verbal testimony, and development plans, this Commission hereby specifically finds as follows regarding UP 2021-04:

a. The proposed use will not be detrimental to the general health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development and will not be injurious to the property or improvements within the neighborhood or within the city as the new maintenance and warehouse buildings will be adequately distanced from adjacent residential properties to the east of the subject site with all business activities and operations fully contained within each respective building to minimize any potential lighting, noise, and air quality impacts, and;

b. The proposed development will be consistent with the latest adopted general plan as the building layout and onsite operations will be orientated toward major and primary arterial streets so that activities associated with these uses will have minimal effect upon adjacent residential neighborhoods to the east of and in the vicinity of the site, and;

c. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions, are made part of the Use Permit approval.

SECTION NO. 4: Based upon the environmental review of the project, the Planning Commission finds that DPR 2021-03 and UP 2021-04 is exempt from the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia pursuant to the State CEQA Guidelines § 15332 (Class 32 – Infill Development Projects) as the permit would be issued to an infill development project.

SECTION NO. 5: The Planning commission hereby directs that, upon approval of DPR 2021-03 and UP 2021-04, that a Notice of Exemption shall be filed with the Orange County Clerk/Recorder.

SECTION NO. 6: Based upon the findings and conclusions set forth herein, this Planning Commission hereby approves DPR 2021-03 and UP 2021-04 as modified herein, and specifically subject to the conditions set forth in Attachment “A” attached hereto and by this reference incorporated herein:

SECTION NO. 7: The Secretary of the Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED THIS 12TH DAY OF JULY, 2022.

FRANK PEREZ, CHAIR

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July, 2022, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July, 2022, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAINED:	COMMISSION MEMBERS:

ATTEST:

JOSEPH M. LAMBERT,
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM:

CITY ATTORNEY

Attachment A: Conditions of Approval for Development Plan Review No. 2021-03 &
Use Permit No. 2021-04

Attachment B: Placentia Police Department: Standard Development Requirements:
Non-Residential

Attachment "A"
Special Conditions of Approval and Standard Development Requirements for
Development Plan Review No. DPR 2021-03
& Use Permit No. UP 2021-04
860 S. Placentia Avenue (south of W. Orangethorpe Avenue, East of S. of S.
Placentia Avenue)

SPECIAL CONDITIONS

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

ALL THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.

DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:

1. DPR 2021-03 and Use Permit No. 2021-04 is valid for a period of twenty-four (24) months from the date of final determination, unless extended pursuant to Placentia Municipal Code (PMC) Section 23.75.080 and 23.87.080. If the development or use approved by this action is not established by obtaining Building Permits within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved by the Director of Development Services.
2. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
3. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
4. Any significant modifications to the approved site plan, floor plans, and elevation plans, including any modifications which will change, expand or intensify the use(s) shall be subject to review and approval by the Director of Development Services. The

Director of Development Services or his/her designee may determine if such modifications require approval by the City of Placentia Planning Commission or may be approved administratively by City staff.

5. All applicable provisions of the Placentia Municipal Code (PMC) shall be met prior to issuance of Building Permits and shall be adhered to at all times.
6. Prior to issuance of building permits, except as otherwise noted, the project plans shall be submitted for the review and certification for inclusion into the entitlement file by the Director of Development Services and shall include the following information:
 - a. All Special Conditions of Approval and Standard Development Requirements of DPR 2021-03 and UP 2021-04. Include any project revisions on the applicable sheets of the project plans. Additionally, include separate sheets with approved Special Conditions of Approval and Standard Development Requirements to be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
 - b. Typical cross section views and details through the property and across each property line as directed by the Director of Development Services.
 - d. Location of transformers, meters and other aboveground appurtenances.
 - e. The developer shall submit for City approval a construction staging plan that indicates how safe vehicular and pedestrian access to the site will be maintained for the duration of the construction period. The construction staging plan shall include measures such as, but not limited to the following:
 - i. A telephone number and a name of a contact person for registering complaints or comments shall be posted in a clearly visible manner along the perimeter of the site.
 - ii. A flag person shall be employed to direct traffic when construction vehicles access the project site and the construction staging area.
 - iii. Alternate pedestrian routes to the site shall be clearly delineated with safe access to and from the site.
 - iv. If any sidewalk is blocked during construction, alternate routes for pedestrians and bicycles shall be clearly marked with signs approved by the City.
 - v. All access points shall be clearly marked during construction, and if an access point is blocked during construction, a detour sign to an alternate access point shall be clearly posted.
 - vi. A detailed timeline outlining the course of drilling, grading/construction work that will take place on the property.

The measures may be modified and/or omitted by the Development Services Department based upon each measures relevancy to the development project.

- f. Any easement(s) that are encumbered by the placement of the industrial buildings shall be revised to the satisfaction of the corresponding easement holder(s) and subsequently recorded on the subject property. A copy of said recordation shall be submitted to the City for inclusion in the entitlement file.
 - g. The maintenance and warehouse building facades facing Lawrence Street shall be visually enhanced with additional architectural embellishments to further break up the mass and volume of each respective building. Such embellishments may include additional door/window canopies, color and material transitions, façade imprints, horizontal course band(s), or enhanced cornices. The final façade design shall be subject to the approval of the Director of Development Services or his/her designee.
 - h. The access gates, fencing, and/or walls located along Lawrence Street shall be decorative in nature and of a durable material to withstand continual wear and tear. All walls and gates shall be designed with colors, materials, and of a design satisfactory of the Development Services Director or his/her designee.
 - i. An exterior lighting (photometric) plan showing location, type of fixtures and areas of illumination shall be submitted and reviewed for compliance with City standards and the PMC. Lighting shall neither negatively impact adjacent properties nor the public right-of-way.
 - j. The applicant must follow the procedure for approval under the MWELo for all proposed landscaping on the subject site. A MWELo procedure and approval package is available from the front counter in the Development Services Department.
7. All at-grade and roof mounted mechanical equipment shall be screened from public view to the satisfaction of the Development Services Director and/or their designee.
8. The applicant and/or property owner(s) shall be responsible for maintaining their respective properties, including the landscaped areas, walkways, and all paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the applicant/business owner(s) within 72 hours of defacement and/or upon notification by the City.
9. At the request of the Director of Development Services, applicant and/or property owner will provide a Parking Management Plan at their own expense to be reviewed by the Director of Development Services to remedy any parking concerns that may arise with the project. The staff review of the parking management plan will be at the expense of the property owner/property management company.
10. Developer shall pay in full to the City of Placentia, all applicable citywide Development Impact Fees required pursuant to Title 5 of the Placentia Municipal Code, prior to issuance of the first building permit.

11. Developer and/or property owner agrees to approve the incorporation of the project into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
12. Developer and/or property owner agrees to approve the incorporation of the project into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
13. Developer and/or property owner agrees that the City may, at its sole election, require that, instead annexing into SLD 1981-01 and/or LMD 1992-1, the project shall be incorporated into a Community Facilities District to be created by the City pursuant to the provision of California Government Code Section 53311, et seq; the purpose of which, and the initial amount of the taxes and assessments thereunder, will be substantially the same, in whole or in part, as SLD 1981-1 and/or LMD 1992-1. Developer and/or property owner agrees to approve the incorporation of the project into said Community Facilities District.
14. The building cannot be occupied, the final Certificate of Occupancy cannot be approved, and utilities cannot be released until the following is completed for each respective portion of the property:
 - a. The property owner(s) and/or their successor(s) willfully agree to annex into those district(s) for the project area identified by Condition Nos. 11-13 above. If any of the subject properties are sold prior to annexation into the two districts, the future property owner(s) must complete the annexation process and no Certificate of Occupancy shall be issued prior to completion of annexation.
 - b. The property owner(s) shall pay in full all applicable impact fees associated with the development project.
 - c. A covenant agreement shall be submitted for review and approval by the City of Placentia City Attorney's office and Development Services Department. The covenant agreement shall prohibit all egress and ingress along Lawrence Avenue by any commercial vehicle associated with the operations of the business, unless it is in the event of an emergency or as a means of egress from the maintenance building's loading docks only, and adhering to the use restrictions noted in Conditions of Approval No. 15 (a-c). The covenant agreement shall be recorded with the County Recorder's office with additional copy provided to the City for inclusion in the entitlement file.
15. The use shall comply with the following:
 - a. Lawrence Avenue shall not be used for as a means of vehicular ingress and egress for any commercial vehicles conducting business operations. Oversized vehicles shall be strictly prohibited from utilizing Lawrence Avenue to enter or

exit the site. The Lawrence Avenue access points may only be utilized in cases of emergency only.

- b. All vehicle loading activities shall be strictly prohibited along Lawrence Avenue.
- c. The loading bays for the maintenance building (easterly building) shall only be used as a means of egress only. Vehicles exiting the building are limited to those by which are permitted to be operated through a California Class C driver's license.

DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION:

- 16. The Building Plans to be submitted to Building Division shall be in compliance with the latest CBC, CEC, CMC, CPC, CFC, CalGreen, & California Energy Code as adopted and amended by the City of Placentia.
- 17. The Group Occupancy classification of the proposed Warehouse shall be based on the storage of Moderate-Hazard (S1) or Low-Hazard materials (S2).
- 18. The actual use, quantities of the hazardous materials to be stored, and the type of operation within the Maintenance Building shall be specified on plans. Based on the actual use and operation within the maintenance building its group occupancy shall be decided.
- 19. The first sheet of the plans shall specify the square footage of each building, group occupancies, type of constructions, and fire sprinkler systems.
- 20. Approved precise grading plans addressing complete site accessibilities plans and details shall be part of the building plans submittal.
- 21. Complete Architectural, Structural, Electrical, Mechanical, Plumbing plans, and addressing the requirements of CalGreen and Title 24 Energy requirements on plans is required.
- 22. Complete site accessibility addressing access from all existing buildings to the new ones is required and shall be addressed on plans.
- 23. Complete access from public transportation stops to the new buildings for disabled persons is required and shall be addressed on plans.

PUBLIC WORKS DEPARTMENT:

- 24. Upon plan check submittal, the following items shall be included with the submittal package:
 - a. Preliminary grading and drainage plan;
 - b. Preliminary geotechnical report;
 - c. Preliminary Water Quality Management Plan (WQMP) in the form and content

per the City's WQMP template;

d. Sewer capacity study;

25. Prior to issuance of a Certificate of Occupancy, the engineer of record shall submit all Public Improvements approved project plans on an AutoCAD DWG and PDF formats to the Public Works Department.
26. Prior to issuance of a Certificate of Occupancy, the project engineer shall record and submit a copy of the recorded Master Covenant for maintenance of the BMP on the project to the Public Works Department.
27. Applicant must fill out and submit a Red Imported Fire Ant-pest Exclusion Program (RIFA) Form to California Department of Food and Agriculture and provide the City of Placentia copy of the approved form.
28. All improvement and grading plans shall be drawn on the City's templates, twenty-four (24) inch by thirty-six (36) inch Mylar in size and signed by a registered civil engineer or other registered/licensed professional as required.
29. Provide Signature block for City Engineer: License Number: C52786.
30. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and removal of the existing utilities, vaults and meters. It is also the applicant's responsibility to notify the Public Works and Building Inspection Division to inspect and to ensure that these utilities have been properly disconnected.
31. Applicant must use Placentia Rough Grading and Erosion Control Plans Template

Provide a Bond Estimate for all improvements. Performance and Labor/Material bonds in addition to Special requirements for construction/deconstruction waste (City of Placentia Municipal Code Section: 8.04.390) will be required prior to issuance of grading and encroachment permits. This is to guarantee completion of all public improvements to the satisfaction of the City.
32. Include total handicap parking provided in the parking notes section. Provide details for the new driveway and the sidewalks per the City of Placentia Standards (OC Standard Plans) and the latest Standard Specifications of Public Works Contraction (The Green Book.) All new and existing sidewalk and driveway will have to be ADA compliant and replaced from joint to joint over the entire frontage of the parcel. Applicant must hire a CASp consultant to certify all ADA Improvements, per the latest ADA requirements for design, construction and obtain a final CASp certification for all ADA ramps and pathways within the public right-of-way.
33. Prior to issuance of any permits by the Department of Public Works, applicant shall provide proof of clearance from the Orange County, Department of Health to show the site is clean and free of contaminates.

Demolition

34. Provide a site plan showing that the new building footprint will be completely outside of the easement areas.
35. Provide a full set of plans for demolition of the existing facilities and utilities, including above ground and underground structures, footings, utilities, vaults, fences, walls, sewer lines, storm drain pipes, waterlines, etc., Plans shall address conditions and procedures, as are necessary, to show that the demolition work will be conducted without creating a hazardous condition, when excavating next to other existing footings, walls and slopes. A separate demolition permit is required from the Building Department, prior to performing any kind of demolition on site.
36. The existing sanitary sewer line has to be removed and capped at the property line. The sewer cap shall be inspected, and shall not be covered until an inspection has been made by the Department of Public Works Inspector. This inspection shall be requested at least 24 hours before the inspection is needed.
37. Provide AQMD Rule 1403 permit number, prior to starting any demolition work.
38. Provide an erosion control and comply with the Storm Water Pollution Prevention Plans (SWPPP) requirements for protection of the site during and post demolition and excavation activities.
39. A copy of the Grant deed and owner's permission on the application for demolition is required at the time of issuance of the permit.
40. Applicant must submit the following items for review and approval on the Demolition plans:
 - a. Sanitary Sewer and storm drain locations and capping details
 - b. Lot drainage of the subject and the adjacent properties.
 - c. Existing contour elevations of the subject lot and the adjacent lots.
 - d. Any structures on the subject lot to be removed.
 - e. Any structure or substructure on the subject lot to remain.
 - f. All easements and right-of-ways.
 - g. NPDES and SWPPP Permits.
41. Applicant must comply with City's Construction and Demolition Waste Management Plan And post a bond if necessary.

Sewer Line Improvements and Construction

42. The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.

43. Sewer flow calculations justifying pipe line design and connection to the main shall be prepared by a registered civil engineer and submitted as a part of an improvement plan for approval by the City Engineer. Provide sewer capacity analysis to evaluate the proposed sewer flow rates into the City sewer system using current flow rate and for pipeline capacity availability. See attached for Sewer Capacity Guidelines.
44. Prior to the issuance of a building permit, the applicant shall dedicate ingress and egress of the access route within the project site and improve it fully operational as required by the Placentia Fire Authority and satisfaction to the City Engineer.
45. Provide details for sewer capping and connections.
46. Prior to issuance of building permit, the developer's engineer shall analyze and mitigate any sewer system deficiencies for all phases of the proposed development. Results of the system analysis may require special construction such as booster pumps, upsize the downstream pipes and backwater valves. The engineering analysis and special construction requirements shall be subject to review and approval of City Engineer.

Storm Drain Improvements and Construction

47. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the Public Works Director.
48. Sewer flow calculations justifying pipe line design and connection to the main shall be prepared by a registered civil engineer and submitted as a part of an improvement plan for approval by the City Engineer. Provide sewer capacity analysis to evaluate the proposed sewer flow rates into the City sewer system using current flow rate and for pipeline capacity availability.
49. Provide Hydrology/Hydraulic Calculations and show the drainage and runoff to the street.
50. Prior to the approval of the improvement plans, the hydrology study shall show that the 25-year storm flow will be contained within the street from curb to curb and the 100-year storm flow shall be contained within the street right-of-way. When either of these criteria are exceeded, additional drainage facilities shall be installed. All analysis shall comply with the Orange County Hydrology Manual and County Local Drainage Manual.
51. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual. The project development shall be designed to

accept and properly dispose of all off-site drainage flowing onto or through the site. If the quantities exceed the existing downstream capacity, the developer shall provide adequate drainage facilities to mitigate the impact as approved by the City Engineer.

52. The post development peak flow rate generated from the project site shall be less than or equal to the pre development peak flow rate from the site for all frequency storms up to and including 100-year return.
53. Drainage facilities with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency flow bypass shall also be provided as approved by City Engineer.

Public Improvements and Construction

54. Existing pavement conditions and curb/gutters adjacent to the project site are determined unsuitable due to cracking, irregular surface, age, water damage, and/or failure to meet structural section to support a new development. The applicant shall provide full curb/gutter, driveways in addition to street resurfacing of entire section of Placentia Avenue, and Lawrence Street, full width, along the full length of the property frontage (grind to a depth of 2-inch and 2-inch overlay of rubberized asphalt).
55. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances.

Grading

56. Provide volumes of cut and fill on the grading plan.
57. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
58. Prior to the issuance of a grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/glltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long term maintenance responsibilities. The plan shall be prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.
59. Prior to approval of the final design plans and issuance of a grading permit, the applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part

of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected. The report shall provide grading and structural design recommendations for avoiding liquefaction, subsidence or collapse for each of the proposed structures. The recommendations shall be implemented by Applicant.

60. Prior to issuance of a grading permit, the applicant shall prepare a water quality management Plan (WQMP) specifically identifying the Best management practices (BMP'S) that will be used on site to control predictable pollutant runoff. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the location of structural BMP's and assignment of long-term maintenance responsibilities (which shall also be included in Maintenance agreement). The plan shall be prepared to the general form and content show in the city of Placentia's WQMP template and shall be submitted to the city engineer for review and approval. website available at (<http://www.placentia.org/index.aspx?nid=262>).
61. Prior to the issuance of grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.
62. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtained under the California's General Permit for Discharge of Storm Water Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. Prior to the issuance of a grading permit, the applicant shall submit to the City Engineer for review a Storm Water Pollution Prevention Plan (SWPPP). A copy of the approved SWPPP shall be kept at the project site and available for review upon request.
63. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
64. The site grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency with each other and for consistency with the requirements and standards of the City of Placentia.

65. All parking, common, and storage areas shall be lighted to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photo censored cell.
66. , sizes and specifications on the plans.
67. Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD.

FIRE AND LIFE SAFETY DEPARTMENT:

68. A fire flow as provided by 2019 CA Fire Code Appendix B shall be provided. (Construction type not provided)
69. Fire apparatus access; Warehouse building gated access: In accordance with Section 503.2.1 of the 2019 CA Fire Code, fire apparatus access roads shall have an unobstructed width of 20^{ft}. In accordance with Section D103.4 of the 2019 CA Fire Code, fire apparatus access roads exceeding 150^{ft} shall be provided width and turnaround provisions in accordance with Table D103.4.
70. FDC locations: In accordance with Section 912.2.1 of the 2019 CA Fire Code, FDCs are to be fully visible from the street. Recommended placement for each building is to relocate each FDC to Laurence St. for immediate access in the event of a fire.
71. A fire sprinkler system, compliant with NFPA 13 2016 ed. shall be installed throughout.
72. An automatic fire alarm system, compliant with NFPA 72 2016 ed. shall be installed for waterflow monitoring.
73. KNOX emergency key boxes shall be installed on each building and KNOX key switches shall be installed on all automatic perimeter gates.

POLICE DEPARTMENT

74. Compliance with the Placentia Police Department's Standards Development Requirements – Non-Residential (Attachment B)

Attachment "B"
PLACENTIA POLICE DEPARTMENT
STANDARD DEVELOPMENT REQUIREMENTS
NON-RESIDENTIAL

The following standards shall be required for all non-residential developments. No modifications shall be made without the approval of the Chief of Police.

Doors-Exterior Swinging

Swinging exterior glass doors, wood or metal doors with glass panels, solid wood or metal doors shall be constructed or protected as follows:

1. All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches.
2. Hollow steel doors shall be of a minimum 16 U.S. gauge and have sufficient reinforcement to maintain the designated thickness of the door when any locking device is installed; such reinforcement being able to restrict collapsing of the door around any locking device.
3. A single or double door shall be equipped with a double or single cylinder deadbolt lock. The bolt shall have a minimum projection of one (1) inch and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one-fourth (1/4) inch in diameter.
4. The strike plate for deadbolts on all wood framed doors shall be constructed of minimum sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by minimum of two screws, which must penetrate at least two (2) inches into solid backing beyond the surface to which the strike is attached.
5. Aluminum frame swinging doors shall be equipped as follows:
 - a. The jamb on all aluminum frame swinging doors shall be so constructed or protected to withstand 1,600 pounds of pressure in both a vertical distance of three inches and a horizontal distance of one inch each side of the strike, so as to prevent violation of the strike.
 - b. A single or double door shall be equipped with a double cylinder deadbolt with a bolt projection exceeding one inch or a hook-shaped or expanding deadbolt that engages the strike sufficiently to prevent spreading. The deadbolt lock shall have a minimum of five-pin tumblers and a cylinder guard.

6. All exterior doors equipped with lever-handled locking devices which operate the deadbolt shall have thresholds designed and installed so as to prevent the passing of rigid materials between the door and threshold to the interior.

7. Double doors shall be equipped as follows:

a. The inactive leaf of double door(s) shall be equipped with metal flush bolts having a minimum embedment of 5/8 inch into the head and threshold of the doorframe.

b. Double doors shall have an astragal constructed of steel a minimum of 0.125 inch thick, which will cover the opening between the doors. The astragal shall be a minimum of two inches wide, and extend a minimum of one inch beyond the edge of the door to which it is attached. The astragal shall be attached to the outside of the active door by means of welding or with nonremovable bolts spaced apart on not more than ten inches centers. (The door to which such an astragal is attached must be determined by the fire safety codes.)

8. Door stops on wooden jambs for in-swinging doors shall be of one-piece construction with the jamb.

9. Panic hardware, whenever required by the Uniform Building Code or Title 24, California Code of Regulations, shall be installed as follows:

a. Panic hardware shall contain a minimum of two locking points on each door; or

b. On single doors, panic hardware may have one locking point, which is not to be located at either the top or bottom rails of the doorframe. The door shall have an astragal constructed of steel 0.125 inch thick, which shall be attached with nonremovable bolts to the outside of the door. The astragal shall extend a minimum of six inches vertically above and below the latch of the panic hardware. The astragal shall be a minimum of two inches wide and extend a minimum of one inch beyond the edge of the door to which it is attached.

c. Double doors containing panic hardware shall have an astragal attached to the doors at their meeting point, which will close the opening between them, but not interfere with the operation of either door.

10. Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior from the exterior by removing the hinge pins.

11. In office buildings (multiple occupancy), all entrance doors to individual office suites shall meet the construction and locking requirements for exterior doors.

Windows

1. Except when double cylinder deadbolts are utilized, any glazing utilized within 40 inches of any door locking mechanism shall be constructed or protected as follows:
 - a. Fully tempered glass or rated burglary resistant glazing; or
 - b. Iron or steel grills of at least 1/8-inch material with a minimum two-inch mesh secured on the inside of the glazing may be utilized; or
 - c. The glazing shall be covered with iron bars of at least 1/2 inch round or one-inch by 1/4-inch flat steel material, spaced not more than five inches apart, secured on the inside of the glazing.
 - d. Items b. and c., above, shall not interfere with the operation of opening windows if such windows are required to be openable by the Uniform Building Code.
2. No louvered windows shall be used.
3. Sliding windows shall incorporate an anti-lift device.

Roof Openings

Roof openings shall be protected as follows if the roof is accessible via an exterior ladder or the roof is less than 20 feet from ground level or if any portion of it is within 12 feet vertically or six feet horizontally from any exterior accessible surface or any adjoining roof, balcony, landing, stair tread or similar structure:

1. All skylights on the roof of any building used for business purposes shall be provided with:
 - a. Rated burglary-resistant glazing; or
 - b. Iron bars of at least one-half inch round or one by 1/4 inch flat steel material under the skylight and securely fastened; or
 - c. A steel grill of at least 1/8 inch material with a maximum two-inch mesh under the skylight and securely fastened.
2. All hatchway openings on the roof of any building or premises used for business purposes shall be secured as follows:
 - a. If the hatchway is of wooden material, it shall be covered on the inside with at least 16 U.S. gauge sheet metal, or its equivalent, attached with screws.
 - b. The hatchway shall be secured from the inside with a slide bar or slide bolts.

c. Outside hinges on all hatchway openings shall be provided with nonremovable pins when using pin-type hinges.

3. Air ducts or vents exceeding ninety-six (96) square inches in an area with the smallest dimension exceeding six (6) inches on roof or exterior walls shall be covered by iron or steel bars of at least one-half (1/2) inch material spaced not more than five (5) inches apart; or steel grills of at least twelve (12) gauge material of two (2) inch mesh (maximum) securely mounted.

Ladders

Ladders leading to the roof shall do so from the interior of the building.

Phone Panels

There shall be no exterior phone panels.

Elevators

Elevators shall be designed as follows:

1. Elevator cabs, the interiors of which are not completely visible when the door is open from a point centered on and 36 inches away from the door, shall have shatter resistant mirrors or other equally reflective material so placed as to make visible the entire elevator cab from this point. The elevator cab shall be illuminated at all times with a minimum maintained two foot-candles of light at floor level.
2. Elevator emergency stop buttons shall be so installed and connected as to activate the elevator alarm when utilized.

Lighting-Parking Lots, Walkways, Buildings

Buildings, open parking lots, walkways, and accesses thereto shall conform to the following light standards:

1. All types of exterior doors shall be illuminated during the hours of darkness, with a minimum maintained one foot-candle of light, measured within a five-foot radius on each side of the door at ground level. The light source shall be controlled by a photocell device or a timeclock with an astronomic clock feature and capable of operating during a power outage.
2. Recessed areas of buildings or fences, which have a minimum depth of two feet, a minimum height of five feet, and do not exceed six feet in width and are capable of human concealment, shall be illuminated with a minimum maintained 0.25 foot-candles of light at ground level during the hours of darkness. This requirement applies to defined recessed areas which are within six feet of the edge of a designated walking surface with an unobstructed pathway to it, not hindered by walls or hedge row landscaping a minimum of two

feet in height.

3. Stairways shall be illuminated with a minimum maintained one foot-candle of light on all landings and stair treads, during the hours of operation, including one hour thereafter.

4. All interior or exterior corridors, passageways and walkways in any hotel, motel or inn shall be illuminated at all times with a minimum maintained one foot-candle of light on the walking surface.

5. All exterior pedestrian walkways, interior common corridors, and open parking lots shall be illuminated with a minimum maintained one foot-candle of light on the walking or driving surface during the hours of operation and one hour thereafter.

6. The light source utilized to comply with this section to meet parking and drive surface lighting shall have a rated average bulb life of not less than 15,000 hours.

7. Accessible luminaires utilized to meet the requirements of this section have vandal resistant light fixtures and be not less than three feet in height from ground level when used to illuminate walkways and a minimum of eight feet in height from ground level when illuminating surfaces associated with vehicles. Light fixtures shall be deemed accessible if mounted within fifteen feet vertically or six feet horizontally from any accessible surface or any adjoining roof, balcony, landing, stair tread, platform or similar structure.

8. A site plan shall be provided, showing buildings, parking areas, walkways, detailed landscaping, fixture schedule, mounting height, the lighting ratio and a point-by-point photometric calculation of the required light levels. If a parking lot is equipped with an occupancy sensor, then a point-by-point photometric calculation is required to show it meets the required minimum level of light. Foot-candles shall be measured at grade on a horizontal plane and conform to a uniformity ratio of six to one (6:1) average/minimum. Landscaping shall not be planted so as to obscure required light levels with light fixtures exceeding eight feet in height installed at least two feet from a tree's canopy at 70 percent maturity.

9. The light source shall be controlled by a photocell device or a timeclock with an astronomic feature.

Addressing

Addressing for nonresidential buildings shall conform to the following specifications:

1. Numerals shall be mounted on the wall, be no higher than 30 feet, and face the street on which the building is addressed. Numerals are to be clearly visible from this same street and not obscured by building landscaping at full maturity. Addressing shall be of a color contrasting to the background to which they are affixed. Method of attachment shall not include the use of two-sided tape or any

material not resistant to weather conditions.

2. Where distance or intervening obstructions impair visibility from the street, addressing shall be mounted on all buildings so as to be visible from drive aisles and walkways internal to the site, and each such address, or an encompassing range of addresses, shall be displayed on monument signs visible from each site entrance from all approaching directions. In such cases, directional wayfinding signs shall be provided per No. 5 below.

3. Numerals shall be no less than six inches in height, if located less than 100 feet from the center line of the addressed street or 12 inches in height if placed further than 100 feet from the center line of the addressed street. The numerals shall be in a Sans Serif font with a stroke weight of medium to bold, or an approved equivalent font which is clearly legible, and illuminated during the hours of darkness using a light source provided with an uninterruptible A.C. power source or controlled only by a photoelectric device, which may be the common area site lighting.

4. The rear doors of all buildings shall have address numbers not less than six inches in height, using a Sans Serif font with a stroke weight of medium to bold, or an approved equivalent font which is clearly legible, and be of a color contrasting to the background to which they are affixed. Method of attachment shall not include the use of two-sided tape or any material not resistant to weather conditions.

5. For sites having multiple buildings for which addressing mounted on the building is not clearly visible from the street, or for which drive aisles diverge from a site entrance in a manner such that the direct route to each building is not obvious, vehicle directional signs shall be provided. Vehicle direction signage from the point of site entry to each building entrance shall display building addresses or unit number range, and be located at all turning points along the route to a building entrance. Signs shall be no less than 2 feet from ground level and not obstructed by landscaping at full maturity or parked cars. Numerals shall be at least 3 inches in height using a Sans Serif font with a stroke weight of medium to bold, or an approved equivalent font which is clearly legible.

6. Buildings with a total square footage of at least 30,000 square feet shall have rooftop numbers placed parallel to the addressed street, screened from public view and only visible from the air. The numerals are to be white, block lettered, constructed of weather resistant material, and placed against a black background. Address numbers are to be a minimum of 4 feet in height and 18 inches wide. When more than one street address is assigned to a building, the beginning and ending address numbers are to be placed on the rooftop at opposite ends of the building, reflecting the approximate location of these addresses.

Exceptions:

1. For buildings having white roofing, black lettering shall be used in lieu of white lettering.

2. Buildings providing addressing for a helipad as specified in the California Building Code.

Emergency Access

Private roads and parking areas or parking facilities when controlled by unmanned automated parking gates shall provide for police emergency access utilizing Click2Enter radio-controlled entry system and Knox key switch device to be installed and designed as follows:

1. The key switch control shall be installed at a height of 42 inches from finished driveway grade and a minimum of 15 feet from the entry/exit gate, and be located on the driver's side of the road or driveway. The key switch is to be accessible in such a manner as to not require a person to exit their vehicle to reach it; nor to require any back-up movements in order to enter/exit the gate. The key switch may be installed within a visitor telephone/intercom call box if meeting the above criteria. The control housing shall consist of heavy gauge metal, and be vandal- and weather-resistant and be mounted on a substantial structure such as a steel post, concrete, or masonry pedestal.
2. Key switches shall be secured to the control housing or telephone/intercom call box utilizing tamper resistant screws.
3. Except for an open surface parking lot with less than 100 parking spaces, a radio controlled entry system shall be installed per City specifications.
4. Vehicle gates shall be designed to open in a power failure.
5. All lockable pedestrian gates or doors to common area walkways shall provide for police emergency access utilizing Click2Enter and Knox key switch device which shall be installed as follows:
 - a. Pedestrian gates/doors using an electrically automated type lock shall be provided with Click2Enter and a Knox key switch within a telephone/intercom console, or installed adjacent to the door inside a wall/door frame, or in a control housing as described in No. 1 above or in a method approved by the police department. Key switches shall be secured utilizing tamper resistant screws. The Click2Enter main unit or a remote receiver shall be visible in order to determine, when activated, if the signal was received by illuminating a light. More than one gate or door which is in close proximity to another may be operated by Click2Enter if approved by the police department.
 - b. Pedestrian gates or doors utilizing mechanical locks shall be provided with a Knox key vault adjacent to each gate or door, securely attaching it to a fence or wall, mounted 4 feet above finished grade and within 2 feet of the locking device.
 - c. Interior stairway doors are not required to have a Click2Enter radio controlled entry system

- d. Elevators with access control systems shall be provided with a key switch adjacent to the access control reader utilizing tamper resistant screws.
6. Emergency vehicle access gates shall be designed so as to provide access to the padlock from either side of the gate. A key vault shall be installed on each side of the gate. Owner's padlock shall be used to secure the gate.
7. All key switches, key vaults, and padlocks shall be sub-mastered to an Orange County Fire Authority key for access by the police department. The radio controlled entry system shall be programmed to frequencies approved by the police department and Orange County Fire Authority.
8. Key switches, key vaults, padlocks, and radio controlled entry system installations shall be identifiable to approaching police personnel in a manner as approved by the police department.
9. An Emergency Access Plan shall be required when a radio controlled entry system, key switch, or key vault is required to be installed. The plan is to identify the location of each device on a site plan.

Construction Site Security

The number of access points onto the site shall be minimized and, where feasible, situated in locations that are highly visible from an adjacent street, and conform to the following:

1. Perimeter construction site fencing shall be installed adjacent to streets and designed as follows:
 - a. Chain link or other metal fencing and gates, at least six feet in height, and
 - (1) Vehicle and pedestrian access gates shall not be covered with any fabric. Fencing with fabric shall not be covered for the first 50 feet in lineal length, or greater where necessary for sight distance control, on each side of a gate.
 - b. All vehicle and pedestrian openings shall have gates secured after hours of operation by a padlock(s) designed to prohibit cutting of the shackle; and
 - (1) Coil chain, minimum 30 grade, at least 3/8-inch thick, if used to secure a gate, or
 - (2) Cable at least 5/16-inch thick, if used to secure a gate.
 - c. Perimeter fencing may be removed when there is no longer outside storage of building materials or building fixtures and when there are no remaining exterior construction activities requiring separation of non-construction related personnel and public from exterior construction activity.
 - d. Alternative fencing and protection may be approved by the police

department.

2. Office trailers and temporary buildings shall be secured as follows:
 - a. At a minimum, doors shall have a deadbolt lock and an auxiliary locking device using a hasp or slide bolt with a protective device to prohibit cutting of a padlock, attached with non-removable bolts from the exterior, and locked with a padlock having a minimum ½-inch thick shackle with heel and toe locking; or secured in a manner as approved by the police department.
 - b. All windows shall be secured from entry using either:
 - (1) Steel bars of at least ½-inch round or one-inch by ¼-inch flat steel material, spaced not more than five inches apart, securely attached on the inside of the trailer using bolts that are nonremovable from the exterior; or
 - (2) Steel grate mesh of at least 1/8-thick material, securely attached on the interior or exterior of the trailer using means that are resistant to removal from the exterior.
3. Storage containers with at least 64 square feet of storage area shall be secured as follows:
 - a. Doors shall be secured using a hasp or slide bolt with a protective device to prohibit cutting of the padlock, attached with nonremovable bolts from the exterior, and locked with a padlock having a minimum ½-inch thick shackle with heel and toe locking; or secured in a manner as approved by the police department.
 - b. Exterior hinge pins shall be rendered nonremovable by design or welding.
4. Site lighting shall be installed and designed as follows:
 - a. Where lighting required would impinge on occupied residential properties:
 - (1) Motion sensors may be used to control light fixtures.
 - (2) Elements of the lighting provisions below may be modified or not required when approved by the police department.
 - b. All vehicle gate locations shall be illuminated, during the hours of darkness, with an approximate minimum maintained one foot-candle of light on the ground, within and on all sides of the gated opening for a distance of 15 feet beyond the opening. Outdoor lighting shall be maintained and installed so that direct rays are confined to the site and adjacent properties and streets open to the public are protected from glare.
 - c. All open centralized storage areas for building materials or building fixtures shall be illuminated, during the hours of darkness, with an approximate minimum maintained one foot-candle of light on the ground, within and on all sides of the stored items for a distance of 15 feet beyond the materials or fixtures.

- d. All trailers, temporary buildings, or containers used as an office or for storage of building materials, or fixtures for buildings, or construction equipment shall be illuminated on all sides with openings, during the hours of darkness, with an approximate minimum maintained one foot-candle of light on the ground for a distance of 15 feet beyond the exterior walls.
 - e. Luminaries utilized to meet this section shall be installed at least 18 feet from the ground, have tempered or polycarbonate lenses, and meet or exceed U.L. Bulletin 1572 for wet locations.
5. Forklifts shall be rendered inoperable, when hours of operation are ceased, by removing the key and adding a device to either disable the engine or other measure to prohibit moving it.
 6. A record shall be developed and maintained of on-site motorized construction vehicle equipment, which have wheels a minimum of 15 inches in diameter, listing the manufacturer, model, license plate number, vehicle identification number (VIN), and product identification number (PIN).
 7. An address sign shall be installed at all perimeter vehicle access points and include the street name and number, using minimum six-inch high letters and numbers, and shall be posted at the top of the perimeter fence or at least five feet from the ground.
 8. A "No Trespassing" sign, conforming to the requirements of California Penal Code, Section 602, shall be installed at all perimeter access points, posted at the top of the perimeter fence or at least five feet from the ground.
 9. A 24-hour emergency phone number, for management of the site, shall be posted at the main gated entrance and on the exterior of an on-site office trailer or building near the main vehicle entrance.
 10. The following additional security measures shall be required if the residential construction site has 25 or more dwelling units:
 - a. Institute at least one of the following additional security measures:
 - (1) Provide color cameras that view all vehicle access points and record vehicle license plates when the hours of operation cease, saving recorded activity for at least 60 days; or
 - (2) Utilize a California State Licensed Security Guard for every contiguous 20 acres or portion thereof, to monitor the site when hours of operation cease, recording persons and vehicles entering and leaving it, saving recorded activity for at least 60 days; or
 - (3) Other alternate measure(s) approved by the police department that are found to provide at least the equivalent security of providing one of measures (1) or (2) above.
 - b. Develop a written procedure and implement a property identification program approved by the police department that is designed to readily identify

ownership of heavy equipment, building materials where feasible, and building equipment.

Definitions

Astragal is a device, either fixed or movable, which eliminates the vertical opening between a pair of doors when in the closed position.

Burglary resistant glazing means those materials as defined in Underwriters' Laboratories Bulletin 972.

Fully tempered glass means those materials meeting or exceeding UCB Standard 24-2 for Safety Glazing.

Glazing is all glass, plastics, and fiberglass utilized as an exterior window, vision panel, light, or pane within any type of door.

Hours of operation shall mean the time period when any activity requires the presence of employees or workers within or about the affected business.

Hours of darkness shall mean any time from one-half hour before sunset and one-half hour after sunrise and any other time when the illumination level is less than the required lighting for uses as designated in this chapter.

Luminaire is a complete lighting device consisting of a light source together with its direct appurtenances, such as globe, reflector refractor, housing and such support as is integral with the housing. The pole, post or bracket is not considered a part of the luminaire.

Minimum maintained foot-candles of light is the amount of light falling on that point of a surface with the least illumination, calculated through application of a maintenance factor, which is a multiplier applied to account for aging of the lamp and for dirt build-up on the luminaire during the period for which a lamp is in place.

Vandal resistant light fixture has a lens constructed of materials meeting or exceeding U.L. Bulletin 972 (Burglary Resistant Glazing) and a housing meeting or exceeding U.L. Bulletin 1572 (Wet Locations.)



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CONSULTANT:

OWNER:
J-CM SERVICES INC
CONSTRUCTION & MANAGEMENT
3334 E COAST HWY. #119
CORONA DEL MAR, CA 92625
T 949.795.2735

PROJECT:

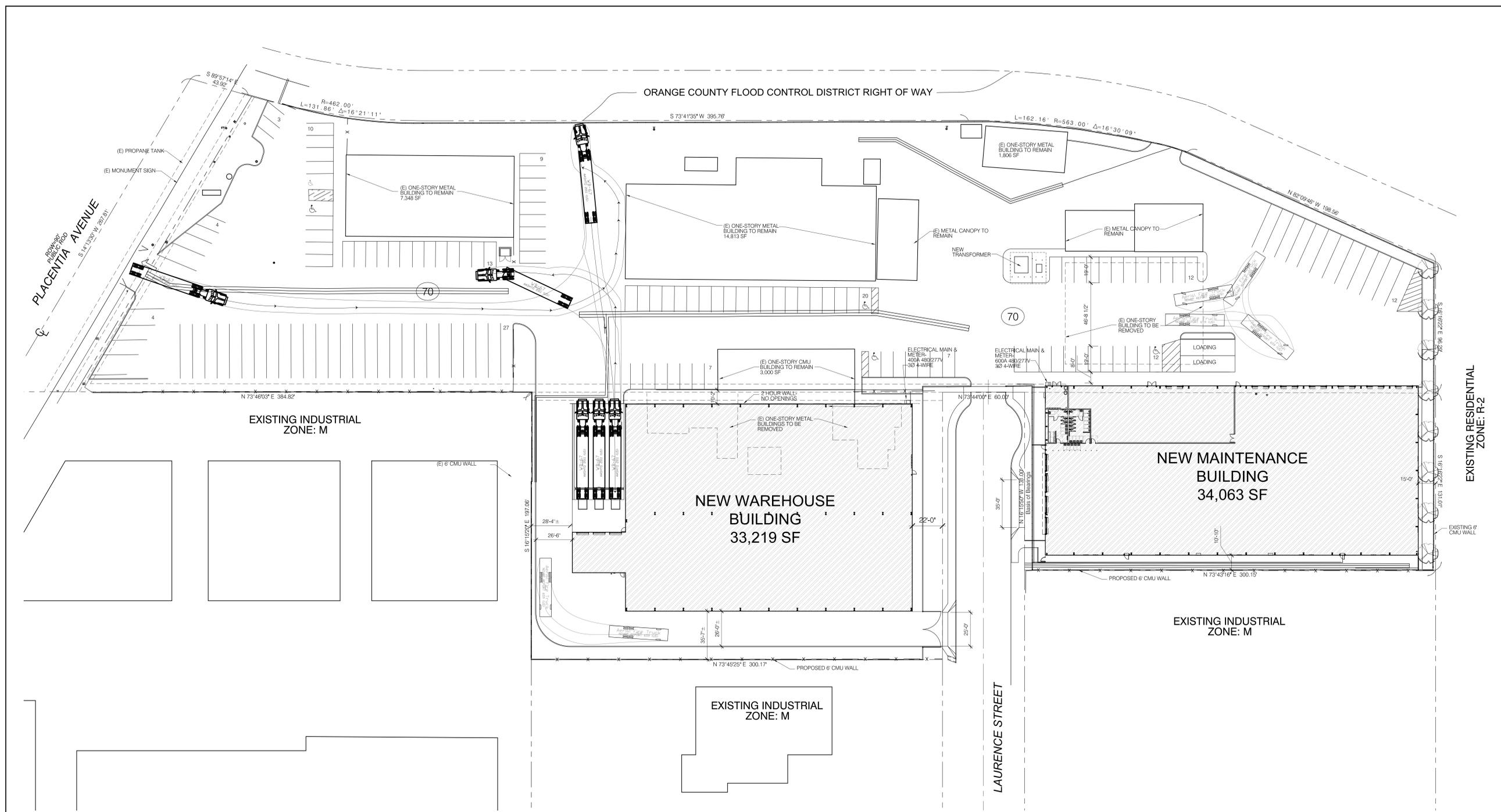
**NEW WAREHOUSE
& MAINTENANCE
BUILDINGS**
U-HAUL OF PLACENTIA
860 SOUTH PLACENTIA AVENUE
PLACENTIA, CA 92870

PRINT LOG/ REVISIONS:
DESCRIPTION DATE
PLANNING SUBMITTAL 7 JUNE 2022

PROJECT #: 20165.10
DRAWN BY: AJM
REVIEWED BY: GKP
SCALE: AS NOTED
FILE NAME:
SHEET TITLE:

**PHASE 1
SITE PLAN**

SHEET #:
SD1.0



ZONING

GENERAL PLAN: M-MANUFACTURING
ZONING: M-MANUFACTURING
SETBACKS:
FRONT: 1 FT FOR EA 2 FT OF HEIGHT (15' MIN)
SIDE & REAR (ADJ. TO RESIDENTIAL ZONE): 1 FT FOR EA 2 FT OF HEIGHT (10' MIN)
SIDE & REAR (ADJ. TO STREET): 1 FT FOR EA 2 FT OF HEIGHT (15' MIN)
MAXIMUM BUILDING HEIGHT: 5'
MAXIMUM BUILDING COVERAGE: %

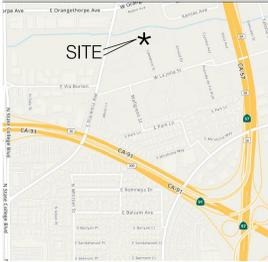
PROJECT SUMMARY

LAND AREA: 6.28 AC (273,557 SF ±)
BUILDING AREA (AFTER IMPROVEMENTS): 94,213 SF
EXISTING CANOPIES & ACCESSORY STRUCTURES: 3,934 SF
TOTAL BUILDING COVERAGE: 98,147 SF
BUILDING COVERAGE (F.A.R.): 35.9%

PARKING

REQUIRED PARKING:
2:1000 UP TO 20,000 SF: 40 STALLS
1:1000 OVER 20,000 SF: 79 STALLS
TOTAL PARKING REQUIRED: 119 STALLS
TOTAL PARKING PROVIDED: 140 STALLS

VICINITY



PROJECT DESCRIPTION

CONSTRUCTION OF NEW WAREHOUSE & MAINTENANCE BUILDINGS, AND ASSOCIATED SITE IMPROVEMENTS

LEGAL

OWNER: U-HAUL INTERNATIONAL, INC.
2727 N. CENTRAL AVENUE
PHOENIX, AZ 85004
ASSESSORS PARCEL NUMBER: 344-132-01
ASSIGNED ADDRESSES: 860 & 862 S. PLACENTIA AVENUE
PLACENTIA, CA 92870

XREF:
FILE PATH:



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PROJECT:

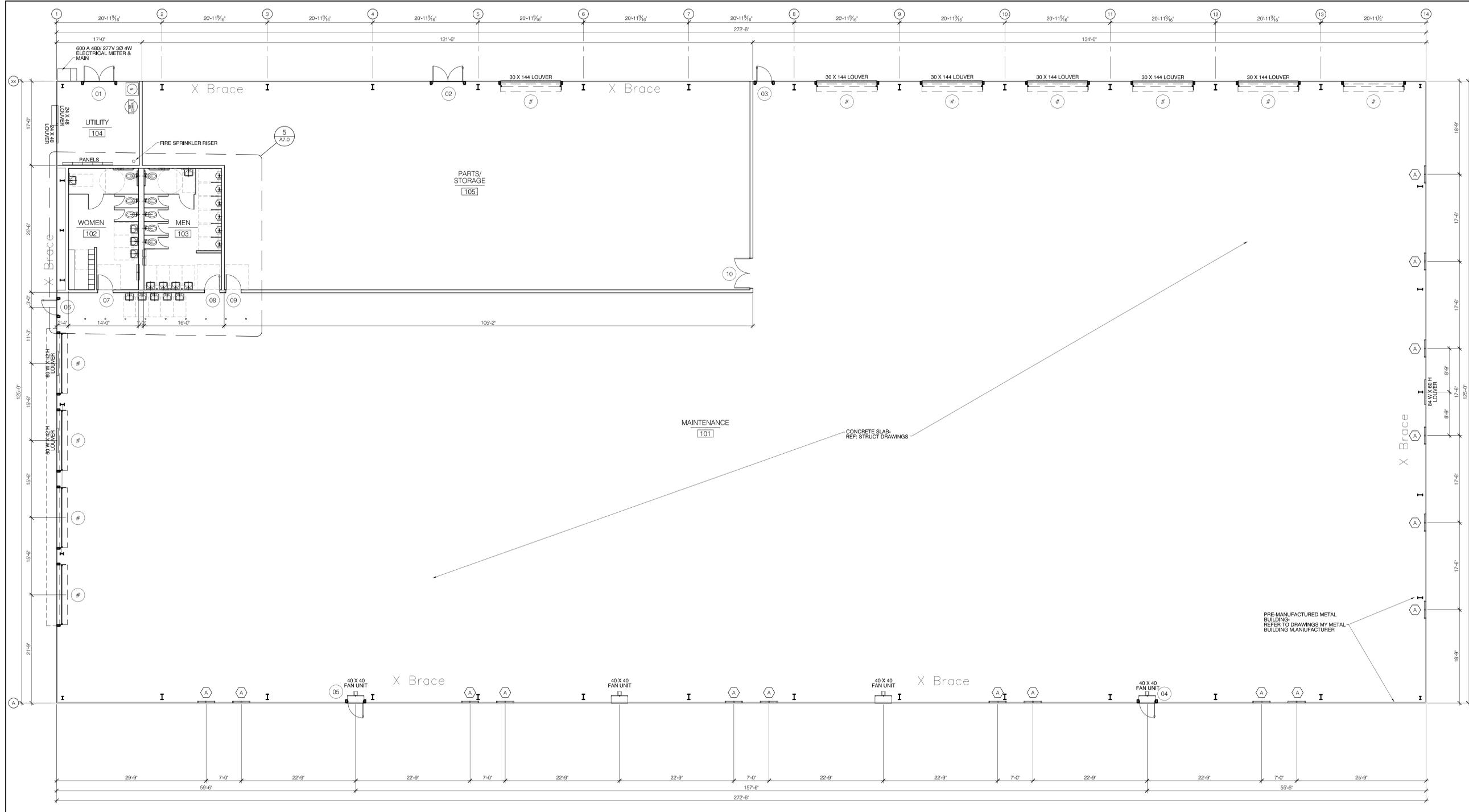
MAINTENANCE BUILDING
U-HAUL OF PLACENTIA
860 SOUTH PLACENTIA AVENUE
PLACENTIA, CA 92870

PRINT LOG/ REVISIONS:	
DESCRIPTION	DATE
PLANNING SUBMITTAL	7 JUNE 2022

PROJECT #:	20165.20
DRAWN BY:	AJM
REVIEWED BY:	GKP
SCALE:	AS NOTED
FILE NAME:	20164.10 A1.0 FP
SHEET TITLE:	

FLOOR PLAN

SHEET #:
A1.0



FIRE SPRINKLER & ALARM NOTES

- FIRE SPRINKLER SYSTEM SHALL BE DESIGN/ BUILD BY THE GENERAL CONTRACTORS LICENSED SUB-CONTRACTOR. GC IS RESPONSIBLE FOR ALL SUBMITTALS TO TENANT AND AGENCIES HAVING JURISDICTION (INCLUDING FEES).
- FIRE SPRINKLER SYSTEM SHALL BE A COMPLETE WET SPRINKLER FIRE PROTECTION SYSTEM PER CODE AND DESIGN. SPRINKLER PIPING SHALL BE INSTALLED TIGHT TO THE UNDERSIDE OF THE ROOF STRUCTURE. THE BOTTOM OF THE SPRINKLER SYSTEM SHALL BE LOCATED 14'-0" AFF.
- GC TO VERIFY THAT ADEQUATE PRESSURE AND FLOW ARE AVAILABLE. IF A FIRE PUMP IS REQUIRED, THE GC WILL BE RESPONSIBLE FOR COSTS AND INSTALLATION.
- PROVIDE AND INSTALL A COMPLETE, SUPERVISED, BATTERY BACKUP FIRE ALARM SYSTEM IN ACCORDANCE WITH ANY AND ALL CODES. THE FIRE ALARM SYSTEM SHALL CONFORM TO AND COMPLY WITH THE LATEST ADOPTED EDITION OF NFPA, AND LOCAL BUILDING AND FIRE CODES. THE FIRE ALARM SYSTEM, ITS COMPONENTS AND ITS INSTALLATION SHALL CONFORM TO UL, NEC, NFPA, IEA AND FM GLOBAL STANDARDS, AND CFC. PROVIDE A COMPLETE, SUPERVISED FIRE ALARM SYSTEM INCLUDING COMPONENTS. THE SPRINKLER SWITCHES SHALL BE CONNECTED TO THE FIRE ALARM SYSTEM BY THE FIRE ALARM INSTALLER.
- THE FIRE ALARM SYSTEM SHALL HAVE THE CAPABILITY OF BEING MONITORED BY AN OFF-SITE MONITORING SERVICE PROVIDER. THE FIRE ALARM INSTALLER SHALL CONTACT THE BDMANT'S REPRESENTATIVE TO ARRANGE FOR FINAL OFF-SITE MONITORING CONNECTION AND COMMENCE FIRE ALARM SYSTEM MONITORING. COORDINATE WORK WITH TENANT PROJECT MANAGER.
- CONTROL PANEL SHALL BE A SILENT KNIGHT SK-5808 OR BOSCH FPD-7024 FIRE ALARM CONTROL PANEL COMMUNICATING WITH THE FIRE ANNUNCIATION SYSTEM. FACP SHALL INCLUDE BUT NOT BE LIMITED TO KEYPAD, BATTERY BACKUP, PULL STATION, SMOKE DETECTOR, DUAL PHONE LINE CONNECTION AND A/C POWER CONNECTION TO ONE (1) 120 VOLT, 20 AMP, AND DEDICATED CIRCUIT.

WALL TYPE LEGEND

- 3 5/8" NON-BEARING METAL STUD PARTITION (U.N.O.)
REF: SECTIONS & DETAILS FOR ADDL INFORMATION

SYMBOLS LEGEND

- DOOR SYMBOL-
REF: DOOR SCHEDULE, SHT. A6.0
- STOREFRONT SYMBOL-
REF: STOREFRONT ELEVATIONS, SHT A4.2
- REQUIRED EXIT-
REF: DOOR SCHEDULE & TENANT IMPROVEMENT DRAWINGS
- TACTILE SIGNAGE-
REF: DET 5/ T2.1
- RD & OD ROOF DRAIN & OVERFLOW DRAIN-
CONNECT ROOF DRAIN TO SITE STORM SEWER (U.N.O.) REF: CIVIL DRWGS
DISCHARGE OVERFLOW DRAIN THRU WALL ABOVE GRADE (U.N.O.)
REF: PLUMBING DRAWINGS
- HB RECESSED HOSE BIBB-
REF: PLUMBING DRAWINGS
- KNOX KNOX BOX-
VERIFY REG'S W/ LOCAL FIRE MARSHALL
- (S) SANITARY OR WASTE SEWER- REF: PLUMBING & CIVIL DRWGS
- (W) WATER LINE- REF: PLUMBING & CIVIL DRWGS
- (G) NATURAL GAS LINE- REF: PLUMBING & CIVIL DRWGS

FLOOR PLAN NOTES

- DIMENSIONS-
A. TO METAL PANELS: DIMENSIONS ARE TO OUTSIDE FACE OF PANEL.
B. TO WOOD FRAMED WALLS: DIMENSIONS ARE TO FACE OF STUD OR OUTSIDE FACE OF PLYWOOD SHEATHING (WHERE OCCURS). INSET STUDS TO ALIGN FACE OF PLYWOOD SHEATHING WITH EDGE OF CONCRETE SLAB OR CURB.
REF: DETAILS.
C. TO INTERIOR, NON BEARING METAL STUD PARTITIONS: DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED "CLR".
D. INTERIOR DIMENSIONS NOTED AS "CLR" ARE MEASURED TO AND FROM FROM FINISH SURFACE.
- INTERIOR FACE OF ALL FRAMED WALLS IN UTILITY 106 TO BE FINISHED W/ 5/8" PLYWD FROM SLAB TO BOTTOM OF ROOF FRAMING.
APPLY PRIMER & TWO COATS OF LATEX PAINT (EGGSHELL FINISH)
PAINT COLOR: TO MATCH SHERWIN WILLIAMS SW7103 WHITETAIL.
- FURNISHINGS AND CABINETS, WHERE SHOWN, ARE INTENDED TO ASSIST IN THE LOCATION OF POWER & COMMUNICATION (BY GC). REFER TO CASEWORK AND FURNISH PLANS BY TENANT FOR MOUNTING, SEISMIC CONNECTIONS (IF REQUIRED) & ADDITIONAL REQUIREMENTS. SEPARATE PERMIT (BY TENANT) MAY BE REQUIRED. ALL FURNISHINGS & CABINETS PROVIDED BY OWNER.



FLOOR PLAN 1

XREF:
FILE PATH:



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OWNER:

JCM SERVICES INC
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PROJECT:

MAINTENANCE BUILDING
U-HAUL OF PLACENTIA
860 SOUTH PLACENTIA AVENUE
PLACENTIA, CA 92870

PRINT LOG/ REVISIONS:

DESCRIPTION	DATE
PLANNING SUBMITTAL	7 JUNE 2022

PROJECT #:	20165.20
DRAWN BY:	AIM
REVIEWED BY:	GKP
SCALE:	AS NOTED
FILE NAME:	20165.30 Maint A4.0 EE
SHEET TITLE:	

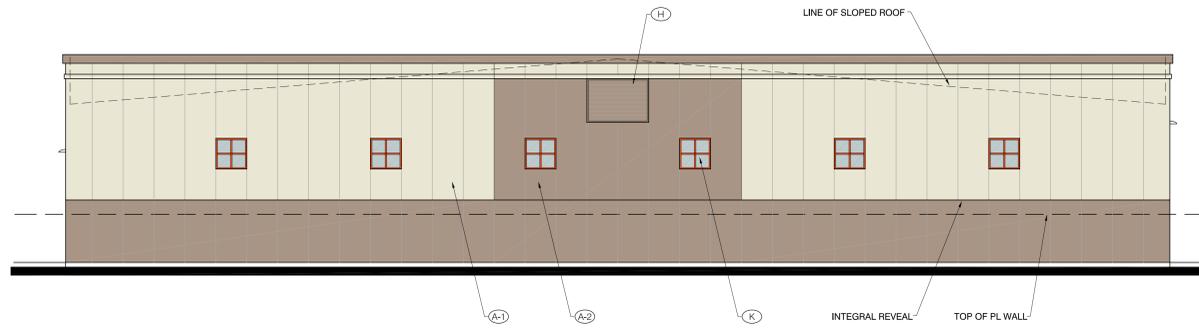
EXTERIOR ELEVATIONS

SHEET #:

A4.0

EXTERIOR MATERIALS & FINISHES

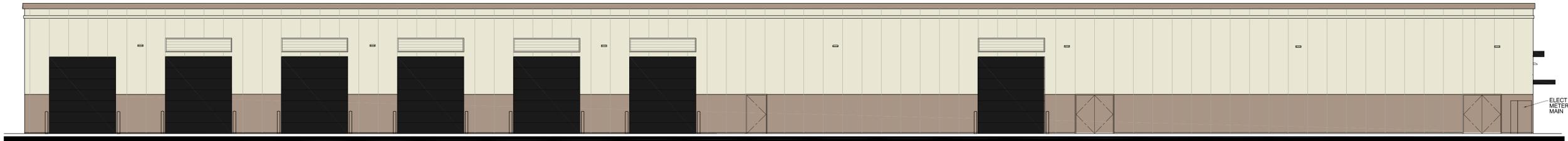
- (A1) CECO "SANTA FE" INSULATED METAL WALL PANEL SYSTEM- COLOR: ALMOND
- (A2) CECO "SANTA FE" INSULATED METAL WALL PANEL SYSTEM- COLOR: BROWNSTONE
- (B) NOT USED
- (C) NOT USED
- (D) INTEGRAL TRIM BY PANEL MFR- COLOR: BROWNSTONE
- (E) METAL OVERHEAD DOOR- COLOR: BLACK
- (F1) METAL DOORS & FRAMES- PAINTED- COLOR: TO MATCH ADJACENT SURFACE
- (F2) METAL DOORS & FRAMES- PAINTED- COLOR: BLACK
- (G) WALL PACK LIGHT FIXTURE- CREE XSPW LED WALL MOUNT- BLACK
- (H) VENT GRILL- COLOR: CUSTOM TO ADJACENT WALL PANELS
- (J) PREFABRICATED METAL BROW MFR: MAPES- COLOR: BLACK
- (K) STOREFRONT WINDOW ASSEMBLY- COLOR: BLACK- APPLY OPAQUE FILM TO GLASS



EAST ELEVATION

1/8" = 1'-0"
0 8'

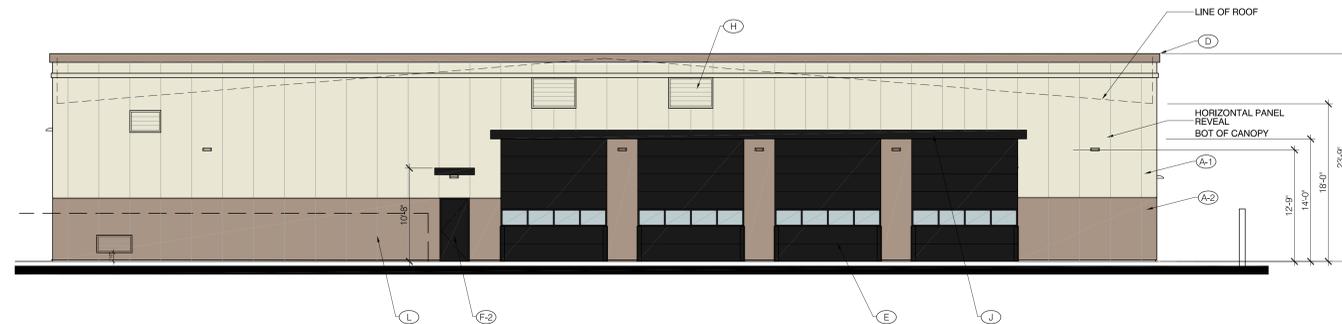
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NORTH ELEVATION

1/8" = 1'-0"
0 8'

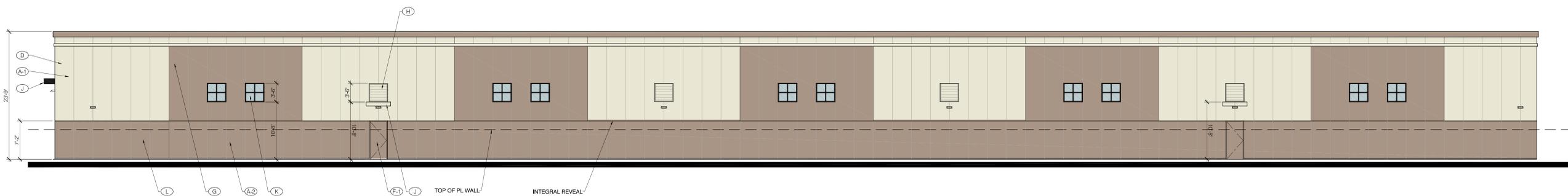
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WEST (LAWRENCE STREET) ELEVATION

1/8" = 1'-0"
0 8'

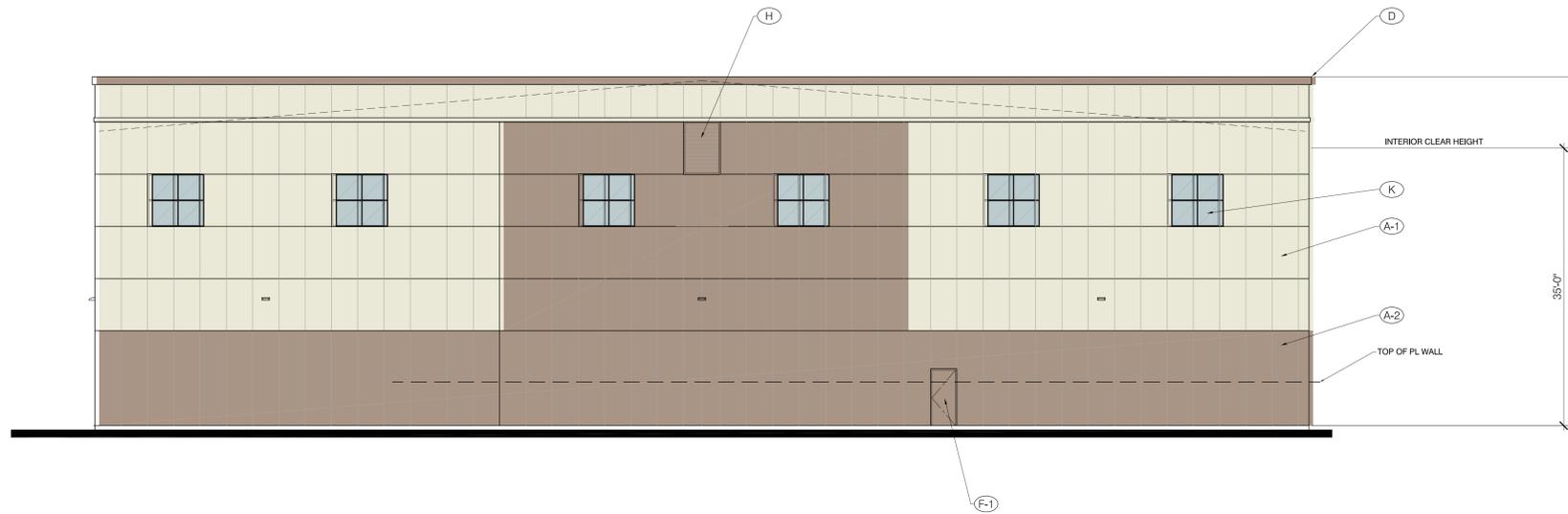
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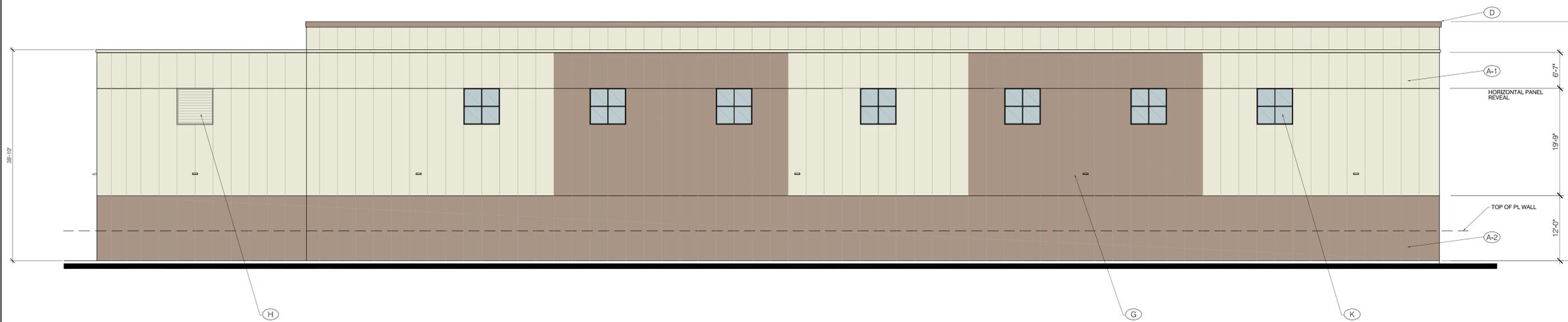
SOUTH ELEVATION

1/8" = 1'-0"
0 8'

4



EAST (LAWREANCE STREET) ELEVATION 1/8" = 1'-0" 1
0 8



SOUTH ELEVATION 1/8" = 1'-0" 2
0 8

EXTERIOR MATERIALS & FINISHES

- (A-1) CECO "SANTA FE" INSULATED METAL WALL PANEL SYSTEM-
COLOR: ALMOND
- (A-2) CECO "SANTA FE" INSULATED METAL WALL PANEL SYSTEM-
COLOR: BROWNSTONE
- (B) NOT USED
- (C) NOT USED
- (D) INTEGRAL TRIM BY PANEL MFR-
COLOR: BROWNSTONE
- (E) METAL OVERHEAD DOOR
COLOR: BLACK
- (F-1) METAL DOORS & FRAMES- PAINTED
COLOR: TO MATCH ADJACENT SURFACE
- (F-2) METAL DOORS & FRAMES- PAINTED
COLOR: BLACK
- (G) WALL PACK LIGHT FIXTURE-
CREE XSPW LED WALL MOUNT- BLACK
- (H) VENT GRILL
COLOR: CUSTOM TO ADJACENT WALL PANELS
- (J) PREFABRICATED METAL BROW
MFR: MAPES
COLOR: BLACK
- (K) STOREFRONT WINDOW ASSEMBLY-
COLOR: BLACK
APPLY OPAQUE FILM TO GLASS



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CONSULTANT:

CLIENT:



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PROJECT:

**WAREHOUSE
BUILDING
U-HAUL OF PLACENTIA**
860 SOUTH PLACENTIA AVENUE
PLACENTIA, CA 92870

PRINT LOG/ REVISIONS:

DESCRIPTION	DATE
PLANNING SUBMITTAL	7 JUN 2022

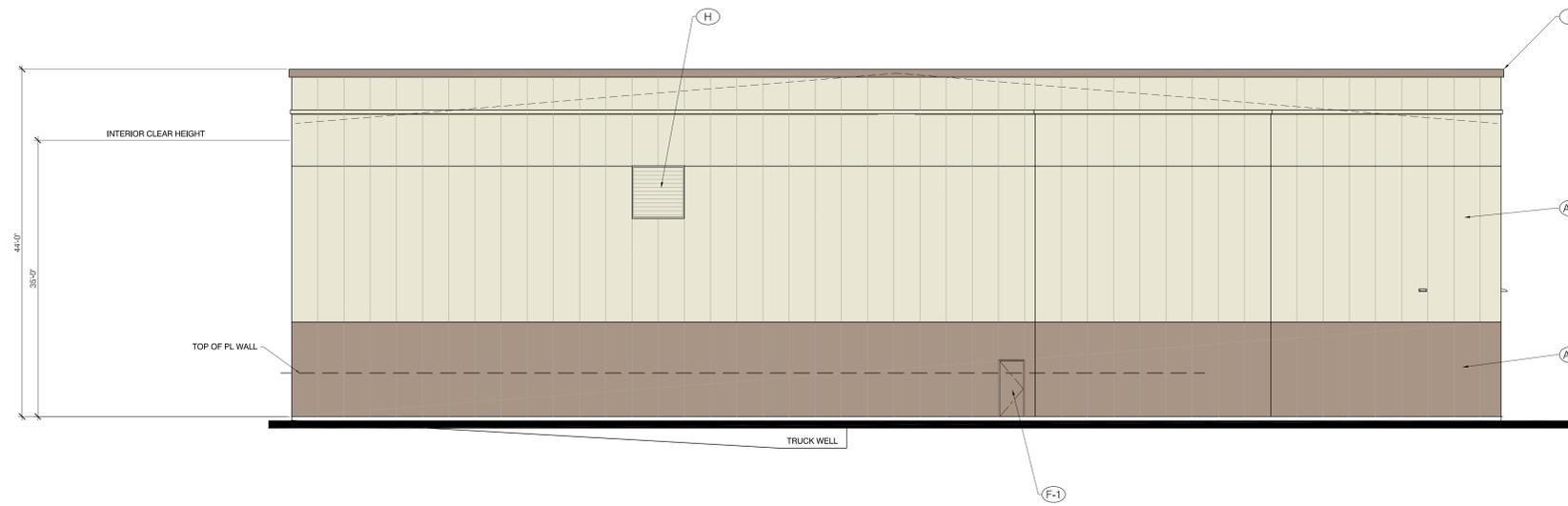
PROJECT #: 20165.20
DRAWN BY: AJM
REVIEWED BY: GKP
SCALE: AS NOTED
FILE NAME: 20165.20 Storage A1.0 FP

SHEET TITLE:

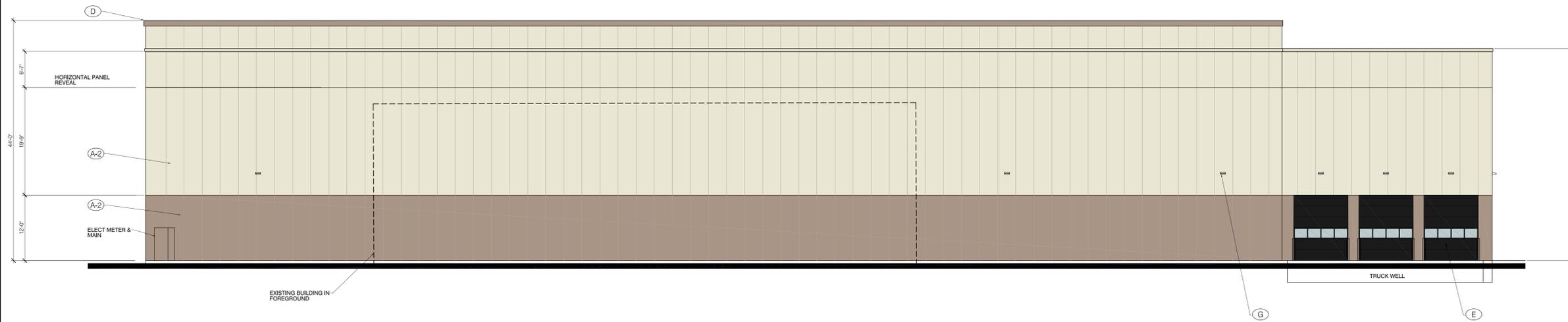
**EXTERIOR
ELEVATIONS**

SHEET #:

A4.0



WEST ELEVATION $\frac{1/8" = 1'-0"}{0' = 8"} 1$



NORTH ELEVATION $\frac{1/8" = 1'-0"}{0' = 8"} 2$

EXTERIOR MATERIALS & FINISHES

- (A-1) CECO 'SANTA FE' INSULATED METAL WALL PANEL SYSTEM- COLOR: ALMOND
- (A-2) CECO 'SANTA FE' INSULATED METAL WALL PANEL SYSTEM- COLOR: BROWNSTONE
- (B) NOT USED
- (C) NOT USED
- (D) INTEGRAL TRIM BY PANEL MFR- COLOR: BROWNSTONE
- (E) METAL OVERHEAD DOOR COLOR: BLACK
- (F-1) METAL DOORS & FRAMES- PAINTED COLOR: TO MATCH ADJACENT SURFACE
- (F-2) METAL DOORS & FRAMES- PAINTED COLOR: BLACK
- (G) WALL PACK LIGHT FIXTURE- CREE XSWLED WALL MOUNT- BLACK
- (H) VENT GRILL COLOR: CUSTOM TO ADJACENT WALL PANELS
- (J) PREFABRICATED METAL BROW MFR: MAPES COLOR: BLACK
- (K) STOREFRONT WINDOW ASSEMBLY- COLOR: BLACK APPLY OPAQUE FILM TO GLASS



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PROJECT:

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PLACENTIA, CA 92870

PRINT LOG/ REVISIONS:

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PLANNING SUBMITTAL	7 JUN 2022

PROJECT #: 20165.20
DRAWN BY: AJM
REVIEWED BY: GKP
SCALE: AS NOTED
FILE NAME: 20165.20 Storage A1.0 FP

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET #:

A4.1

TREE LEGEND				
SYM.	BOTANICAL NAME COMMON NAME	W ¹	QTY.	SIZE
TWOCOLS: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (THIS PROJECT IS IN REGION 3): VL=VERY LOW, L=LOW, M=MODERATE, H=HIGH				
EXISTING TREES:				
	EXISTING TREE TO REMAIN AND BE VERIFIED	-	2	V.I.F.
PROPOSED TREES:				
	SCHINUS MOLLE CALIFORNIA PEPPER TREE	VL	1	24" BOX
	PINUS HALEPENSIS ALEPPO PINE	L	8	24" BOX
	TRISTANIA CONFERTA BRISBANE BOX	M		

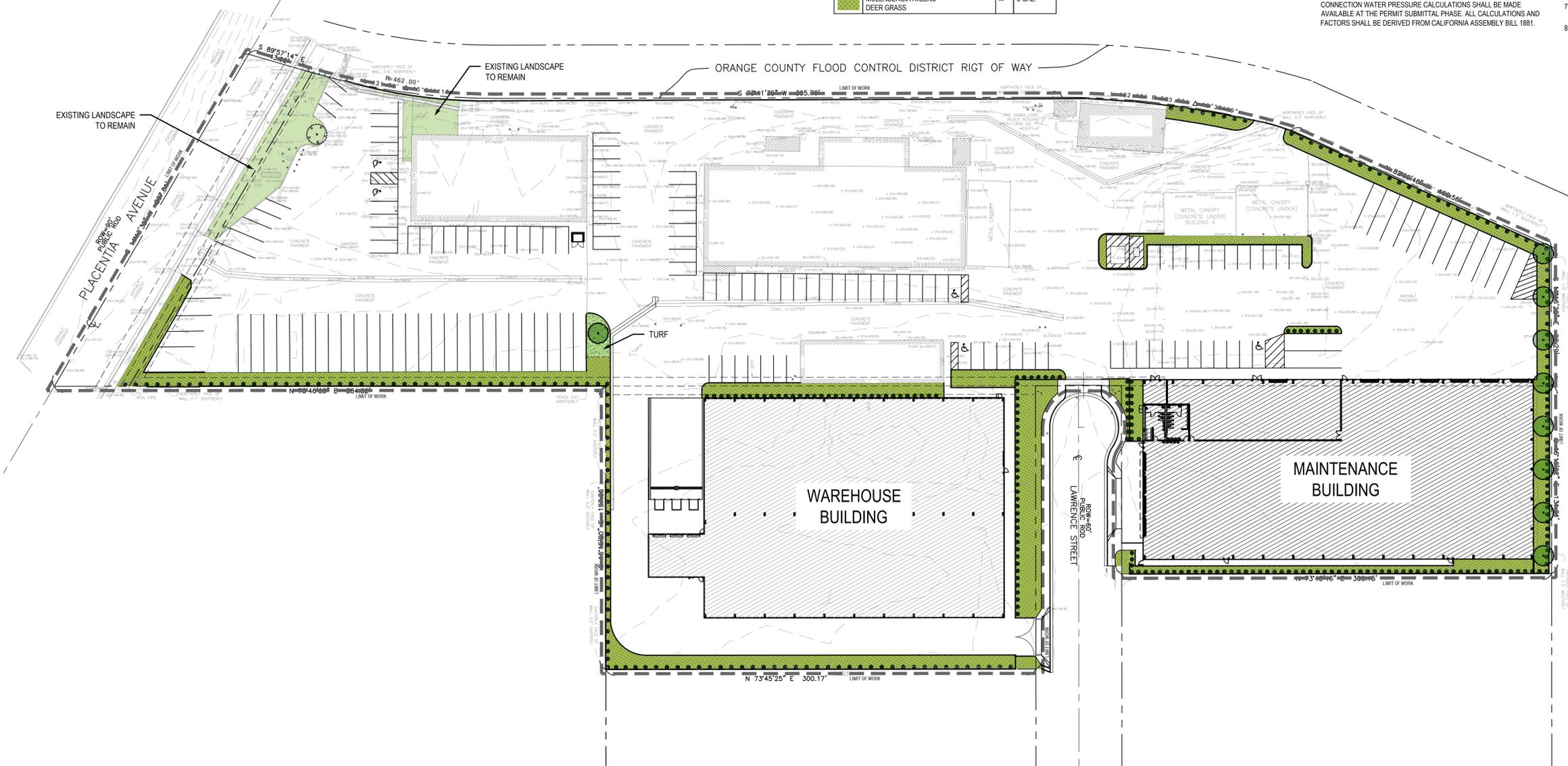
CONCEPTUAL PLANT LIST				
SYM.	BOTANICAL NAME COMMON NAME	W ¹	QTY.	SIZE
TWOCOLS: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (THIS PROJECT IS IN REGION 3): VL=VERY LOW, L=LOW, M=MODERATE, H=HIGH				
SCREENING SHRUBS:				
	LIGUSTRUM JAPONICUM TEXAS PRIVET	M	15 GAL.	
	LAURUS NOBILIS 'SARATOGA' SWEET BAY	L	15 GAL.	
	PHOTINA X FRASERI FRASER'S PHOTINIA	M	15 GAL.	
SHRUBS AND GROUNDCOVERS:				
	ACACIA REDOLENS 'LOW BOY' LOW BOY ACACIA	L	5 GAL.	
	AGAVE AMERICANA 'VARIEGATA' VARIEGATED CENTURY PLANT	L	15 GAL.	
	ARCTOSTAPHYLOS 'LA PANZA' GREY MANZANITA	L	5 GAL.	
	BACCHARIS PILULARIS 'PIGEON POINT' PIGEON POINT COYOTE BUSH	L	5 GAL.	
	BOUGAINVILLEA 'LA JOLLA' BOUGAINVILLEA	L	5 GAL.	
	HETEROMELES ARBUTIFOLIA TOYON	L	15 GAL.	
	MULENBERGIA RIGENS DEER GRASS	M	5 GAL.	

CONCEPTUAL PLANT LIST - CONTINUED				
SYM.	BOTANICAL NAME COMMON NAME	W ¹	QTY.	SIZE
TWOCOLS: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (THIS PROJECT IS IN REGION 3): VL=VERY LOW, L=LOW, M=MODERATE, H=HIGH				
EXISTING PLANTING:				
	EXISTING PLANTING TO REMAIN AND BE VERIFIED	-	4,158 SF	
TURF:				
	TURF	-	430 SF	

LANDSCAPE AREA		
ITEM	AMOUNT	PERCENT
TOTAL SITE AREA IN SQUARE FEET	273,643	
LANDSCAPE AREA IN SQUARE FEET	22,552	
PERCENT LANDSCAPE AREA		8.24%

- IRRIGATION NOTES**
- ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW WATER EFFICIENCY ORDINANCE AB 1881, THE CITY OF PLACENTIA GUIDELINES, AND ORANGE COUNTY GUIDELINES.
 - AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY AUTOMATIC CONTROL VALVES, CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS.
 - THE IRRIGATION SYSTEM SHALL UTILIZE DRIP IRRIGATION, HIGH EFFICIENCY SPRAY HEADS, AND/OR BUBBLERS. THE SYSTEM CONTROLS SHALL BE SELF ADJUSTING VIA ON SITE WEATHER DATA AND HISTORICAL WEATHER DATA. THE SYSTEM SHALL BE DESIGNED FOR DEDICATED HYDROZONES BASED ON PLANT WATER REQUIREMENTS AND IRRIGATION EFFICIENCY.
 - THE DESIGN OF THE IRRIGATION SYSTEM SHALL INCLUDE A WATER BUDGET, A DEDICATED WATER METER, A WEATHER BASED CONTROLLER, AND BE DESIGNED BY AN EPA WATERSENSE PARTNER.
 - THE IRRIGATION PRODUCTS SELECTED SHALL COME FROM COMMERCIAL GRADE IRRIGATION MANUFACTURING COMPANIES WITH OUTSTANDING TECHNICAL SUPPORT, INCLUDING RAINBIRD AND HUNTER.
 - THE IRRIGATION COMPONENTS TOGETHER SHALL PROVIDE AN IRRIGATION EFFICIENCY RATING EQUAL TO OR GREATER THAN 80%.
 - ESTIMATED WATER USAGE CALCULATIONS, SCHEDULES, AND POINT OF CONNECTION WATER PRESSURE CALCULATIONS SHALL BE MADE AVAILABLE AT THE PERMIT SUBMITTAL PHASE. ALL CALCULATIONS AND FACTORS SHALL BE DERIVED FROM CALIFORNIA ASSEMBLY BILL 1881.

- GENERAL NOTE**
- THE IMAGES, ILLUSTRATIONS, DRAWINGS, AND STATEMENTS ("INFORMATION") CONTAINED HEREIN ARE CONCEPTUAL ONLY AND BASED UPON A PRELIMINARY REVIEW OF ENTITLEMENT REQUIREMENTS. THIS IS SUBJECT TO CHANGE DURING THE DESIGN REVIEW PROCESS. THE INFORMATION IS PROVIDED MERELY TO ASSIST IN EXPLORING HOW THE SITE MAY EVENTUALLY BE DEVELOPED. CONSEQUENTLY, THERE IS NO GUARANTEE THAT THE IMPROVEMENTS DEPICTED WILL BE BUILT, OR IF BUILT, WILL BE OF THE SAME TYPE, MATERIAL, SIZE, DENSITY, APPEARANCE, OR USE AS PRESENTED.
- PLANTING NOTES**
- ALL LANDSCAPE PLANTING IMPROVEMENTS SHALL FOLLOW THE CITY OF PLACENTIA GUIDELINES, AND ORANGE COUNTY GUIDELINES.
 - THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, WATER EFFICIENCY, AND MAINTENANCE CONSIDERATIONS.
 - ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM A SAMPLE TAKEN FROM THE PROJECT SITE.
 - GROUNDCOVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUNOFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE, AND REDUCE WEEP GROWTH.
 - TREES AND SHRUBS SHALL BE ALLOWED TO GROW TO THEIR NATURAL FORMS.
 - FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
 - ALL REQUIRED LANDSCAPE PLANTING AREAS SHALL BE MAINTAINED BY OWNER PER THE CITY'S REQUIREMENTS.
 - THE LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, AND STORM DRAIN EASEMENTS AND PLACE PLANTINGS ACCORDINGLY.



SHEET NOTES:

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LandscapeArchitecture
333 El Camino Road
Studio 200
Tustin, California 92780
www.LandStudio360.com
T: 714.202.0094

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REAL ESTATE COMPANY
CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-8502

SITE ADDRESS:
U-HAUL OF PLACENTIA
860 S. PLACENTIA AVE.
PLACENTIA, CA 92870

SHEET CONTENTS:
PRELIMINARY
LANDSCAPE PLAN

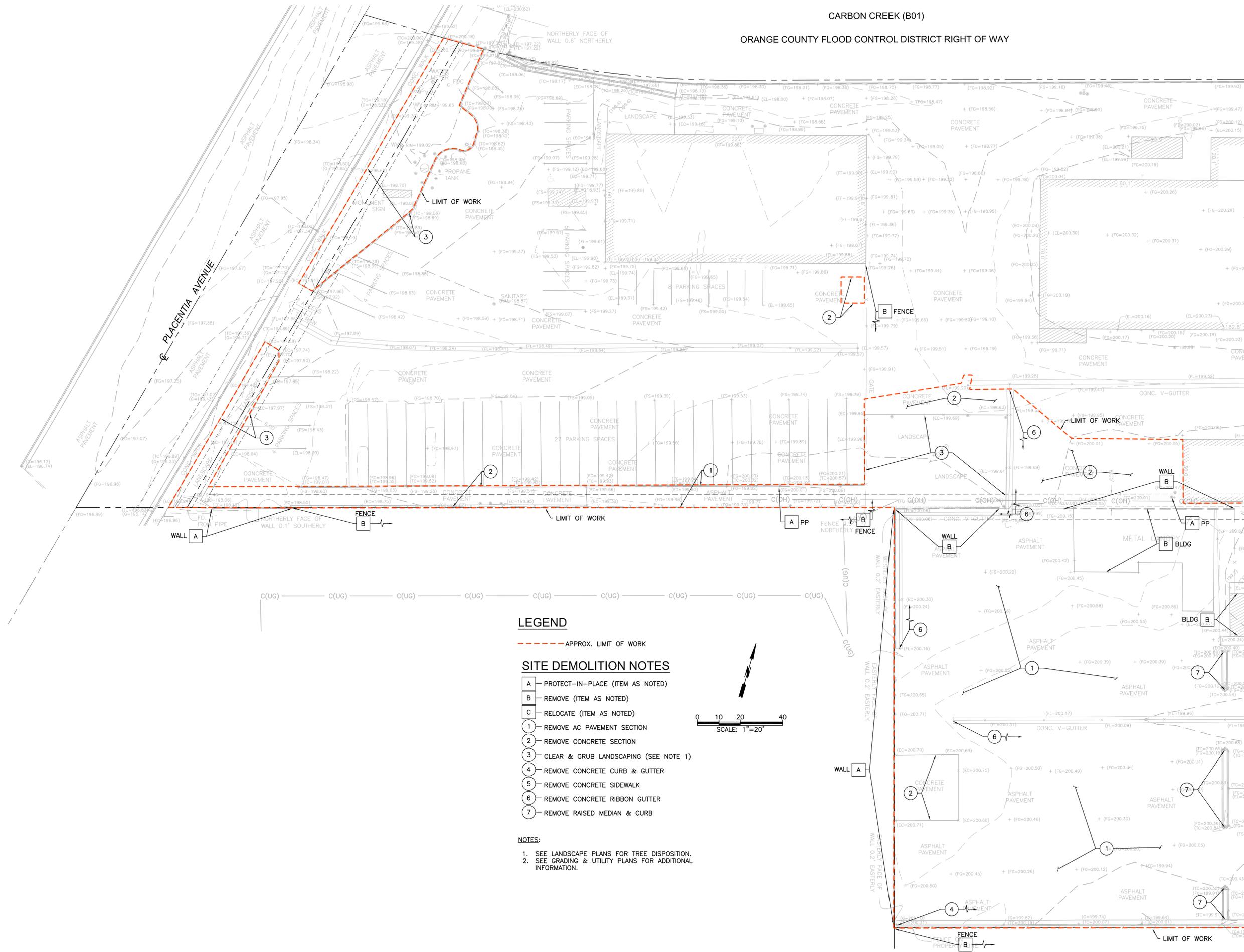
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CARBON CREEK (B01)
ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY



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DEMOLITION PLAN

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DEMO.DWG

C0.1

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Matchline - See sheet C0.2

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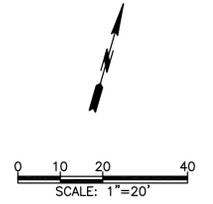
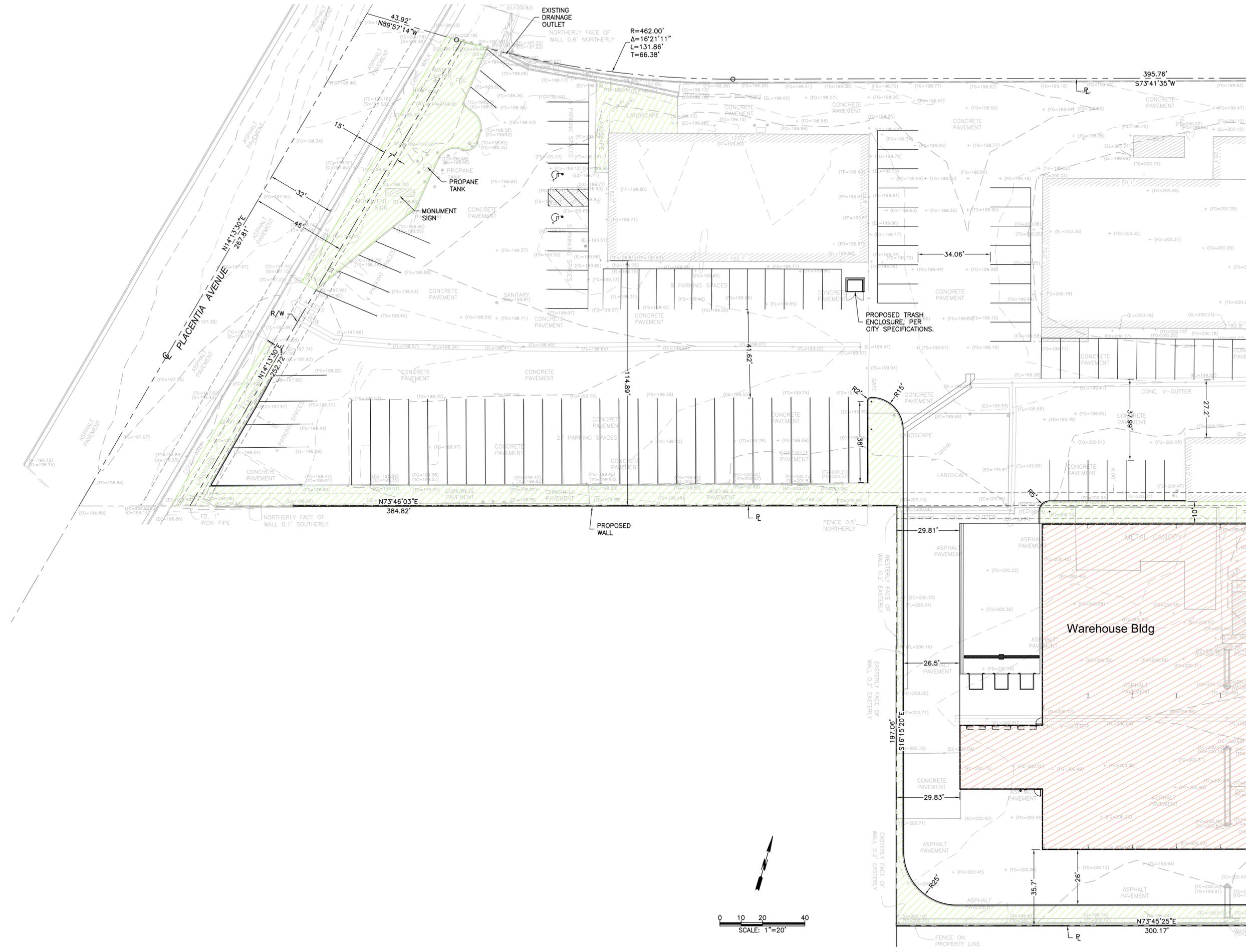
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Matchline - See sheet C1.2



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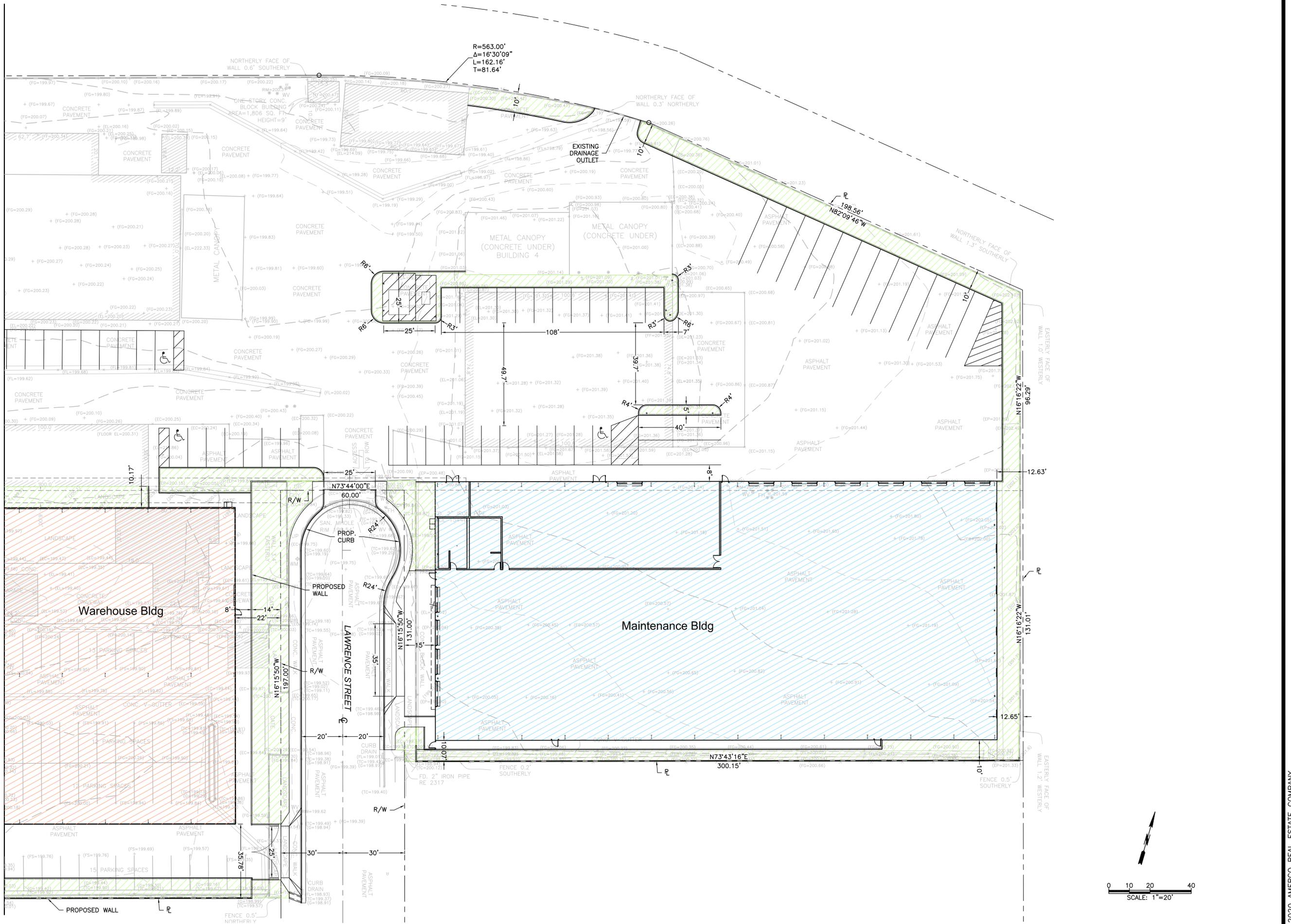
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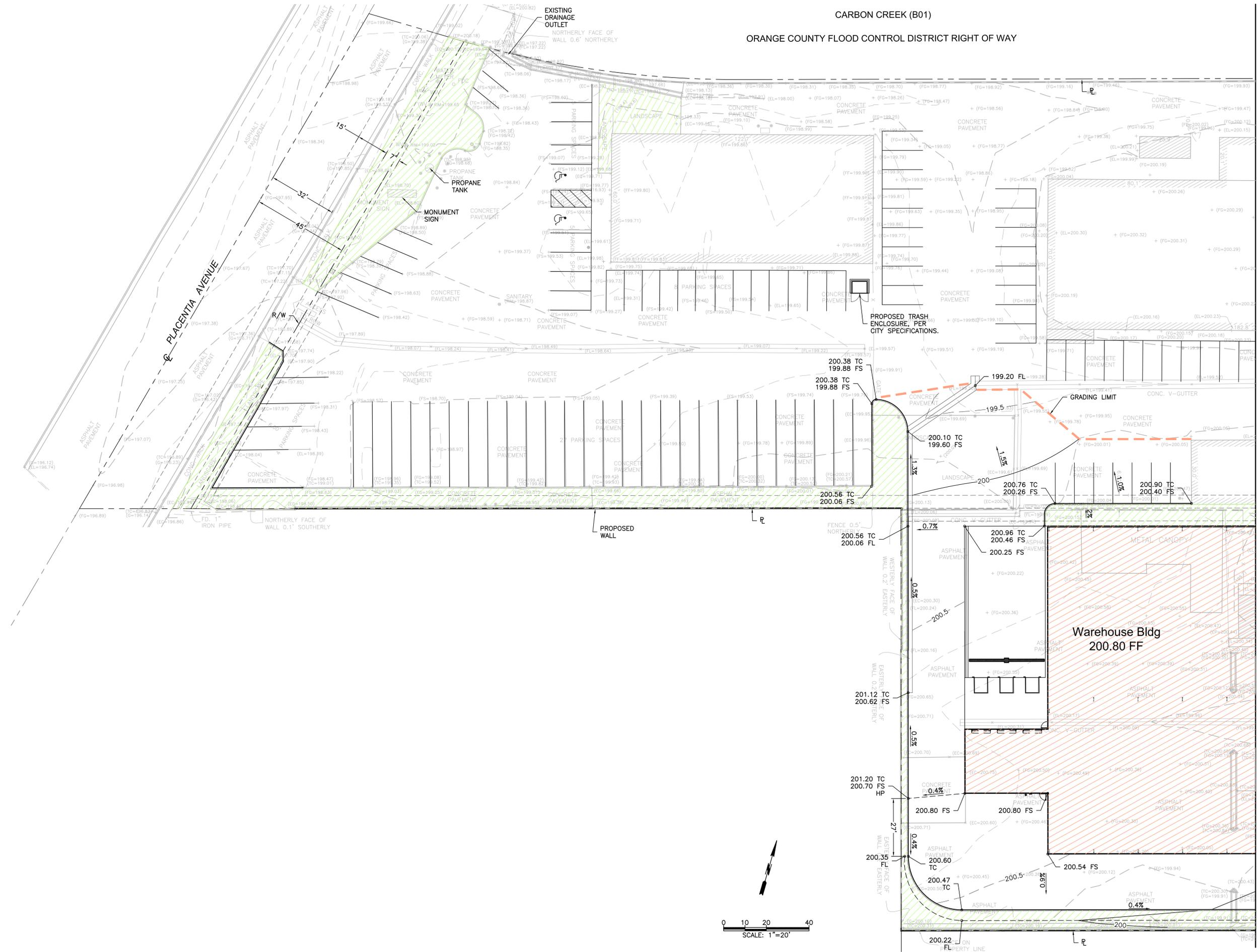
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Matchline - See sheet C1.1



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CARBON CREEK (B01)
ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY



Matchline - See sheet C2.2

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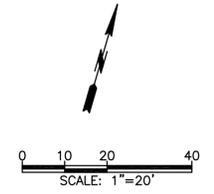
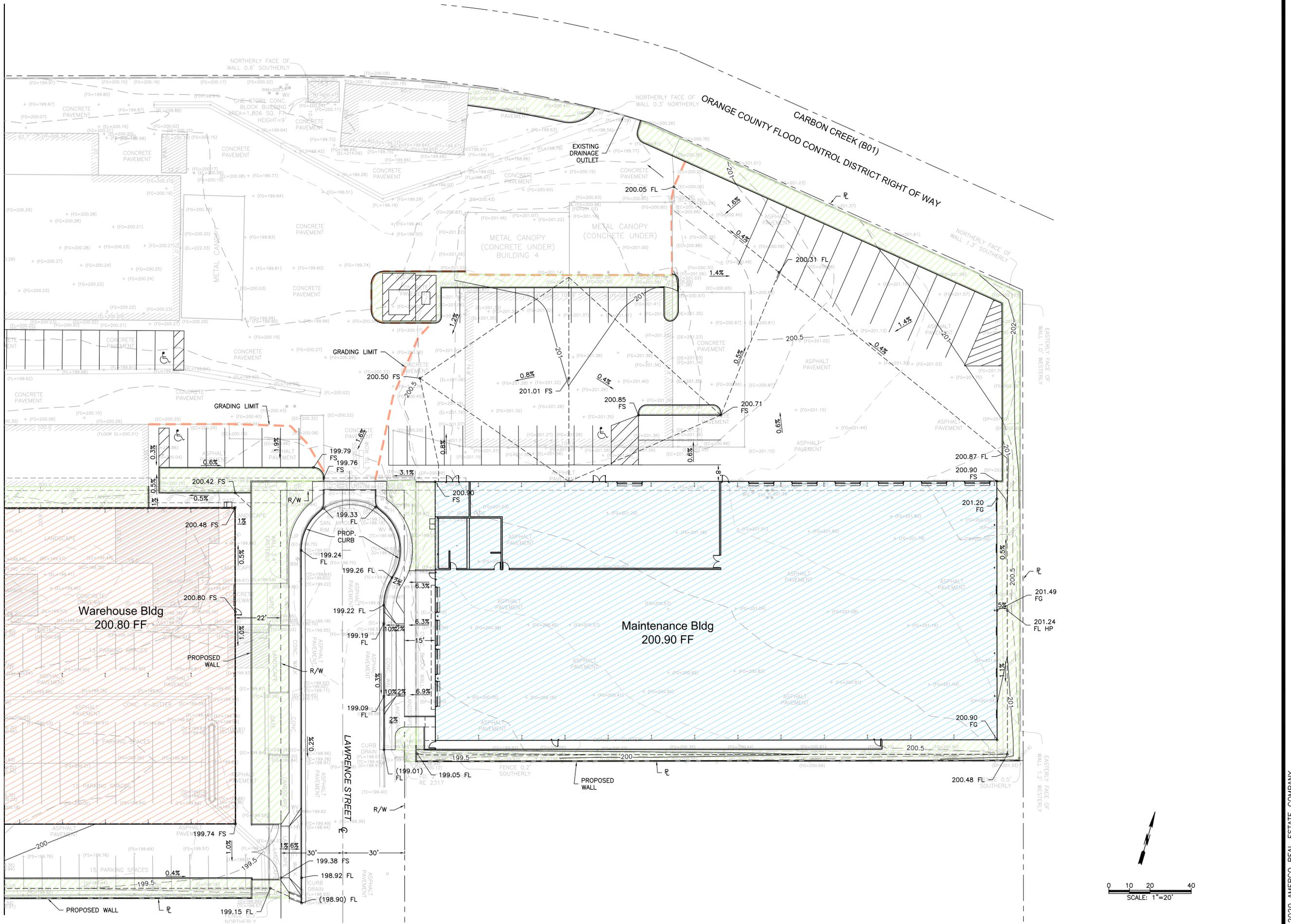
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Matchline - See sheet C2.1



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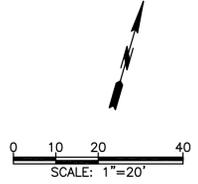
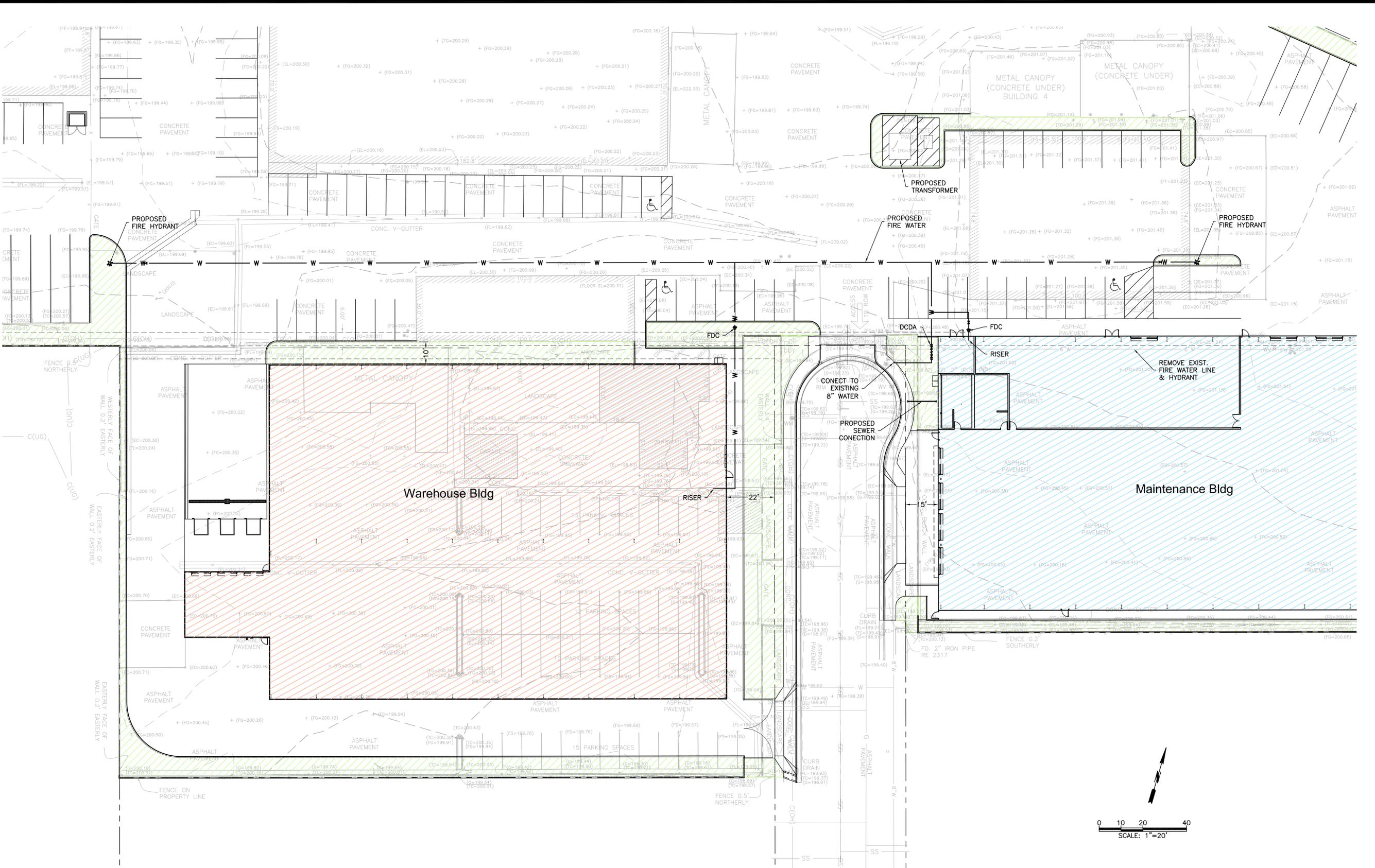
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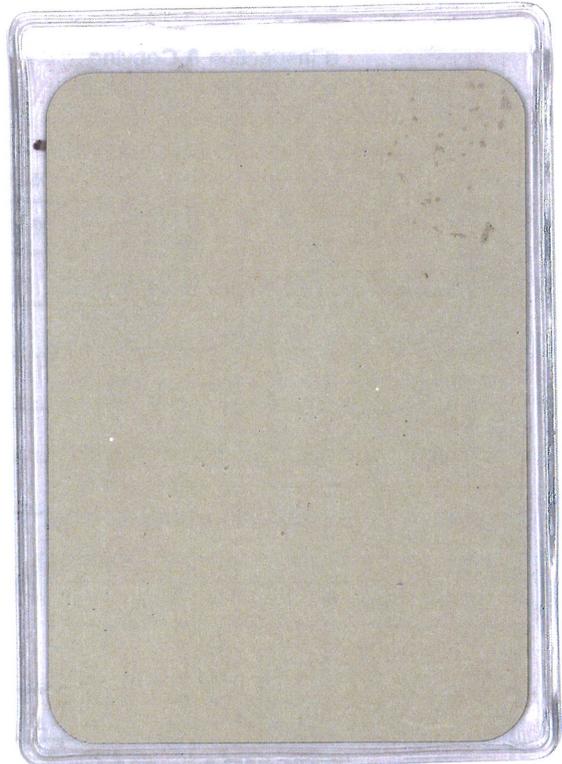
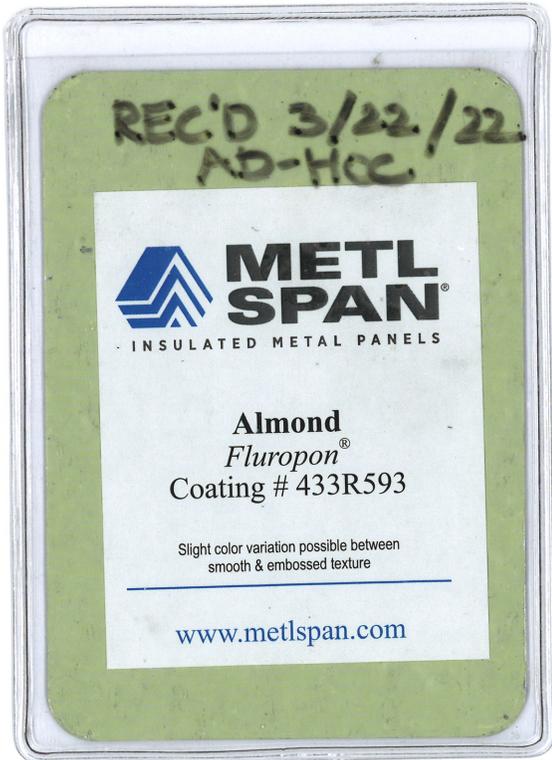
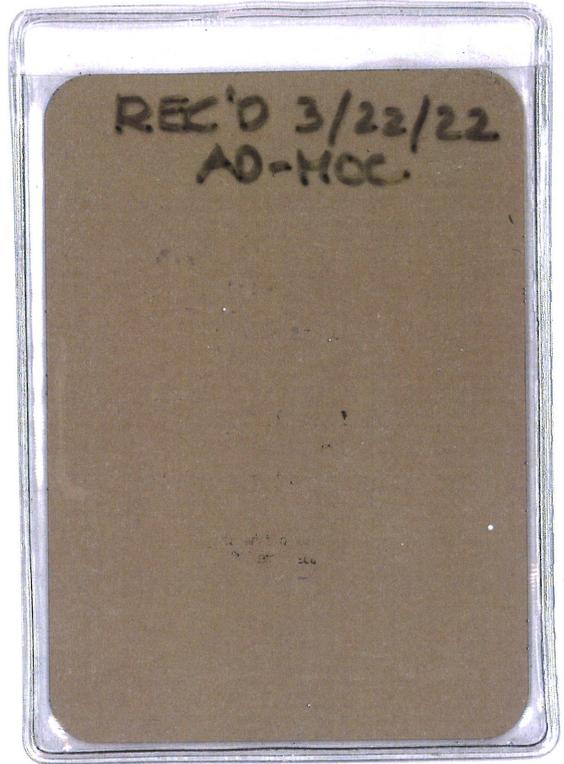
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UTILITY PLAN

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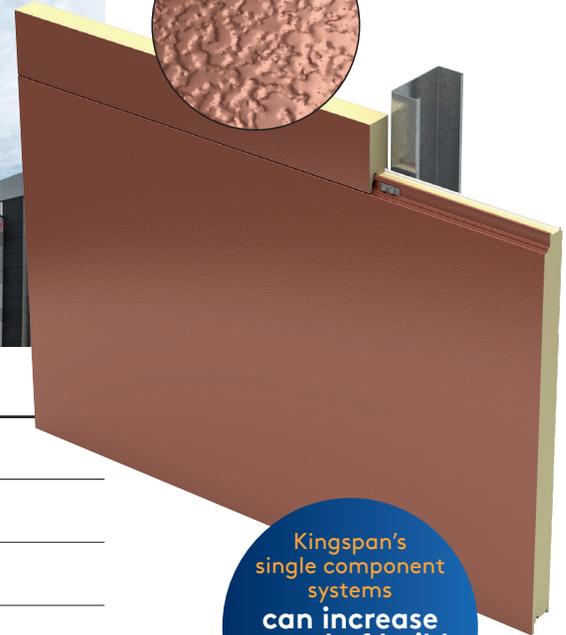
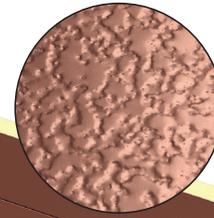


KS Azteco™ Data Sheet

Insulated Wall Panel System



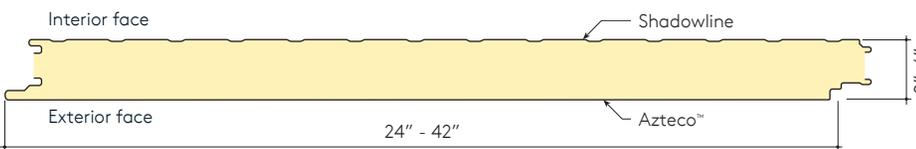
Azteco™ embossing



Kingspan's
single component
systems
can increase
speed of build
by up to
50%

Product Specification

Profile:	Exterior: Flat Interior: Shadowline
Embossing:	Exterior: Azteco™ Interior: Stucco or non-embossed
Gauge:	Exterior: 26, 24, 22 ga Interior: 26, 24, 22 ga
Width:	24", 30", 36", 42"
Thickness:	2", 2.5", 3", 4", 5", 6"
Length:	8' - 53'
Reveal option:	Vertical: 1/8" Horizontal: 1/8" or 3/8"
Orientation:	Vertical or horizontal
Post fabrication (optional):	Trimless ends (Manufacturing limitations apply. Please contact us for detailed information)
R-value:	≈ 7.2 per inch per ASTM C518 @ 75°F mean temperature ≈ 8.25 per inch per ASTM C518 @ 35°F mean temperature



Applications

KS Azteco™ pre-engineered wall systems deliver an attractive and affordable panel choice. KS Azteco™ panels, horizontally or vertically applied, use a patented double seal integrated joint. Standard reveals are 1/8" for vertical applications, and 3/8" for horizontal applications.

KS Azteco™ panels are suitable for new and retrofit applications across the cold storage, commercial and industrial market sectors.

Design Features

The foamed-in-place manufacturing process produces superior panels of consistent high quality that arrive to site ready for quick and easy installation, saving up to 50% in on-site construction time.

Panels are available with optional factory-caulked side joints to save erection labor (not available for cold storage applications).

Customer Options

Kingspan offers a full spectrum of vibrant colors for every color scheme. The high performance coatings provide long-life protection, color and gloss retention. Custom color matching is available to meet individual building designs and creative freedom.



KS Azteco™ Data Sheet

Insulated Wall Panel System

Performance Testing and Approvals

Kingspan insulated panels meet specific building envelope performance criteria and requirements stipulated by US and Canadian building codes.

Test	Procedure	Results			
Fire	FM 4880	Passed: Class 1 Fire Rating of Building Panels or Interior Finish Materials*			
	ASTM E84	Flame Spread: 25 or Less / Smoke Developed: 450 or Less			
	CAN/ULC-S101	Fire Endurance Tests: 10 min (Fastener conditions vary depending on product thickness. Please contact technical.NA@kingspanpanels.com for detailed information.)			
	CAN/ULC-S102	Flame Spread: 35 / Smoke Developed: 120 for panel insulation core			
	CAN/ULC-S127	Flame Spread: <500 for foam core			
	CAN/ULC-S138	Passed: Fire growth of foamed plastic insulated building panels in a full scale room configuration			
	CAN/ULC-S134	Passed: Standard method of test for fire of exterior wall assemblies			
	NFPA 259	Tested for potential heat of building materials			
	NFPA 268	Passed: Standard test method for determining ignitability of exterior wall assemblies using a radiant heat energy source			
	NFPA 285	Passed: Standard Fire Test Method for Evaluation of Fire Propagation Characteristics of Exterior Non-Load-Bearing Wall Assemblies Containing Combustible Components			
Structural	FM 4881	Passed: For complete wind pressure ratings please contact Kingspan Technical Services or refer to ApprovalGuide.com*			
	ASTM E72	Vacuum chamber tested. Panel load / span and deflection tables are available			
Thermal Transmission	ASTM C518	Thermal Performance at 75°F mean temperature		Thermal Performance at 35°F mean temperature	
		Thickness	R-Value	Thickness	R-Value
		2	14.4	2	16
		2.5	18.0	2.5	20
		3	21.6	3	24
		4	28.8	4	32
		5	36.0	5	40
6	43.2	6	48		
Air Infiltration	ASTM E283	0.003 CFM/ft ² of Panel Area at 6.24 psf			
Water	ASTM E331	No uncontrolled water penetration at 20 psf differential pressure			
	AAMA 501.1	Dynamic water pressure testing – no sign of water leakage at 15 psf			
Bond Strength	ASTM D1623	Panels tested for tensile bond strength of metal to foam			
Skin Delamination		No skin delamination with direct pull off pressure up to 1188 psf			

*Thickness: 2"-6", Width: 24"-42", Min. panel length: 8', Min. gauge: Exterior 26 ga, Interior 26 ga.

For FM compliance, systems must be installed in accordance with FM installation specifications as detailed on ApprovalGuide.com.

Please contact technical.NA@kingspanpanels.com for detailed information or refer to ApprovalGuide.com.



Contact Details

DeLand, FL: 877-638-3266

Modesto, CA: 800-377-5110

www.kingspanpanels.us

Caledon, ON: 866-442-3594

Langley, BC: 877-937-6562

www.kingspanpanels.ca

For the product offering in other markets please contact your local sales representative or visit www.kingspanpanels.com

To ensure you are viewing the most recent and accurate product information, please visit www.kingspanpanels.com

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METAL PANEL APPLICATIONS

Note: Additional support columns and pipe hangers may be required for larger canopies and/or higher wind loads.

STEP 1: Install Vertical Support Columns

Note: Install vertical support columns to girt framing. (Girt spacing max 6'0")

1.a—Center canopy over door. If necessary, shift canopy toward door knob so that pipe hangers penetrate in the high or low areas of panel. When the canopy is positioned at the desired location match drill 11/16" holes through pre-drilled canopy angle holes. (These holes are aligned with the center of the zee rafter holes used for the pipe hangers at the wall attachment angle of the canopy.)

1.b—Align centerline of support columns with 11/16" holes drilled in step 1.a centerline of zee rafters on canopy between girts. Make sure support columns are perpendicular to top and bottom girt. Attach mounting clips to each end of telescoping support columns with (4) #12 SDS per clip. Slide adjust columns to proper length in order to fit between girts (6' maximum). Secure columns to girts with (4) #12 SDS per clip. Install (2) #12 SDS in the web and (1) in each flange at top and bottom of overlap in channels.

STEP 2: Install Lower Support Bolts

2.a—Match drill through previously drilled holes in wall panel through centerline of support columns.

2.b—With canopy repositioned and matching holes in canopy and wall panel aligned, attach canopy to wall panel and support column using 5/8" x 7" bolt with washer. (If hole penetrates the high rib of the panel, use PVC spacer between wall panel and support column.) **Note:** Before tightening bolts, apply sealant at penetration points.

STEP 3: Attach Pipe Hangers to Canopy

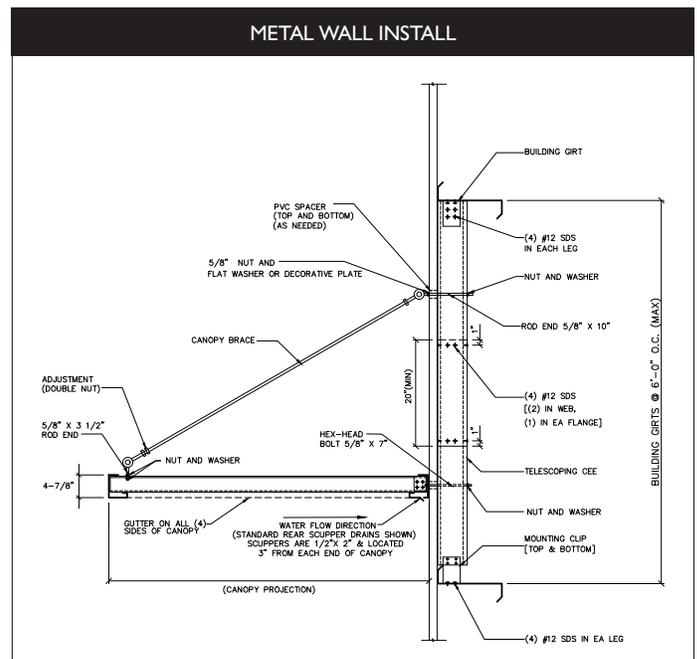
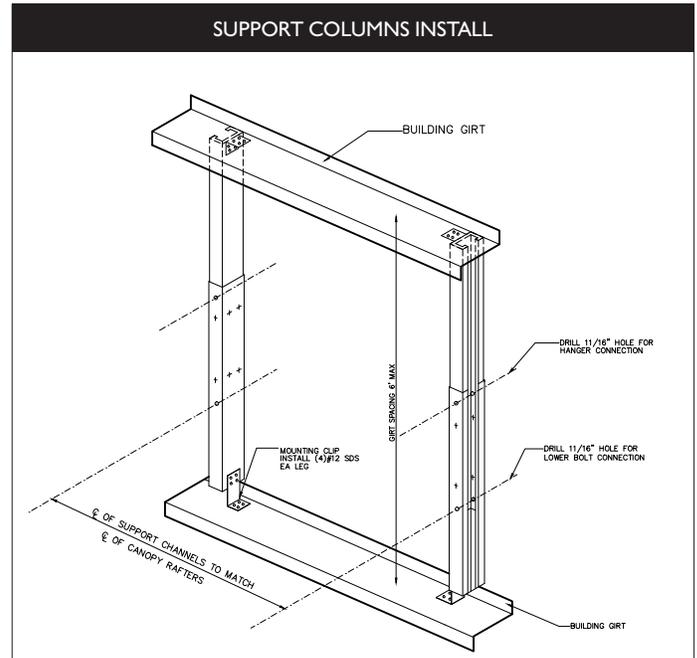
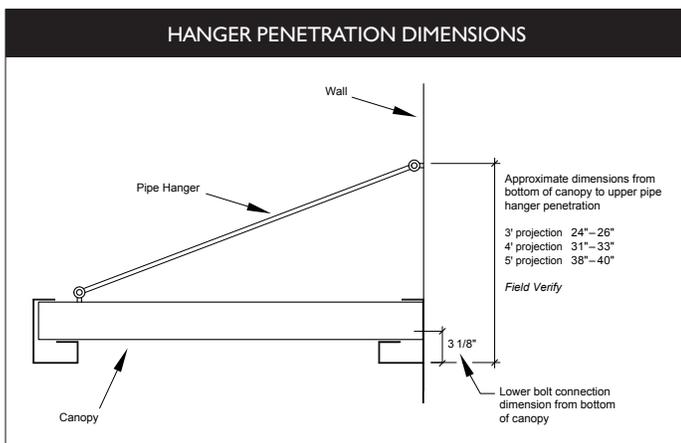
3.a—Thread 5/8" nut on the short rod end, slide on 5/8" washer and insert into hole on top of canopy rafter. Secure with 5/8" nuts and washers on underside of rafter. (Typical for each pipe hanger.)

STEP 4: Attach Pipe Hangers to Wall

4.a—Locate the elevation at the point where long rod end will penetrate the wall. Drill 11/16" hole through panel and support columns. Thread 5/8" nut on long rod end and slide on 5/8" washer. Insert long rod through wall panel and support columns. Secure at support column with 5/8" nuts and washers. **Note:** Before tightening bolts, apply sealant at penetration points.

STEP 5: Adjust Pitch of Canopy

5.a—Adjust pipe hanger yoke ends, and/or short rod end at rafter, so the canopy slopes back toward wall 1/2" to 1" (for rear mounted drains).



Metal Wall Install:

- (One hardware kit per hanger)
- (1) Pipe Hanger
 - (1) 3-1/2" X 5/8" Rod End
 - (1) 10" X 5/8" Rod End
 - (1) 2pc Telescoping Channel
 - (2) 12ga Channel Clips
 - (24) #12 X 3/4" Screws
 - (1) 7" X 5/8" Hex Bolt
 - (5) 5/8" Nuts
 - (6) 5/8" Washers
 - (2) PVC Spacers

MASONRY APPLICATIONS

Note: Additional pipe hangers may be required for larger canopies and/or higher wind loads.

STEP 1: Install Lower Support Bolts

1.a – Center canopy over door. Mark well at locations where pre-attached canopy rafter angle holes meet wall.

1.b – Drill holes in masonry and install wall anchors sized to accept 5/8" bolts and appropriate design for masonry type.

Note: Wall anchors by others.

1.c – Insert 5/8" x 3" bolt with washer through canopy angle and into wall anchor.

STEP 2: Attach Pipe Hangers to Canopy

2.a – Thread 5/8" nut on one end of the pipe hanger rod end, slide on 5/8" washer and insert into hole on top of canopy rafter.

2.b – Secure with 5/8" nuts and washers on underside of rafter.

STEP 3: Attach Pipe Hangers to Wall

3.a – Locate elevation at the point where opposite rod end will penetrate the wall.

3.b – Drill holes in masonry and install wall anchors sized to accept 5/8" bolts and appropriate design for masonry. **Note:** Wall anchors by others.

3.c – Insert 5/8" x 3.5" thread rod end into wall anchor.

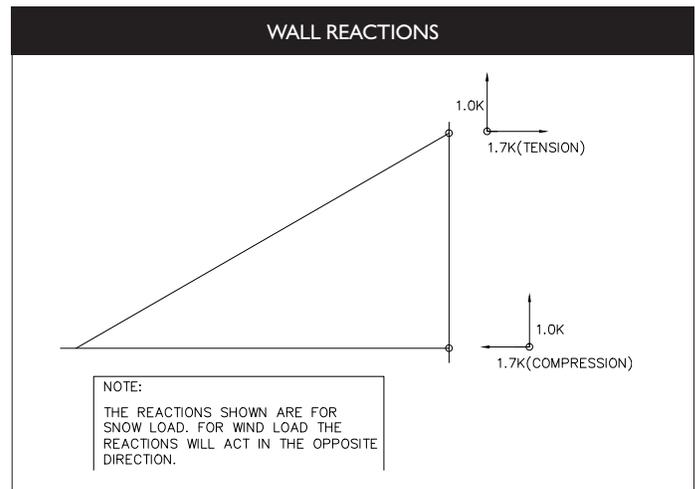
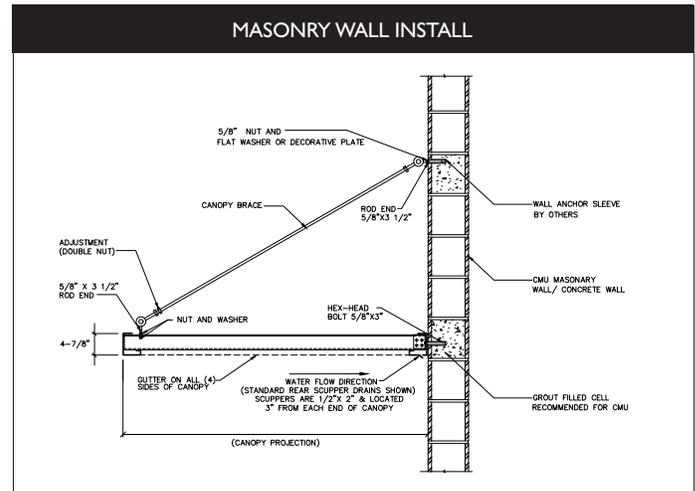
3.d – Attach rod end to pipe hanger with clevis pin.

STEP 4: Adjust Pitch of Canopy

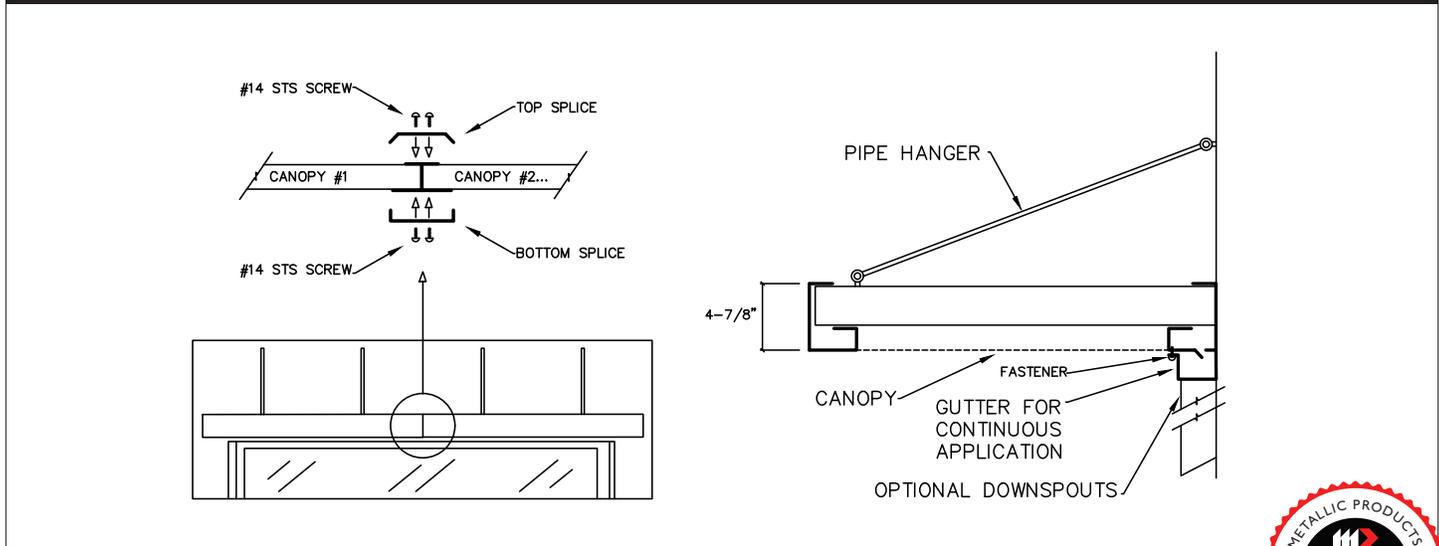
4.a – Adjust pipe hanger yoke ends, and/or short rod end at rafter, so the canopy slopes back toward wall 1/2" to 1" (for rear mounted drains).

Masonry Wall Install:

- | | |
|-------------------------------|------------------------|
| (One hardware kit per hanger) | (1) 3" X 5/8" Hex Bolt |
| (1) Pipe Hanger | (4) 5/8" Nuts |
| (2) 3-1/2" X 5/8" Rod Ends | (4) 5/8" Washers |



MULTIPLE CANOPY INSTALLATION



METAL PANEL APPLICATIONS

Note: Additional support columns and pipe hangers may be required for larger canopies and/or higher wind loads.

STEP 1: Install Vertical Support Columns

Note: Install vertical support columns to girt framing. (Girt spacing max 6'0")

1.a—Center canopy over door. If necessary, shift canopy toward door knob so that pipe hangers penetrate in the high or low areas of panel. When the canopy is positioned at the desired location match drill 11/16" holes through pre-drilled canopy angle holes. (These holes are aligned with the center of the zee rafter holes used for the pipe hangers at the wall attachment angle of the canopy.)

1.b—Align centerline of support columns with 11/16" holes drilled in step 1.a centerline of zee rafters on canopy between girts. Make sure support columns are perpendicular to top and bottom girt. Attach mounting clips to each end of telescoping support columns with (4) #12 SDS per clip. Slide adjust columns to proper length in order to fit between girts (6' maximum). Secure columns to girts with (4) #12 SDS per clip. Install (2) #12 SDS in the web and (1) in each flange at top and bottom of overlap in channels.

STEP 2: Install Lower Support Bolts

2.a—Match drill through previously drilled holes in wall panel through centerline of support columns.

2.b—With canopy repositioned and matching holes in canopy and wall panel aligned, attach canopy to wall panel and support column using 5/8" x 7" bolt with washer. (If hole penetrates the high rib of the panel, use PVC spacer between wall panel and support column.) **Note:** Before tightening bolts, apply sealant at penetration points.

STEP 3: Attach Pipe Hangers to Canopy

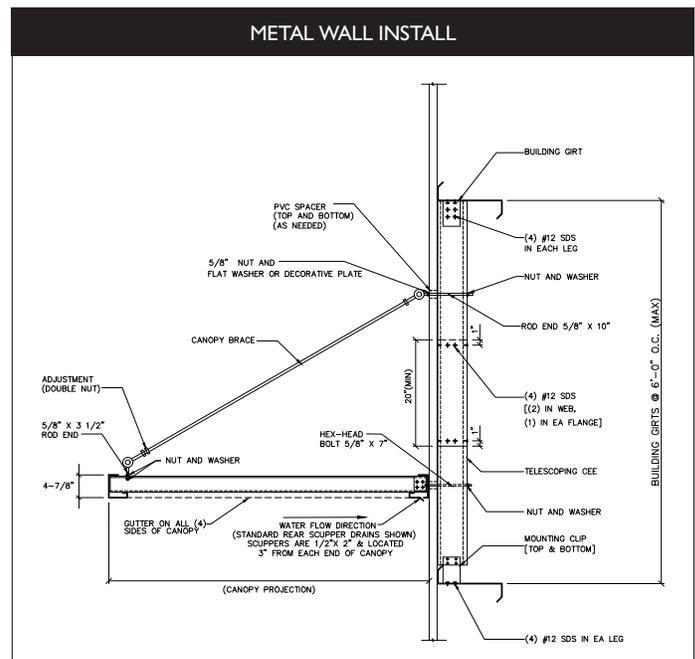
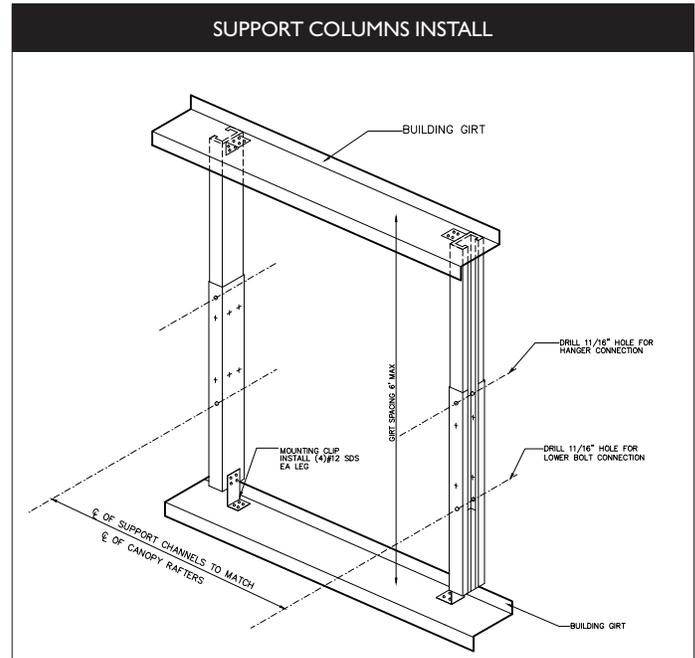
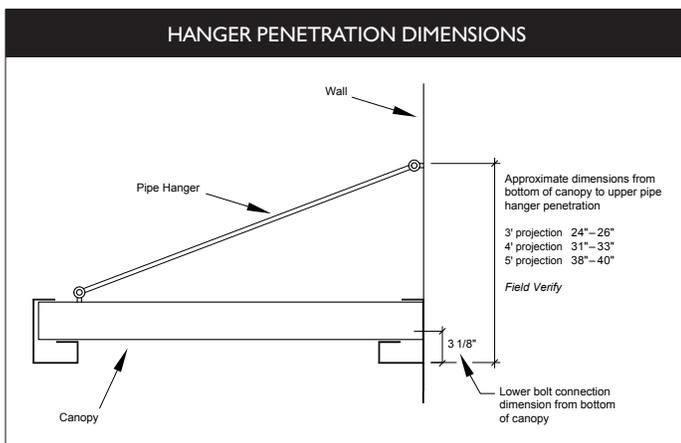
3.a—Thread 5/8" nut on the short rod end, slide on 5/8" washer and insert into hole on top of canopy rafter. Secure with 5/8" nuts and washers on underside of rafter. (Typical for each pipe hanger.)

STEP 4: Attach Pipe Hangers to Wall

4.a—Locate the elevation at the point where long rod end will penetrate the wall. Drill 11/16" hole through panel and support columns. Thread 5/8" nut on long rod end and slide on 5/8" washer. Insert long rod through wall panel and support columns. Secure at support column with 5/8" nuts and washers. **Note:** Before tightening bolts, apply sealant at penetration points.

STEP 5: Adjust Pitch of Canopy

5.a—Adjust pipe hanger yoke ends, and/or short rod end at rafter, so the canopy slopes back toward wall 1/2" to 1" (for rear mounted drains).



Metal Wall Install:

- | | |
|-------------------------------|------------------------|
| (One hardware kit per hanger) | (24) #12 X 3/4" Screws |
| (1) Pipe Hanger | (1) 7" X 5/8" Hex Bolt |
| (1) 3-1/2" X 5/8" Rod End | (5) 5/8" Nuts |
| (1) 10" X 5/8" Rod End | (6) 5/8" Washers |
| (1) 2pc Telescoping Channel | (2) PVC Spacers |
| (2) 12ga Channel Clips | |

MASONRY APPLICATIONS

Note: Additional pipe hangers may be required for larger canopies and/or higher wind loads.

STEP 1: Install Lower Support Bolts

1.a – Center canopy over door. Mark well at locations where pre-attached canopy rafter angle holes meet wall.

1.b – Drill holes in masonry and install wall anchors sized to accept 5/8" bolts and appropriate design for masonry type.

Note: Wall anchors by others.

1.c – Insert 5/8" x 3" bolt with washer through canopy angle and into wall anchor.

STEP 2: Attach Pipe Hangers to Canopy

2.a – Thread 5/8" nut on one end of the pipe hanger rod end, slide on 5/8" washer and insert into hole on top of canopy rafter.

2.b – Secure with 5/8" nuts and washers on underside of rafter.

STEP 3: Attach Pipe Hangers to Wall

3.a – Locate elevation at the point where opposite rod end will penetrate the wall.

3.b – Drill holes in masonry and install wall anchors sized to accept 5/8" bolts and appropriate design for masonry. **Note:** Wall anchors by others.

3.c – Insert 5/8" x 3.5" thread rod end into wall anchor.

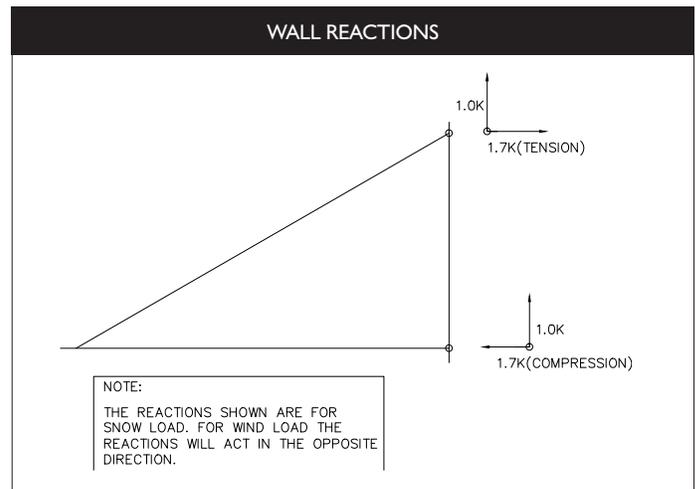
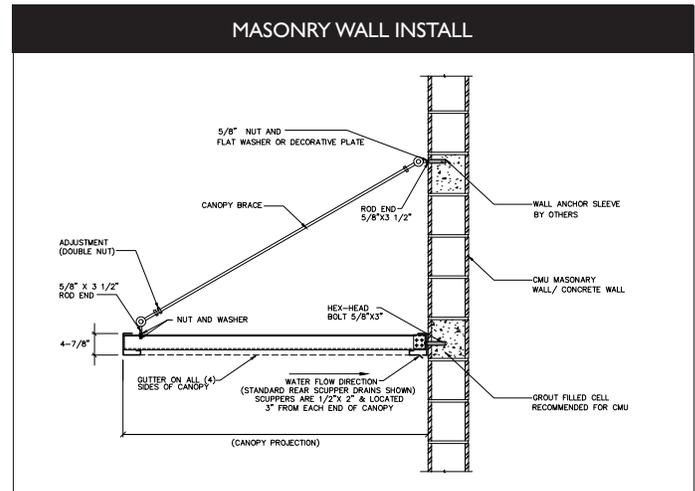
3.d – Attach rod end to pipe hanger with clevis pin.

STEP 4: Adjust Pitch of Canopy

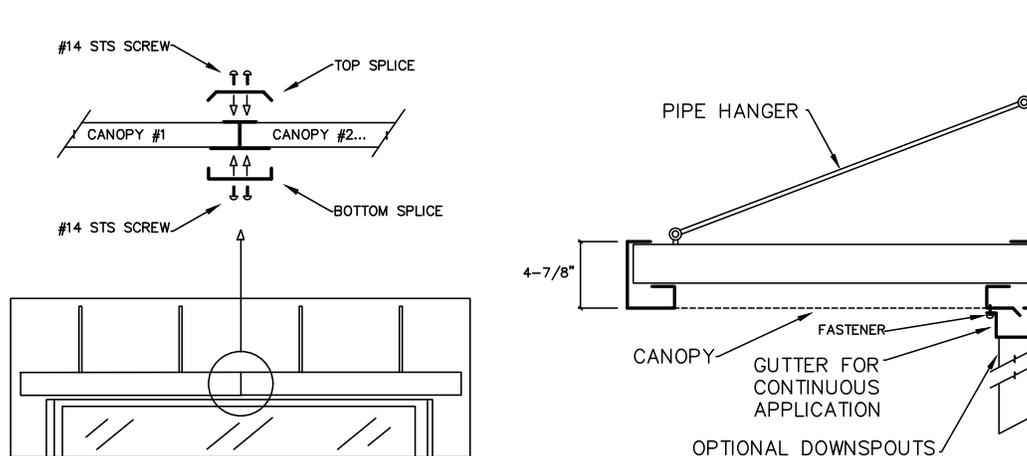
4.a – Adjust pipe hanger yoke ends, and/or short rod end at rafter, so the canopy slopes back toward wall 1/2" to 1" (for rear mounted drains).

Masonry Wall Install:

- | | |
|-------------------------------|------------------------|
| (One hardware kit per hanger) | (1) 3" X 5/8" Hex Bolt |
| (1) Pipe Hanger | (4) 5/8" Nuts |
| (2) 3-1/2" X 5/8" Rod Ends | (4) 5/8" Washers |



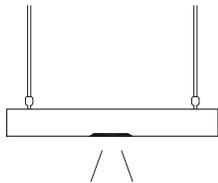
MULTIPLE CANOPY INSTALLATION





PERSONNEL DOOR CANOPIES

Metallic Products keeps you covered with personnel door canopies. Make sure you have economical and attractive overhead protection from the elements with our canopies. This product is specifically designed to withstand the elements.



ALREADY HAVE A METALLIC PRODUCTS CANOPY?

Transform it into a lighted personnel door canopy with a **retrofit kit!**

Contact Metallic Products for kits and installation instructions.

SPECIFICATIONS

WIND LOAD	140 mph [IBC 2006 & 2009]
	4' Projection – Max Allowable Uplift = 61.5 psf
	5' Projection – Max Allowable Uplift = 50.8 psf
	180 mph [IBC 2012, 2015 & 2018]
	4' Projection – Max Ultimate Uplift = 102.5 psf
	5' Projection – Max Ultimate Uplift = 84.6 psf
SNOW LOAD <i>(Note: On the canopy)</i>	4' Projection 34 psf
	5' Projection 26 psf
	<i>(50 psf, 75 psf, 100 psf available upon request)</i>

Depending on canopy width, (10'-0" maximum) up to four hangers may be required per canopy section to achieve required wind and snow loads.

- Importance factor, $I = 1.0$ [Risk Category II]*
- Topographic factor, $K_{zt} = 1.0$
- Wind directionality, $k_d = 0.85$
- Ground elevation factor, $K_e = 1.0$
- Building mean roof height:
 - Max 60' above ground for Exposure-B
 - Max 40' above ground for Exposure-C [Exposure-C available in 4' projection only]

*Applies to IBC 2006 & 2009

NOTE: For more stringent loading criteria above and beyond the criteria listed herein, customized engineering analysis is available upon request.





CONSTRUCTION

- Economical and attractive overhead protection from the elements
- Specifically designed for high wind load and heavy snow load areas
- 24-gauge flat soffit and integral gutter with rear-mounted drains
- 16-gauge galvanized internal frame for 4' projection and 14-gauge galvanized internal frame for 5' projection
- 5/8" diameter rod ends 4140 hot rolled annealed (HRA) [F.y = 125 ksi]
- 16-gauge telescoping support channels mount behind wall panel between girts, mounting clips and fasteners included
- 1/2" or 3/4" galvanized pipe hangers with adjustable rod ends

SIZES

- Standard sizes for single door (4'6" x 4'0") and double door (7'6" x 4'0"); also available in 3' and 5' projections
- Can be mulled together for continuous run applications. Mullions and secondary gutter provided when specified.

FINISHES

- Galvalume steel
- All standard metal building colors available in silicone polyester, Kynar® and powder coated finishes
- Custom color matching
- Single color or two tone (contrasting gutter/fascia and soffit)

OPTIONS

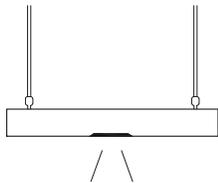
- Masonry mount (anchors by others)
- Downspouts
- Front mounted drains
- Light Kit (see Lighted Personnel Door Canopies)





LIGHTED PERSONNEL DOOR CANOPIES

Metallic Products keeps you covered with lighted personnel door canopies. Make sure you have economical and attractive overhead protection from the elements with our canopies. This product is specifically designed to withstand the elements.



ALREADY HAVE A METALLIC PRODUCTS CANOPY?

Transform it into a lighted personnel door canopy with a **retrofit kit!**

Contact Metallic Products for kits and installation instructions.

SPECIFICATIONS

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	4' Projection – Max Allowable Uplift = 61.5 psf
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	180 mph [IBC 2012, 2015 & 2018]
SNOW LOAD (<i>Note: On the canopy</i>)	4' Projection 34 psf
	5' Projection 26 psf
	(50 psf, 75 psf, 100 psf available upon request)

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- Ground elevation factor, $K_e = 1.0$
- Building mean roof height:
 - Max 60' above ground for Exposure-B
 - Max 40' above ground for Exposure-C [Exposure-C available in 4' projection only]

*Applies to IBC 2006 & 2009

NOTE: For more stringent loading criteria above and beyond the criteria listed herein, customized engineering analysis is available upon request.





CONSTRUCTION

- Single door contains one LED light in the center of soffit panels, double door contains two LED lights 20" from the edge width
- Wet rated LED downlight provides uniform luminance (120V, 780 lumens, 4000K color temperature) from a low profile flat lens
- LED lifetime of 50,000 hours
- ENERGY STAR-certified luminaire contains no mercury or lead
- Precision molded lens features high transmission polymer with UV stabilized protecting film
- Fixture mounted in soffit of canopy and sealed to top-mounted junction box
- Electrical contractor must ensure of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local codes.
- 24-gauge flat soffit and integral gutter with rear-mounted drains
- 16-gauge galvanized internal frame for 4' projection and 14-gauge galvanized internal frame for 5' projection
- 5/8" diameter rod ends 4140 hot rolled annealed (HRA) [$F_y = 125$ ksi]
- 16-gauge telescoping support channels mount behind wall panel between girts, mounting clips and fasteners included
- 1/2" or 3/4" galvanized pipe hangers with adjustable rod ends
- Economical and attractive overhead protection from the elements
- Specifically designed for high wind load and heavy snow load areas

SIZES

- Standard sizes for single door (4'6" x 4'0") and double door (7'6" x 4'0"); also available in 3' and 5' projections
- Can be mulled together for continuous run applications. Mullions and secondary gutter provided when specified.

FINISHES

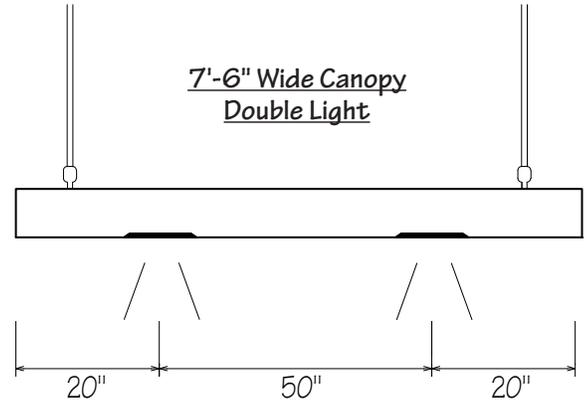
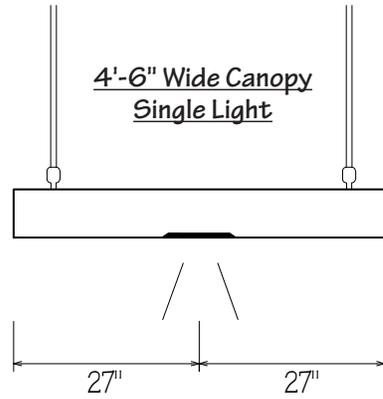
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OPTIONS

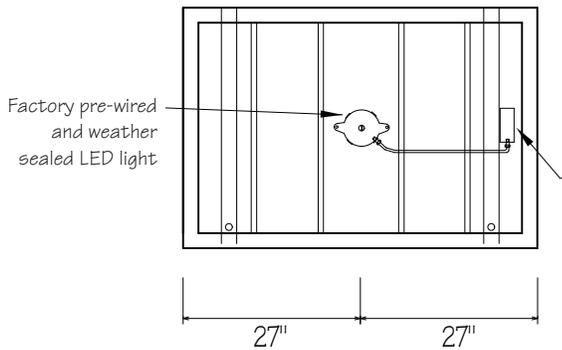
- Masonry mount (anchors by others)
- Downspouts
- Front mounted drains



TECHNICAL SPECIFICATIONS



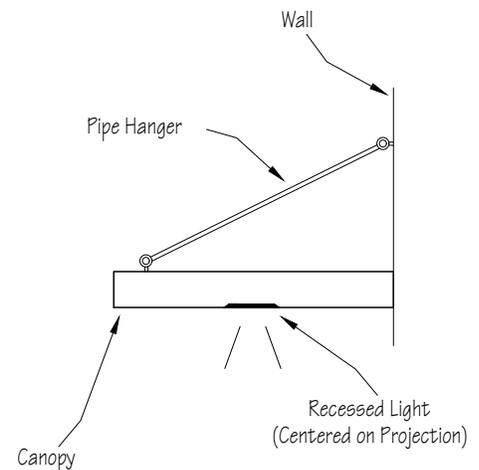
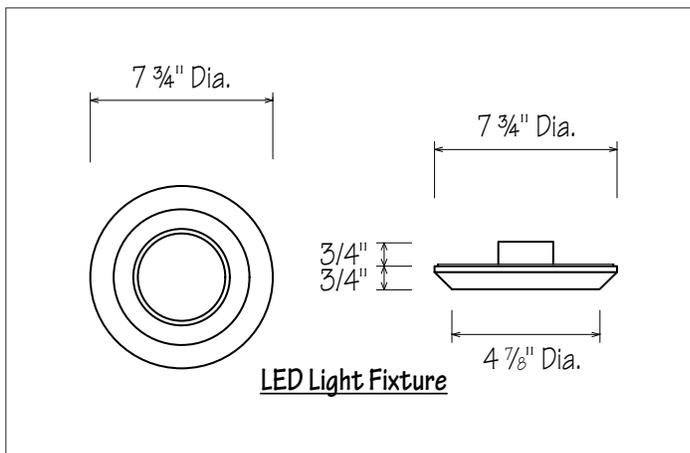
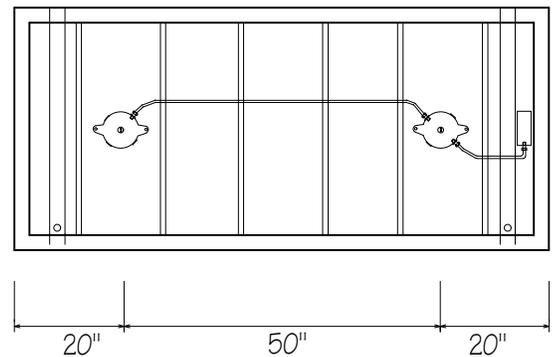
4'-6" Wide Canopy Single Light
(Wall Side)



Junction box ready for field wiring to 120V supply (by others)

NOTE: Remove junction box from canopy frame as needed to access face plate

7'-6" Wide Canopy Double Light
(Wall Side)





Picture 1 – U-Haul S. Placentia Avenue Street Frontage



Picture 2 – U-Haul S. Placentia Avenue Street Frontage



Picture 3 – Lawrence Street



Picture 3 – U-Haul’s Lawrence Street Cul-De-Sac Access



Picture 4 – Existing Single-Family Residence to be Removed



Picture 5 – Easterly Portion of U-Haul Facility



Picture 6 – U-Haul's Lawrence Avenue Westerly Access



ENVIRONMENTAL CEQA STRATEGY FOR 860 SOUTH PLACENTIA AVENUE

To: Aaron Fry
From: Thomas Kim, P.E.
Kimley-Horn and Associates, Inc.
Date: July 20, 2021
Subject: Environmental CEQA Clearance Strategy for U-Haul at 860 South Placentia Avenue
City of Placentia

Kimley-Horn and Associates, a consultant for U-Haul, is part of the entitlement team for the proposed expansion at the existing U-Haul center at 860 South Placentia Avenue. The project site is legally described as Accessor Parcel Number 344-132-01.

Existing Uses

The project site contains the U-Haul Truck Sales Super Center of Placentia, surface parking lot, and several structures. The project site is located north of Lawrence Street, south of the Orange County Flood Control District facility, west of Arnold Drive, and east of Placentia Avenue. Surrounding land uses include the Twin Palms Mobile Home Park to the north, single family residences to the east, light industrial and commercial uses to the south, and light industrial uses and the Placentia Retarding Basin to the west.

The property is zoned M – Manufacturing which allows for motor vehicle and motorcycle repair and service and warehousing, storage, distribution or wholesaling of goods and materials. The proposed project would not change the existing use on-site and therefore no zone changes are required.

Proposed Project

The proposed project would demolish several existing structures and single-family residence and, in its place, construct a 35,000 sf warehouse building and 34,000 sf repair shop building along the southern end of the property, near the Lawrence Street cul-de-sac. Additional improvements include curb cuts, landscaping upgrades throughout the site, and extending driveway access on Lawrence Street. The proposed project would expand the existing U-Haul operations on the existing site. The new buildings would serve as additional ancillary support uses to the U-Haul operations. The proposed project would be subject to discretionary review by the City of Placentia and is therefore considered a project under the California Environmental Quality Act (CEQA).

State CEQA Guidelines §15061 – Review for Exemption

Once it has determined that an activity is a project subject to CEQA, it is then determined whether the project is exempt from CEQA. Pursuant to State CEQA Guidelines §15061, a project is exempt from CEQA if:

1. The project is exempt by statute (see State CEQA Guidelines Article 18, commencing with §15260).
2. The project is exempt pursuant to a Categorical Exemption (CE) (see State CEQA Guidelines Article 19, commencing with §15300) and the application of that CE is not barred by one of the exceptions set forth in State CEQA Guidelines §15300.2.
3. The activity is covered by the commonsense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.
4. The project will be rejected or disapproved by a public agency.
5. The project is exempt pursuant to the provisions of Article 12.5 - Exemptions for Agricultural Housing, Affordable Housing, and Residential Infill Project.

State CEQA Guidelines Article 19 - Categorical Exemptions (CE)

State CEQA Guidelines Article 19 includes a list of classes of projects, which have been determined not to have a significant effect on the environment and, therefore, are exempt from CEQA. The class of projects that is relevant to the proposed Project is presented below.

State CEQA Guidelines §15332 – Infill Development. Class 32 consists of projects characterized as infill development meeting the conditions described in this section:

- 1) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- 2) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- 3) The project site has no value as habitat for endangered, rare, or threatened species.
- 4) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

5) The site can be adequately served by all required utilities and public services State CEQA Guidelines §15300.2 - Exceptions. The following conditions are exceptions that bar the application of a CE:

- a) *Location*. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located -- a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant.
- b) *Cumulative Impact*. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.
- c) *Significant Effect*. A CE shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.
- d) *Scenic Highways*. A CE shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.
- e) *Hazardous Waste Sites*. A CE shall not be used for a project located on a site which is included on any list compiled pursuant to Government Code §65962.5.
- f) *Historical Resources*. A CE shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.

Findings

The proposed project is within a developed area of the City. Surrounding land uses urbanized, and no open space, natural habitat, or undisturbed areas exist. No natural or open waterbodies exist within the immediate site vicinity. The proposed project would expand the current operations of the existing U-Haul Truck Sales Super Center of Placentia. The project site is defined as the acres of disturbance, or improvement area. The total improvement area would total 3.60 acres and therefore under the 5-acre threshold for a Class 32 infill exemption.

As part of the findings for a Class 32 infill exemption, a general plan policy and zoning consistency table would be prepared. Technical studies for air quality, traffic, and noise would be prepared and attached as separate appendices to the exemption.

The project site is not located on any listed hazardous waste site per the Department of Toxic Substance Control, does not contain any historical structures, and is not part of a larger phased development.

The findings for a Class 32 Infill exemption would be presented in a technical memorandum format. Technical studies prepared for the proposed project would cover impact analysis thresholds from the Appendix G CEQA Guidelines. The proposed project is not barred from the application of a CE pursuant to State CEQA Guidelines §15300.2.

For additional questions or details, please contact Thomas Kim via phone (714) 786-6297 or by email at Thomas.Kim@kimley-horn.com.

TOM DODSON & ASSOCIATES

Mailing Address: PO Box 2307, San Bernardino, CA 92406-2307

Physical Address: 2150 N. Arrowhead Avenue, San Bernardino, CA 92405

Tel: (909) 882-3612 ♦ Fax: (909) 882-7015 ♦ Email: tda@tdasnyc.com



August 17, 2021

Mr. Arlen Beck, Associate Planner
City of Placentia, Development Services
401 E. Chapman Avenue
Placentia, CA 92870

Dear Arlen:

At the City's request Tom Dodson & Associates (TDA) has reviewed the submittal prepared by Kimley-Horn regarding the possibility of using a Categorical Exemption (CE) for compliance with the California Environmental Quality Act (CEQA) for the proposed U-Haul facility located at 860 South Placentia Avenue in the City of Placentia. The project consists of demolishing several structures and constructing a 35,000 square foot (sf) warehouse and a 34,000 sf repair-shop building. These new buildings would support expansion of existing U-Haul operations at the project site. TDA's review of the Kimley-Horn's CEQA compliance strategy is presented below.

Kimley-Horn Recommendation

Kimley-Horn performed a review of the possible exemption categories (Memorandum of July 20, 2021) described in para. 15061 of the State CEQA Guidelines. Based on the surrounding land uses and the available exemption categories, Kimley-Horn identified the Infill Development CE, Class 32, as a possible means of complying with CEQA. The Class 32 exemption category contains five (5) qualifying criteria. All five criteria must be met for a project to qualify under the Infill Development CE. Based on a preliminary evaluation of the project site, the proposed project and the Class 32 qualifying criteria, I reached the following preliminary determinations:

1. The proposed project appears generally consistent with the applicable General Plan designation which is Industrial and the property is zoned M for Manufacturing. The existing and proposed uses are consistent with the underlying land use designation and the zone classification. It will be necessary to substantiate consistency with the applicable General Plan policies and the zoning regulations prior to verifying the project meets this criterion.
2. The project is clearly within the City of Placentia's incorporated territory and is surrounded by urban uses (as verified by the attached aerial photo). I've had some interaction with the legal community recently regarding the meaning of the "project site of no more than five acres." Some jurisdictions operate on the basis that the size of the parcel itself establishes the criterion for determining consistency with this requirement. But the language is precise when it states "the project site" is the correct measure of consistency. As an environmental professional, I agree with Kimley-Horn's interpretation that the correct measure is the actual area that will be disturbed under the application, which in this case is 3.60 acres, i.e., the project site. Therefore, I recommend to the City that the U-Haul project meets this criterion.
3. Due to historic disturbance and as indicated in the City General Plan EIR, there is no suitable habitat for endangered, rare, or threatened species. In order to establish a substantive record, I would suggest that a biologist review the project site and the findings be placed into the administrative record.

4. Kimley-Horn suggests that a technical memorandum be provided to substantiate that the proposed action will not result in significant impacts. I support this approach as long as quality technical data is submitted to the City for review.
5. Finally, documentation does need to be provided that the project site can be adequately served by all required utilities and public services.

TDA Conclusions and Recommendations

Based on the analysis provided above and assuming the additional information is submitted to the City and that it verifies the preceding assumptions, I believe the City can appropriately rely upon the Class 32, Infill Exemption, for this project with the addition of the substantiating data. I also recommend that the City request the applicant (Kimley-Horn) submit an outline of a technical memorandum for review and approval prior to actual submittal of the document. This will ensure there are no surprises. Should you have any questions regarding these conclusions and recommendations, please do not hesitate to contact my office.

Respectfully,

Tom Dodson

TD/cmc

PLA-117/Consistency Analysis



Placentia Planning Commission

AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: KATHRINE KUO, PLANNING TECHNICIAN

DATE: JULY 12, 2022

SUBJECT: **USE PERMIT MODIFICATION (MOD) 2020-09 TO PERMIT THE MODIFICATION OF USE PERMIT NO. 2020-09 TO ALLOW FOR THE ONSITE SALE AND CONSUMPTION OF BEER AND WINE (TYPE 42 ABC LICENSE) IN CONJUNCTION WITH THE OPERATION OF AN EXISTING APPROXIMATELY 1,705 SQUARE-FOOT CIGAR LOUNGE AND AN APPROXIMATELY 400 SQUARE-FOOT OUTDOOR PATIO AREA LOCATED AT 128 W. SANTA FE AVENUE, SUITE B, WITHIN THE OLD TOWN PLACENTIA REVITALIZATION PLAN (O-T) ZONING DISTRICT.**

RECOMMENDATION:

It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit Modification (UP) 2020-09; and,
2. Receive the staff report and consider all public testimony; and,
3. Close the public hearing; and,
4. Adopt Resolution PC-2022-10, a Resolution of the Planning Commission of the City of Placentia, approving Use Permit Modification (MOD) 2020-09 and making findings to permit the onsite sale of beer and wine (ABC Type 42 License) in conjunction with the operation of an existing approximately 1,705 square-foot cigar lounge and an approximately 400 square-foot outdoor patio area, located at 128 W. Santa Fe Avenue, Suite B, in the Main Street Subarea of the Old Town Placentia Revitalization Plan (O-T) Zoning District; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15301 (Class 1 – Existing Facilities) and the City of Placentia Environmental Guidelines.

REQUEST:

The applicant, Anna Ayupova, representing La Biblioteca Cigar Lounge, is requesting to permit the onsite sale of beer and wine for onsite consumption (Type 42 License) in conjunction with the operation of an existing approximately 1,705 square-foot cigar lounge and approximately 400 square-foot outdoor patio area, located at 128 W. Santa Fe Ave., Unit B, in the Old Town Placentia Revitalization Plan (O-T) Zoning District. All alcohol sales, dispensing, and consumption activities are intended to be confined within the interior private lounge and the outdoor patio area, pursuant to Alcohol Beverage Control (ABC) regulations.

PROJECT BACKGROUND AND DESCRIPTION:

The subject property is located within the Old Town Placentia Revitalization Plan Zoning District, in the Main Street Subarea at 128 W. Santa Fe Avenue, Unit B. La Biblioteca is the DBA formed under the LLC ChaseFireClub and offers premium high-end cigars and accessories. In addition to the retail and lounge area, there are 80 member lockers for cigar storage in a temperature and humidity-controlled environment. La Biblioteca is managed by tobacconist and cigar sommelier Anna Ayupova. Anna has 10 years of experience in the retail cigar industry and in the hospitality industry. Her business partner, Brad Johnson, has 25 years of corporate management experience. La Biblioteca recently opened in 2021, following the approval of their Use Permit 2020-09 application that entitled the establishment and operation of the cigar lounge. The current hours of operation are as indicated in the table below:

Operating Hours	
Monday	CLOSED
Tuesday - Sunday	12:00 PM to 12:00 AM

Members are only allowed access to their private lockers during the closed hours. Only customers over the age of 21 that purchase a cigar will be allowed the service of alcohol in either the private lounge or outdoor patio area. The cigar lounge currently employs one (1) full time employee, and two (2) part time employees. Cigarettes, vapes, hookah, and pipes are strictly prohibited. The sale or use of any cannabis related products is prohibited pursuant to PMC Chapters 8.42 and 23.46.

La Biblioteca Cigar Lounge provides an open setting that caters to cigar enthusiasts with premium selections, an on-site sommelier, and open floor plan that is highlighted by a custom bookshelf humidor. The owner will offer premium selections of beer and wine to complement the existing cigar business.

An ABC Type 42 License authorizes the sale of beer and wine for consumption on or off the premises where sold depending on the application. Distilled spirits may not be sold on the premises pursuant to a Type 42 License. Minors are not allowed on the premises. Alcohol will only be served in the interior private lounge and outdoor patio area. Alcohol will not be served in the retail cigar shop portion of the premises. Food service is not required with the service of alcohol.

Applicable Code Section – Placentia Municipal Code

The subject property is currently zoned Old Town Placentia Revitalization Plan - Main Street Subarea. The project will be required to comply with all development standards and use requirements set forth in the Placentia Municipal Code (PMC) for projects within the Old Town Placentia Revitalization Plan Zoning District. Pursuant to PMC Section 23.112.040, any bar, tavern, brewery, distillery, or similar establishment shall require a UP to be reviewed and evaluated at a noticed public hearing before the Planning Commission.

Subject Site and Surrounding Land Uses

The existing retail cigar shop and lounge is located on the south side of Santa Fe Avenue, within the Old Town Placentia Revitalization Plan Zoning District. There are adjacent tenants on both sides of La Biblioteca. The table below shows surrounding existing land uses, zoning designations, and General Plan Land Use Designations:

Surrounding Land Uses:

Location	Existing Land Use	Land Use Element General Plan Designation	Zoning Map Designation
Subject Site	La Biblioteca	Old Town	OT-Main St. (4 Story)
North	Multi-Tenant Commercial	Old Town	OT-Main St. (3 Story)
South (across BNSF railway)	Vacant	TOD	Transit Oriented Development Packing House District (TOD)
West	Mexico Supermarket	Old Town	OT-Main St. (4 Story)
East	Energy Management Institute	Old Town	OT-Main St. (4 Story)

ZONING COMPLIANCE ANALYSIS

Site Development Standards

The project is located within the Old Town Placentia Revitalization Plan (O-T) Zoning District, within the Main Street (4-Story) Subarea. PMC Section 23.112.060(c) provides an exception to parking requirements and states that providing parking in the Main Street Subarea for ground floor uses is optional. Considering the fact that the land use is not changing, and with the parking exception identified by the PMC, staff can support the request as proposed.

EXISTING ABC LICENSES WITHIN ONE-HALF MILE RADIUS OF SUBJECT SITE

Currently, there are no other businesses with a Type 42 ABC license within a one-half mile radius of the subject site, La Biblioteca. However, there are four (4) businesses that are currently licensed to sell beer and wine within a one-half mile radius of the subject site. The following chart shows all businesses within a one-half mile radius of the subject site with an existing ABC license and their ABC license type.

Business	Address	License Type
Mi Casita	330 W. Santa Fe Avenue	47, On-Sale General
301 Cafe	301 W. Santa Fe Avenue	47, On-Sale General
El Taco Sabroso	214 W. Santa Fe Avenue	41, On-Sale Beer and Wine

Mexico Super Market	134 W. Santa Fe Avenue	20, Off-Sale Beer and Wine
San Sushi Restaurant	161 W. Santa Fe Avenue	41, On-Sale Beer and Wine
Tlaquepaque Bakery & Grill	101 W. Santa Fe Avenue	47, On-Sale General
El Cantarito	120 W. Santa Fe Avenue	47, On-Sale General
Imperial Restaurant & Market	242 S. Bradford Avenue	20, Off-Sale Beer and Wine
American Legion Post 277	230 S. Bradford Avenue	52, Veterans Club 58, Caterer Permit
El Farolito	201 S. Bradford Avenue	47, On-Sale General
Rosa's Pizza	116 N. Bradford Avenue	41, On-Sale Beer and Wine
Step N Go Mini Mart	110 N. Bradford Avenue	21, Off-Sale General
Cocina Azteca Grill	111 E. Chapman Avenue	41, On-Sale Beer and Wine
Raffas	506 W. Chapman Avenue	20, Off-Sale Beer and Wine
Sam's Liquor	602 W. Chapman Avenue	21, Off-Sale General

ISSUES ANALYSIS:

General Plan Consistency

The request to permit the sale of beer and wine for on-site consumption in conjunction with the operation of an existing approximately 1,705 square-foot cigar lounge and an approximately 400 square-foot outdoor patio area is consistent with the policies, programs, and goals of the General Plan. More specifically, it is a goal of the General Plan Land Use Element under Goal LU – 1, to “Provide sites for a range of commercial uses, including shopping, dining, entertainment, and offices that provide a strong employment base and offer local services.” The proposed request will provide an additional service to customers and facilitate greater patronage to the Old Town Shopping district. This proposal is also consistent with the Economic Development Element Goal ED – 1, to “Maintain a healthy, balanced budget by diversifying and increasing the city’s revenue sources,” as there will be a steady revenue stream and additional patronage from the complementary sale of alcohol with the current cigar lounge business.

PMC Consistency

Incorporation of the recommended conditions of approval will result in a project that complies with the provisions of the Old Town Placentia Revitalization Plan Zoning District. The proposed request, with incorporation of the recommended conditions of approval, will meet or exceed the provisions of the Old Town Placentia Revitalization Plan Zoning District and other applicable provisions of the PMC.

Land Use Compatibility

The project will be compatible with the land uses of the surrounding area because the request to permit the onsite sale of beer and wine for onsite consumption (ABC Type 42 License) in conjunction with an existing cigar lounge brings an additional service to an established commercial district containing primarily complementary commercial uses. All primary activities shall be conducted within the enclosed building and the designated outdoor patio area, while maintaining an environment free from objectionable noise, odor, or other nuisances, subject to compliance with the attached Special Conditions of Approval and Standard Development Requirements.

Other Departments Concerns and Requirements

The Divisions of Planning and Building, as well as the Placentia Police Department have reviewed the application, with no major concerns raised regarding the project proposal. To mitigate any impacts associated with alcohol sales, the Police Department is recommending several operational conditions of approval to address onsite security to correspond with the restrictions of ABC. The Planning Division has also identified comments and applicable code requirements that have been incorporated as conditions of approval into a draft Resolution for consideration by the Planning Commission (Attachment 1). With the implementation of these provisions, it is not anticipated to generate any significant adverse impacts detrimental to the site and surrounding properties. It should also be noted that the original conditions of approval of UP 2020-09 remain in effect unless inconsistent with the additional conditions.

CEQA:

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgment and find that UP (MOD) 2020-09 is exempt from CEQA pursuant to State CEQA Guidelines § 15301 (Class 1 – Existing Facilities) as the permit would be issued to an existing facility, adding a complementary use.

PUBLIC NOTIFICATION:

Legal notice was published in the Placentia News Times on June 30, 2022, and notices were sent to property owners of record within a 300-foot radius of the subject property on June 30, 2022. As of July 6, 2022, staff has received no comments in support or opposition of the request.

CONCLUSION:

The proposed request is consistent with the City's General Plan and meets the minimum standards of the PMC. With the recommended conditions of approval, the proposed request to permit the modification of Use Permit No. 2020-09 to allow for the onsite sale and consumption of beer and wine (Type 42 ABC License) in conjunction with the operation of an existing approximately 1,705 square-foot cigar lounge and an approximately 400 square-foot outdoor patio area, located at 128 W. Santa Fe Avenue, Suite B, within the Old Town Placentia Revitalization Plan (O-T) Zoning District will be compatible with adjacent land uses and will not result in any adverse impacts onto the surrounding area.

RECOMMENDATION:

The Planning Division recommends that the Planning Commission of the City of Placentia adopt the Resolution PC-2022-10 recommending approval of UP (MOD) 2020-09.

Prepared and submitted by:

Review and approved by:



Kathrine Kuo
Planning Technician



Joseph M. Lambert
Director of Development Services

Attachments:

1. Resolution No. 2022-10
 - a. Attachment "A" Conditions of Approval
 - b. Original Conditions of Approval UP 2020-09
2. Project Plans Dated and Received June 23, 2022
3. Statement of Use Submitted by the Applicant Dated and Received June 29, 2022
4. Vicinity and Zoning Map

RESOLUTION NO. PC-2022-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA APPROVING USE PERMIT MODIFICATION NO. 2020-09 AND MAKING FINDINGS TO PERMIT A MODIFICATION TO UP 2020-09 TO ALLOW FOR THE ONSITE SALE AND CONSUMPTION OF BEER AND WINE (TYPE 42 ABC LICENSE) IN CONJUNCTION WITH THE OPERATION OF AN EXISTING APPROXIMATELY 1,705 SQUARE-FOOT CIGAR LOUNGE AND AN APPROXIMATELY 400 SQUARE-FOOT OUTDOOR PATIO AREA, LOCATED AT 128 W. SANTA FE AVENUE, SUITE B, WITHIN THE OLD TOWN PLACENTIA REVITALIZATION PLAN (O-T) ZONING DISTRICT, AND MAKING FINDINGS THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) SET FORTH IN TITLE 14 CCR § 15301 (CLASS 1 – EXISTING FACILITIES) AND THE CITY OF PLACENTIA ENVIRONMENTAL GUIDELINES.

A. Recitals.

WHEREAS, Anna Ayupova representing La Biblioteca Cigar Lounge (“Applicant” hereinafter), located at 128 W. Santa Fe Avenue, Suite B, filed an application for approval of Use Permit Modification (UP(MOD)) No. 2020-09, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Use Permit Modification request is referred to as the “Application”;

WHEREAS, on July 12, 2022, the Planning Commission conducted a duly noticed public hearing, as required by law, and after careful consideration of all pertinent testimony and the staff report offered in the case, the Planning Commission voted to approve UP (MOD) 2020-09; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Placentia as follows:

SECTION NO. 1: Based on the evidence presented and the findings set forth, UP 2020-06 is hereby found to be consistent with the Placentia General Plan and the implementation thereof.

SECTION NO. 2: Based upon the evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff reports, verbal testimony and development plans, this Commission hereby specifically finds as follows:

a. The proposed request for the onsite sale and consumption of beer and wine in conjunction with the operation of an existing approximately 1,705 square-foot cigar lounge and an approximately 400 square-foot outdoor patio area will not be: (1) detrimental to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed use or within the city, or (2) injurious to the property or improvements within the neighborhood or within the City. Subject to compliance with the attached Conditions of Approval and Standard Development Requirements (Attachment “A”), this use complies with all applicable code requirements and development standards of the Old Town Placentia Revitalization Plan (OT-Main Street Subarea) zoning district and (3) it is not anticipated that the proposed request will generate any negative impacts onto adjacent properties and businesses. All primary activities shall be conducted within the private lounge in the enclosed building and the designated outside patio area, while maintaining an environment free from objectionable noise, odor, or other nuisances, subject to compliance with the attached Special Conditions of Approval and Standard Development Requirements.

b. The proposed request for the onsite sale and consumption of beer and wine in conjunction with the operation of an existing approximately 1,705 square-foot cigar lounge and an approximately 400 square-foot outdoor patio area is consistent with the City’s General Plan. The General Plan Land Use designation for the subject site is Commercial.

c. The proposed request for the onsite sale and consumption of beer, wine, and distilled spirits and for the allowance of a permanent expansion of the outdoor dining patio area at an existing restaurant, subject to the attached Conditions of Approval and Standard Development Requirements (Attachment “A”), is consistent with the provisions of the Zoning Ordinance, or regulations applicable to the property. The proposed request for the onsite sale and consumption of beer, wine, and distilled spirits and for the allowance of a permanent outdoor dining patio area at an existing restaurant is a conditionally permitted use in the O-T Zoning District in the City of Placentia. Approval of the Use Permit Modification for the proposed request will be consistent with the zoning as the site can accommodate the use, and other similar uses have been conditionally permitted within other similar commercial districts.

d. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions are made part of the UP Modification approval. Attachment “A” contains Conditions of Approval and Standard Development Requirements specific to UP (MOD) 2020-09 to ensure compliance with the Placentia Municipal Code (PMC).

SECTION NO. 3: Based upon the environmental review of the project, the Planning Commission finds that UP (MOD) 2020-09 is exempt from the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia pursuant to the State CEQA Guidelines § 15301 (Class 1 – Existing Facilities) as the permit would be issued to an existing structure or facility.

SECTION NO. 4: The Planning Commission hereby directs that, upon approval of UP (MOD) 2020-09 a Notice of Exemption shall be filed with the Orange County Clerk/Recorder.

SECTION NO. 5: Based upon the findings and conclusions set forth herein, this Planning Commission hereby approves UP (MOD) 2020-09.

SECTION NO. 6: The Secretary to the Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the Applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED THIS 12TH DAY OF JULY, 2022

FRANK PEREZ, CHAIR

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July, 2022, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July, 2022, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAINED:	COMMISSION MEMBERS:

ATTEST:

JOSEPH M. LAMBERT,
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM

CITY ATTORNEY

Attachment A: Conditions of Approval for Use Permit Modification No. 2020-09

Attachment A
Special Conditions of Approval and Standard Development Requirements for
Use Permit Modification 2020-09
128 W. Santa Fe Avenue, Suite B

SPECIAL CONDITIONS

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

ALL OF THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH TO CONTINUE IN GOOD STANDING TO PERMIT THE USE PERMIT MODIFICATION OF AN EXISTING USE PERMIT TO ALLOW THE ONSITE SALE AND CONSUMPTION OF BEER AND WINE (TYPE 42 ABC LICENSE) IN CONJUNCTION WITH THE OPERATION OF AN EXISTING APPROXIMATELY 1,705 SQUARE-FOOT CIGAR LOUNGE AND AN APPROXIMATELY 400 SQUARE-FOOT OUTDOOR PATIO AREA ON PROPERTY LOCATED AT 128 W. SANTA FE AVENUE, SUITE B.

DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:

1. Use Permit Modification (UP(MOD)) 2020-09 is valid for a period of one (1) year from the date of final determination. If the use approved by this action is not established within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved by the Director of Development Services.
2. Use Permit (UP(MOD)) 2020-09 shall expire and be of no further force or effect if the use is discontinued or abandoned for a period of one (1) year.
3. All conditions of approval related to Use Permit 2020-09 shall remain in full force and effect unless superseded by conditions of approval contained herein.
4. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
5. The applicant shall, as a condition of approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City

for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may be issued against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.

6. Any changes or modifications to Use Permit Modification No. UP (MOD) 2020-09 shall be subject to review and approval by the Director of Development Services or designee, with substantial changes or modifications subject to Planning Commission review and approval. Any proposed changes to the floor plan approved by (UP(MOD)) 2020-09 and/or any proposed expansion of the outdoor seating area and/or any proposed expansion of the bar area shall require a UP Modification.
7. Any modifications to the approved floor plan or changes to the business operation hours, which do not expand or intensify the present use shall be reviewed by the Director of Development Services and may be modified administratively. Modifications to the approved floor plan or changes to the business operation hours, which expand or intensify the present use may be brought to the Planning Commission for modification at the discretion of the Director of Development Services.
8. This approval UP(MOD) 2020-09 does not include authorization for live entertainment. Live entertainment will require a Modification of the Use Permit and an entrainment permit pursuant to Title 6 of the Placentia Municipal Code (PMC). No live entertainment, i.e. dancing, karaoke, live music, sport bar or disc-jockey entertainment, etc., including amplified music, shall be permitted on the premises or outside dining area.
9. If at any time in the future, the Director of Development Services determines that a parking/circulation study is necessary to address parking and/or circulation issues relative to the use, the applicant, current business owner, and/or property owner, shall be responsible for the cost of a parking and/or circulation study prepared by a consultant selected by the City. The applicant, current business owner, and/or property owner shall also be responsible for the implementation costs of any mitigation measures deemed appropriate by the City based upon the findings of this study.
10. The use shall comply with all provisions of the PMC, including Chapter 23.76 Noise Control.
11. All permanent and temporary signage shall comply with all applicable provisions of the Placentia Municipal Code (PMC).

12. All commercial trash and waste bins shall be kept inside decorative trash enclosures. The dimensions and access gates of all trash enclosures shall comply with City standard and refuse company standard requirements at the time building permits are issued. All trash and waste enclosure gates shall remain closed at all times, except during disposal and pick-up. Trash pick-up shall be done on a regular basis.
13. The applicant, current business owner, and/or property owner shall be responsible for maintaining the property, including the landscaped areas, walkways, and all paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the applicant, current business owner, and/or property owner within 48 hours of defacement and/or upon notification by the City. The paint utilized to cover the graffiti must substantially match the existing structure. In the event that the paint finish of the abated area is noticeably distinguishable from the rest of the structure, the property owner shall paint additional portions of the building to minimize the disparity, subject to the approval of the Director of Development Services.
14. The applicant, current business owner, and/or property owner shall obtain approval of a Building and Zoning Compliance Application and shall obtain approval of a City Business License. The applicant, current business owner, and/or property owner shall maintain a valid City Business License at all times during operation of the business.
15. This Use Permit Modification may be reviewed at the discretion of the Director of Development Services in order to determine if the business is operating in compliance with all required Special Conditions of Approval and Standard Development Requirements.
16. There shall be no special promotional events held on the property, unless a written request for such is received and approved by the City of Placentia Development Services Director and the Police Department's Administrative Lieutenant at least 14 days in advance.
17. Only tobacco-based products shall be sold or smoked in the smokers' lounge designated area. No other substance shall be smoked, sold, or distributed, including but not limited to, marijuana.
18. To prevent noise spillage, the doors shall be kept closed except as patrons enter and exit. The doors shall not be propped open during business hours.
19. Alcoholic beverages may not be sold at any time on Mondays and between the hours of 12:00 AM to 12:00 PM on Tuesdays.
20. Alcoholic beverages will only be served in the interior private lounge and the outdoor patio area approved as part of (UP(MOD)) 2020-09.

- 21. Alcoholic beverages may not be served in the cigar retail shop portion of the facility.
- 22. All conditions of the Department of Alcoholic Beverage Control (ABC) shall be applicable.
- 23. All patrons shall be at least 21 years of age or older and produce a photo ID showing proof of age prior to entering the facility.
- 21. Patrons who appear obviously intoxicated shall not be served any alcoholic beverages.
- 22. Persons serving alcoholic beverages are to attend a Responsible Beverage Service course such as the ABC LEADS or similar program and be able to provide certification of attendance when asked by the Placentia Police Department.
- 23. The use shall comply with the following:
 - a. Prior to any changes to the permitted days and hours of operation, the applicant shall obtain written approval from the Director of Development Services or his/her designee. The following are the permitted days and hours of operation:

Operating Hours	
Monday	CLOSED
Tuesday - Sunday	12:00 PM to 12:00 AM

- b. No vending machines of any kind shall be installed outdoors within the project site.
- c. There shall be no public pay phones installed within or upon any portion of the premises.
- d. No outside storage, including the display of vehicles within the parking lot area or displays shall be permitted at any time.
- e. The use shall comply with all provisions of the PMC, including Chapter 23.76 Noise Control.

POLICE DEPARTMENT:

General Operations

- 24. The business shall cease operations at 12:00 am (midnight).

25. The following type of live entertainment is prohibited including: topless entertainment, adult oriented fashion shows, and other entertainment as regulated by the Municipal Code.
26. There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.
27. There shall be no admission charge or a cover charge, nor shall there be a requirement to purchase a minimum number of drinks.
28. Occupancy shall not exceed 49 persons.
29. Persons who appear obviously intoxicated shall not be admitted into the licensed premises.
30. Aisles and hallways shall be kept clear in order to allow patrons to move freely about the licensed premises.
31. No persons under the age of 21 shall be admitted inside the premises.
32. If patrons must wait on the sidewalk to enter the establishment, a crowd control management plan must be submitted to the police department for approval. The plan is to include barriers and personnel assigned to the entrance area.
33. There shall be no discernable noise heard outside the business per the Municipal Code.
34. The Private Lounge door shall be non-locking.
35. Patrons shall only use the Santa Fe main entrance door to enter or exit the establishment.

Alcohol Service

36. All patrons who appear under the age of 30 shall be required to show some form of identification or they will not be served an alcoholic beverage. A sign indicating this policy shall be prominently posted in a place that is clearly visible to patrons. Only the following forms of identification will be acceptable:
 - a. Valid driver's license
 - b. Valid State identification card
 - c. Valid passport
 - d. Current military identification
 - e. U.S. Government immigrant identification card

37. All forms of out-of-state identification shall be checked by the authorized representative of the owner of the licensed premises in the Driver's License Guide. Upon presentment to the authorized representative of the owner of the licensed premises, the patron's form of identification shall be removed from the patron's wallet or any plastic holder and inspected for any alterations through a close visual inspection and/or use of a flashlight or "Retro-reflective viewer."
38. Patrons who appear obviously intoxicated shall not be served any alcoholic beverages.
39. There shall be no promotions encouraging intoxication or drinking contests or advertisements indicating "Buy one drink, get one free," "Two for the price of one," "All you can drink for ...," or similar language.
40. The licensee(s) or an employee of the licensee(s) shall physically check the patio at least every 15 minutes when alcoholic beverages are being served or consumed to monitor the patrons compliance with conditions set forth in the Conditional Use Permit.
41. There shall be no "stacking" of drinks, i.e., more than one drink at a time, to a single patron.
42. When serving pitchers exceeding 25 ounces of an alcoholic beverage, all patrons receiving such pitcher, as well as all patrons who will be consuming all or any portion of such pitcher, shall present an ID to the server if they appear to be under the age of 30, if not previously checked at the entrance to the licensed premises.
43. Except for wine bottles, oversized containers or pitchers containing in excess of 25 ounces of an alcoholic beverage shall not be sold to a single patron for their sole consumption.
44. Employees and contract security personnel shall not consume any alcoholic beverages during their work shift.
45. A file containing the names and dates of employment of every person who serves alcoholic beverages for consumption by patrons on the licensed premises and every manager, which file shall also include a copy of each person's certificate of completion of the Department of Alcohol Beverage Control L.E.A.D. course (Licensee Education on Alcohol and Drugs). Upon request, said file shall be made available for review to representative of the Police Department. New employees will have 60 days from date of employment to obtain L.E.A.D. certification.

Security Issues

46. Except in case of emergency, the licensee shall not permit its patrons to enter or exit the licensed premises through any entrance/exit other than the primary entrance/exit, excluding entrances/exits to/from patio areas.
47. Any patron who (1) fights or challenges another person to fight, (2) maliciously and willfully disturbs another person by loud or unreasoned noise, or (3) uses offensive words which are inherently likely to provoke an immediate violent reaction shall be removed from the premises.
48. A six-foot high tubular steel fenced with locking gate shall be installed to enclose the outside patio and rear area of the establishment. The only method for patrons to access the patio is via the rear door into the enclosed fenced off area. Panic hardware shall be installed on the fencing gate and equipped with a metal plate or screening to prevent manipulation of the panic hardware locking device from the exterior of the gate/fencing. Signs shall be posted indicating the gate is an emergency exit only and no alcohol is permitted beyond the gate.
49. A camera system shall be installed to view the back patio and be capable of providing color images at all times. It shall be installed so as to clearly identify a person's face and physical features. Activity shall be recorded and maintained for a minimum of 30 days.
50. Provide a minimum maintained one foot-candle of light on the ground surface in the patio and parking area/open space to the rear of the establishment. Submit a photometric study showing compliance.

CITY OF PLACENTIA LIFE AND SAFETY DEPARTMENT:

51. Prior to issuance of any building or grading permit, submit plans and obtain approvals to the satisfaction of the appropriate fire authority to the City of Placentia Fire and Life Safety Department.

**Attachment A (as amended by the Planning Commission on December 8, 2020)
Special Conditions of Approval and Standard Development Requirements for
Use Permit 2020-09
128 W. Santa Fe Avenue, Unit B**

SPECIAL CONDITIONS

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

ALL OF THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH TO CONTINUE IN GOOD STANDING FOR THE USE PERMIT TO PERMIT THE ESTABLISHMENT AND OPERATION OF A 1,454 SQUARE FOOT RETAIL CIGAR LOUNGE OF HIGH-END CIGARS, WITH 80 MEMBER LOCKERS, AND 42 SEATS (34 SEATS INSIDE AND 8 SEATS ON THE OUTSIDE PATIO).

DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:

1. Use Permit (UP) 2020-09 is valid for a period of one (1) year from the date of final determination. If the use approved by this action is not established within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved by the Director of Development Services.
2. Use Permit (UP) 2020-09 shall expire and be of no further force or effect if the use is discontinued or abandoned for a period of one (1) year.
3. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
4. The applicant shall, as a condition of approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may be issued against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify

the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.

5. All Special Conditions of Approval and Standard Development Requirements of Use Permit No. 2020-09 shall be included on separate sheets with approved Special Conditions of Approval and Standard Development Requirements to be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
6. Any changes or modifications to Use Permit (UP) 2020-09 shall be subject to review and approval by the Director of Development Services or designee, with substantial changes or modifications subject to Planning Commission review and approval.
7. Any modifications to the approved floor plan or changes to the business operation hours, which do not expand or intensify the present use shall be reviewed by the Director of Development Services and may be modified administratively. Modifications to the approved floor plan or changes to the business operation hours, which expand or intensify the present use may be brought to the Planning Commission for modification at the discretion of the Director of Development Services. The sale and service of any alcoholic beverages is considered an expansion of use and will require a modification to this Use Permit, which shall be brought before the Planning Commission for review and approval.
8. If at any time in the future, the Director of Development Services determines that a parking/circulation study is necessary to address parking and/or circulation issues relative to the use, the applicant, current business owner, and/or property owner, shall be responsible for the cost of a parking and/or circulation study prepared by a consultant selected by the City. The applicant, current business owner, and/or property owner shall also be responsible for the implementation costs of any mitigation measures deemed appropriate by the City based upon the findings of this study.
9. The applicant, current business owner, and/or property owner shall be responsible for maintaining the property, including the landscaped areas, walkways, and all paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the applicant, current business owner, and/or property owner within 48 hours of defacement and/or upon notification by the City. The paint utilized to cover the graffiti must substantially match the existing structure. In the event that the paint finish of the abated area is noticeably distinguishable from the rest of the structure, the property owner shall paint additional portions of the building to minimize the disparity, subject to the approval of the Director of Development Services.
10. The applicant, current business owner, and/or property owner shall obtain approval of a Building and Zoning Compliance Application and shall obtain approval of a City

Business License. The applicant, current business owner, and/or property owner shall maintain a valid City Business License at all times during operation of the business.

11. This Use Permit may be reviewed at the discretion of the Director of Development Services in order to determine if the business is operating in compliance with all required Special Conditions of Approval and Standard Development Requirements.
12. There shall be no special promotional events held on the property, unless a written request for such is received and approved by the City of Placentia Development Services Director and the Police Department's Administrative Lieutenant at least 14 days in advance.
13. All signage must comply with PMC 23.112.070.
14. Any temporary signs or permanent signs shall be reviewed and approved by the City prior to fabrication and installation. All portable signs, to include, but not limited to pole flags, inflatable devices and a-frames are prohibited.
15. All commercial trash and waste bins shall be kept inside decorative trash enclosures. The dimensions and access gates of all trash enclosures shall comply with City standard and refuse company standard requirements at the time building permits are issued. All trash and waste enclosure gates shall remain closed at all times, except during disposal and pick-up. Trash pick-up shall be done on a regular basis.
16. Delivery and pickup of all store supplies shall occur before store opening. One additional pickup may occur daily. Delivery shall be made by a truck no larger than a 16 foot long box truck.
17. Only tobacco-based products shall be sold or smoked in the smokers' lounge designated area. No other substance shall be smoked, sold, or distributed, including but not limited to, marijuana.
18. To prevent noise spillage, the doors shall be kept closed except as patrons enter and exit. The doors shall not be propped open during business hours.
19. Any patron appearing to be intoxicated or under the influence of a controlled substance shall be restricted entrance into the facility.
20. The consumption or possession of alcoholic beverages is strictly prohibited on the subject premises.
21. All storefront windows shall be unobstructed to allow clear visibility into the facility. Windows may be temporarily obstructed with window shades and/or similar during only the period of the most sun exposure.

22. The reception desk, waiting areas, all entrance/exits, and all fixed/permanent money handling areas shall have surveillance coverage through the use of security surveillance cameras. The cameras shall not be the scanning type. The cameras shall remain fixed and positioned to capture all areas for which it is installed. The cameras must be operating during all business hours. High definition digital images or videos captured from these cameras shall be maintained for a period of 90 days and shall be immediately made available for the Chief of Police or his/her designee holds the right to request additional cameras be installed if it is found that there is not a sufficient amount of cameras to cover all areas of concern. The Chief of Police or his/her designee holds the right to request a change in position of camera(s) if the position of the camera(s) does not cover necessary areas as it relates to the police departments safety concerns. The business owners must fulfill this request within seven calendar days.

23. The business shall post signs at the entrance doors and in the interior of the business that are clearly visible to patrons, these signs will state that the business premises and all patrons are under camera/video surveillance.

24. All interior areas of the business shall remain well lit during business hours. If the lighting is not sufficient, the Chief of Police or his/her designee can demand that the business, its proprietors, or employees increase the lighting immediately. If additional lighting fixtures are needed, as recommended by the Police Department, the proprietor must comply within seven calendar days.

25. All patrons shall be at least 21 years of age or older and produce a photo ID showing proof of age prior to entering the facility.

26. No loitering shall be permitted. "No loitering" signs shall be posted at the front and rear of the business. No outside waiting is permitted.

27. The use shall comply with the following:

- a. Prior to any changes to the days and hours of operation, the applicant shall obtain written approval from the Director of Development Services or his/her designee. The following are the specified days and hours of operation:

Operating Hours	
Monday	CLOSED
Tuesday - Sunday	12:00 PM to 12:00 AM

- b. No vending machines of any kind shall be installed outdoors within the project site.
- c. There shall be no public pay phones installed within or upon any portion of the premises.

- d. No outside storage, including the display of vehicles within the parking lot area or displays shall be permitted at any time.
- e. The use shall comply with all provisions of the PMC, including Chapter 23.76 Noise Control.

Amended by
the Planning
Commission
on 12/8/2020

28. The smokers' lounge and/or the cigar lounge shall meet all of the following requirements to qualify for the tobacco shop or smokers' lounge exemption created by California Labor Code ~~6404.5(i)(d)(4)~~. **6404.5(d)(4)**.

- a. The main purpose of the business is the sale of tobacco products and smoking accessories
- b. The business does not sell or serve other products for consumption, such as beverages or food.
- c. The business has its own business license separate and apart from any other business
- d. The business has its own entrance to the premises, separate and apart from any other business
- e. The business has its own separate enclosure (unit, suite, etc.), separate and apart from any other business.

If a space does not meet all of the following criteria, it does not qualify as a "private smokers' lounge" under the smoke free workplace law and cannot allow smoking within its walls pursuant to that exemption:

- f. The lounge is attached to or inside of a retail or wholesale tobacco shop that meets the criteria listed above.
- g. Other products such as food or beverages are not served for consumption in the lounge.
- h. The lounge is used only for the consumption of tobacco products; it is not used for the consumption of other types of products such as beverages or food.

DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION:

- 29. The plans shall be prepared by a California Licensed Architect.
- 30. Shall submit a site plan addressing complete site accessibilities requirement.
- 31. Shall address minimum one van accessible and one standard accessible parking stall and accessible path of travel from the stalls to building entry.

~~32. Shall provide exhaust systems to exhaust the smokes out so the smokes will not pass through A/C filter systems.~~

Amended by
the Planning
Commission
on 12/8/2020

32. Shall provide an exhaust system, including by not limited to, mechanical, electronic, and biotechnical systems, adopted by the Occupation Safety and Health Standards Board or the federal Environmental Protection Agency to exhaust cigar smoke out of the building so the smoke will not pass through the A/C filter systems. Exhaust system shall be designed by a licensed mechanical engineer to ensure that all adjacent businesses and residents are unaffected by cigar smoke or odor pursuant to The American Society of Heating, Refrigerating and Air-Conditioning Engineers (ASHRAE) standards.

33. Shall address disabled seats at Lounge Area, Private Lounge, and Patio Deck.

34. The entry and exit doors shall be completely accessible, which shall be detailed on plans.

35. The restroom, storages, & offices shall be accessible.

36. All interior doors shall be accessible, which shall have details on plans.

POLICE DEPARTMENT:

37. The "Private Lounge" is to have a non-locking door.

38. Minimum six-foot high tubular steel fencing shall be installed to restrict public access to the back patio and rear building door. A gate to the rear parking area shall have locking hardware, as approved by the building department, but must always be locked from the exterior (parking area side), and be designed with mesh around the locking device so as to prevent manipulation of the lock from the exterior. The gate is to be signed as an Emergency Exit Only.

39. Public access to the patio shall only be from the building exterior door.

40. The patio and rear parking area are to be illuminated with a minimum maintained one foot-candle of light during business hours. A photometric study shall be presented to the city for approval.

PLACENTIA FIRE AND LIFE SAFETY DEPARTMENT:

Unless specifically stated herein, these conditions shall not be construed to permit or allow deviation from any Federal or State laws nor any of the local codes and ordinances adopted by this jurisdiction. The City of Placentia enforces the California Code of Regulations (CCR), Title 24, Part 9, 2019 California Fire Code with local

amendments. In addition, CCR Title 19 requirements may be applicable. The design professional should refer to these provisions for guidance when developing project drawings and specifications.

The following conditions apply to the proposed project:

41. The following information is required and/or is to be revised:

- a. Revise the occupancy group from M to B or A-2.
- b. The code design is to be the current adopted codes of CCR Title 24 (2019).
- c. The occupant load is to be based on CA Building Code Chapter 10.
- d. Provide information as to whether the fire protection systems exist.

42. Extinguishers: A 2A10BC fire extinguisher shall be installed with no more than 75ft travel distance in accordance with CA Fire Code Section 906.

43. The following plan submittals are required to be submitted and reviewed by the Placentia Fire and Life Safety Department:

- a. Architectural Plan (Tenant Improvement)
- b. Fire Sprinkler Plan (If applicable)



128 W Santa Fe Ave.- Placentia, CA, 92870

Jimeno + Design
Interior Design - Planning & CAD

787 S. Heffner Hill Rd.
Covina, CA. 91724
T./F. 714.906.4465
www.jimenodesign.com

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE, BASED ON THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
- THE TERM "DESIGNER" AS USED IN THESE DOCUMENTS REFERS TO:
JIMENO + DESIGN
CALIFORNIA CID # 6324
PHONE: (714) 996-4465
- THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO THE BEGINNING OF CONSTRUCTION AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT WORK IS ABLE TO BE BUILT AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE WITH ALL SUBCONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER, TENANT, OR BOTH, WHICH ARE UNDER SEPARATE CONTRACT WITH THE OWNER, OR TENANT, OR BOTH.
- THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OTHER DRAWINGS, AND JOB SPECIFICATIONS ARE SUPPLEMENTARY TO ENGINEER'S CONSTRUCTION DRAWINGS. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION.
- THE INTENT OF DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LICENSED LABOR, COMMERCIAL GRADE MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH SECTION 3600 OF THE CALIFORNIA LABOR CODE.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT CONFIRMATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT.
- THE DESIGNER'S APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS UNLESS HE HAS, IN WRITING, AND BROUGHT TO THE ATTENTION OF THE ENGINEER / DESIGNER SUCH DEVIATIONS AT THE TIME OF THE SUBMISSION, NOR SHALL IT RELIEVE HIM (GENERAL CONTRACTOR) FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SUBMIT ONE BLUEPRINT SET AND ONE SEPA SET OF SHOP DRAWINGS. SHOP DRAWINGS SHOULD INCLUDE DETAILED DIAGRAMMATIC DRAWINGS, AND MATERIAL SCHEDULES. LOCATION AND ORIENTATION OF ALL ITEMS SHOULD BE CLEARLY INDICATED. BEGIN FABRICATION OF SHOP ITEMS AFTER RECEIVING DESIGNER'S APPROVAL OF SHOP DRAWINGS.
- ANY WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DRAWINGS, WITHOUT THE PRIOR APPROVAL OF THE OWNER AND THE DESIGNER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- PROVIDE CONTINUOUS INSPECTION AS SET FORTH IN CBC CHAPTER 1, SECTION 110 AND PER CONTRACT DOCUMENTS AS NEEDED.
- PRIOR TO THE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY FOR THIS PROJECT, THE GENERAL CONTRACTOR SHALL SUBMIT A DEPARTMENTAL CERTIFICATE TO THE DEPARTMENT OF BUILDING AND SAFETY STATING THAT ALL WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NONRESIDENTIAL ENERGY.

INTERIOR / EXTERIOR:

- CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALLS, FLOORS, ETC.
- CONTRACTOR SHALL PROVIDE AND LOCATE WITH MECHANICAL CONTRACTOR ACCESS PANELS AS REQUIRED FOR MECHANICAL DUCTS, PLUMBING RUNS, ETC. ACCESS PANEL LOCATIONS ARE TO BE APPROVED BY DESIGNER PRIOR TO INSTALLATION.
- EXTEND ALL STUDS AND WALL MATERIALS TO CONSTRUCTION ABOVE, UNLESS OTHERWISE INDICATED.
- UNLESS OTHERWISE NOTED, ALL GYPSUM BOARD SURFACES, WALLS, AND CEILINGS SHALL BE TAPED AND FEATHERED SMOOTH TO RECEIVE A MINIMUM OF ONE COAT SEALER AND ONE COAT OF PAINT TO COVER.
- WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILINGS AS NEEDED TO REFURBISH THE LEASE SPACE AND REPAIR ALL DAMAGES CAUSED BY CONTRACTOR.
- INTERIOR WALL AND CEILINGS SHALL BE INSTALLED IN ACCORDANCE TO THE CBC, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.
- ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 24 OF THE CBC.
- WHEN USED, ALL NOISE BARRIER BATT (SOUND INSULATION) AND INSULATION BATT'S SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.
- CONTRACTOR SHALL PROVIDE BACKING @ ALL PARTITIONS THAT REQUIRE MILLWORK INSTALLATION.

DOORS AND EXITS:

- PER CBC SECTION 2406, GLASS DOORS, ADJACENT GLAZING PANELS AND ALL GLAZED OPENINGS WITHIN 18 INCHES OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARDS.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN THE AREA SERVED HAS AN OCCUPANT LOAD OF 50 OR MORE PEOPLE.
- ALL EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. PROVIDE A SIGN ON OR NEAR THE MAIN EXIT DOOR READING, "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".
- ALL HARDWARE SHALL BE INSTALLED 3 FEET ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY & MATCH EXISTING CONDITIONS.
- ALL HARDWARE TO BE LEVER-TYPE PER STATE OF CALIFORNIA, TITLE 24, AND THE ADA.
- SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
- PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.
- MAXIMUM UNDERCUT OF ALL DOORS SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.
- THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT & MUST BE FULLY ACCESSIBLE.
- CONTRACTOR SHALL REFINISH ANY BLEMISHED DOORS OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH TO "AS NEW" CONDITION.

ELECTRICAL:

- WHERE EXIT SIGNS ARE REQUIRED SHALL BE ILLUMINATED PER CBC SECTION 1006. THE LOCATION SHALL BE COORDINATED WITH THE PLANNER.
- PROVIDE BACK-UP POWER FOR EXIT SIGNS PER CBC SECTION 1006
- EMERGENCY LIGHTING SHALL BE 2 SEPARATE SOURCES OF POWER AND SHALL COMPLY WITH THE CBC.
- WHEN PLYWOOD BACKBOARDS ARE REQUIRED IN TELEPHONE AND ELECTRICAL EQUIPMENT ROOMS, THEY SHALL BE PAINTED TO MATCH ADJACENT WALL.
- THE CENTER OF SWITCHES SHALL BE NO MORE THAN 48 INCHES ABOVE THE FLOOR, VERIFY AND MATCH EXISTING.
- CENTERLINE OF 15, 20, AND 30 AMP RECEPTACLES SHALL NOT BE LESS THAN 18 INCHES CENTERED ABOVE FLOOR. FLOOR OUTLETS ARE ACCEPTABLE NEXT TO SLAB PANELS / WALLS AND OTHER SPECIAL CONVENIENCE LOCATIONS.
- EXIT ILLUMINATION SHALL BE FROM AN EMERGENCY SYSTEM WHERE EXISTING SYSTEMS SERVES AN OCCUPANT LOAD OF 100 OR MORE. [CBC SECTION 1006]

TITLE 24 - ENERGY COMPLIANCE:

- ENVELOPE COMPLIANCE AND STATEMENT OF DESIGN COMPLIANCE: THE CALIFORNIA ENERGY CONSERVATION STANDARDS FOR NONRESIDENTIAL BUILDING SHALL BE REVIEWED AND COMPLIED WITH DURING THE CONSTRUCTION AND TENANT IMPROVEMENT WORK SCOPE OF THIS PROJECT.

VENTILATION:

- UNLESS OTHERWISE NOTED, ALL ENCLOSED PORTIONS OF BUILDINGS CUSTOMARILY OCCUPIED BY PEOPLE SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENING EXTERIOR OPENINGS WITH AND AREA NOT LESS THAN 1/20 OF THE TOTAL FLOOR AREA, OR SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MIN. OF 15 CUBIC FEET PER MIN. OUTSIDE AIR PER OCCUPANT DURING SUCH TIME AS THE BUILDING IS OCCUPIED. IF THE VELOCITY OF AIR AT A REGISTER EXCEEDS 10 FEET PER SECOND, THE REGISTER SHALL BE PLACED MORE THAN 8 FEET ABOVE THE FLOOR DIRECTLY BENEATH. CBC SECTION 1203.4
- UNLESS OTHERWISE NOTED, TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW AT LEAST 350 SQ. INCHES OR A VERTICAL DUCT NOT LESS THAN 100 SQ. INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 ADDITIONAL SQ. INCHES FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE AIR CHANGE EVERY 15 MINS.; SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENINGS WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. CBC SECTION 1203.4.2.1

FIRE DEPARTMENT NOTES

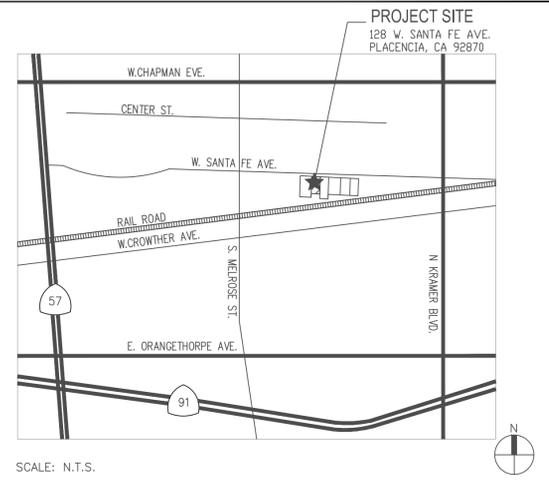
- CITY OF PLACENTIA FIRE DEPARTMENT FINAL INSPECTION REQUIRED. SCHEDULE INSPECTION 24 HOURS IN ADVANCE AT PHONE: (714) 993-8124 TO SCHEDULE INSPECTIONS. ANY REQUIRED INSPECTION FEES SHALL BE REMITTED AT THE FIRE DEPARTMENT COUNTY, PLACENTIA CITY HALL AND ARE INDEPENDENT OF FEES COLLECTED BY THE BUILDING DEPARTMENT
- LOCATIONS AND CLASSIFICATIONS OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE 906 AND CCR TITLE 19 AND PLACEMENT IS SUBJECT TO THE APPROVAL OF THE FIRE INSPECTOR. 2A: 10B:C MINIMUM FIRE EXTINGUISHERS TO BE LOCATED WITHIN 75 FEET OF TRAVEL DISTANCE FROM ALL AREAS.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH CFC REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE CITY OF PLACENTIA HAZMAT DIVISION PRIOR TO ANY MATERIALS BEING STORED OR USED ON-SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS.
- ALL WEATHER ACCESS ROADS SHALL BE APPROVED BY THE CITY OF PLACENTIA FIRE DEPARTMENT AND IN PLACE BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON THE SITE. ACCESS ROADS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS.
- ACCESS GATES SHALL BE IN COMPLIANCE WITH THE CALIFORNIA FIRE CODE, SECTION 503 AND THE CITY OF PLACENTIA FIRE DEPARTMENT GUIDELINES. A SEPARATE PLAN SUBMITTAL AND APPROVAL BY THE CITY OF PLACENTIA FIRE DEPARTMENT IS REQUIRED.
- PLANS OF NEW OR MODIFICATIONS TO EXISTING FIRE PROTECTION, DETECTION, ALARM OR MONITORING SYSTEM(S) SHALL BE APPROVED BY THE CITY OF PLACENTIA FIRE DEPARTMENT PRIOR TO INSTALLATION. A SEPARATE PLAN SUBMITTAL AND APPROVAL BY THE CITY OF PLACENTIA FIRE DEPARTMENT IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY WORK.
- A LETTER OF INTENDED USE FOR THE STRUCTURE(S) MAY BE REQUIRED BY THE FIRE INSPECTOR.
- WHEN THE PROJECT INVOLVES THE CONSTRUCTION OF A NEW STRUCTURE OR AN ADDITION TO AN EXISTING STRUCTURE, PLANS AND DOCUMENTATION FOR FIRE DEPARTMENT ACCESS, HYDRANT LOCATIONS, WATER AVAILABILITY AND FIRE LANE MARKINGS SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF PLACENTIA FIRE DEPARTMENT PRIOR TO THE APPROVAL OF ARCHITECTURAL PLANS.
- A CITY OF PLACENTIA FIRE DEPARTMENT APPROVED SITE PLAN SHALL BE SUBMITTED WITH THE ARCHITECTURAL PLANS.
- IN STRUCTURES OF UNDETERMINED USE, THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE ORDINARY HAZARD (GROUP 2) WITH A DESIGN AREA OF 3,000 SQUARE FEET.
- "WOOD USED IN THE SUBJECT PROJECT SHALL BE FIRE-RETARDANT-TREATED IN ACCORDANCE WITH CBC SECTION 207." NOTE: BUILDING(S) NOT APPROVED FOR HIGH-PILE STORAGE (MATERIALS CLOSELY PACKED PILES OR ON PALLETS, OR IN RACKS WHERE THE TOP OF STORAGE EXCEEDS 12 FEET IN HEIGHT, AND 6 FEET FOR GROUP A PLASTICS AND CERTAIN OTHER HIGH-HAZARD COMMODITIES). HIGH-PILED STORAGE SHALL BE REVIEWED AND APPROVED, AND AN APPROPRIATE PERMIT ISSUED BY THE CITY OF PLACENTIA DEPARTMENT PRIOR TO MATERIALS BEING STORED ON-SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR HIGH-PILED STORAGE IN ACCORDANCE WITH THE 2013 CALIFORNIA FIRE CODE, CHAPTER 23.

BUILDING DATA

BUILDING DEPT.	CITY OF PLACENTIA, CA,
BUILDING CODE	2019 CBC, 2019 CMC, 2019 CPC, 2019 CFC, & TITLE 24 (ADA) AND 2019 CA. ENERGY STANDARDS & 2019 CGSBC AS ADOPTED BY CITY OF PLACENTIA CA MUNICIPAL CODES AND ORDINANCES.
JOB SITE ADDRESS	128 W SANTA FE AVE. PLACENTIA, CA 92870
OWNER / TENANT	LA BIBLIOTECA
ASSESSOR'S PARCEL NO.	039-394-02
BUSINESS	SMOKING LOUNGE / SHOP
CONSTRUCTION TYPE	TYPE III NON RATED (NOT SPRINKLED)
FIRE RESISTANCE	PER CBC 2019 TABLE 508.4 (NOT REQUIRED)
OCCUPANCY GROUP	M (EXISTING M OCCUPANCY)
NUMBER OF STORIES	(E) 1 STORY.
TOTAL BUILDING OCCUPANCY LOAD	35 TOTAL M OCCUPANCY LOAD - SEE SHEET A1.0
(E) BUILDING TOTAL SQ. FT.	1,705 SQ. FT.
PARKING	EXISTING CITY OF PLACENTIA PUBLIC ADA COMPLIANT PARKING

SCOPE OF WORK:
NEW INTERIOR TENANT IMPROVEMENTS OF EXISTING SPACE AS REQUIRED FOR THE INSTALLATION OF NEW QUADRUPLE TAP FREE STANDING KEGERATOR AND FREE STANDING WINE CELLAR EQUIPMENT.

VICINITY MAP



SCALE: N.T.S.

STORMWATER POLLUTION PREVENTION NOTES

- STORM WATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY OF PLACENTIA WATER QUALITY STANDARDS CONTAINED IN CHAPTER 3. WATER, OF DIVISION 8 OF TITLE 6 OF THE CITY OF PLACENTIA MUNICIPAL CODE AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.
- COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:
- EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.
 - SEDIMENTS AND OTHER POLLUTANTS SHALL MUST BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
 - STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.
 - FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.
 - EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.
 - TRASH AND CONSTRUCTION SOLID WASTES SHALL MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
 - SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
 - STORM WATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.

PROJECT TEAM

OWNER / TENANT	PROJECT DESIGNER
LA BIBLIOTECA 128 W Santa Fe Ave. Placentia, CA 92870 CONTACT: MS. ANNA AYUPOVA PHONE: (949) 421-8369 a.yupova@icloud.com	JIMENO + DESIGN 787 S Heffner Hill Rd. Covina, CA 91724 CONTACT: FERNANDO JIMENO, CID PHONE: (714) 906-4465 fjmeno@jimenodesign.com www.jimenodesign.com

PROJECT CONSULTANTS TEAM

ELECTRICAL ENGINEER
MEGALECTRIC CORPORATION 5425 VIA FONTE YORBA LINDA, CA. 92886 CONTACT: ED BLEHM, P.E. PHONE: (714) 403-4779 mega95@aol.com

SHEET INDEX (16 SHEETS)

DESIGN (14 SHEETS)	ELECTRICAL (2 SHEETS)
T1.1 TITLE SHEET T1.2 TITLE 24 NOTES T1.3 GENERAL NOTES T1.4 CA GREEN NONRESIDENTIAL MANDATORY MEASURES T1.5 CA GREEN NONRESIDENTIAL MANDATORY MEASURES T1.6 CA GREEN NONRESIDENTIAL MANDATORY MEASURES A0.1 SITE PLAN A1.0 OCCUPANCY & EXITING A2.0 DEMOLITION PLAN A3.0 PARTITION PLAN A3.1 EQUIPMENT PLAN & SCHEDULE A3.2 EXISTING RESTROOM PLAN / INTERIOR ELEVATION A3.3 BUILDING SECTIONS / MILLWORK DETAILS A4.0 ELECTRICAL PLAN	E1.0 GENERAL NOTES, SPECIFICATIONS, SINGLE LINE & PANEL SCHEDULE E2.0 ELECTRICAL POWER PLAN

NOTE:
NO CHANGE TO EXISTING REFLECTED CEILING, FINISHES AND ROOF. AS PER PREVIOUS PERMIT NO.: 19-350

QUANTITIES FOR E/M/P

AS LISTED ON PERMIT APPLICATION UNDER HEADINGS:
HVAC #4166 PLUMBING #4162 ELECTRICAL #4164

REVISIONS:

△	T.I. CD's Phase 04.22.22
△	FIRE DEP. COMMENTS 05.09.22
△	
△	

DATE: 04/22/22

DRAWN BY: F.J./M.G.
CHECKED BY: F.J./M.G./A.A.
DESIGNED BY: F.J./A.A.

TITLE SHEET PROJECT NOTES AND GENERAL INFORMATION

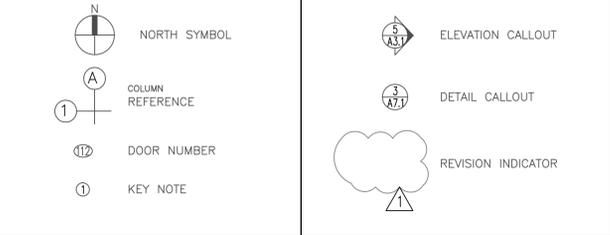
JOB No: 041822.01
SHEET:

T1.1

ABBREVIATIONS

AFF	above finished floor	BLDG	building	CONT	continuous or continue	ELEV	elevator	FR	frame (d), (ing)	HB	hose bibb	MFR	manufacture (er)	OPP	opposite	REG	regialer	SUS	suspended	WC	water closet
AP	access panel	CAB	cabinet	CONTR	contract (or)	ENCL	enclosure (ure)	FUR	furred (ing)	INCL	include (d), (ing)	MATL	material (s)	OD	outside diameter	SCH	schedule	TEL	telephone	WP	width, wide
ACT	acoustical tile	CPT	corpet (ed)	CTR	counter	EP	electrical panel board	G	gauge, gauge	ID	inside diameter	MAX	maximum	OH	overhead	SEC	section	THK	thick (ness)	WP	waterproofing
ADJT	adjustable	CB	catch basin	DEMO	demolish, demolition	EQ	equal	GC	general contract (or) INS	INS	insulate (d), (ing)	MECH	mechanic (al)	PNL	panel	SS	service sink	THR	threshold	WDW	window
A/C	air conditioning	CLG	ceiling	DET	detail	EQP	equipment	GL	glass, glazing	KPL	kickplate	MED	medium	PART	partition	SC	solid core	T&G	tongue and groove	WG	wired glass
ALT	alternate	CEM	cement	DIAG	diagonal	EXH	exhaust	GD	grade, grading	KIT	kitchen	MET	metal	PVMT	pavement	SIM	similar	TL	top of slab	WM	wire mess
AL	aluminum	CM	confinimeter (s)	DIA	diameter	EX	existing	O.P.F.-BD.	gypsum board	LAB	laboratory	MNI	minimum	PED	pedestal	SP	soundproof	TSI	top of steel	WO	without
AB	anchor bolt	CT	ceramic tile	DIM	dimension	EXP	exposed	HDW	hardware	L	lag bolt	MISC.	miscellaneous	PLAM	plywood	SPK	speaker	TW	top of wall	WD	wood
ANOD	anodized	CIR	circle	DIV	division	EXT	exterior	HDR	header	J	joist	MOD	modular	PLYWD	plywood	SPEC	specification (s)	TYP	typical	W	with
APPROX	approximate	CLR	clear (ance)	DR	door	FOC	face of concrete	HVAC	heating/ventilating/	LAM	laminated (d)	MT	mount (ed), (ing)	PSF	pounds per square foot	SQ	square	UC	undercut		
ARCH	architect (ural)	CLS	closure	D	drain	HT	height	LAV	lavatory	NAT	natural	PSI	pounds per square inch	SST	stainless steel	UNF	unfinished	VB	vapor barrier		
AUTO	automatic	COL	column	DWG	drawing	FOS	face of studs	HC	hollow core	L	length	NOM	nominal	PL	property line	STD	standard	VF	vertical		
BLK	block	CONC	concrete	DF	drinking fountain	FT	finish floor	HM	hollow metal	LT	light	NIC	not in contact	RAD	radius	STL	steel	VERT	vertical		
BLKG	blocking	COND	condition	ELEC	electric (al)	FIN	finish (ing)	HM	hollow metal	MB	machine bolt	NTS	not to scale	REF	reference	STOR	storage	WSCT	wainscot		
BOT	bottom	CONST	construction	EL	elevation	FTG	footing	HOR	horizontal	MH	manhole	OC	on center (s)	REF	refrigerator	STRUCT	structural	WH	wall hung		

LEGEND



ALL REQ'S ARE PER CBC 2019 CHAPTER 11B ACCESSIBILITY TO PUBLIC BLDG., PUBLIC ACCOMMODATION/ COMMERCIAL BLDG. AND PUBLICLY FUNDED HOUSING. DISABLED ACCESS GENERAL NOTES

NOTE: ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS "A CONTINUOUS UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN AN ACCESSIBLE BUILDING OR FACILITY THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR, AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES, AND THAT ALSO IS CONSISTENT WITH THE DEFINITION OF "PATH OF TRAVEL" IN C.B.C. SECTION 1102B.

- 1. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. WHEN MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE. C.B.C. SEC. 1114B.1.2.
2. WHEN MORE THAN ONE BUILDING OR FACILITY IS LOCATED ON A SITE, ACCESSIBLE ROUTES OF TRAVEL SHALL BE PROVIDED BETWEEN BUILDINGS AND ACCESSIBLE SITE FACILITIES. C.B.C. SEC. 1114B.1.2.
3. THE ACCESSIBLE ROUTE OF TRAVEL SHALL "BE THE MOST PRACTICAL DIRECT ROUTE BETWEEN ACCESSIBLE BUILDING ENTRANCES, ACCESSIBLE SITE FACILITIES, AND THE ACCESSIBLE ENTRANCE TO THE SITE TO THE MAXIMUM EXTENT FEASIBLE, COINCIDING WITH THE ROUTE FOR THE GENERAL PUBLIC." C.B.C. SEC.1127B.1.
4. PROVIDE SIGNS DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND SHALL COMPLY WITH C.B.C. SECTION 1117B.5.1 SEC. 1117B.5.8.1

WALKS & SIDEWALKS PER C.B.C. SECTION 1133B.7.1.

- 1. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2", AND SHALL BE A MINIMUM OF 48" IN WIDTH.
2. WHEN ABRUPT CHANGES IN LEVEL NOT EXCEEDING 1/2" OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL.
3. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE EXCEEDING 1/2" SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.
4. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL IT SHALL COMPLY WITH THE PROVISIONS OF C.B.C. SECTION 1007 AS A PEDESTRIAN RAMP.
5. WALK AND SIDEWALK SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT.
6. WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60" BY 60" AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48" WIDE BY 44" DEEP AT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK.
7. WALKS SHALL EXTEND A MINIMUM OF 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
8. ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS AT LEAST 5' IN LENGTH AT INTERVALS OF AT LEAST EVERY 400'.
9. WALK AND SIDEWALK SURFACES SHALL BE SLIP RESISTANT AS FOLLOWS:
SURFACE WITH A SLOP OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLOPE RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH.
SURFACES WITH A SLOP OF 6% GRADIENT SHALL BE SLIP RESISTANT.
10. WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEY SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

ENTRANCES PER C.B.C. SECTION 1133B.1.1.

- 1. ALL ENTRANCES AND ALL EXTERIOR GROUND LEVEL EXITS SHALL BE ACCESSIBLE IN COMPLIANCE.
2. ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.

PARKING PER C.B.C. SECTION 1129B.

- 1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO A PRIMARY ENTRANCE.
2. IN EACH PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT ENCRoACHMENT OF CARS OVER THE REQUIRED WIDTH OF WALKWAYS.
3. PEDESTRIAN WAYS WHICH ARE ACCESSIBLE TO PEOPLE WITH DISABILITIES SHALL BE PROVIDED FROM EACH SUCH PARKING SPACE TO RELATED FACILITIES, INCLUDING CURBS CUTS OR RAMPS AS NEEDED.
4. ACCESSIBLE PARKING SPACES SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN.
5. SIGNS TO IDENTIFY ACCESSIBLE PARKING SPACES MAY BE CENTERED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 36" FROM THE PARKING SPACE FINISHED GRADE, GROUND OR SIDEWALK. C.B.C. SEC. 1129B.3.3
6. AN ADDITIONAL SIGN SHALL ALSO BE POSTED, IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17" X 22" IN SIZE WITH LETTERING NOT LESS THAN 1" IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING: C.B.C. SEC. 1129B.4.

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT OR BY TELEPHONING _____"

PEDESTRIAN RAMPS C.B.C. SECTION 1133B.5.5

- NOTE: ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1" RISE IN 20' OF HORIZONTAL RUN. C.B.C. SEC. 1133B.5.5.
1. THE MAXIMUM SLOPE OF A RAMP THAT SERVES ANY EXIT WAY, PROVIDES ACCESS FOR PERSONS WITH DISABILITIES, OR IS IN THE PATH OF TRAVEL SHALL BE 1" RISE IN 12' OF HORIZONTAL RUN.
2. THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50.
3. DOORS IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN 42" AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN

- 4. THE WIDTH OF THE LANDING SHALL EXTEND 24" PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMPS AND 18" PAST THE STRIKE EDGE FOR INTERIOR RAMPS.
5. AT BOTTOM AND INTERMEDIATE LANDINGS, THE WIDTH SHALL BE AT LEAST THE SAME AS REQUIRED FOR THE RAMP.
6. INTERMEDIATE AND BOTTOM LANDINGS AT A CHANGE OF DIRECTION IN EXCESS OF 30 DEGREES SHALL HAVE A DIMENSION IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 72" TO ACCOMMODATE THE HANDRAIL EXTENSION.
7. OTHER INTERMEDIATE LANDINGS SHALL HAVE A DIMENSION IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 60".
8. RAMP LANDINGS ARE NOT CONSIDERED IN DETERMINING THE MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP.
9. HANDRAILS SHALL BE PLACED ON EACH SIDE OF EACH RAMP, SHALL BE CONTINUOUS THE FULL LENGTH OF THE RAMP, SHALL BE 34" TO 38" ABOVE THE RAMP, SHALL EXTEND A MINIMUM OF 1' BEYOND TOP AND BOTTOM OF THE RAMP, AND THE ENDS SHALL BE RETURNED.
10. ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAILS SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
11. WHERE THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP EXCEEDS 10' IN LENGTH, THE RAMP SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:

- a) A GUIDE CURB A MINIMUM OF 2" IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP.
b) A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED 3" + 1" ABOVE THE SURFACE OF THE RAMP.

CURB RAMPS PER C.B.C. SECTION 1127B.5.

- 1. CURB RAMPS SHALL BE A MINIMUM OF 4' IN WIDTH AND SHALL LIE, GENERALLY, IN A SINGLE SLOPED PLANE, WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.
2. THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL.
3. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE, SHALL NOT EXCEED 1:20 WITHIN 4' OF THE TOP AND BOTTOM OF THE CURB RAMP.
4. A LEVEL LANDING 4" DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE. THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL.
5. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES, EXCEPT THAT THE LOWER END OF EACH CURB RAMP SHALL HAVE A 1/2" LIP BEVELED AT 45 DEGREES.
6. ALL CURB RAMPS SHALL HAVE A GROOVE BORDER 12 INCHES WIDE AT THE LEVEL OF THE SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE. C.B.C. SEC. 1127B.5.6.
7. A CURB RAMP SHALL HAVE A DETECTABLE WARNING THAT EXTENDS THE FULL WIDTH AND DEPTH OF THE CURB RAMP INSIDE THE GROOVED BORDER WHEN THE RAMP SLOPE IS LESS THAN 1 VERTICAL TO 15 HORIZONTAL. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9" AT THE BASE TAPERING TO 0.45" AT THE TOP, A HEIGHT OF NOMINAL 0.2", AND A CENTER TO CENTER SPACING OF NOMINAL 2.35", IN COMPLIANCE WITH C.B.C. FIGURE 11B-23B. "NOMINAL", AS USED HERE SHALL BE IN ACCORDANCE WITH SECTION 12-31-102, STATE REFERENCED STANDARDS CODE. THE DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. THE DOMES MAY BE CONSTRUCTED IN A VARIETY OF METHODS, INCLUDING CAST-IN-PLACE OR STAMPED, OR MAY BE PART OF A PREFABRICATED SURFACE TREATMENT. C.B.C. SEC. 1127B.5.7.

SANITARY FACILITIES PER C.B.C. SECTION 1115B.

- 1. GENERAL
A) DOORWAYS LEADING TO MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD. WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4" THICK AND 12" IN DIAMETER. C.B.C. SEC.
B) UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4" THICK, 12" DIAMETER, WITH A 1/4" THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER. C.B.C. SEC.
C) GEOMETRIC (CIRCLE AND TRIANGLE) SYMBOLS ON SANITARY FACILITY DOORS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60" AND THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR. C.B.C. SEC.
D) ADDITIONAL SIGNAGE REQUIREMENTS: RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.6. THEY SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. C.B.C. SEC.

NOTE: SINGLE ACCOMMODATION SANITARY FACILITY IS DEFINED AS " A ROOM THAT HAS NOT MORE THAN ONE OF EACH TYPE OF SANITARY FIXTURE, IS INTENDED FOR USE BY ONLY ONE PERSON AT A TIME, HAS NO PARTITION AROUND THE TOILET, AND HAS A DOOR THAT CAN BE LOCKED ON THE INSIDE BY THE ROOM OCCUPANT."

- A) THERE SHALL BE IN THE ROOM A CLEAR FLOOR SPACE OF AT LEAST 60" IN DIAMETER, OR A T-SHAPED SPACE COMPLYING WITH FIGURES 11B-12(A) AND (B). NO DOOR SHALL ENCRoACH INTO THIS SPACE.
B) THE WATER CLOSET SHALL BE LOCATED IN A SPACE WHICH PROVIDES A MINIMUM 28" WIDE CLEAR SPACE FORM A FIXTURE OR A MINIMUM 32" WIDE CLEAR SPACE FROM A WALL AT ONE SIDE. THE OTHER SIDE SHALL PROVIDE 18" FROM THE CENTER LINE OF THE WATER CLOSET TO THE WALL. A MINIMUM 48" CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET.
3. MULTIPLE ACCOMMODATION SANITARY FACILITIES PER C.B.C. SECTION 1115B.3.1

NOTE: MULTIPLE ACCOMMODATION SANITARY FACILITY IS DEFINED AS " A ROOM THAT HAS MORE THAN ONE SANITARY FIXTURE, IS INTENDED FOR THE USE OF MORE THAN ONE PERSON AT A TIME, AND WHICH USUALLY IS PROVIDED WITH PRIVACY COMPARTMENTS OR SCREENS SHIELDING SOME FIXTURES FROM VIEW."

- A) A CLEAR SPACE MEASURED FORM THE FLOOR TO A HEIGHT OF 27" ABOVE THE FLOOR, WITHIN THE SANITARY FACILITY ROOM, OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER NOT LESS THAN 60", OR CLEAR SPACE 56" BY 63" IN SIZE, SHALL BE PROVIDED FOR WHEELCHAIR MANEUVERING. DOORS OTHER THAN THE DOOR TO THE ACCESSIBLE TOILET COMPARTMENT IN ANY POSITION MAY ENCRoACH INTO THIS SPACE BY NOT MORE THAN 12".

- B) A WATER CLOSET FIXTURE LOCATED IN A COMPARTMENT SHALL PROVIDE A MINIMUM 28" WIDE CLEAR SPACE FORM A FIXTURE OR A MINIMUM 32" WIDE CLEAR SPACE FORM A WALL AT ONE SIDE OF THE WATER CLOSET. THE OTHER SIDE OF THE WATER CLOSET SHALL PROVIDE 18" FORM THE CENTER LINE OF THE WATER CLOSET TO THE WALL. GRAB BARS NOT PROJECT MORE THAN 3" INTO THESE CLEAR SPACE.
C) A MINIMUM 48" LONG CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET IF THE COMPARTMENT HAS AN END OPENING DOOR AND A MINIMUM 60" LONG CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET IF THE COMPARTMENT HAS A DOOR LOCATED AT THE SIDE. GRAB BARS SHALL NOT PROJECT MORE THAN 3" INTO THESE CLEAR SPACES.
D) WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WHEN LOCATED AT THE END AND 34" WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
E) WHEN STANDARD COMPARTMENT DOORS ARE USED, WITH A MINIMUM 9" CLEARANCE FOR FOOTRESTS UNDERNEATH AND A SELF-CLOSING DEVICE, CLEARANCE AT THE STRIKE EDGE AS SPECIFIED IN SECTION 1004.9.2.2 IS NOT REQUIRED.
F) THE INSIDE AND OUTSIDE OF THE COMPARTMENT DOOR SHALL BE EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH SHALL BE FLIP-OVER STYLE, SLIDING, OR OTHER HARDWARE NOT REQUIRING THE USER TO OR TWIST.
G) EXCEPT FOR DOOR OPENING WIDTHS AND DOOR SWINGS, A CLEAR, UNOBSTRUCTED ACCESS NOT LESS THAN 44" SHALL BE PROVIDED TO WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY PERSONS WITH DISABILITIES AND THE SPACE IMMEDIATELY IN FRONT OF A WATER CLOSET COMPARTMENT SHALL BE NOT LESS THAN 48" AS MEASURED AT A RIGHT ANGLE TO COMPARTMENT DOOR IN ITS CLOSED POSITION.

4. SANITARY FACILITY FIXTURES & ACCESSORIES PER C.B.C. SECTION 1115B.

- A) THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17" AND A MAXIMUM OF 19" MEASURED TO THE TOP OF A MAXIMUM 2" HIGH TOILET SEAT, EXCEPT THAT 3" SEATS SHALL BE PERMITTED ONLY IN ALTERATIONS WHERE THE EXISTING FIXTURE IS LESS THAN 15" HIGH.
B) A CLEAR FLOOR SPACE 30" BY 48" SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.
C) LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34" ABOVE THE FINISHED FLOOR AND WITH A CLEARANCE OF AT LEAST 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH AND 8" MINIMUM DEPTH AT THE TOP. TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR AND A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.
D) ALL PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES. C.B.C. SEC. 1504(A).
E) WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR FLOOR SPACE 30" BY 48" IN FRONT OF THE URINAL TO ALLOW FORWARD APPROACH.
F) CONTROLS FOR WATER CLOSET FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS.
G) WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE OPERABLE WITH ONE HAND. HANDS SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR.
H) THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE NO GREATER THAN 5 LBF.
I) SELF-CLOSING FAUCET CONTROL VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
J) WHERE TOWELS, SANITARY NAPKINS, WASTE RECEPTACLES, AND OTHER SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40" FROM THE FINISHED FLOOR.
K) TOILET TISSUE DISPENSERS SHALL BE LOCATED ON THE WALL WITHIN 12" OF THE FRONT EDGE OF THE TOILET SEAT AND NO LOWER THAN 19" FROM THE FLOOR. DISPENSERS THAT CONTROL DELIVERY OR THAT DO NOT PERMIT CONTINUOUS PAPER FLOW SHALL NOT BE USED.
L) TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL WHICH EXTENDS UPWARD INTO THE WALLS MINIMUM 5". WALLS WITHIN WATER CLOSET COMPARTMENTS AND WALLS WITHIN 24" OF THE FRONT AND SIDES OF URINALS SHALL BE SIMILARLY FINISHED TO A HEIGHT OF 48" AND, EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE.

5. GRAB BARS PER C.B.C. SECTION 1115B.7.

- A) GRAB BARS SHALL BE SECURELY ATTACHED 33" ABOVE AND PARALLEL TO THE FLOOR, EXCEPT THAT WHERE A TANK-TYPE TOILET IS USED WHICH OBSTRUCTS PLACEMENT AT 33", THE GRAB BAR MAY BE AS HIGH AS 36".
B) THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1-1/4" TO 1-1/2" OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1-1/2".
C) THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS, AND MOUNTING DEVICES SHALL MEET THE SPECIFICATIONS.
D) THE GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".

6. BATHING FACILITIES & LOCKERS PER C.B.C. SECTION 1115B.

- A) COMPARTMENT SHOWERS SHALL BE 42" IN WIDTH BETWEEN WALL SURFACES AND 48" IN DEPTH WITH AN ENTRANCE OPENING WIDTH OF 36" MINIMUM.
B) THRESHOLDS OR RECESSED DROPS AT COMPARTMENT SHOWERS SHALL BE A MAXIMUM OF 1/2" IN HEIGHT AND SHALL BE BEVELED OR SLOPED AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE HORIZONTAL.
C) COMPARTMENT SHOWER FLOORS SHALL SLOPE TOWARD THE REAR TO A DRAIN LOCATED WITHIN 6" OF THE REAR WALL, WITH A MAXIMUM FLOOR SLOPE OF 1/2" PER FOOT IN ANY DIRECTION. THE FLOOR SURFACES SHALL BE OF CARBORUNDUM OR GRIT-FACED TILE OR OF MATERIAL PROVIDING EQUIVALENT SLIP RESISTANCE.
D) THE FOLLOWING COMPARTMENT SHOWER ACCESSORIES SHALL BE PROVIDED:
I) A FOLDING SEAT 18" IN WIDTH AND A MINIMUM OF 36" IN LENGTH LOCATED ON THE WALL OPPOSITE CONTROLS AND MOUNTED 18" ABOVE THE BATHROOM FLOOR.

- ii) L-SHAPED GRAB BARS LOCATED ON WALLS ADJACENT TO AND OPPOSITE THE SEAT. GRAB BARS SHALL COMPLY WITH DIAMETER, LOADING, AND PROTECTION REQUIREMENTS OF C.B.C. SECTION 1158.8. GRAB BARS SHALL BE NOT LESS THAN 24" BY 36" IN LENGTH, WITH THE 36" SIDE ON THE WALL HAVING THE SHOWER HEAD AND CONTROLS.
iii) GRAB BARS MOUNTED 33" TO 36" ABOVE THE SHOWER FLOOR.
iv) SOAP DISH LOCATED ON THE CONTROL WALL AT A MAXIMUM HEIGHT OF 40" ABOVE THE FLOOR.
E) SHOWERS SHALL BE FINISHED WITH A SMOOTH, HARD, NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL TO HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE.
F) A FLEXIBLE HAND-HELD SHOWER UNIT WITH A HOSE AT LEAST 60" LONG SHALL BE PROVIDED WITH A HEAD MOUNTING HEIGHT OF 48" + 1" MAXIMUM ABOVE THE SHOWER FLOOR.
G) WATER CONTROLS FOR SHOWERS OF A SINGLE LEVER DESIGN SHALL BE LOCATED ON THE SIDE WALL OPPOSITE THE SEAT, 40 + 1" ABOVE THE SHOWER FLOOR, AND SHALL BE OPERABLE WITH A MAXIMUM FORCE OF 5 LBS.
H) WHERE, WITHIN THE SAME FUNCTIONAL AREA, TWO OR MORE SHOWERS ARE PROVIDED FOR THE PHYSICALLY HANDICAPPED, THERE SHALL BE AT LEAST ONE SHOWER CONSTRUCTED OPPOSITE THE HAND FROM THE OTHER OR OTHERS (I.E., ONE LEFT HAND CONTROL VS. RIGHT HAND CONTROL).
I) WHERE ACCESSIBLE SHOWER FACILITIES ARE PROVIDED IN AREAS SUBJECT TO EXCESSIVE VANDALISM, IN LIEU OF PROVIDING THE FIXED FLEXIBLE HOSE AND HAND-HELD SHOWER HEAD, TWO WALL MOUNTED SHOWER HEADS SHALL BE INSTALLED EACH SHOWER HEAD SHALL BE CONTROLLED SO THAT IT CAN BE OPERATED INDEPENDENTLY OF THE OTHER AND SHALL HAVE SWIVEL ANGLE ADJUSTMENTS, BOTH VERTICALLY AND HORIZONTALLY. ONE SHOWER HEAD SHALL BE LOCATED AT A HEIGHT OF 40 + 1" ABOVE THE FLOOR.
J) ENCLOSURES, WHEN PROVIDED FOR SHOWER STALLS, SHALL NOT OBSTRUCT TRANSFER FROM WHEELCHAIRS ONTO SHOWER SEATS.
K) GLAZING USED IN DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS, OR APPROVED PLASTIC. WHEN GLASS IS USED, IT SHALL HAVE A MINIMUM THICKNESS OF NOT LESS THAN 1/8" WHEN FULLY TEMPERED, OR 1/4" WHEN LAMINATED, AND SHALL PASS THE TEST REQUIREMENTS.
L) PLASTICS USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES SHALL BE OF A SHATTER-RESISTANT TYPE.
M) AT LEAST ONE AND NOT LESS THAN 1% OF ALL LOCKERS SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES, INCLUDING CLEAR SPACE, REACH RANGE REQUIREMENTS, AND A PATH OF TRAVEL NOT LESS THAN 36" IN CLEAR WIDTH TO THESE LOCKERS.

ENTRANCES, EXITS, DOORS & AREAS FOR EVACUATION ASSISTANCE PER C.B.C. SECTION 1133B.

- 1. ENTRANCES, EXITS & DOORS
A) LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
B) HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FLOOR.
C) THERE SHALL BE A LEVEL AND CLEAR FLOOR OF LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLE TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. THE SLOPE OF THESE AREAS SHALL NOT EXCEED 2%.
D) THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND A MINIMUM OF 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS. ADDITIONAL 12" IS REQUIRED AT THE PUSH SIDE, IF DOOR IS EQUIPPED WITH BOTH LATCH AND CLOSER.
E) THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.
F) THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. C.B.C. SEC. 1133B.2.6 & FIG. 11B-29.
G) RECESSED DOORMATS SHALL BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC. SEC. 1133B.1.1.3 & FIG. 11B-25.
H) MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS POUNDS FOR EXTERIOR DOORS, AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS. SEC. 1133B.2.5

STAIRWAYS PER C.B.C. SECTION 1133B.

- WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF THE STAIR RUN WOULD CREATE A HAZARD, THE TERMINATION OF THE EXTENSION SHALL BE MADE EITHER ROUNDED OR RETURNED SMOOTHLY TO THE FLOOR, WALL, OR POST. WHERE THE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING, THE INNER RAIL SHALL BE CONTINUOUS
1. AND NEED NOT EXTEND OUT INTO THE LANDING.
HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF 1-1/2" BETWEEN THE WALL AND HANDRAIL.
2. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR, AT LEAST 2" AND NO MORE THAN 4" WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE.
WHERE STAIRWAYS OCCUR OUTSIDE A BUILDING, THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" AND NO MORE THAN 4" WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE.
ALL TREAD SURFACES SHALL BE SLIP RESISTANT. TREADS SHALL HAVE SMOOTH, ROUNDED, OR CHAMFERED, EXPOSED EDGES, AND NO ABRUPT EDGES AT THE NOSING (FRONT EDGE).
5. THE NOSING SHALL NOT PROJECT MORE THAN 1-1/2" PAST THE FACE OF THE RISER BELOW.

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T1.2

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y NA RESPON PARTY
 YES NOT APPLICABLE RESPONSIBLE PARTY (BY ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Y	NA	RESPON PARTY

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:

Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC)
 301.5 HEALTH FACILITIES. (see GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

SECTION 303 PHASED PROJECTS

303.1 PHASED PROJECTS. For shall buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.

303.1.1 Initial Tenant Improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.

ABBREVIATION DEFINITIONS:

- HCD Department of Housing and Community Development
- BSC California Building Standards Commission
- DSA-SS Division of the State Architect, Structural Safety
- OSHPD Office of Statewide Health Planning and Development
- LR Low Rise
- HR High Rise
- AA Additions and Alterations
- N New

CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

SECTION 5.101 GENERAL

5.101.1 SCOPE
 The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS

5.102.1 DEFINITIONS
 The following terms are defined in Chapter 2 (and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

LOW-EMITTING AND FUEL EFFICIENT VEHICLES.

- Eligible vehicles are limited to the following:
- Zero emission vehicle (ZEV), including neighborhood electric vehicles (NEV), partial zero emission vehicle (PZEV), advanced technology PZEV (AT ZEV) or CNG fueled (original equipment manufacturer only) regulated under Health and Safety Code section 43800 and CCR, Title 13, Sections 1961 and 1962.
 - High-efficiency vehicles, regulated by U.S. EPA, bearing High-Occupancy Vehicle (HOV) car pool lane stickers issued by the Department of Motor Vehicles.

NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards.

TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.

VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing.

Note: Source: Vehicle Code, Division 1, Section 668

ZEV. Any vehicle certified to zero-emission standards.

SECTION 5.106 SITE DEVELOPMENT

5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:

5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance.

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.

- Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Scheduling construction activity during dry weather, when possible.
 - Preservation of natural features, vegetation, soil, and buffers around surface waters.
 - Drainage swales or lined ditches to control stormwater flow.
 - Mulching or hydroseeding to stabilize disturbed soils.
 - Erosion control to protect slopes.
 - Protection of storm drain inlets (gravel bags or catch basin inserts).
 - Perimeter sediment control (perimeter silt fence, fiber rolls).
 - Sediment trap or sediment basin to retain sediment on site.
 - Stabilized construction exits.
 - Wind erosion control.
 - Other soil loss BMPs acceptable to the enforcing agency.
- Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Dewatering activities.
 - Material handling and waste management.
 - Building materials stockpile management.
 - Management of washout areas (concrete, paints, stucco, etc.).
 - Control of vehicle/equipment fueling to control leaking area.
 - Vehicle and equipment cleaning performed off site.
 - Spill prevention and control.
 - Other housekeeping BMPs acceptable to the enforcing agency.

Y	NA	RESPON PARTY

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale.

Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollution Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit).

The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversation design measures. Stormwater volume that cannot be managed using nonstructural practices is required to be captured in structural practices and be approved by the enforcing agency.

Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/stormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter.

5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack.

Exception: Additions or alterations which add nine or less visitor vehicular parking spaces.

5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility.

5.106.4.1.4 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles;
- Lockable bicycle rooms with permanently anchored racks; or
- Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building.

5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles;
- Lockable bicycle rooms with permanently anchored racks; or
- Lockable, permanently anchored bicycle lockers.

5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as follows:

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
25-50	3
51-75	6
76-100	8
101-150	11
151-200	16
201 AND OVER	AT LEAST 8% OF TOTAL

5.106.5.2.1 - Parking stall marking. Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible beneath a parked vehicle: CLEAN AIR / VAN POOL / EV

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

5.106.5.3.1 Single charging space requirements. [N] When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

- The type and location of the EVSE.
- A listed raceway capable of accommodating a 208/240-volt dedicated branch circuit.
- The raceway shall not be less than trade size 1".
- The raceway shall originate at a service panel or a subpanel serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and listed suitable cabinet, box, enclosure or equivalent.
- The service panel or subpanel shall have sufficient capacity to accommodate a minimum 40-ampere dedicated branch circuit for the future installation of the EVSE.

5.106.5.3.2 Multiple charging space requirements. [N] When multiple charging spaces are required per Table 5.106.5.3.3 raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

- The type and location of the EVSE.
- The raceway(s) shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and into listed suitable cabinet(s), box(es), enclosure(s) or equivalent.
- Plan design shall be based upon 40-ampere branch circuits.
- Electrical calculations shall substantiate the design of the electrical system, to include the rating of equipment and any on-site distribution transformers and have sufficient capacity to simultaneously charge all required EVs at its full rated amperage.
- The service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE.

5.106.5.3.3 EV charging space calculations. [N] Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE.

Exceptions: On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure is not feasible based upon one or more of the following conditions:

Y	NA	RESPON PARTY

- Where there is insufficient electrical supply.
- Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 AND OVER	6% of total*

1. Calculation for spaces shall be rounded up to the nearest whole number.

5.106.5.3.4 [N] Identification. The service panel or subpanel(s) circuit directory shall identify the reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

5.106.5.3.5 [N] Future charging spaces qualify as designated parking as described in Section 5.106.5.2 Designated parking for clean air vehicles.

5.106.8 LIGHT POLLUTION REDUCTION. [N] Outdoor lighting systems shall be designed and installed to comply with the following:

- The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and
- Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8);
- Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in Chapter 8) and
- Allowable BUG ratings not exceeding those shown in Table 5.106.8. [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

Exceptions: [N]

- Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code.
- Emergency lighting.
- Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6.
- Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8 Alternate materials, designs and methods of construction.

Note: [N]

- See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.
- Refer to Chapter 9 (Compliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table A-1, California Energy Code Tables 130.2-A and 130.2-B.
- Refer to the California Building Code for requirements for additions and alterations.

TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS^{1,2}

ALLOWABLE RATING	LIGHTING ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ4
MAXIMUM ALLOWABLE BACKLIGHT RATING - Luminaire greater than 2 mounting heights (MH) from property line	N/A	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1-2 MH from property line	N/A	B2	B3	B4	B4
Luminaire back hemisphere is 0.5-1 MH from property line	N/A	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	B0	B0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATING (U) For area lighting -	N/A	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	N/A	U1	U2	U3	UR
MAXIMUM ALLOWABLE GLARE RATING - (G) Luminaire greater than 2 MH from property line	N/A	G1	G2	G3	G4
Luminaire front hemisphere is 1-2 MH from property line	N/A	G0	G1	G1	G2
Luminaire front hemisphere is 0.5-1 MH from property line	N/A	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	G0	G0	G0	G1

- IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
- For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
- If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.
- General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting".
- If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales.
- Water collection and disposal systems.
- French drains.
- Water retention gardens.
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

Y	NA	RESPON PARTY

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years.

Exceptions: The surface parking area covered by solar photovoltaic shade structures, or shade structures, with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5, are not included in the total area calculations.

5.106.12.2 Landscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years.

Exceptions: Playfields for organized sport activity are not included in the total area calculation.

5.106.12.3 Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

Exceptions: Walks, hardscape areas covered by solar photovoltaic shade structures, and hardscape areas covered by shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5, are not included in the total area calculation.

DIVISION 5.2 ENERGY EFFICIENCY

SECTION 5.201 GENERAL

5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.301 GENERAL

5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance.

SECTION 5.302 DEFINITIONS

5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference)

EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which are two major influences on the amount of water that needs to be applied to the landscape.

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks.

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable.

GRAY WATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or dishwashers.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) [HCD]. The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least as effective as the MWELO.

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.

POTABLE WATER [HCD]. Water that is satisfactory for drinking, culinary, and domestic purposes, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority Recycling Jurisdiction.

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.

SUBMETER. A meter installed subordinate to a site meter. Usually used to measure water intended for one purpose, such as landscape irrigation. For the purposes of CALGreen, a dedicated meter may be considered a submeter.

WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELO).

SECTION 5.303 INDOOR WATER USE

5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2.

5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows:

- For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop.
- Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subsystems:

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y = YES APPLICABLE
 N/A = NOT APPLICABLE
 RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

Y	N/A	RESPON. PARTY	SECTION	Y	N/A	RESPON. PARTY	SECTION	Y	N/A	RESPON. PARTY	SECTION	Y	N/A	RESPON. PARTY	SECTION	
			5.303.3.4 Faucets and fountains.				SECTION 5.40 WATER RESISTANCE AND MOISTURE MANAGEMENT				5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply.				5.410.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.	
			5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi.				5.40 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local ordinance, whichever is more stringent.				5.410.4.5 Operation and maintenance (O/M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of warranties/warranties for each system. O/M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations.				5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	
			5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.				5.40 .2 MOISTURE CONTROL. Employ moisture control measures by the following methods.				DIVISION 5.5 ENVIRONMENTAL QUALITY				SECTION 5.501 GENERAL	
			5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 [rim space (inches) at 60 psi].				5.40 .2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures.				SECTION 5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors.				SECTION 5.502 DEFINITIONS	
			5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.				5.40 .2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows:				5.502.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)				ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route.	
			5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi].				5.40 .2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following:				A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made.				1 BTU/HR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32° Fahrenheit.	
			Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.				5.40 .2.2.2 Flashing. Install flashings integrated with a drainage plane.				COMMUNITY NOISE EQUIVALENT LEVEL (Ldn). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.				COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. Composite wood products does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I joists or finger jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a).	
			5.303.4 COMMERCIAL KITCHEN EQUIPMENT.				SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING				DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10pm to 7 a.m.).				DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity.	
			5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.				5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent.				ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest.				EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.	
			Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.				5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that:				FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections.				GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.	
			5.303.4.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code and in Chapter 6 of this code.				5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.				GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995), or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14.				HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a hydrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).	
			5.303.4.3 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.				Note: The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company.				LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.5 times the pipe diameter.				LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).	
			5.303.4.4 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.				Exceptions to Sections 5.408.1.1 and 5.408.1.2:				MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2 1999.				MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O ₃ /g ROG).	
			Note:				1. Excavated soil and land-clearing debris.				PRODUCT-WEIGHTED MIR (PW-MIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PW-MIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).				PSIG. Pounds per square inch, gauge.	
			1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2.				2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist.				REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.				SCHRADER ACCESS VALVES. Access fittings with a valve core installed.	
			2. MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/ .				3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets.				SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.				SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.	
			5.303.4.5 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.				5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement as approved by the enforcing agency.				VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)				Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.	
			Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MWELO.				5.408.1.4 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.				SECTION 5.503 FIREPLACES				5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances.	
			5.304.6.1 Newly constructed landscapes. New construction projects with an aggregate landscape area equal to or greater than 500 square feet.				Note:				5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.				SECTION 5.504 POLLUTANT CONTROL	
			5.304.6.2 Rehabilitated landscapes. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet.				1. If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material.				5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.				5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system.	
			DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY				2. For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdffa.ca.gov)				5.504.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards, the National Environmental Balancing Bureau Procedural Standards, Associated Air Balance Council National Standards or as approved by the enforcing agency.					
			SECTION 5.401 GENERAL				5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.				5.504.3.2 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system.					
			5.401.1 SCOPE. The provisions of this chapter shall outline means of achieving material conservation and resource efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.				Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section.				5.504.3.3 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards, the National Environmental Balancing Bureau Procedural Standards, Associated Air Balance Council National Standards or as approved by the enforcing agency.					
			SECTION 5.402 DEFINITIONS				5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site.				5.504.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:					
			5.402.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)				Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.				1. Renewable energy systems.					
			ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.				5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code. Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act).				2. Landscape irrigation systems.					
			BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals, according to design quantities.				Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.				3. Water reuse systems.					
			BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.													
			ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.													
			TEST. A procedure to determine quantitative performance of a system or equipment													

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DATE: 04/22/22

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 CHECKED BY: F.J./M.G./A.A.
 DESIGNED BY: F.J./A.A.

CAL GREEN

JOB No: 041822.01
 SHEET:

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y NA RESPON. PARTY

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with Section 94507.

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT_{1,2}

Less Water and Less Exempt Compounds in Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT □ ASPHALT TILE ADHESIVES	50
DRYWALL □ PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP □ TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURH/TML/R1168.PDF

TABLE 5.504.4.2 - SEALANT VOC LIMIT

Less Water and Less Exempt Compounds in Grams per Liter	
SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for VOC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

Y NA RESPON. PARTY

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS_{2,3}

GRAMS OF VOC PER LITER OF COATING, LESS WATER □ LESS EXEMPT COMPOUNDS	
COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ₁	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, □ UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS □ UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB □ TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER □ EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification
2. Field verification of on-site product containers

5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and product requirements:

1. Carpet and Rug Institute's Green Label Plus Program.
2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH Standard Method V1.1 or Specification 01350).
3. NSF/ANSI 140 at the Gold level or higher;
4. Scientific Certifications Systems Sustainable Choice; or
5. Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria listed in the CHPS High Performance Product Database.

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S standards.
5. Other methods acceptable to the enforcing agency.

Y NA RESPON. PARTY

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS:

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD:	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333, FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program;
2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010;
3. Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria and listed in the CHPS High Performance Product Database; or
4. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's □ Schools Program).

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

Exceptions: Existing mechanical equipment.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504. ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the *California Energy Code*, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 CARBON DIOXIDE (CO₂) MONITORING. For buildings or additions equipped with demand control ventilation, CO₂ sensors and ventilation controls shall be specified and installed in accordance with the requirements of the *California Energy Code*, Section 120(c)(4).

SECTION 5.50 ENVIRONMENTAL COMFORT

5.50.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.

Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.

5.50.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

1. Within the 65 CNEL noise contour of an airport.

Exceptions:

1. L_{eq} or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICL) plan.
2. L_{eq} or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.

2. Within the 65 CNEL or L_{eq} noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

5.50.4.1.1 Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{eq} 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

5.50.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1hr) of 50 dBA in occupied areas during any hour of operation.

5.50.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.50.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record.

5.50.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toobase.org/PDF/CasesStudies/stc_tcc_ratings.pdf.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 O₃ one depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs.

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO₂), and potentially other refrigerants.

Y NA RESPON. PARTY

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

Exception: Single-flared tubing connections may be used with a multigrain seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of long radius elbows.

5.508.2.2 Valves. Valves Valves and fittings shall comply with the *California Mechanical Code* and as follows.

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted for use.

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.

5.508.2.2.2.1 Chain leathers. Chain leathers to fit over the stem are required for valves designed to have seal caps.

Exception: Valves with seal caps that are not removed from the valve during stem operation.

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel; or be coated to prevent corrosion from these substances.

5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to maximize energy efficiency.

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.

5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging.

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a □ one pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (□ 50 microns), and hold for 30 minutes.

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30 minutes.

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

CHAPTER □

INSTALLER □ SPECIAL INSPECTOR QUALIFICATIONS

□02 QUALIFICATIONS

□02.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

□02.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

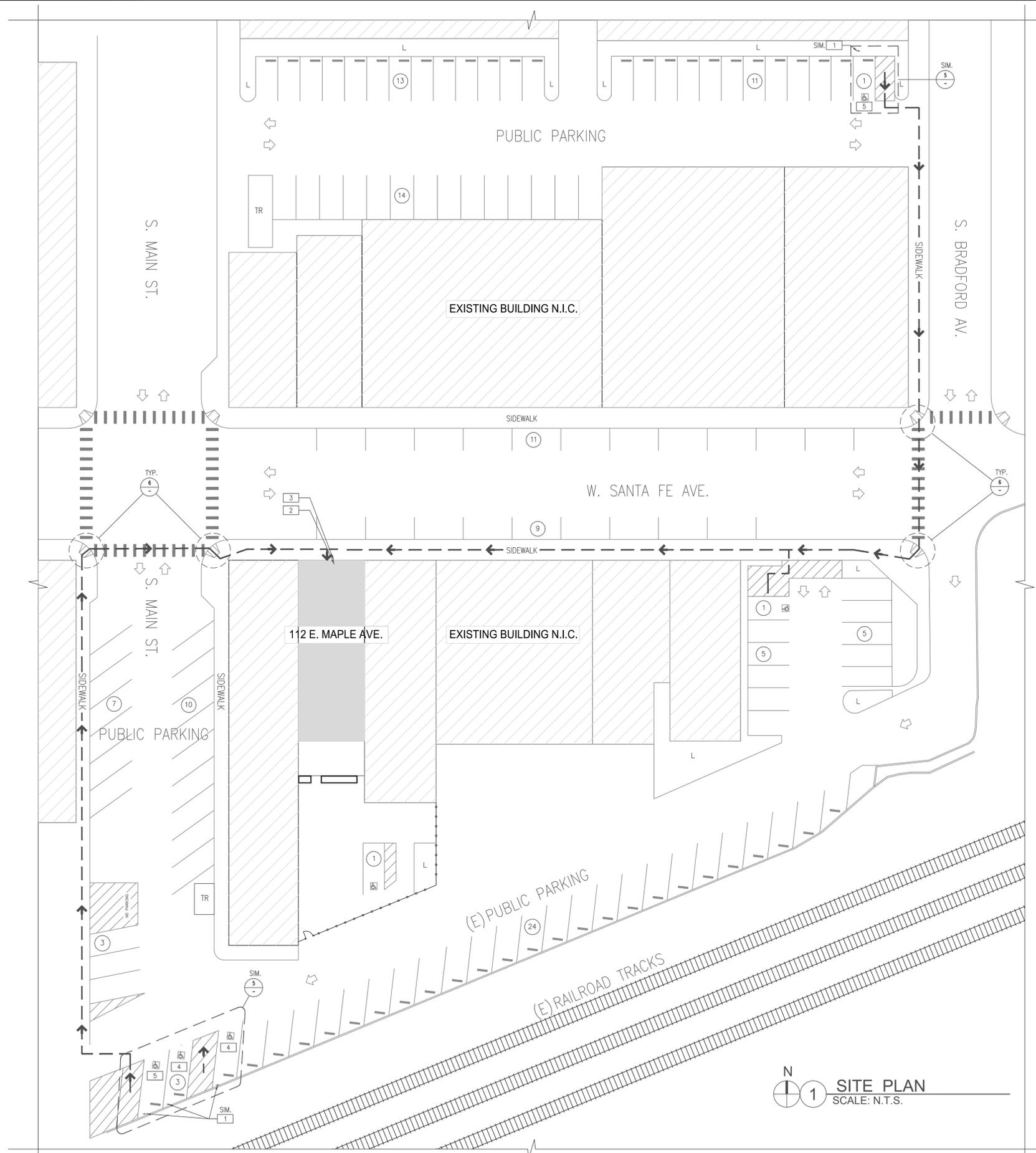
□03 VERIFICATIONS

□03.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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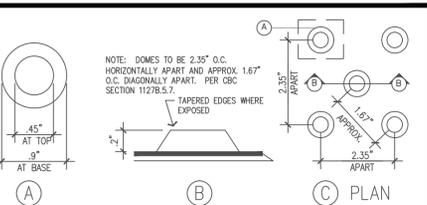
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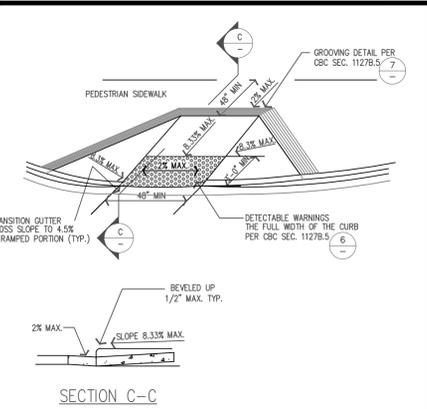
1 SITE PLAN
SCALE: N.T.S.

FOR REFERENCE ONLY - EXISTING SHELL - T.I. PERMIT ONLY

TACTILE STRIP GROOVE DETAIL
SCALE: N.T.S.



TRUNCATED DOMES
SCALE: N.T.S.



CURB SECTION DETAIL
SCALE: N.T.S.

PARKING SUMMARY

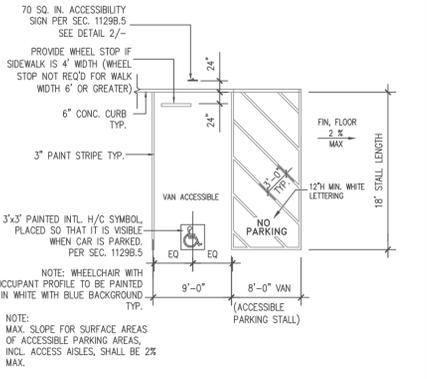
BUILDING - (SMOKING LOUNGE / SHOP REMODEL)		
MERCANTILE (1/200)	1,705 S.F.	6 STALLS
PARKING REQUIRED		6 STALLS
AUTO PARKING PROVIDED:		
EXISTING PARKING STALLS (STANDARD):		111
EXISTING H/C VAN ACCESSIBLE PARKING STALLS:		2
EXISTING ACCESSIBLE PARKING STALLS:		4
TOTAL PARKING PROVIDED:		117 STALLS
PER TABLE 11B-6 C.B.C. - NUMBER OF ACCESSIBLE SPACES REQUIRED		
TOTAL NUMBER OF PARKING SPACES IN LOT OR GARAGE	101-150	MINIMUM REQUIRED NUMBER OF ACCESSIBLE STALLS: 5

SITE PLAN KEY NOTES

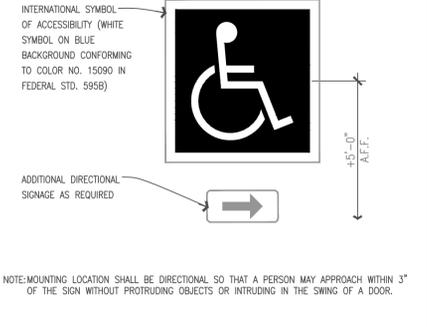
- EXISTING PARKING SPACE SIGNAGE. SEE TYP. DETAIL 2/-
- EXISTING EXIT SIGNAGE. SEE TYP. DETAIL 3/-
- ACCESSIBLE ENTRY W/ NEW ACCESSIBLE BUILDING SIGNAGE. SEE TYPICAL DETAIL 4/-
- EXISTING H.C. ACCESSIBLE STALL. FOR LOADING /UNLOADING ISLE ON THE PASSENGER SIDE. SEE TYP. DETAIL 5/-
- EXISTING VAN H.C. ACCESSIBLE STALL. FOR LOADING /UNLOADING ISLE ON THE PASSENGER SIDE. SEE TYP. DETAIL 5/-
- PROVIDE DETECTABLE WARNING AT PATH OF TRAVEL (AS REQUIRED PER CBC 2019 11B 274 & 11B 275) IF NOT PROVIDED. SEE TYP. DETAIL 6/-

SITE LEGEND

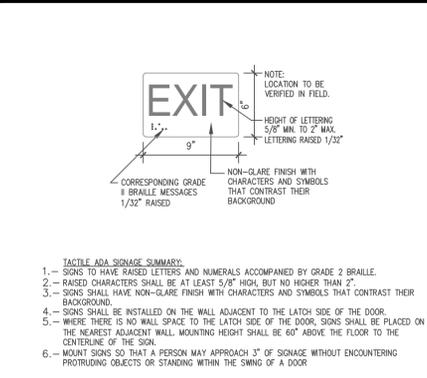
	SCOPE OF WORK		# PARKING SPACES
	NOT IN CONTRACT	L	EXISTING LANDSCAPE
	PROPERTY LINE	TR	EXISTING TRASH CONTAINER
	ACCESSIBLE PATH OF TRAVEL	(E)	DENOTES EXISTING CONDITION
	RAILROAD TRACKS	(N)	DENOTES NEW CONDITION



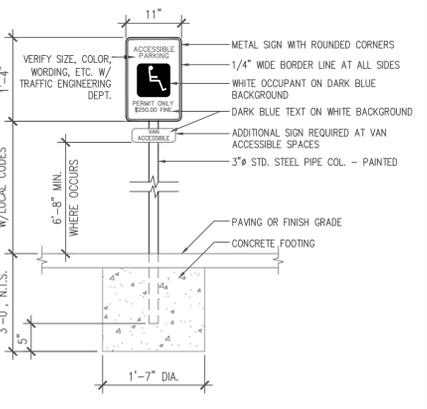
ADA PARKING STALL DETAIL
SCALE: 1/8"=1'-0"



ACCESSIBLE SIGNAGE @ DOOR
SCALE: N.T.S.



TYP. TACTILE SIGNAGE
SCALE: N.T.S.



ACCESSIBLE SIGN DETAIL
SCALE: N.T.S.

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REVISIONS:

1	T.I. CD's Phase 04.22.22

DATE: 04/22/22

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CHECKED BY: F.J./M.G./A.A.
DESIGNED BY: F.J./A.A.

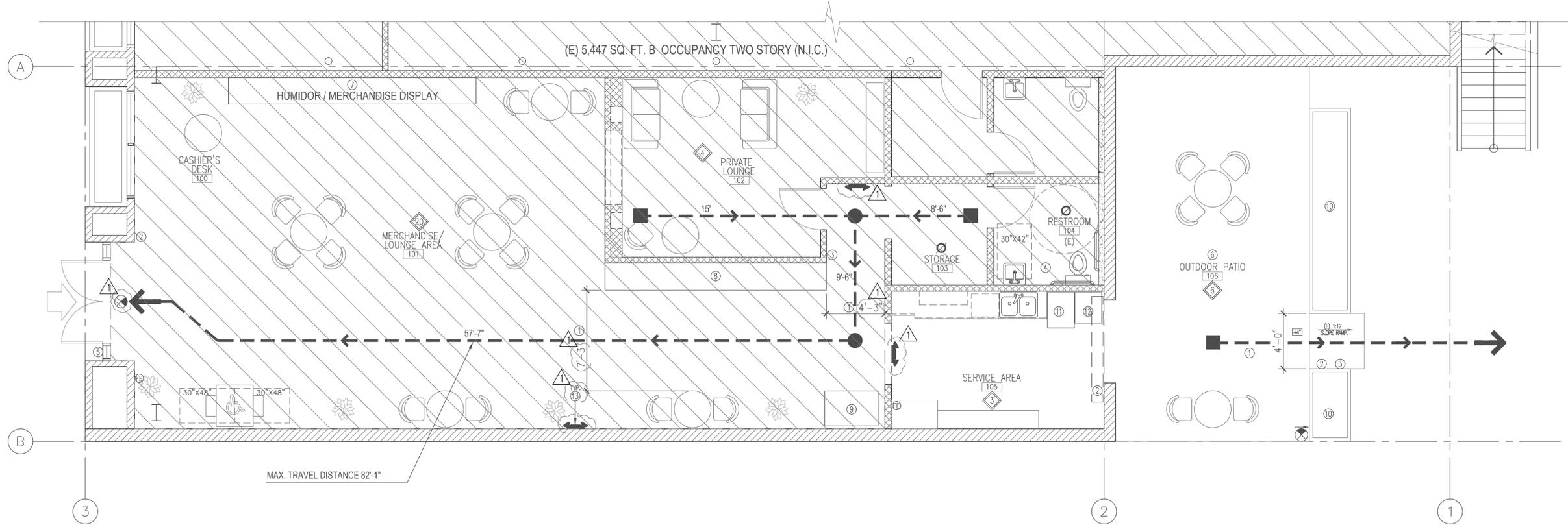
SITE PLAN & DETAILS

JOB No: 041822.01
SHEET:

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Placentia CA 92870
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1 OCCUPANCY & EXITING PLAN
SCALE: 1/4" = 1'-0"

EXITING PLAN GENERAL NOTES

1. EXITING FROM ANY OCCUPIED POINT IN A BUILDING OR STRUCTURE ON THE SUBJECT SITE MUST BE CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED TO A PUBLIC WAY. THIS INCLUDES GATES WHICH MUST SHOW COMPLIANCE WITH CBC CHAPTER 10 / SHALL ALSO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A OR 11B AS APPLICABLE.
2. MEANS OF EGRESS FROM ALL OCCUPABLE PARTS OF THE BUILDING TO BE PROVIDED WITH AT LEAST 1 FOOT-CANDLE (11UX) OF LIGHT AT FLOOR LEVEL, PER CBC SECTION 1008
3. IN THE EVENT OF POWER SUPPLY FAILURE IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS (1008.3.1):
AISLES
CORRIDORS
EXIT ACCESS STAIRWAYS AND RAMPS.
4. ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS, WHERE MORE THAN ONE MEANS OF EGRESS IS REQUIRED BY SECTION 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY ACCESSIBLE MEANS OF EGRESS IN AT LEAST THE SAME NUMBER AS REQUIRED BY SECTIONS 1006.2 OR 1006.3. IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, MEANS OF EGRESS, WHICH PROVIDE ACCESS TO, OR EGRESS FROM, BUILDINGS FOR PERSONS WITH DISABILITIES, SHALL ALSO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A OR 11B AS APPLICABLE.

EXITING PLAN SPECIFIC NOTES

- ① MAIN PATH OF TRAVEL SHALL BE 44" WIDE MIN., TYPICAL.
- ② TACTILE SIGN WITH WORD "EXIT" PER CBC 1011.3 SEE DETAIL 4/A0.1
- ③ TACTILE SIGN WITH WORD "EXIT ROUTE" PER CBC 1011.3 SEE DETAIL 3/A0.1
- ④ ADA ACCESSIBLE RESTROOMS SEE ENLARGED RESTROOM PLAN 1/A0.2
- ⑤ ACCESSIBLE ENTRY W/ EXISTING ACCESSIBLE BUILDING SIGNAGE. SEE TYPICAL DETAIL 4/A0.1.
- ⑥ OUTDOOR PATIO DECK SITTING AREA.
- ⑦ EXISTING HUMIDOR MILLWORK.
- ⑧ EXISTING HUMIDOR LOOKERS MILLWORK.
- ⑨ EXISTING DOOR REACH-IN REFRIGERATOR.
- ⑩ EXISTING PLANTER.
- ⑪ NEW TAP FREESTANDING KEGERATOR / SEE EQUIPMENT SCHEDULE / SHEET A2.1
- ⑫ NEW FREESTANDING/BUILT-IN WINE CELLAR / SEE EQUIPMENT SCHEDULE / SHEET A2.1
- ⑬ EXISTING WALL MOUNTED EMERGENCY LIGHT.

OCCUPANCY INFORMATION

29 MAX. OCCUPANCY LOAD

M MERCANTILE / RETAIL (CBC SEC 309.1)

MERCANDISE / LOUNGE AREA	1,182 S.F. ÷ 60	= 20 OCCUPANTS
PRIVATE LOUNGE	240 S.F. ÷ 60	= 4 OCCUPANTS
SERVICE AREA	164 S.F. ÷ 60	= 3 OCCUPANTS
M MERCANTILE / STORAGE		
STORAGE ROOM	164 S.F. ÷ 300	= 1 OCCUPANTS
RESTROOM	63 S.F. ÷ 300	= 1 OCCUPANTS
TOTAL LOAD:	1,705 S.F.	29 OCCUPANTS

ONE (1) EXIT REQUIRED PER 2019 CBC TABLE 1006.3.3(2)

OUTDOOR PATIO / SITTING AREA 382 S.F. ÷ 60 = 6 OCCUPANTS

OCCUPANCY / EXITING PLAN LEGEND

	NOT IN CONTRACT
	EXISTING PERIMETER WALL TO REMAIN
	EXISTING INTERIOR WALL TO REMAIN
	NEW WALL (WHERE APPLICABLE)
	PRIMARY EXITS
	PATH OF TRAVEL
	EDGE GLOW EXIT SIGN, TYPE X2 277V ALCO ROLD-FI2-277-NCAD -RFL02 -OW, RECESSED MEET ALL CBC REQUIREMENTS. EXIT SIGN TO PROVIDE 5 FOOT CANDLE ILLUMINATION [CBC 1013.6.2]. EXIT SIGN & EXIT ILLUMINATION TO BE ON BATTERY BACK UP W/ 90 MINUTES OF EMERGENCY POWER & SEPARATE CIRCUIT [CBC-1013.1]. AND TACTILE PER CBC CODE / EXIT PLAN SPECIFIC NOTES #2.
	LITHIUM LIGHTING BAGGIES, ELIC: LED EMERGENCY LIGHT / (120V/277V, 60HZ) STANDARD WITH TEST SWITCH, STATUS INDICATOR AND RECHARGEABLE MAINTENANCE-FREE NICKEL-CADMIUM BATTERY W/ 90 MINUTES OF EMERGENCY POWER [CBC-1008.3].
	BUILDING STANDARD PORTABLE FIRE EXTINGUISHER. FOR MOUNTING HEIGHT SEE DETAIL#6/A3.3
	ACCESSORY SPACE, ZERO OCCUPANTS
	OCCUPANCY LOAD
(E)	EXISTING MATERIAL (N) NEW MATERIAL

REVISIONS:

	T.I. CD's Phase 04.22.22
	FIRE DEP. COMMENTS 05/09/22

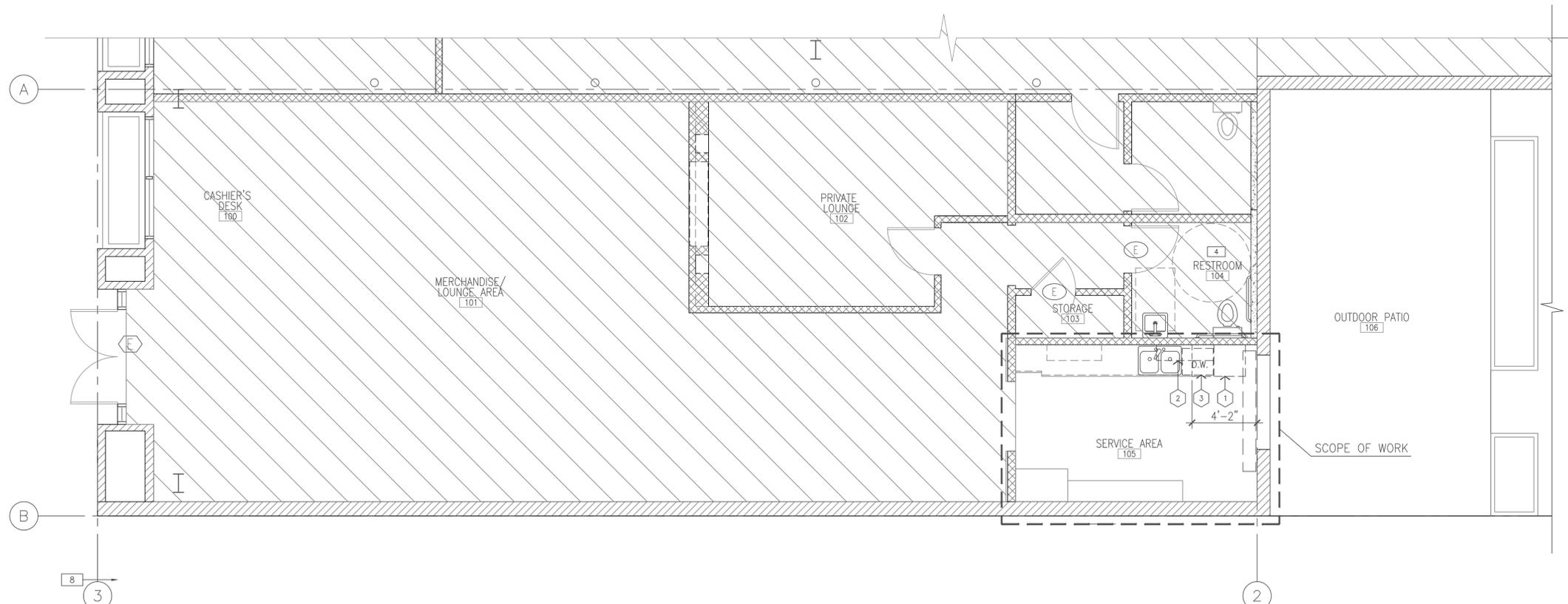
DATE: 04/22/22

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CHECKED BY: F.J./M.G./A.A.
DESIGNED BY: F.J./A.A.

OCCUPANCY & EXITING

JOB No: 041822.01
SHEET:

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1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES:

- 1.- PATCH, REPAIR, & REFINISH WALL SURFACES THAT ARE TO REMAIN, AS REQ'D.
- 2.- GENERAL CONTRACTOR TO VERIFY IF ANY DEMOLISHED WALL OR COLUMN FURRINGS CONTAIN MECHANICAL OR PLUMBING ELEMENTS & ADVISE DESIGNER
- 3.- SAVE AND STORE ALL LIGHT FIXTURES, EXIT SIGNS, DOORS & HARDWARE FOR REUSE, U.N.O.
- 4.- ALL ADJACENT SURFACES DAMAGED DURING DEMOLITION TO BE PATCHED AND REPAIRED AND PREPARED FOR NEW FINISHES.
- 5.- REMOVE ALL TELEPHONE, ELECTRICAL, AND DATA OUTLETS, FIXTURES, PANELS, ETC. FROM ALL DEMOLISHED PARTITIONS. REMOVE ALL CORRESPONDING CABLES, CONDUIT, WIRING, ETC., ALL THE WAY BACK TO THE ORIGINAL SOURCE AT MAIN FLOOR TELEPHONE OR ELECTRICAL ROOMS.
- 6.- CONTRACTOR TO VERIFY THAT FLOOR IS LEVEL.

DEMOLITION PLAN SPECIFIC NOTES:

- 1 CUT EXISTING BASE AND PANTRY PORTION OF MILLWORK AS REQUIRED FOR A 4'-2" NEW EQUIPMENT CLEARANCE / PER PARTITION PLAN NEW LAYOUT. DEMOLISHED / REMOVED MATERIAL TO BE DISPOSED / RECYCLED PER CITY REQUIREMENTS / OWNER'S INSTRUCTIONS.
- 2 REMOVE EXISTING UPPER MILLWORK PER PARTITION PLAN / PER NEW LAYOUT.
- 3 REMOVE AND STORE EXISTING DISHWASHER FOR RE-USAL AS REQUIRED PER NEW LAYOUT.

DEMOLITION PLAN LEGEND

	EXISTING PERIMETER BRICK WALL TO REMAIN
	EXISTING FLOOR TO STRUCTURE ABOVE WOOD STUD INTERIOR NON BEARING PARTITION
	EXISTING MATERIAL TO BE DEMOLISHED / REMOVED
	NOT IN CONTRACT
(E)	EXISTING MATERIAL TO REMAIN

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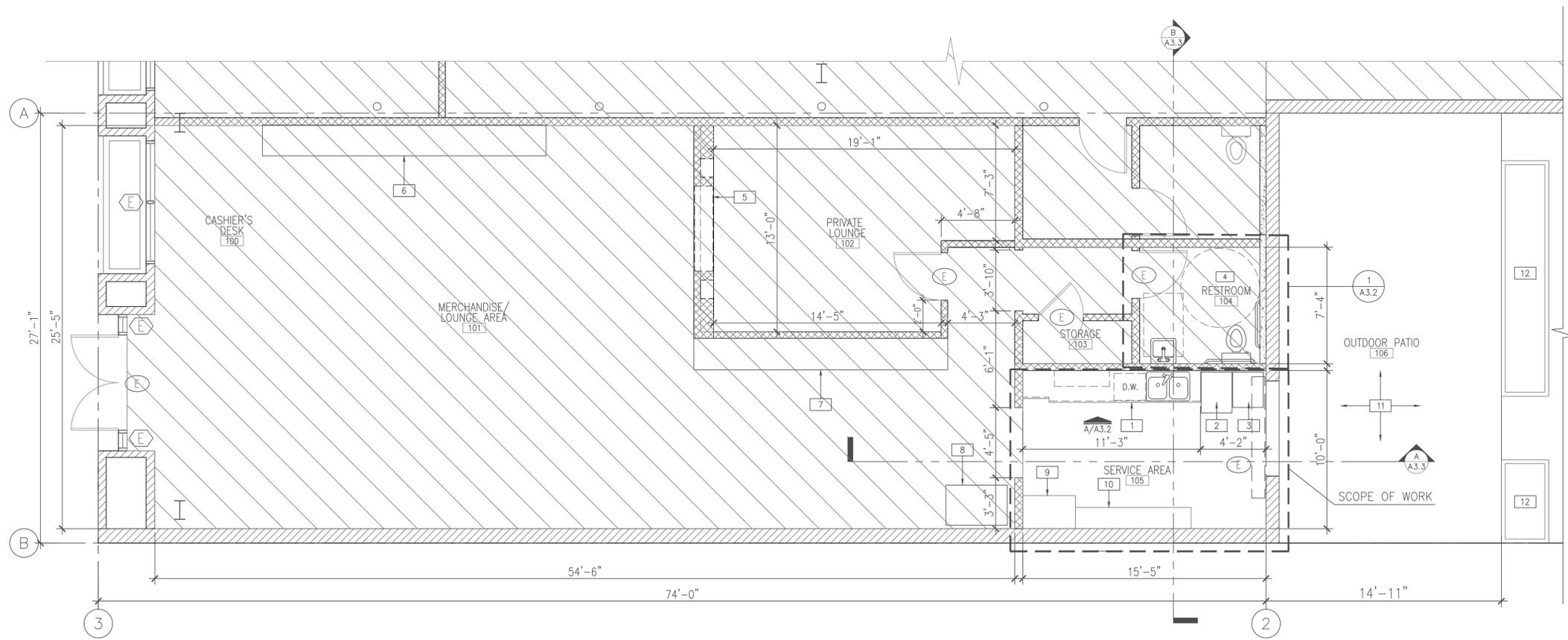
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DESIGNED BY: F.J./A.A.

DEMOLITION PLAN

JOB No: 041822.01
SHEET:

A2.0



1 PARTITION PLAN
SCALE: 1/4" = 1'-0"

GENERAL PARTITION NOTES

1. REPAIR ALL EXISTING TO REMAIN PARTITIONS, DOORS, FRAMES, ETC THAT ARE TO RECEIVE A NEW FINISH. ALL FINISHES TO MATCH EXISTING, U.N.O.
2. ALL NEW PARTITIONS PER WALL LEGEND. UNO. REFER TO SHEET A7.0 DETAIL # 1, 2, 3 & 4.
3. REFER TO SHEET T1.2 FOR ALL A.D.A. / TITLE 24 RELATED MOUNTING AND LOCATING REGULATIONS.
4. NOT USED
5. IF OUTLETS ARE INSTALLED DIRECTLY INTO CORE WALLS, SEAL/INSULATE AS REQUIRED PER CODES TO MAINTAIN THE INTEGRITY OF WALL RATING. REFER TO ELECTRICAL & TELEPHONE PLAN FOR LOCATION.
6. VERIFY ALIGNMENTS IN FIELD. IF MISALIGNMENT OF EXISTING ELEMENTS SHOULD OCCUR, VERIFY OPTION OF FURRING COLUMN TO PROVIDE REQUIRED ALIGNMENT.
7. LEVEL OR "FLOAT" FLOORS WHERE REQUIRED FOR LEVEL FINISH AND APPEARANCE; WHERE FURNITURE IS TO BE LOCATED.
8. ANY DAMAGE DONE BY ANY EXISTING FIRE PROOFING SHOULD BE REPAIRED WITH COMPARABLE MATERIAL HAVING THE SAME FIRE RESISTIVE RATING REQUIRED BY CBC CHAPTER 7.
9. REWORK EXISTING FIRE-LIFE SAFETY SYSTEMS, AS REQ'D., TO ACCOMMODATE NEW LAYOUT AND COMPLY WITH CODE REQUIREMENTS.
10. FOR ADDITIONAL NOTES SEE SHEET T1.3
11. NOT USED.
12. CONTRACTOR TO SNAP LINES AND RECEIVE TENANT APPROVAL PRIOR TO BUILDING PARTITIONS.
13. WOOD USED IN THE SUBJECT PROJECT SHALL BE FIRE-RETARDANT-TREATED IN ACCORDANCE WITH CBC SECTION 207.

PARTITION PLAN SPECIFIC NOTES

- 1 EXISTING UPPER & LOWER MILLWORK W/ STAINLESS STEEL KITCHEN SINK TO BE MODIFIED AS REQUIRED FOR LOCATION OF NEW QUADRUPLE TAP FREE STANDING KEGERATOR AND FREE STANDING WINE CELLAR EQUIPMENT / RELOCATE (E) DISHWASHER.
- 2 NEW QUADRUPLE TAP FREE STANDING KEGERATOR EQUIPMENT LOCATION. PROVIDE ELECTRICAL OUTLET AS REQUIRED. SEE ELECTRICAL PLAN SHEET A4.0
- 3 NEW FREE STANDING WINE CELLAR EQUIPMENT LOCATION. PROVIDE ELECTRICAL OUTLET AS REQUIRED. SEE ELECTRICAL PLAN SHEET A4.0
- 4 EXISTING ADA ACCESSIBLE UNI-SEX RESTROOM. SEE ENLARGED RESTROOM PLANS 1/A3.2
- 5 EXISTING FURR-OUT WALL W/ NICHES AND WALL ELECTRIC FIREPLACE. (NOT INCLUDED IN THE SCOPE OF WORK / FOR REFERENCE ONLY).
- 6 EXISTING MERCHANDISE DISPLAY MILLWORK.
- 7 EXISTING MERCHANDISE LOOKERS MILLWORK.
- 8 EXISTING DISPLAY REFRIGERATOR.
- 9 EXISTING STORAGE MILLWORK.
- 10 EXISTING COUNTER MILLWORK.
- 11 EXISTING OUTDOOR PATIO.
- 12 EXISTING PLANTER.

PARTITION PLAN LEGEND

	EXISTING PERIMETER BRICK WALL TO REMAIN
	EXISTING FLOOR TO STRUCTURE ABOVE WOOD STUD INTERIOR NON BEARING PARTITION
	NOT IN CONTRACT
	EXISTING DOOR AS PERMITTED PER PREVIOUS T.I. / PERMIT NO.: 19-350
	EXISTING WINDOW AS PERMITTED PER PREVIOUS T.I. / PERMIT NO.: 19-350
	ALIGN FACE OF NEW CONSTRUCTION TO EXISTING
	INTERIOR ELEVATION. SEE SHEET A2.3
(E)	EXISTING MATERIAL TO REMAIN
(N)	NEW MATERIAL

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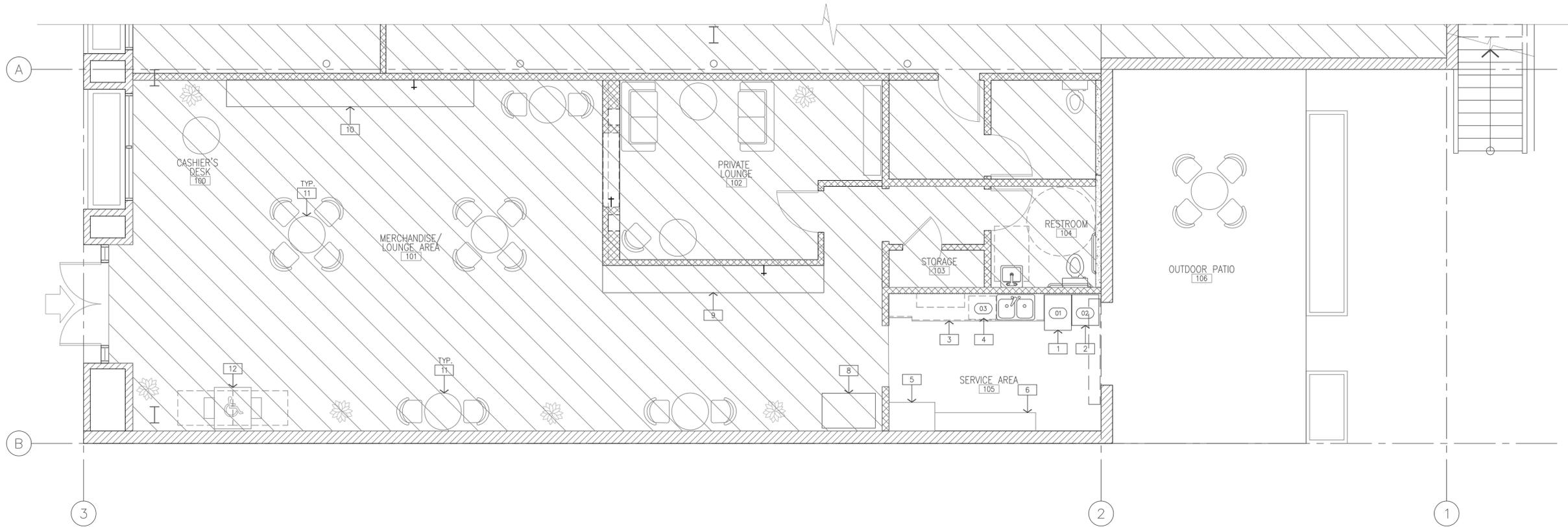
PARTITION PLAN

JOB No: 041822.01
SHEET:

A3.0



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EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

NEW FIXTURE AND EQUIPMENT SCHEDULE

DESCRIPTION	REMARKS	QTY	ELECTRICAL				PLUMBING				MODEL NUMBER	MANUFACTURER	CERTIFICATION	
			VOLTS	LOAD HP KW	AMPS	PHASE	CONN	WATER HOT COLD	WASTE	GAS				BTU 1000
SERVICE AREA														
01 KE600 8.2 CUBIC FEET CU. FT. QUADRUPLE TAP FREESTANDING KEGATOR	NEW	1	115 V	519	1.8	1	-	-	-	-	-	3PXCK-1S-4	KEGCO	NSF COMPLIANT / ETL SANITATION LISTED
02 LAMBO 133 BOTTLE DUAL ZONE FREESTANDING/BUILT-IN WINE CELLAR	NEW	1	110-120 V	376	1.8	-	-	-	-	-	-	LW133DD	LAMBO	ETL CERTIFICATE APPROVED
02 (EXISTING) WHIRLPOOL DSH WASHER / TO BE RELOCATED	EXISTING	1	120 V	1200	15-20	-	-	-	3/8	1/2	-	WDF520PADM 24"	WHIRLPOOL	UL LISTED

EQUIPMENT PLAN SPECIFIC NOTES:

- 1 NEW QUADRUPLE TAP FREESTANDING KEGATOR
- 2 NEW FREESTANDING/BUILT-IN WINE CELLAR
- 3 EXISTING BUILT-IN UPPER AND LOWER CABINETS MILLWORK TO BE MODIFIED PER NEW SCOPE OF WORK / PARTITION PLAN A3.0
- 4 EXISTING / RELOCATED DISHWASHER.
- 5 EXISTING STORAGE MILLWORK (NOT IN SCOPE OF WORK)
- 6 EXISTING COUNTER MILLWORK (NOT IN SCOPE OF WORK)
- 7 EXISTING COUNTER MILLWORK (NOT IN SCOPE OF WORK)
- 8 EXISTING DISPLAY REFRIGERATOR (NOT IN SCOPE OF WORK)
- 9 EXISTING MERCHANDISE DISPLAY MILLWORK UNIT (NOT IN SCOPE OF WORK)
- 10 EXISTING LOCKERS MILLWORK UNIT FOR MERCHANDISE (NOT IN SCOPE OF WORK)
- 11 EXISTING TABLES AND CHAIRS (NOT IN SCOPE OF WORK)
- 12 EXISTING ADA ACCESSIBLE TABLE AND CHAIRS (NOT IN SCOPE OF WORK)

LEGEND

#	INDICATES ITEM NUMBER IN PLAN SPECIFIC NOTES	+G	NEW GAS LINE LOCATION
#	INDICATES NEW EQUIPMENT LOCATION & DESCRIPTION IN EQUIPMENT LIST	+H	NEW WATER LINE LOCATION (H = HOT WATER)
[Symbol]	NEW 12"x12" FLOOR SINK (WHERE REQUIRED PER PLUMBING SPECS)	(N)	NEW TO BE ADDED
[Symbol]	NEW FLOOR DRAIN LOCATION (WHERE REQUIRED)	(E)	EXISTING TO REMAIN. U.N.O.

EQUIPMENT NOTES

- 1- SHOP DRAWINGS FOR CUSTOM MILLWORK WITH SINK TO BE PROVIDED BY CONTRACTOR. WHERE REQUIRED ALL EQUIPMENT TO BE LISTED BY AN ANSI ACCREDITED SANITATION TESTING ORGANIZATION (NSF, ITS OR UL).
- 2- APPROVED BACKFLOW PREVENTION DEVICES ARE REQUIRED ON WATER SUPPLY LINES TO SINKS W/ THREADED SPIGOTS, DISHWASHER, GARBAGE DISPOSAL FLUSH LINES, URINALS, TOILETS AND OTHER FIXTURES WHERE REQUIRED.
- 3- CONTRACTOR TO SUBMIT DETAILS INCLUDING THE NUMBER OF CUBIC FEET PER MINUTE (cfm) EXHAUSTED AND THE NUMBER OF CFM REPLACED BY THE MAKE-UP AIR SYSTEM, AND THE NUMBER AND SIZE OF DUCTS.

ABBREVIATIONS LIST

AMPS — AMPERES	HP — HORSEPOWER
BTU — BRITISH THERMAL UNITS	H.V.A.C. — HEATING/VENTILATING AND AIR CONDITIONING
CONN. — CONNECTION	I.W. — INDIRECT WASTE
C.O. — CONVENIENCE OUTLET	K.E.C. — KITCHEN EQUIPMENT CONTRACTOR
D. — DIRECT	KW — KILOWATTS
E.C. — ELECTRICAL CONTRACTOR	L/P — LAMINATED PLASTIC
F.D. — FLOOR DRAIN	N.I.C. — NOT IN CONTRACT (FOODSERVICE EQUIPMENT)
F.E. — FUTURE EQUIPMENT	N.S.F. — NATIONAL SANITATION FOUNDATION
F.S. — FLOOR SINK	P.C. — PLUMBING CONTRACTOR
G.C. — GENERAL CONTRACTOR	S/S — STAINLESS STEEL
U.L. — UNDERWRITERS LABORATORY	QTY. — QUANTITY

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EQUIPMENT PLAN & SCHEDULE

JOB No: 041822.01
SHEET:

A3.1

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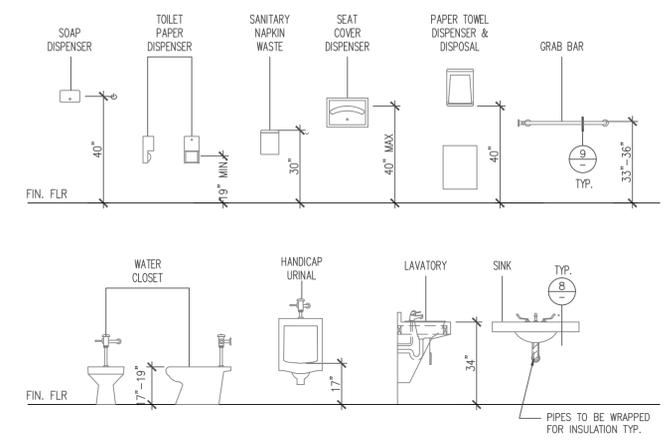
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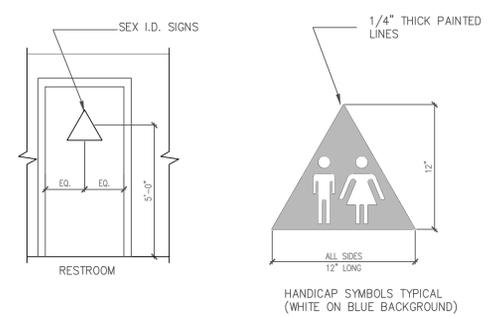
ENLARGED RESTROOM PLAN, DETAILS & INT. ELEVATION

JOB No: 041822.01
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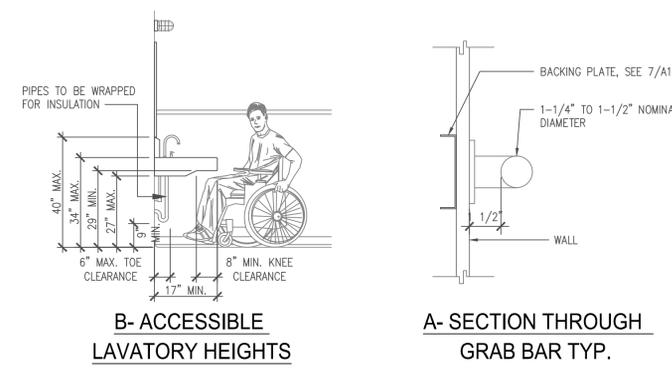
A3.2



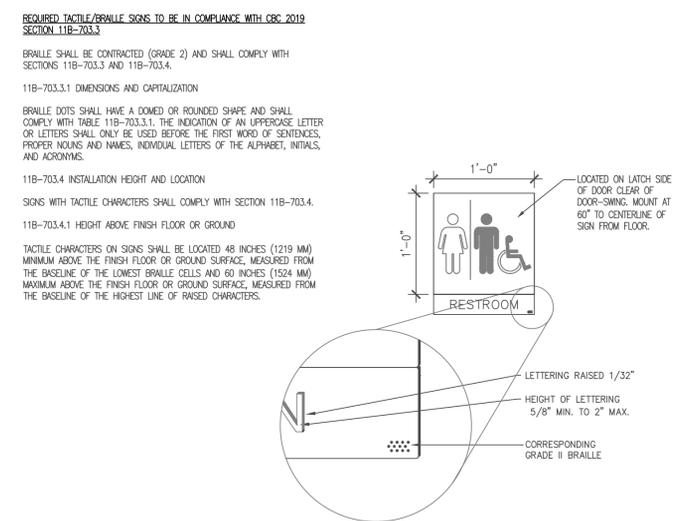
TYP. ACCESSIBLE RESTROOM HEIGHTS 6
 SCALE: N.T.S.



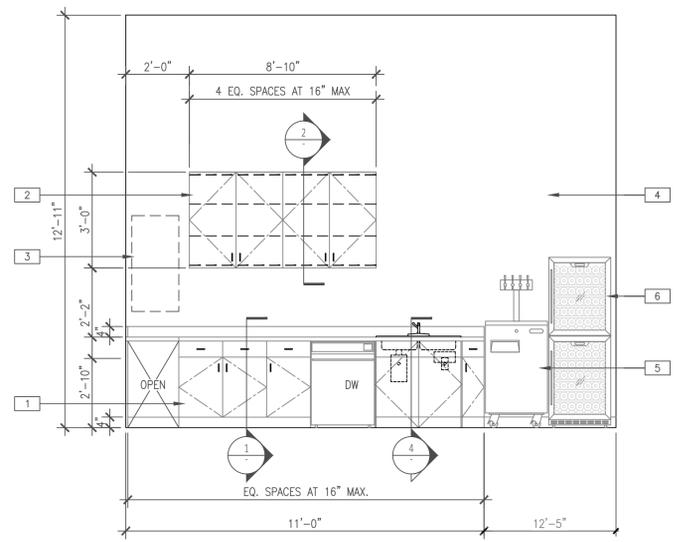
DOOR SIGNAGE 3
 SCALE: N.T.S.



LAVATORY HEIGHTS / GRAB BAR TYP. 5
 SCALE: N.T.S.

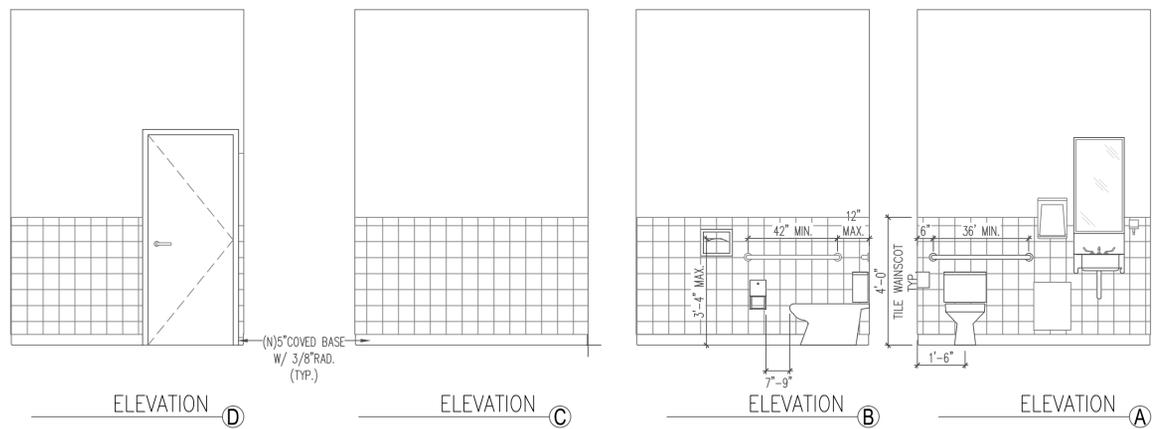


H/C WALL SYMBOL 2
 SCALE: N.T.S.

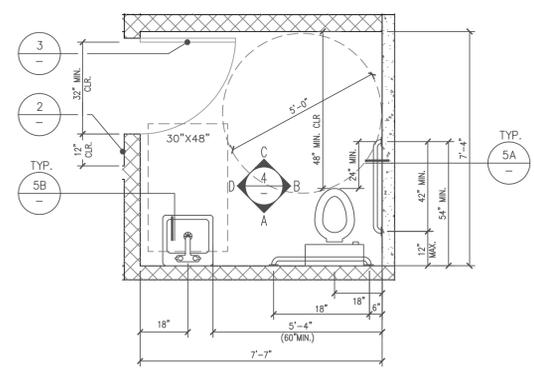


MILLWORK ELEVATION AT SERVICE AREA A
 SCALE: 3/8"=1'-0"

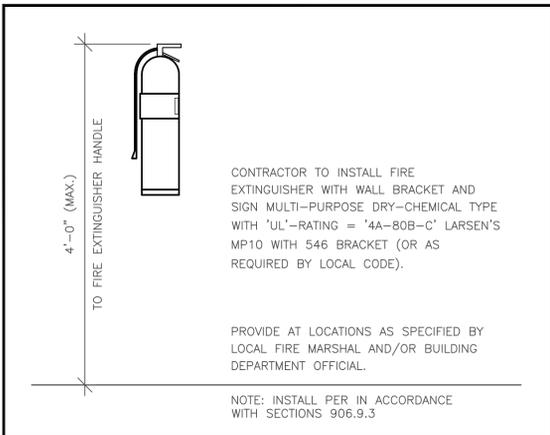
- INTERIOR ELEVATIONS NOTES:**
- 2'-10" HIGH X 2'-0" DEEP STONE SURFACE COUNTER TOP WITH STAINLESS STEEL KITCHEN SINK WITH LEVER HANDLE FAUCET AND LOWER CABINETS CONSISTING OF 4" H TOEKICK, DRAWERS HINGED DOORS AND ONE ADJUSTABLE SHELF, PLASTIC LAMINATE INTERIOR AND MELAMINE OR KORTON INTERIOR. SEE DETAIL #9/A7.0.
 - 15" OUTSIDE DIM. @ 5'-0" A.F.F UPPER CABINETS WITH HINGED DOORS AND TWO ADJUSTABLE SHELVES PLASTIC LAMINATE EXTERIOR AND MELAMINE OR KORTON INTERIOR. SEE DETAIL #10/A7.0
 - EXISTING ELECTRICAL PANEL TO REMAIN.
 - EXISTING PAINTED FINISH WALL (AS OCCURS) PATCH AND REPAIR IF REQUIRED TO MATCH.
 - NEW QUADRUPLE TAP FREE STANDING KEGERATOR EQUIPMENT LOCATION
 - NEW FREE STANDING WINE CELLAR EQUIPMENT LOCATION.



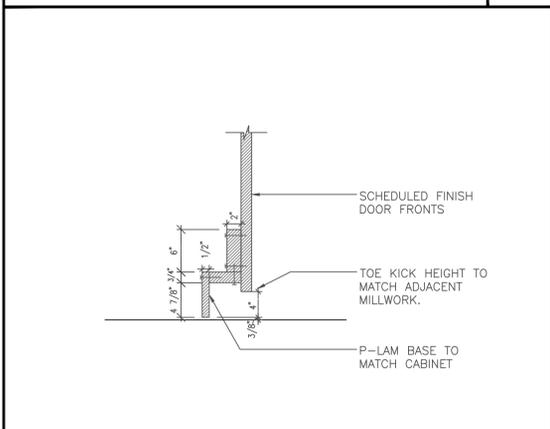
(E) RESTROOM INT. ELEVATIONS TYP. 4
 SCALE: 3/8"=1'-0"



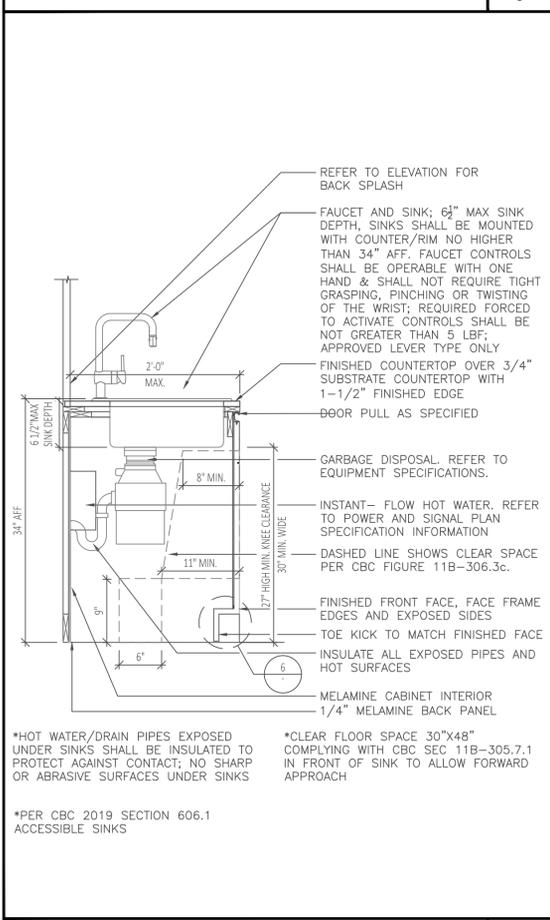
(E) RESTROOMS ENLARGED PLAN 1
 SCALE: 3/8"=1'-0"



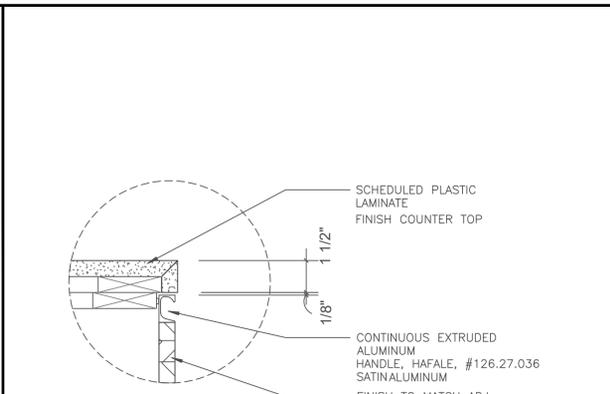
FIRE EXTINGUISHER CABINET SCALE: 1"=1'-0" **6**



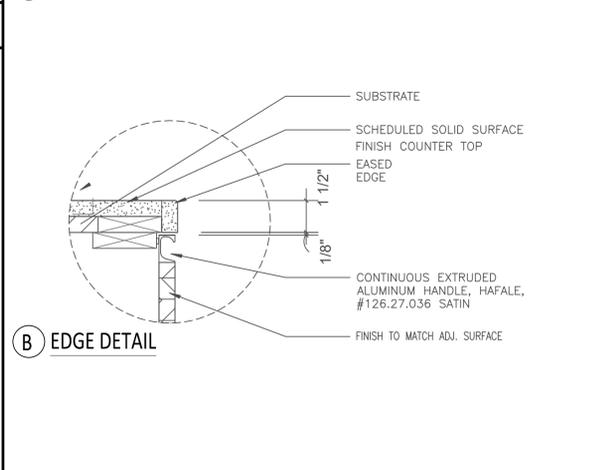
TOE KICK DETAIL **5**



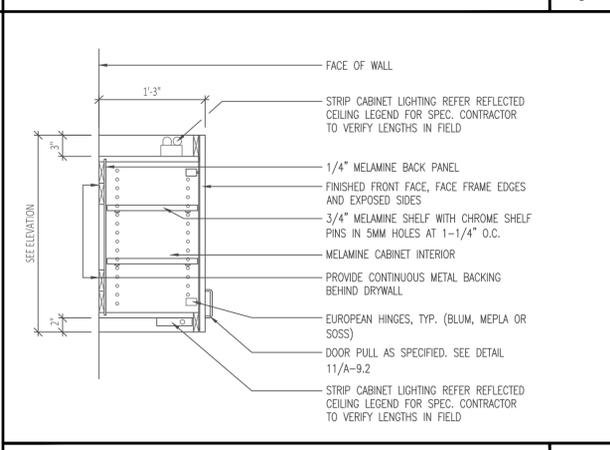
ACCESSIBLE SINK CABINET SCALE: 1"=1'-0" **4**



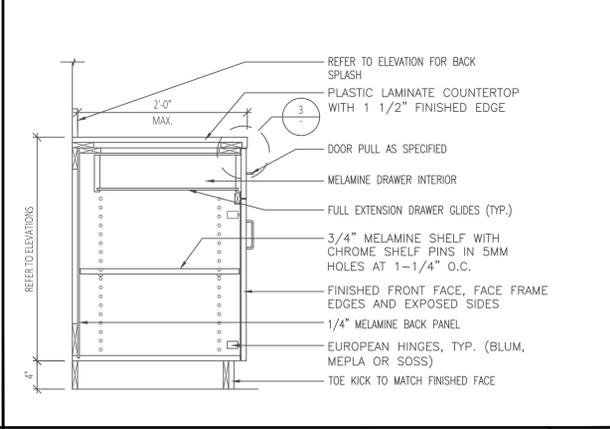
A EDGE DETAIL



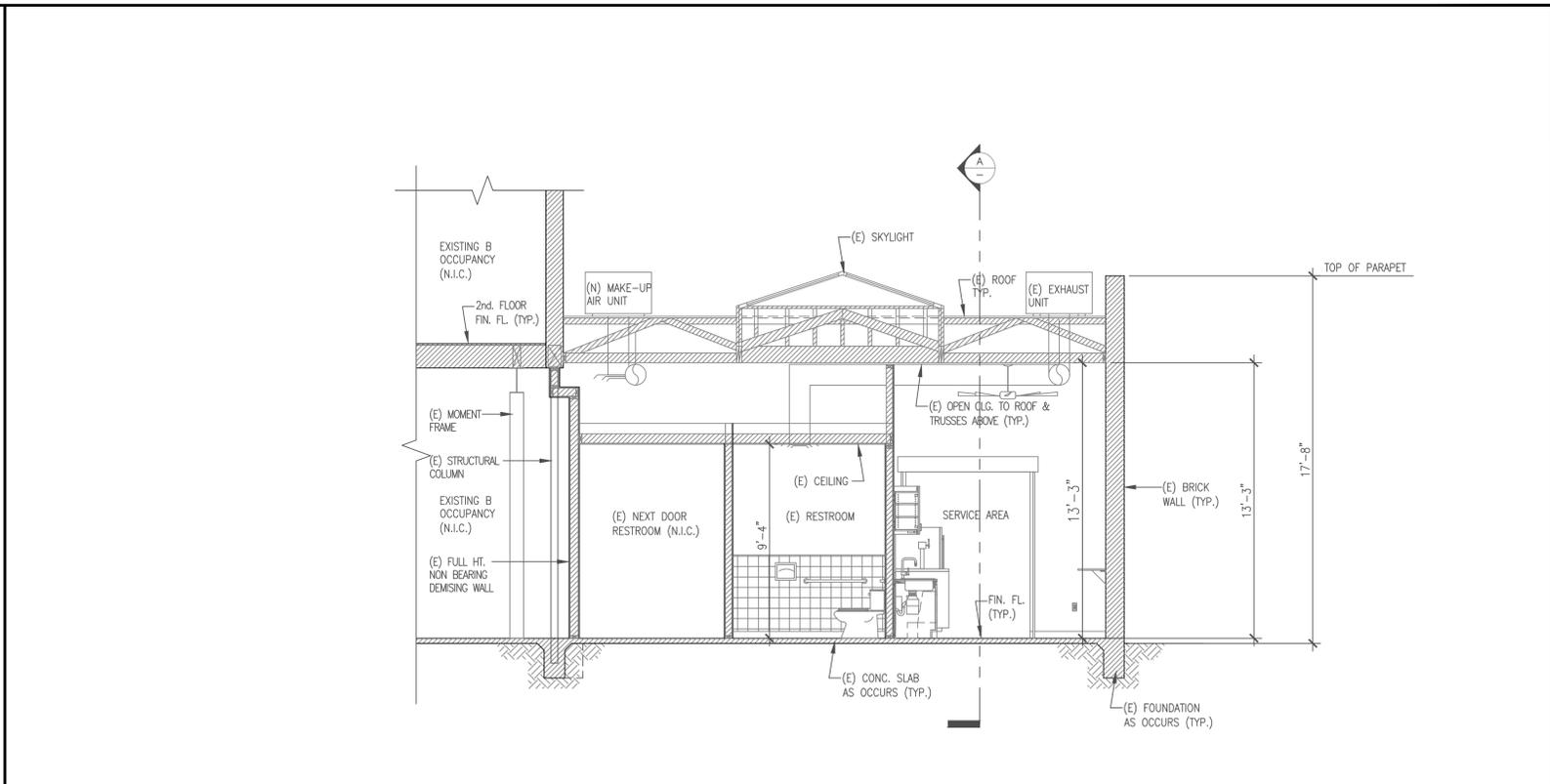
B EDGE DETAIL



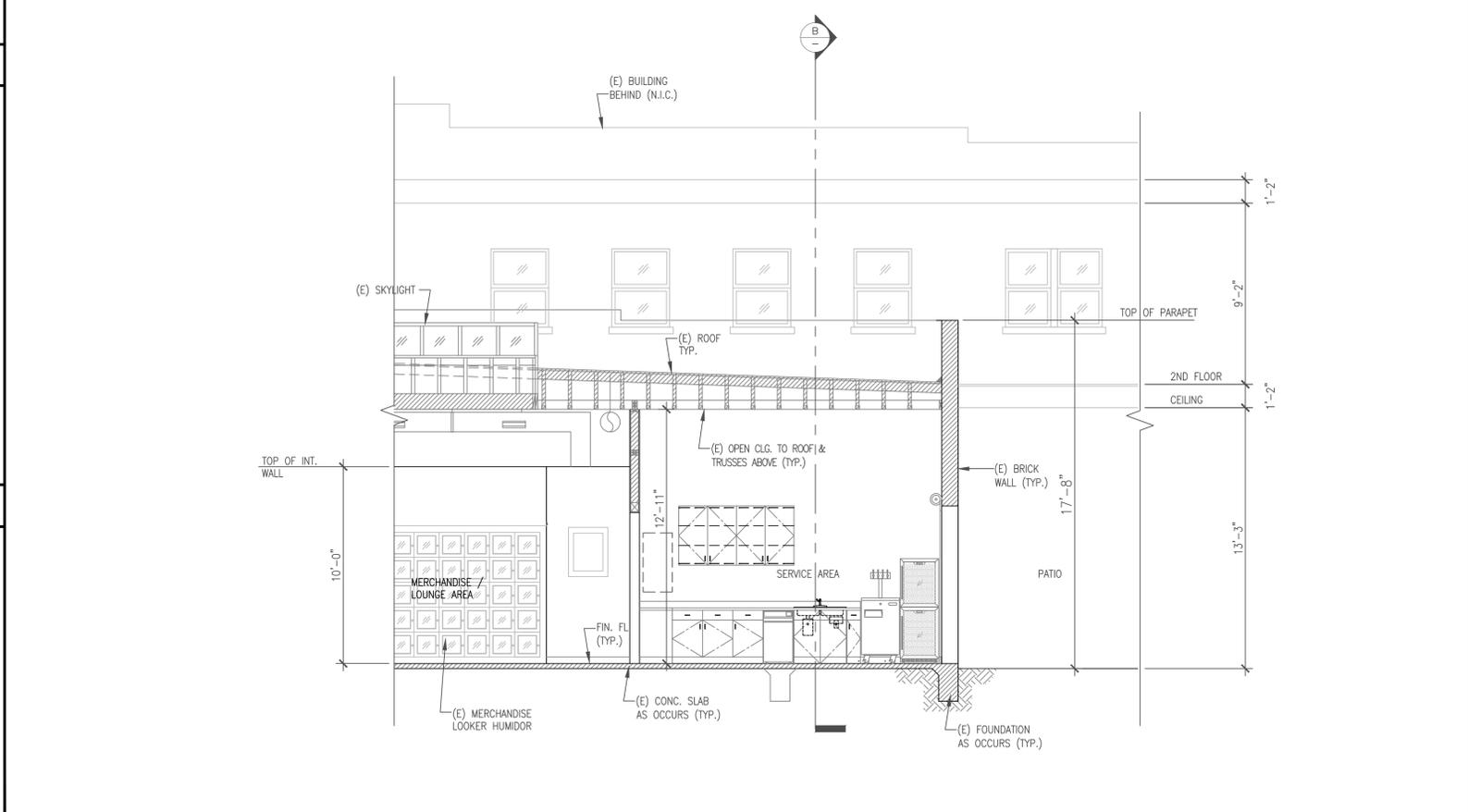
UPPER CABINET W/TASK LIGHTING SCALE: 1"=1'-0" **2**



BASE CABINET W/DOOR AND DRAWERS SCALE: 1"=1'-0" **1**



B BUILDING SECTION SCALE: 1/4"=1'-0"



A BUILDING SECTION SCALE: 1/4"=1'-0"

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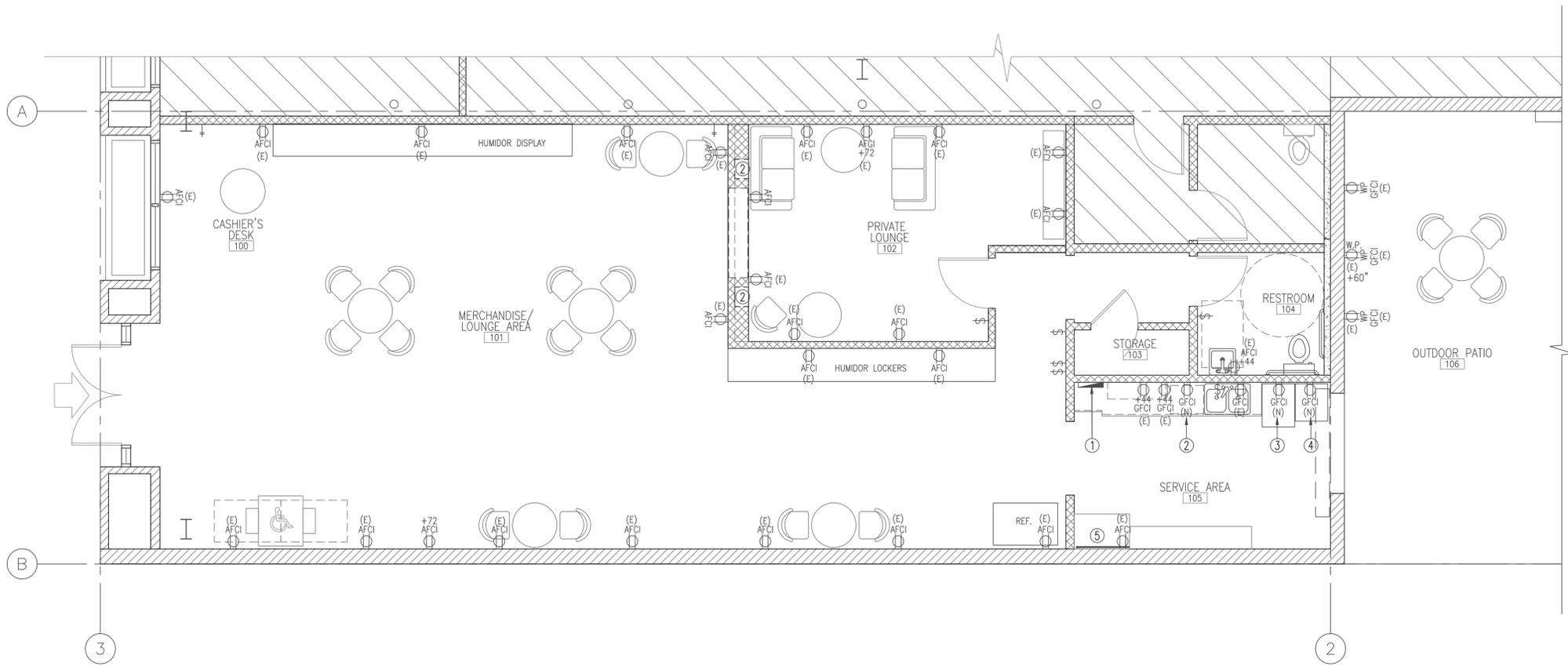
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DESIGNED BY: F.J./A.A.

INTERIOR ELEVATIONS

JOB No: 041822.01
SHEET:

A3.3



ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
REFER TO ELECTRICAL ENGINEERING PLAN

GENERAL ELECTRICAL NOTES

SEE SHEET T1.3 FOR GENERAL PROJECT NOTES.

ELECTRICAL PLAN SPECIFIC NOTES

- ① EXISTING ELECTRICAL PANEL TO REMAIN.
- ② PROVIDE SEPARATE CIRCUIT ELECTRICAL OUTLET AS REQUIRED FOR RELOCATED DISHWASHER / SEE ENGINEERING PLANS
- ③ RE-USE EXISTING ELECTRICAL OUTLET AS REQUIRED FOR NEW KAGERATOR / SEE ENGINEERING PLANS
- ④ PROVIDE NEW OUTLET AS REQUIRED FOR NEW WINE CELLAR COOLER / SEE ENGINEERING PLANS
- ⑤ EXISTING TELEPHONE BOARD TO REMAIN.

NOTE: ALL NEW ELECTRICAL AND TELEPHONE OUTLETS TO BE INSTALLED VERTICALLY AT 18" AFF. U.N.O. TYP.

ELECTRICAL LEGEND

	DUPLEX CONVENIENCE RECEPTACLE 110V; BLDG. STD. 18" A.F.F. U.N.O.
	DUPLEX CONVENIENCE RECEPTACLE 120V; BLDG. STD. 18" A.F.F. U.N.O.
	DEDICATED 220 / 240 SINGLE RECEPTACLE; BLDG. STD. 18" A.F.F. U.N.O.
	TELEPHONE/DATA OUTLET; BLDG. STD. 18" A.F.F. U.N.O.
	NEW USB FOR DATA & POWER
	NEW J BOX FOR POWER & DATA / TV CABLING
	NEW THERMOSTAT
	EXISTING ELECTRICAL PANEL
AFCI	ARC-FAULT CIRCUIT INTERRUPTERS
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
(E)	EXISTING ELECTRICAL TO REMAIN. U.N.O.
(N)	NEW ELECTRICAL U.N.O.
W.P.	WEATHER PROTECTED (OUTDOOR INSTALLED RECEPTACLES)

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ELECTRICAL PLAN

JOB No: 041822.01
 SHEET:

A4.0

SPECIFICATION:

SCOPE: THE WORK OF THIS SECTION INCLUDES EVERYTHING NECESSARY FOR AND INCIDENTAL TO EXECUTING AND COMPLETING ELECTRICAL WORK, EXCEPT AS OTHERWISE HERINAFTER SPECIFICALLY EXCLUDED.

GUARANTEE: CONTRACTOR SHALL PROVIDE TO THE OWNER A WRITTEN GUARANTEE, IN COMPLIANCE WITH DIVISION 1, AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR ONE (1) YEAR, UPON FINAL ACCEPTANCE OF PROJECT BY OWNER.

TESTING AND ADJUSTMENT: UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL ADJUST AND TEST ALL CIRCUITS, OUTLETS, SWITCHES, LIGHTS, MOTORS AND ANY OTHER ELECTRICAL ITEMS TO INSURE PERFECT OPERATION OF ALL ELECTRICAL EQUIPMENT. ITEMS, FIXTURES AND PARTS IN NEED OF CORRECTION AND DISCOVERED DURING SUCH TESTING SHALL BE IMMEDIATELY REPAIRED OR REPLACED WITH ALL NEW EQUIPMENT AND THAT PART OF THE SYSTEM SHALL THEN BE RETESTED. ALL SUCH REPLACEMENT OR REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.

SITE INSPECTION: THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND EXISTING BUILDINGS, SHALL COMPARE THE DRAWINGS WITH THE EXISTING ELECTRICAL INSTALLATIONS, AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF THIS WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE MADE SUCH EXAMINATION AND TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE ALLOWANCE THEREOF IN PREPARING HIS FIGURE.

LOCATIONS AND ACCESSIBILITY: CONTRACTOR SHALL FULLY INFORM HIMSELF REGARDING PECULIARITIES AND LIMITATIONS OF THE SPACES AVAILABLE FOR INSTALLATION OF WORK AND MATERIALS FURNISHED AND INSTALLED UNDER THIS DIVISION. DRAWINGS INDICATE DESIRED LOCATION AND ARRANGEMENT OF PIPING, EQUIPMENT, AND OTHER ITEMS, AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. WORK SPECIFIED AND NOT CLEARLY DEFINED BY DRAWINGS SHALL BE INSTALLED AND ARRANGED IN A MANNER SATISFACTORY TO ARCHITECT, THEY SHALL BE MADE BY CONTRACTOR WITHOUT ADDITIONAL CHARGES, PROVIDED THE CHANGE IS ORDERED BEFORE WORK IS INSTALLED AND NO EXTRA MATERIAL ARE REQUIRED.

CLEANUP: AFTER COMPLETION OF WORK UNDER THIS SECTION, CLEAN UP ALL RESULTANT DEBRIS FROM THIS WORK AND REMOVE FROM THE SITE.

PERMIT AND FEES: SECURE AND PAY FOR ALL PERMITS AND FEES NECESSARY FOR EXECUTION AND COMPLETION OF ELECTRICAL WORK.

MATERIALS: ALL ELECTRICAL MATERIALS SHALL BEAR THE UNDERWRITERS (OR EQUIVALENT TESTING AGENCY) LABEL.

CUTTING AND PATCHING: THE CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF THE EXISTING CONSTRUCTION WORK WHICH MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THE ELECTRICAL WORK. ALL PATCHING SHALL BE OF THE SAME MATERIALS, WORKMANSHIP AND FINISH AS, AND SHALL ACCURATELY MATCH ALL SURROUNDING WORK.

DRAWINGS AND SPECIFICATIONS: ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN SOME RESPECTS. SIZES AND LOCATION OF EQUIPMENT AND WIRING ARE SHOWN TO SCALE WHERE POSSIBLE, BUT MAY BE DISTORTED FOR CLARITY ON THE DRAWINGS. FINAL LOCATIONS OF OUTLETS AND EQUIPMENT SHALL BE AS SHOWN IN ENLARGED DETAILS OR AS APPROVED BY THE LIGHTING CONSULTANT. IT IS NOT WITHIN THE SCOPE OF DRAWINGS TO SHOW ALL NECESSARY BENDS, OFFSETS, PULLBOXES, AND OBSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL HIS WORK TO CONFORM TO THE STRUCTURE, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.

WIRING AND CONNECTIONS OF EQUIPMENT BY OTHERS: FURNISH AND INSTALL WIRING FOR POWER REQUIREMENT AS SHOWN ON DRAWINGS. COORDINATE WITH OTHER TRADES ON DETAILS OF INSTALLATION. THE TERM "WIRING" AS USED HEREIN, INCLUDES FURNISHING AND INSTALLING CONDUIT, WIRE, JUNCTION BOXES, DISCONNECTS, AND MAKING CONNECTIONS. CHECK LIGHTING CONSULTANT AND SPECIFICATIONS FOR EQUIPMENT TO BE INSTALLED BY OTHERS. ELECTRICAL DRAWINGS INDICATE IN GENERAL THE INTENT AND SCOPE OF SYSTEMS. BE RESPONSIBLE FOR PROPER WIRING AND NECESSARY ELECTRICAL

THE EQUIPMENT.

SHOP DRAWINGS: WITHIN FOURTEEN (14) DAYS AFTER RECEIPT OF CONTRACT, SUBMIT TO ARCHITECT SEVEN (7) COMPLETE SETS OF DRAWINGS FOR ALL ELECTRICAL EQUIPMENT AND DEVICES. DO NOT DELIVER THESE ITEMS TO THE JOB SITE UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY ARCHITECT AND ELECTRICAL ENGINEER.

OUTLET BOXES: OUTLET BOXES SHALL BE ONE PIECE PRESS STEEL BDC. *4S* MINIMUM SIZE OR LARGER AS REQUIRED PER CODE.

CONDUIT: ALL METAL CONDUITS AND FITTING SHALL BE GALVANIZED. RIGID STEEL CONDUIT SHALL BE USED. USE FITTINGS AS REQUIRED FOR PROPER INSTALLATION, BUT DO NOT USE RUNNING THREADS. ELECTRICAL METALLIC TUBING MAY BE USED IN DRY CONCEALED LOCATIONS (STUD WALLS, CEILING SPACE) WHERE EXPOSED ABOVE 8' AND NOT SUBJECT TO

COMPRESSION TYPE. LIQUID TYPE FLEXIBLE METAL CONDUIT SHALL BE USED FOR MOTOR CONNECTIONS. TYPE "MC" CABLE IS ACCEPTABLE.

WIRE AND CABLE: ALL CONDUCTORS SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL UNBROKEN PACKAGES, PLAINLY MARKED OR TAGGED AS FOLLOWS:

UNDERWRITERS' LABELS.
SIZE, TYP. AND INSULATION OF WIRE.
NAME OF THE MANUFACTURING COMPANY AND THE TRADE NAME OF THE WIRE.
MONTH AND YEAR WHEN MANUFACTURED WHICH DATE SHALL NOT EXCEED TWO (2) YEARS PRIOR TO THE DATE OF DELIVERY TO THE SITE.

CONDUCTORS FOR SIZES #14 THRU #12 SHALL BE SOLID SOFT DRAWN COPPER, 600 VOLT, TYPE "THWN" COPPER INSULATION EXCEPT AS HERINAFTER SPECIFIED.

600 VOLT, TYPE "THWN" INSULATION.

MINIMUM WIRE SIZE SHALL BE #12 A.W.G. UNLESS SPECIFICALLY NOTED AS #14.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE STATE OF CALIFORNIA, TITLE 24 AND ALL OTHER GOVERNING CODES AND ORDINANCES.
- +4'-0" INDICATES MOUNTING HEIGHTS FROM FINISHED FLOOR TO CENTER OF EQUIPMENT OR OUTLET.
- REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT TYPE AND LOCATION OF LIGHT FIXTURES.
- REFER TO THE ARCHITECTURAL POWER AND TELEPHONE PLAN FOR THE EXACT LOCATION AND MOUNTING HEIGHTS AND TYPES OF ALL OUTLETS (RECEPTACLES, TELEPHONES, CRT'S, CLOCKS, ETC.)
- ALL ELECTRICAL WORK, ITEMS, DEVICES, ETC. SHALL CONFORM TO THE REQUIREMENTS OF THE BASE BUILDING SPECIFICATIONS.
- ALL OUTLETS SHALL BE INSTALLED AT THE HEIGHTS INDICATED ON THE SYMBOL LIST UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- EVERY OUTLET HEIGHT SHALL BE VERIFIED ON EACH WALL WITH THE ARCHITECT OR INTERIOR DESIGNER TO ENSURE THE PROPER HEIGHT AND LOCATION WITH RESPECT TO CABINET, EQUIPMENT, ETC.
- ALL WORK /MATERIALS SHOWN ON PLANS SHALL BE NEW UNLESS OTHERWISE INDICATED.
- UNLESS INSTRUCTED OTHERWISE, THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, AND FEES REQUIRED FOR INSTALLATION OF THE ELECTRICAL WORK. FURNISH FINAL CERTIFICATE OF INSPECTION OR WRITTEN EVIDENCE OF ACCEPTANCE BY INSPECTION AUTHORITIES FOR ALL WORK INSTALLED.
- BEFORE STARTING ANY WORK, THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE COMPLETE SET OF DRAWINGS FOR ALL TRADES, INCLUDING ARCHITECTURAL, HEATING-VENTILATING-AIR CONDITIONING AND PLUMBING. VERIFY ALL DIMENSIONS, SPACE REQUIREMENTS AND POINTS OF CONNECTION TO ALL EQUIPMENT. MAKE ANY MINOR ADJUSTMENTS NECESSARY TO AVOID CONFLICT WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER TRADES.
- ALL ELECTRICAL MATERIALS SHALL BEAR THE UNDERWRITERS (OR EQUIVALENT TESTING AGENCY) LABEL.
- UPDATE PANEL CARDS INDICATING CIRCUIT'S SPECIFIC FUNCTION/LOCATION.
- AS-BUILT DRAWINGS SHALL BE MAINTAINED AND REFLECT THE FOLLOWING:
 - ANY DEVIATION FROM THE CIRCUIT NUMBERS ON WORKING DRAWINGS SHALL BE INDICATED ON AS-BUILTS.
 - THE ADDITION, DELETION OR RELOCATION OF OUTLETS AS SHOWN ON WORKING DRAWINGS SHALL BE INDICATED ON "AS-BUILTS".
- ALL CONDUIT OTHER THAN USED FOR ELECTRICAL WIRING SHALL HAVE #12 GALVANIZED PULL WIRE INSTALLED BY THE ELECTRICAL CONTRACTOR.
- WHEN ELECTRICAL CONDUIT PENETRATE A FIRE RATED WALL CONTRACTOR SHALL PROVIDE SEAL AROUND CONDUIT TO

GENERAL LIGHTING FIXTURE COMMENTS:

- ALL BALLASTS SHALL BE HPF, C.B.M. - E.T.I. CERTIFIED, CLASS-P EQUAL TO UNIVERSAL "ENERGY SAVER" V.L.H. SERIES, OF QUIETEST SOUND RATING AVAILABLE. PROVIDE LOW TEMPERATURE BALLASTS FOR OUTDOOR MOUNTED FIXTURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING PROPER TYPES OF TRIM FOR ALL RECESSED FLUORESCENT FIXTURES AND INCANDESCENT FIXTURES TO FIT THE CEILING BEING INSTALLED. FINISH TRIMS OF ALL RECESSED INCANDESCENT FIXTURES SHALL MATCH CEILING FINISH AS DIRECTED BY ARCHITECT.
- THIS CONTRACTOR SHALL VERIFY THE TYPE OF CEILING BEFORE ORDERING ANY FIXTURES. HE IS FULLY RESPONSIBLE TO PROVIDE ALL MOUNTING BRACKETS FOR ALL CEILING CONDITIONS, AT NO EXTRA CHARGE TO THE OWNER.
- ALL FIXTURES SHALL BEAR UL LABEL.
- ACRYLIC LENS SHALL BE 100% PURE, VIRGIN, ACRYLIC.
- ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- RECESSES FIXTURES IN FIRE RATED CEILING SHALL BE APPROVED FOR THE FIRE RATING OF THE CEILING.
- FIXTURES IN LIMBUOUS CEILING OF CEILING CAVITIES OR SOFFITES SHALL BE APPROVED FOR TYPE OF INSTALLATION.
- STEM LENGTHS PENDENT FIXTURES SHALL BE ONE PIECE WITHOUT COUPLINGS, WITH FINISH TO MATCH CANDY AND WITH SWIVEL HANGER LEGALLY APPROVED FOR WEIGHT SUPPORTED AND FOR EARTHQUAKE PROTECTION. PROVIDE WEDGE TYPE CANDY FOR FIXTURES TO BE INSTALLED ON SLOPED CEILING.
- OUTDOOR FIXTURES AND FIXTURES INSTALLED IN DAMP LOCATION SHALL BE APPROVED FOR WET LOCATIONS.
- VERIFY LETTER SIZE AND COLOR OF INTERNALLY ILLUMINATED EXIT SIGNS WITH LOCAL AUTHORITIES PRIOR TO SUBMITTAL OF SHOP DRAWINGS.
- RECESSED FIXTURES SHALL BE PRE-WIRED TO ATTACHED J-BOX IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. FIXTURES SHALL BE APPROVED FOR THE MAXIMUM NUMBER OF WIRES GOING IN AND OUT OF THE FIXTURES AS SHOWN ON PLANS. ATTACHED J-BOXES SHALL BE ACCESSIBLE PER N.E.C.
- ALL MERCURY VAPOR OR METAL HALIDE LAMPS, WHICH ARE TO BE INSTALLED IN OPEN REFLECTOR DOWN LIGHT FIXTURES, SHALL BE PROVIDED WITH "SHUT-OFF" DEVICE AS APPROVED BY THE FOOD AND DRUG ADMINISTRATION. LAMPS SHALL BE MANUFACTURED BY WESTINGHOUSE "SAFETY LIFE-GUARD" LAMPS OR GE. "SAFE MERC" LAMPS.
- PROVIDE DIMMING BALLASTS FOR ALL FLUORESCENT FIXTURES TO BE DIMMED.
- ALL RECESSED INCANDESCENT FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE LISTED FOR THE USE.

ELECTRICAL SYMBOL LIST

— T —	TELEPHONE CONDUIT 3/4" C. UNLESS NOTED OTHERWISE
—>	HOME RUN
—	CONDUIT CONCEALED IN WALL OR CEILING UNLESS NOTED
—	CONDUIT CONCEALED IN WALL, FLOOR UNDERGROUND OR UNDER FLOOR UNLESS NOTED
—	EXISTING CONDUIT
—	2 NO. 12-1/2" CONDUIT UNLESS OTHERWISE NOTED
—	3 NO. 12-1/2" CONDUIT
—	4 NO. 12-3/4" CONDUIT
—	5 NO. 12-3/4" CONDUIT
—	6 NO. 12-1" CONDUIT
—	7 NO. 12-1" CONDUIT
—	8 NO. 12-1" CONDUIT
—	CONDUIT ONLY
—	NOT IN THIS SECTION
—	NOT TO SCALE
—	CONDUIT UP
—	CONDUIT DOWN

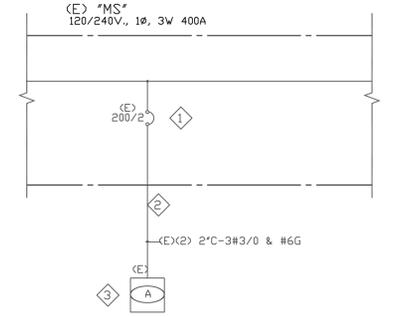
FLOOR	WALL	CEILING	DESCRIPTION
			POWER PANEL
			TELEPHONE TERMINAL CABINET
			MOTOR CONTROLLER NO. INDICATES SIZE
			DISCONNECT SW. UNFUSED UNLESS NOTED
			TRANSFORMER
			SINGLE POLE TOGGLE SWITCH +4" UNLESS NOTED
			DEDICATED DUPLEX RECEPTACLE 20A
			DEDICATED DUPLEX RECEPTACLE GROUND FAULT CIRC. INTERRUPT
			DEDICATED DUPLEX RECEPTACLE ARC FLASH CIRC. INTERRUPT

SCOPE OF WORK:

- PROVIDE AND INSTALL (2) NEW 15A 120V RECEPTACLES. SEPARATE CIRCUIT FOR NEW "KEGG" FREE STANDING QUAD REFRIGERATOR AND "LAMB" WINE CELLAR TO BE FED FROM EXISTING 200A 120/240V 1Ø3W PANEL BOARD "A". REPLACE EXISTING 20/1 CIRCUIT BREAKERS WITH NEW 15/1 BREAKER AS SHOWN ON PLANS AND NOTED ON PANEL SCHEDULE.

SINGLE LINE NOTES:

- EXISTING 200/2 CIRCUIT BREAKER AT MAIN SERVICE. VERIFY LOCATION AND RATING IN FIELD.
- EXISTING 200A SERVICE CONDUCTORS AND GROUND CONDUCTOR. VERIFY IN FIELD.
- EXISTING 200A 120/240V PANEL "A". SEE PLAN FOR LOCATION.



SURFACE MOUNTED				"PANEL A"										MAIN: 200/2 MCB					
10 KAIC BREAKERS				120/240V 1 PHASE 3 WIRE										BUS: 200A					
LTS	RECP.	MISC.	LCL	LOADS		POLE	AMPS	CKT	PHASE	CKT	AMPS	POLE	LOADS		DESCRIPTION	LCL	MISC.	RECP.	LTS.
				A	B								A	B					
4				720		1	20	1	A	2	20	1	360		E) ROOF RECEPT				2
5				900		1	20	3	B	4	30	1	1587		E) MUA-1 ON ROOF				1
2				360		1	20	5	A	6	20	1	720		E) CEILING FANS				4
1				780		2	20	7	B	8	20	1	541		E) LOUNGE LTO				14
				780		-	-	9	A	10	20	1	218		E) RR. FAN LIGHT, RECEPT				1
3				540		1	20	11	B	12	20	1	30		E) SERVICE AREA				2
3				540		1	20	13	A	14	20	1	72		E) PATIO SECURITY LIGHT				1
4				720		1	20	15	B	16	15	1	619		N) QUAD REFRIGERATOR				1
4				540		1	20	17	A	18	15	1	376		N) LAMB WINE CELLAR				1
1				600		1	20	19	B	20	40	2	3680		E) ROOF RTU-1				1
1				26		2	20	21	A	22	-	-	3680		"				
				26		-	-	23	B	24	40	2	3680		E) ROOF RTU-2				1
1				1200		1	20	25	A	26	-	-	3680		"				
1				1200		1	20	27	B	28	30	1	1500		E) INSTA-HOT				1
3				540		1	20	29	A	30	20	1	1176		E) GARB DISPOSAL				1

TOTAL LCL: 7,360 25% OF LCL: 1840 TOTAL: 33,311 33,311 / 240 139 AMPS
 PHASE A 15,168
 PHASE B 16,303

MEGALECTRIC CORPORATION
 ELECTRICAL ENGINEERING & DESIGN
 5425 VIA FONTE
 YORBA LINDA, CA. 92886
 email: megae5@aol.com
 TEL 714 407 1770



LA BIBLIOTHECA
 TENANT IMPROVEMENT
 128 W Santa Fe Ave.
 Placentia Ca. 92870

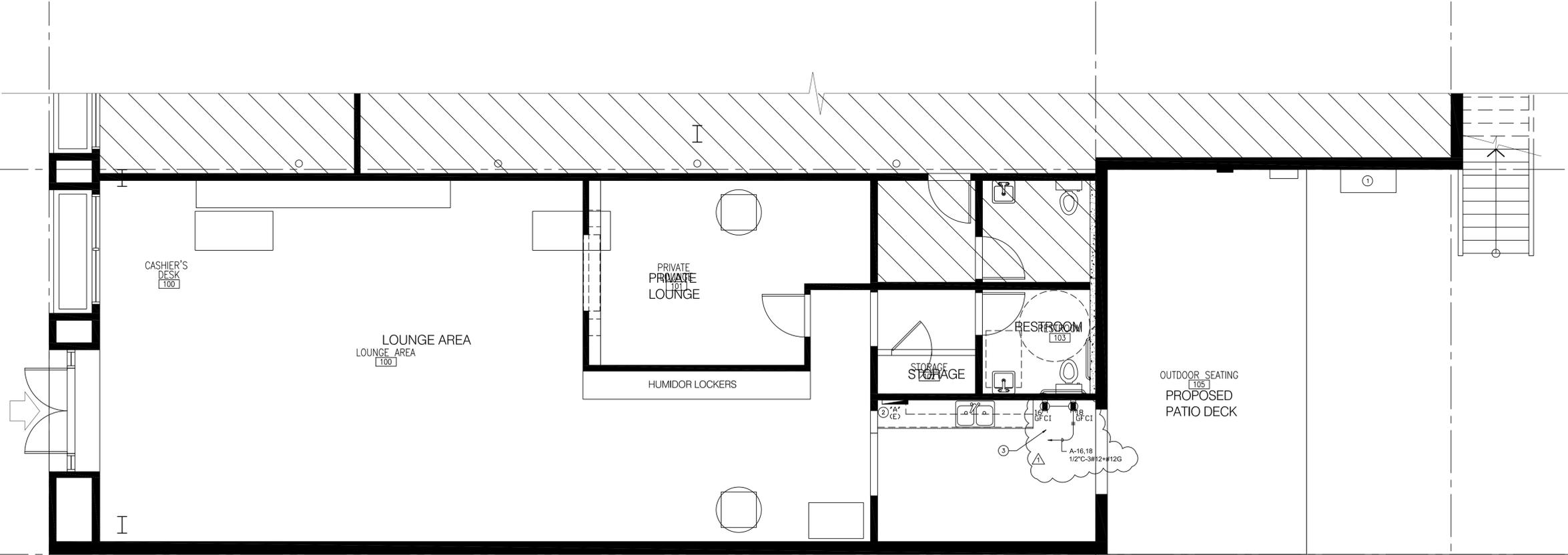
City Submittal	-
Added new equipment Refrig & Wine Cellar	04/23/

GENERAL NOTES
 SINGLE LINE
 PANEL SCHEDULE

SANTA FE AVENUE

A

B



MEGALECTRIC CORPORATION
ELECTRICAL ENGINEERING & DESIGN

5425 VIA FONTE
YORBA LINDA, CA. 92886
email: mega65@aol.com
Tel. 714-403-4779



LA BIBLIOTECA
TENANT IMPROVEMENT

128 W Santa Fe Ave.
Placentia Ca. 92870

City Submittal	-
Added new equipment Refrig & Wine Cellar	04/23/22

GENERAL ELECTRICAL NOTES

SEE SHEET E1.0 FOR GENERAL NOTES, SPECIFICATIONS & SCOPE OF WORK.

ELECTRICAL PLAN SPECIFIC NOTES

- ① EXISTING MAIN ELECTRICAL SERVICE METER AND PANEL.
- ② EXISTING 120/240V ϕ PANEL "A".
- ③ INSTALL (2) 15A 120V RECEPTACLES ON SEPARATE CIRCUITS POWER SOURCE FOR NEW KEGCO QUAD REFRIGERATOR AND LAMBO WINE CELLAR AS SHOWN ON PLAN AND PANEL SCHEDULE.

ELECTRICAL LEGEND

⊕	DUPLEX CONVENIENCE RECEPTACLE 110V; BLDG. STD. 18" A.F.F. U.N.O.
⊕	20A RECEPTACLE DEDICATED CIRCUIT 120V; BLDG. STD. 18" A.F.F. U.N.O.
⊕	DEDICATED 220 / 240 SINGLE RECEPTACLE; BLDG. STD. 18" A.F.F. U.N.O.
⊕	TELEPHONE/DATA OUTLET; BLDG. STD. 18" A.F.F. U.N.O.
⊕	NEW USB FOR DATA & POWER
⊕	NEW J BOX FOR POWER & DATA / TV CABLING
⊕	NEW THERMOSTAT
⊕	EXISTING ELECTRICAL PANEL
AFCI	ARC-FAULT CIRCUIT INTERRUPTERS
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
(E)	EXISTING ELECTRICAL TO REMAIN. U.N.O.
(N)	NEW ELECTRICAL U.N.O.
W.P.	WEATHER PROTECTED (OUTDOOR INSTALLED RECEPTACLES)

POWER PLAN

JOB NO. 04-23-11
DATE: 04/23/22
FILE :

E2.0



April 21, 2022

Kathrine Kuo
Planning Technician, Planning Division, City of Placentia
401 East Chapman Avenue
Placentia CA 92870

Dear Ms. Kuo,

La Biblioteca Cigar Lounge (DBA under the LLC ChaseFireClub) is a premium cigar lounge and retail. We have provided a destination location with services and an environment that compliments the changing and demanding demographics of Old Town Placentia. This letter regards our current use permit from 2020, UP 2020-09. We are looking to obtain a type 42 alcohol license for the 1705 sqft inside space and 382 sqft outside patio to enhance the environment we have already established.

La Biblioteca Cigar Lounge is a cigar bar with a retail and lounge area and there are 80 member lockers for our regular clientele for cigar storage in a temperature and humidity-controlled environment. Our Hours of operation are 12 pm – 12 am Tuesday-Sunday. Members will be allowed access to only their private lockers when we are closed.

Cigarettes, vapes, hookah, pipes and any cannabis related products are strictly prohibited on the premises. Ventilation in the space comprises two units, each four tone, to pull in the outside air supply with three exhaust fans, 2500 cfm per fan. Only members and customers over the age of 21 that purchase a cigar would be allowed into our lounge to purchase alcohol.

La Biblioteca is managed by tobacconist and cigar sommelier Anna Ayupova and Brad Johnson. Anna has 10 years of experience in the retail cigar industry & hospitality. Partner Brad Johnson has 25 years of corporate management experience and is the current president of Zemarc Corporation, responsible for all P&L across multiple locations with an employee base of sixty. There is one full-time and two part-time employees on site.

The La Biblioteca provides an open setting that caters to cigar enthusiasts, our goal is to enhance our members' experience by having wine and beer available on site for sale. Our premium selections of beers and wines with our sommeliers pairings will set a truly unique atmosphere. We believe the ambiance of La Biblioteca provides a calm and relaxing environment that builds on Old Town Placentia's transformation while complementing the existing businesses.

Thank You,

Anna Ayupova and Brad Johnson

ChaseFireClub LLC.



ATTACHMENT 2. VICINITY AND ZONING MAP

UP MOD 2020-09; 128 W. SANTA FE AVE., SUITE B



Aerial A.



Aerial B.

Zoning Code	
■ C-1	■ R-3
■ C-1 (O)	■ R-3 (O-1)
■ C-1 (O-1)	■ R-A
■ C-2	■ R-G
■ C-2-H65	■ R-G (O)
■ C-M	■ R-G(O) & C-1 (O)
■ C-O	■ RPC (O)
■ M	■ SP-1
■ M (O)	■ SP-2
■ M (PMD)	■ SP-3
■ PUD-1	■ SP-4
■ PUD-2	■ SP-5
■ PUD-2 (O)	■ SP-6 (O)
■ PUD-3	■ SP-7
■ PUD-3 (O)	■ SP-8
■ PUD-4	■ SP-9
■ R-1	■ SP-10
■ R-1 (MHP)	■ T-C
■ R-1 (O)	■ Old Town
■ R-2	■ TOD
■ R-2 (MHP)	■ N/A



Placentia Planning Commission

AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: LESLEY WHITTAKER, ASSOCIATE PLANNER

DATE: JULY 12, 2022

SUBJECT: TENTATIVE PARCEL MAP (TPM) NO. 2022-123 PERTAINING TO THE SUBDIVISION OF AN +/- 0.44 ACRE LOT INTO THREE PARCELS LOCATED AT 1451 EAST HOWARD PLACE WITHIN SP-7 (SPECIFIC PLAN 7)

RECOMMENDATION:

It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning TPM 2022-123; and
2. Receive the Staff Report, consider all public testimony, ask any question of Staff; and
3. Close the public hearing; and
4. Adopt Resolution PC-2022-12, a Resolution of the Planning Commission of the City of Placentia, recommending to the City of Placentia City Council approval of TPM 2022-123 to permit the subdivision of an approximately 0.44-acre (19,007 square feet) parcel into three (3) parcels for a property within SP-7 (Specific Plan 7) located at 1451 E. Howard Place (Assessor's Parcel Number 341-431-01) and to make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines.

REQUEST:

The applicant, Blain Meith, is requesting the subdivision of an approximately 0.44-acre (19,007 square foot) parcel into three (3) parcels for a property within the SP-7 (Specific Plan 7) Zoning District located at 1451 E. Howard Place (Assessor's Parcel Number 341-431-01). The requested subdivision will allow for future sales and conveyance of the lots. Placentia Municipal Code (PMC) Section 22.80.010(a) requires a Parcel Map for all subdivisions of four or fewer parcels and Section 22.80.060(c) requires that the Planning Commission take action to recommend to the City Council conditional approval or denial of the map.

DISCUSSION:

The following table shows the lot size of each proposed parcel. Specific Plan 7 Site Development Standards (listed in Table 3 of the Specific Plan 7 document) states the average Low Density Residential lots in SP 7 is 7,000 square feet and at a minimum, lots shall be 6,000 square feet. This Parcel Map will subdivide an existing approximately 19,000 square foot lot into three lots, and this property is within a larger tract recorded several years ago.

In looking at the surrounding parcels within this tract, many lots are exactly 6,000 square feet, while many lots are 7,000 square feet and larger. As the proposed lots meet the minimum lot size and are between 6,000 – 7,000 square feet, the proposed subdivision appears to meet the intent of SP-7 regarding lot size, and these lots should not significantly effect the average lot size within the overall tract

Parcel No.	Lot Size (square feet)	Lot Size (acres)	Minimum Lot Size Required in SP-7 (LDR Designation)
1	6,259 sq. ft.	.14 acres	6,000 sq. ft.
2	6,372 sq. ft.	.15 acres	6,000 sq. ft.
3	6,376 sq. ft.	.15 acres	6,000 sq. ft.

Subject Site and Surrounding Land Uses:

The subject site is located within an existing single-family residential district on the NEC of Howard Place and Dressler Drive (Assessor’s Parcel Number 341-431-01). The table below shows surrounding existing land uses, zoning, and General Plan and Specific Plan Land Use designations. The site contains an oil well on what is proposed as “Lot 1”, which will be abandoned by the applicant utilizing CALGEM standards and requirements, as well as Fire Department regulations.

Surrounding Land Uses:

Location	Existing Land Use	General Plan Land Use Element Designation	Zoning Map Designation	Specific Plan Land Use Designation
Subject Site	Vacant	Specific Plan	SP-7 (Specific Plan 7)	Low Density Residential
North, South, East, & West	Single-Family Residential	Specific Plan	SP-7	Low Density Residential

ZONING COMPLIANCE STANDARDS:

Lot Standards;

Section 23.107.070 of the PMC sets forth development standards defining the minimum lot width, lot depth, and lot area for the Low Density Residential (LDR) districts in Specific Plan 7. The SP-7 LDR development standards require a minimum lot size of 6,000 square feet for all interior lots and

a minimum width of 60 feet. The proposed subdivision meets the minimum and average lot size requirements as previously mentioned. The three proposed parcels however are 59 feet in width, which measures one foot under the minimum 60 feet width requirement for LDR lots in SP-7. PMC section 22.16.060 (c), which states, "The city council may, upon recommendation from the planning commission, authorize deviations in lot size, setbacks, and minimum lot frontages and widths when, in its own opinion, said deviations are necessary to create said improved community. However, in no instance, shall there be density greater than that permitted by the general plan." The proposed three parcels are each one foot below the requirement; however, staff recommends allowing this deviation due to the fact most surrounding parcels are also just under the minimum width (55.01', 54.10', 53.50, 55'). The development of this vacant parcel will enhance the cohesiveness of the neighborhood and blend in with the development standards used for the tract. The deviation will maintain the allowable density and is necessary to help improve the neighborhood. The future homes must comply with all SP-7 development standards whenever future applicant(s) submit development plans via the City's Site Plan Review (SPR) process.

The subdivision proposes three lots—Lot 1: 6,259-square feet, with a street frontage of 65.21 feet, Lot 2: 6,372-square feet, with a street frontage of 59.0 feet, and Lot 3: 6,376, with a street frontage of 59.0 feet. The proposed lots are of a similar lot size to the lots surrounding the subject site.

	Minimum Lot Size 6,000 square feet	Minimum Lot Width 60'
Lot 1	6,259 square feet	59 feet
Lot 2	6,372 square feet	59 feet
Lot 3	6,376 square feet	59 feet
Surrounding Lots	Minimum Lot Size 6,000 square feet	Minimum Lot Width 60'
Lot 9	5,788.7 square feet	54.10 feet
Lot 20	6,432.77 square feet	59 feet
Lot 11	5,653.35 square feet	53.50 feet

CEQA:

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgment and find that TPM 2022-126 is exempt from CEQA pursuant to State CEQA Guidelines §15315 (Class 15 - Minor Land Divisions), as it applies to the division of property in urbanized areas zoned for residential use into four or fewer parcels, the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local

standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

PUBLIC NOTIFICATION:

Legal notice was published in the Placentia News Times on June 30, 2022, and notices were sent to property owners of record within a 300-foot radius of the subject property, posted at the Civic Center, and on the City website on June 30, 2022. As of July 7, 2022, staff has received no comments in support or in opposition of the request.

CONCLUSION:

The proposed project is consistent with the City's General Plan and meets the minimum development standards of the PMC. Including the recommended conditions of approval, the proposed subdivision located within the existing SP-7 District will be compatible with adjacent land uses and will not result in any adverse impacts to the surrounding area.

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution PC 2022-12, recommending approval of TPM 2022-123 to the City of Placentia City Council and making the findings to permit the subdivision of an approximately 0.44 acre (19,007 square feet) lot into three parcels located at 1451 East Howard Place (Assessor's parcel number 341-431-01) and make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines.

Prepared and submitted by:



Lesley Whittaker
Associate Planner

Reviewed and approved by:



Joseph M. Lambert
Director of Development Services

Attachments:

1. Resolution No. PC 2022-12 recommending City Council approval of TPM 2022-123
 - 1.a. Conditions of Approval
2. Vicinity Map
3. Proposed Tentative Parcel Map No. 2022-123

RESOLUTION NO. PC-2022-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA APPROVING TENTATIVE PARCEL MAP (TPM) 2022-123 PERTAINING TO THE SUBDIVISION OF AN APPROXIMATELY 0.44 ACRE (19,007 SQUARE FEET) LOT INTO THREE PARCELS LOCATED AT 1451 EAST HOWARD PLACE (ASSESSOR'S PARCEL NUMBER 341-431-01) AND MAKING FINDINGS THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) SET FORTH IN TITLE 14 CCR § 15315 (CLASS 15 – MINOR LAND DIVISIONS) AND THE CITY OF PLACENTIA ENVIRONMENTAL GUIDELINES.

A. Recitals.

(i) Blain Meith, representing Realm California, LLC., at Assessor's Parcel Number 341-431-01 at 1451 E. Howard Place, ("Applicant" hereinafter) heretofore filed an application for approval of Tentative Parcel Map (TPM) 2022-123, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Tentative Parcel Map request is referred to as the "Application".

(ii) On July 12, 2022 this Commission conducted a duly noticed public hearing, as required by law, and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Placentia as follows:

1. The Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff reports, verbal testimony and development plans, this Commission hereby specifically finds as follows:

a. The proposed project will not be: (1) detrimental to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development or within the city, or (2) injurious to the property or improvements within the neighborhood or within the city as it only involves the subdivision of land for the purposes of the future sales and conveyance of the subject lots. Subject to compliance with the attached Conditions of Approval and Standard Development Requirements (Attachments "A"), this development complies with all

applicable code requirements and development standards of Title 23 of the Placentia Municipal Code, Specific Plan 7, and Title 22, and all applicable Building Codes and other Regulations of the Placentia Municipal Code.

b. Accepting that the Planning Commission recommends approval of Tentative Parcel Map 2022-123, as the proposed use will be consistent with the City's General Plan. The General Plan Land Use designation for the subject site is Specific Plan, and the proposed use does not involve any change in the land use designation of the subject site. The proposed project involves the subdivision of an approximately 0.44 acre (19,007 square foot) lot into 3 parcels located at 1451 E. Howard Place (Assessor's Parcel Number 341-431-01) in the "SP-7" (Specific Plan 7) which is a development type that is consistent with the land use designation within the Specific Plan, which is Low Density Residential.

c. The proposed project as presented in the staff report and accompanying plans complies with all requirements of Chapter 22.80 Subdivision of four or less parcels. The proposed Development includes Conditions of Approval and Standard Development Requirements to ensure full compliance with applicable code requirements.

d. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions are made part of this development approval. Attachment "A" contains Conditions of Approval and Standard Development Requirements specific to this development application in order to provide assurances that the proposed subdivision and related on and off-site improvements are in compliance with applicable requirements of the Placentia Municipal Code.

e. That the proposed map is consistent with the General Plan. The proposed Tentative Parcel Map is to subdivide a larger parcel into three smaller parcels. In an overall review of the General Plan, the proposed subdivision is consistent with all of the policies, programs, and goals. More specifically, it is a goal of the General Plan land use element under policy 2.4, "that, Large, contiguous vacant or underutilized parcels should be comprehensively planned for development to be compatible with adjacent neighborhoods." The subject site is a 0.44-acre site. The subdivision will allow for the development of three additional single-family homes on the newly created parcels. Furthermore, it is an objective of the City's Housing Element to increase the overall housing stock within the City. This includes providing sufficient housing to meet the City's share of the Regional Housing Needs Assessment (RHNA). By allowing the proposed project to be constructed there will be an increase in the housing inventory by three units. For these reasons, approval of the Tentative Parcel Map is consistent with all other goals, policies, programs, and land uses of applicable elements of the General Plan.

f. That the site is physically suitable for the type and density of development. The subject site is a 0.44 acre parcel, which has been designed to

accommodate the units, as well as sufficient parking, landscaping, and open space. Based on this, the subject site is adequate to accommodate the SP-7 Zoning Designation.

g. That the design of the subdivision or type of improvements is not likely to cause serious public health problems. The proposed subdivision is to allow a subdivision of a 0.44-acre lot into 3 parcels.

h. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. As part of the review of the application, an extensive record research was completed. Additionally, the application submitted a preliminary title report with their application. All of the easements will be protected in place.

i. That the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidable injure wildlife or their habitat. The subject site is an underutilized single-family use. There are no known areas within the City that host wildlife or their habitat, most particularly species.

3. The Planning Commission hereby recommends: (a). The City Council of the City of Placentia find that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) guidelines set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions), the City of Placentia Environmental Guidelines, and California Public Resources Code §§ 21000, *et seq.*, and to direct staff to file a Notice of Exemption with respect to the subject Project;

(b). That, based upon the findings set forth below, and changes and alterations which have been incorporated into and conditioned upon the proposed project, no significant adverse environmental effects will occur; and

4. Based upon the findings and conclusions set forth herein, this Planning Commission hereby recommends approval of Tentative Parcel Map 2022-123 to the City of Placentia City Council, as modified herein, and specifically subject to the conditions set forth in Attachment “A” attached hereto and by this reference incorporated herein.

5. The Secretary to the Planning Commission shall:

a. Certify to the adoption of this Resolution; and

b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the Applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED this 12th day of July 2022.

FRANK PEREZ, CHAIR

I, Joseph Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July 2022, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July 2022, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAINED:	COMMISSION MEMBERS:

ATTEST:

JOE LAMBERT
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM

CITY ATTORNEY

Attachment A
Special Conditions of Approval for
Tentative Parcel Map 2022-123 (TPM 2022-123)
1451 E. Howard Place (APN: 341-431-01)

SPECIAL CONDITIONS

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

ALL OF THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.

DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:

1. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation or amendment of said actions by the City of Placentia Planning Commission.
2. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
3. Approval of Tentative Parcel Map (TPM) 2022-123 and the resulting Final Map is contingent upon City Council approval.
4. TPM 2022-123 shall expire twenty-four (24) months after City Council approval or conditional approval if a final map is not recorded. Upon written request by the developer the time limit may be extended an additional twelve (12) months by City Council.

5. The developer/owner of each resulting lot shall be required to join any applicable Homeowner's Association (HOA) that the properties fall within the boundaries of.
6. A final map shall be prepared by or under the direction of a registered Civil Engineer or licensed land surveyor in the State, as provided for in the Business and Professions Code.
7. TPM 2022-123 and the related Final Map shall comply with the applicable requirements of Title 22 Subdivisions of the Placentia Municipal Code.
8. Any modifications to the approved Tentative Parcel Map and any modifications which will change, expand or intensify the use shall be subject to review and approval by the Director of Development Services. The Director of Development Services or his or her designee may determine if such modifications require approval by the Placentia Planning Commission or may be approved administratively by City staff.
9. Prior to final release of the buildings for occupancy, all Special Conditions of Approval and Standard Development Requirements shall have been completed and final inspections approved.
10. Prior to the development of the parcels, the Applicant will provide certification of well abandonment from CALGEM (California Geologic Energy Management Division) and any mitigation measures needed for development atop and/or in proximity of any oil wells.
11. Applicant/builder is responsible, at its sole cost and expense, to cause all cable, telephone, electrical, and other utility services serving the property to be placed underground within the subject site. Prior to the issuance of building permits, applicant/builder shall submit a separate utility plan for each such utility service. The utility plan shall indicate the precise location of where all cable, telephone, electrical, and other utility services serving the property will be placed underground within the subject site, as well as the points of connection at the proposed building or buildings on the site and the public right-of-way. Prior to the submittal of the utility plans to the City, the plans shall be reviewed and approved by the utility companies. Evidence of approvals shall be in the form of a signed and dated approval stamp and/or approval letter. If the precise locations of future utility services cannot be reasonably ascertained prior to the issuance of building permits, upon prior written approval of the Director of Development Services, prior to issuance of a certificate of occupancy. Applicant/builder shall provide the City with "as built" plans showing the precise locations where all cable, telephone, electrical, and other utility services serving the property were placed underground within the subject site, as well as the points of connection at the building or buildings on the site and the public right-of-way.
12. Developer shall pay in full to the City of Placentia, any and all applicable citywide Development Impact Fees (including, but not limited to fees relating to recreational

facilities, sewer facilities, transportation infrastructure, storm drain facilities, public safety impacts and affordable housing impacts) adopted by and set forth by the City Council, as set forth in Chapter 5 of the Placentia Municipal Code, in effect at the time building permits are issued prior to issuance of the first building permit for each respective property.

13. Developer and/or property owner agrees to approve the incorporation of the project into Community Facilities District No. CFD 2014-01 (Public Services) pursuant to the provisions of California Government Code Section 53311, et seq. Said annexation into CFD No. 2014-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
14. Developer and/or property owner agrees to approve the incorporation of the project into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
15. Developer and/or property owner agrees to approve the incorporation of the project into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
16. Developer and/or property owner agrees that the City may, at its sole election, require that, instead of annexing into SLD 1981-01 and/or LMD 1992-1, the project shall be incorporated into a Community Facilities District to be created by the City pursuant to the provision of California Government Code Section 53311, et seq; the purpose of which, and the initial amount of the taxes and assessments thereunder, will be substantially the same, in whole or in part, as SLD 1981-1 and/or LMD 1992-1. Developer and/or property owner agrees to approve the incorporation of the project into said Community Facilities District, provided that the incorporation of the new CFD does not otherwise delay the development of the project; in which event the project shall instead be annexed into SLD 1981-01 and/or LMD 1992-1. Any automatic fee increases for the Community Services District shall not be inconsistent with the approved rate study.

DEVELOPMENT SERVICES DEPARTMENT - BUILDING DIVISION

17. The parcel maps shall be prepared, sealed, and signed by a California licensed land surveyor or a California licensed civil engineer who had been licensed prior to January 1982.
18. Complete orientation of the proposed line between the two parcels shall be addressed on the Tentative Parcel Map No. 2022-123.

19. The parcels map after being approved by the City shall be recorded by the Orange County Recording Office.

PUBLIC WORKS DEPARTMENT – ENGINEERING DIVISION

20. All improvement and grading plans shall be drawn on twenty-four (24) inches by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.

21. The following items are required for the entitlement review:

- a. Preliminary grading and drainage plan.
- b. Preliminary geotechnical report.
- c. Preliminary hydrology/drainage study.
- d. Preliminary Water Quality Management Plan (WQMP) in the form and content per the City's WQMP template.
- e. Sewer capacity study.

22. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances.

23. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and/or relocation of the existing utilities, vaults and meters. It is also the applicant's responsibility to ensure applicant notifies the Building Inspection Division that these utilities have been properly relocated and/or disconnected. Prior to recordation of the final map, the public improvement plans as required shall be prepared and signed by the City Engineer.

24. Prior to issuance of a Certificate of Occupancy, the engineer of record shall submit all approved project and site improvements plans on an AutoCAD DWG and DFX formatted Compact Disc (CD) to the Public Works Department. The applicant shall pay for and provide the City with copies of as-built plans.

25. Recent title report to clarify the ownership and all easements on the property.

26. Provide an erosion control, Storm Water Pollution Prevention Plans (SWPPP) for protection of the site during and post excavation activities.

GRADING

27. Prior to the issuance of a grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's)

that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/glltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long-term maintenance responsibilities. The plan shall be prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.

28. Prior to the issuance of a grading permit, the applicant shall prepare a Water Quality Management Plan (WQMP) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the locations of structural BMP's, and assignment of long-term maintenance responsibilities (which shall also be included in the Maintenance Agreement). The plan shall be prepared to the general form and content shown in the City of Placentia's WQMP Template and shall be submitted to the City Engineer for review and approval. Website available at (<http://www.placentia.org/index.aspx?nid=262>)
29. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtained under the California's General Permit for Discharge of Storm Water Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. Prior to the issuance of a grading permit, the applicant shall submit to the City Engineer for review a Storm water Pollution Prevention Plan (SWPPP). A copy of the approved SWPPP shall be kept at the project site and available for review upon request.
30. Prior to the issuance of grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.

31. Prior to approval of the final design plans and issuance of a grading permit, the applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected. The report shall provide grading and structural design recommendations for avoiding liquefaction, subsidence or collapse for each of the proposed structures. The recommendations shall be implemented by the Applicant.
32. Prior to the issuance of a grading permit, erosion control plans and notes shall be submitted and approved by the Engineering Division of Public Works Department.
33. All private slopes of 4 feet or more in vertical height and of 4:1 or greater slope, but less than 2:1 slope, shall be, at minimum, irrigated and landscaped with appropriate ground cover for erosion control. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy.
34. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
35. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
36. The final grading plan for this parcel shall be substantially the same, specifically regarding pad elevations, size, and configuration as the proposed grading illustrated on the approved site plan. If there is a significant deviation between the two plans the Community Development Director and the City Engineer will review the plans and determine if a finding of substantial conformance can be made prior to the issuance of a grading permit. The Development Services Director and the City Engineer may refer the matter to the Planning Commission for an opinion before deciding.
37. All parking, common, and storage areas shall be lighted to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photo censored cell.
38. The site grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency with each other and for consistency with the requirements and standards of the City of Placentia.
39. The applicant shall provide a quitclaim or relocation of existing easements as applicable in the plan review process prior to issuance of grading permit.

40. Provide and identify all pavement and driveway paving materials used inside and outside of the development areas. Identify all storm drain structures, types, sizes, and specifications on the plans.
41. Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD. Golden State Water Company currently operates a water well pump at the northwest corner of Bradford Avenue and Crowther Avenue.

Public Improvements and Construction

42. Applicant shall be responsible for reconstruction of the existing pavement within the limits of the project. The applicant shall provide street resurfacing using grind to a depth of 2-inch and 2-inch overlay. Applicant may also be responsible for reconstruction of the driveway approaches, sidewalks, curb and gutters, streetlights, and street trees as determined by the City Engineer. The limit of the paving shall include full width of the street along the entire property frontage. All public improvements shown on the plans and the map shall be constructed to the City of Placentia's standards, ordinances, policies
43. Prior to issuance of 1st occupancy permit, all new public improvements including curb, gutter, sidewalk, asphalt concrete pavement, and streetlights within property boundaries shall be constructed satisfactorily to the City Engineer.
44. Improvement plans shall be based upon a centerline profile extending beyond the project boundaries a minimum distance of 150 feet at a grade and alignment approved by the City Engineer.
45. All ADA improvements constructed within the public right of way must meet the latest ADA and CBC standards and will require CASp inspection during construction and be certified by the CASp inspector. All CASp inspection and related activities shall be provided and paid for by the applicant and the developer.
46. Prior to recordation of final map or issuance of building permit if recordation has already been accomplished, the applicant shall enter into an agreement and post security bond, in a form and amount acceptable to the City Engineer, guaranteeing the construction of public improvements in conformance with applicable City standards and the City Code, including, but not limited to the following:
47. Street improvement including, but not limited to: pavement, curb and gutter, sidewalks, driveway approaches, street lights, signing, striping, traffic signal systems and other traffic control devices as appropriate.
 - a. Storm drain facilities

- b. Landscaping
- c. Sewer systems
- d. Street lighting

Storm Drain Improvements and Construction

48. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the Public Works Director.
49. Drainage easements, when required, shall be shown on the grading plans, and noted as follows: "Drainage Easement - no buildings, obstructions, or encroachments by landfills are allowed."
50. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual. The project development shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. If the quantities exceed the existing downstream capacity, the developer shall provide adequate drainage facilities to mitigate the impact as approved by the City Engineer.
51. Prior to the approval of the improvement plans, the hydrology study shall show that the 25-year storm flow will be contained within the street from curb to curb and the 100-year storm flow shall be contained within the street right-of-way. When either of these criteria are exceeded, additional drainage facilities shall be installed. All analysis shall comply with the Orange County Hydrology Manual and County Local Drainage Manual.
52. The post development peak flow rate generated from the project site shall be less than or equal to the predevelopment peak flow rate from the site for all frequency storms up to and including 100-year return.
53. Drainage facilities with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency flow bypass shall also be provided as approved by City Engineer.

Sewer line Improvements and Construction

54. Sewer flow calculations justifying pipeline design and connection to the main shall be prepared by a registered civil engineer and submitted as a part of an improvement plan for approval by the City Engineer. Provide sewer capacity analysis in accordance with the City's Guidelines to evaluate the proposed sewer flow rates into the City sewer system using current flow rate and for pipeline capacity availability. Please see attached "Sewer Capacity Guidelines."
55. Prior to issuance of building permits, the developer's engineer shall analyze and mitigate any sewer system deficiencies for all phases of the proposed development. Results of the system analysis may require special construction such as booster pumps, upsize the downstream pipes and backwater valves. The engineering analysis and special construction requirements shall be subject to review and approval of City Engineer.
56. Onsite water improvement and fire protection plans shall be approved by the Fire Marshal, the local water district, and City Engineer. The water distribution lines and appurtenances shall conform to the applicable laws and adopted regulations enforced by the Golden State Water Company.
57. Prior to the issuance of a building permit, the applicant shall dedicate ingress and egress of the access route within the project site and improve it fully operational as required by the Orange County Fire Authority and satisfaction to the City Engineer.
58. The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.
59. Installation of new sanitary sewer manholes may be required at the discretion of the City Engineer and OCSC. All sanitary sewer improvements shall be in accordance with the latest OC Public Works Department Standards.

Traffic

60. Provide new and modify the existing striping modifications within the limits of the new paving and the project.

Final Map

61. Applicant shall provide a quitclaim or relocation of any existing easements that affect the proposed development.
62. The applicant shall prepare and submit a preliminary title report not older than 90 days.
63. Prior to approval of the Final Map, pursuant to the Subdivision Improvement Agreement for Public Improvements, the developer shall provide security in an amount specified in writing by the Registered Civil Engineer or a Licensed Land

Surveyor of record. The developer shall enter into an agreement for providing the necessary right-of-way design and construction of missing public improvements, which shall be constructed in coordination with adjacent existing improvements prior to occupancy of the development and subject to review and approval by the City Engineer.

64. Prior to the exoneration of any security, the applicant shall submit one (1) duplicate Mylar of the final map and all as built public improvement plans, in a manner acceptable to the City Engineer.

65. This project falls under the City's Municipal Code: 8.04.390 Special requirements for construction/deconstruction waste. This is to ensure the diversion of at least fifty (50) percent of all construction/deconstruction waste generated within the city the following special requirements apply to all covered projects as listed in Section 8.04.400:

- a) All contractors or owner-builders applying for a permit are required to complete a project form and attest that only an authorized city agent will be used to haul debris and other solid waste generated by that project.
- b) All contractors or owner-builders are required to place a deposit with the city to ensure their compliance with the required use of an authorized city agent. The specific deposit amount shall be an equivalent to One (1.00) percent of the total project value.
- c) Upon completion of the project, and if proof deemed satisfactory by the city confirms that all solid waste hauling for that project was done by an authorized city agent then a full refund of the deposit will be made. Acceptable forms of proof are weight tickets, collection receipts, billings, or similar statements from an authorized city agent showing that they performed solid waste collection at the location established for that project. It is the contractor's or owner-builders' responsibility to provide receipts covering all hauling activity for that project. Failure to provide complete records will be deemed as noncompliance.
- d) Failure to provide receipts or other acceptable proof of compliance for all solid waste hauling on a project will result in the forfeiture of one hundred (100) percent of deposited funds. (O-2011-08 § 2, 2011)



ATTACHMENT 2. VICINITY ZONING MAP

TPM 2022-123; 1451 E. Howard Pl



Aerial A.

Zoning Code			
	C-1		R-3
	C-1 (O)		R-3 (O-1)
	C-1 (O-1)		R-A
	C-2		R-G
	C-2-H65		R-G (O)
	C-M		R-G(O) & C-1 (O)
	C-O		RPC (O)
	M		SP-1
	M (O)		SP-2
	M (PMD)		SP-3
	PUD-1		SP-4
	PUD-2		SP-5
	PUD-2 (O)		SP-6 (O)
	PUD-3		SP-7
	PUD-3 (O)		SP-8
	PUD-4		SP-9
	R-1		SP-10
	R-1 (MHP)		T-C
	R-1 (O)		Old Town
	R-2		TOD
	R-2 (MHP)		N/A



Aerial B.

TENTATIVE PARCEL MAP No. 2022-123

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE,
STATE OF CALIFORNIA.

BEING A SUBDIVISION OF LOT NO. 222 OF TRACT NO. 14161, AS PER MAP RECORDED
IN BOOK 673, PAGES 37-48 INCLUSIVE, MISCELLANEOUS MAPS, IN THE OFFICE OF THE
COUNTY RECORDER, ORANGE COUNTY, CALIFORNIA.

3 LOTS 0.44 ACRES (NET & GROSS) MARCH 2022

SUBDIVIDER:

REALM California, LLC
1746 South Yosemite Avenue, #245
VENTURA, CA 93003
Contact: Brian Mleth 985-630-9165
brian.mleth@calrg.com

PREPARED BY:

KING CIVIL ENGINEERING CORP
26702 VAL PARISO DRIVE
MISSION VIEJO, CA 92691
Contact: Tom King 714-996-7000
kingciv@earthlink.net

UTILITY PURVEYORS:

WATER: GOLDEN STATE WATER COMPANY
1920 W. CORPORATE WAY
ANAHEIM, CA 92801

SEWER: CITY OF PLACENTIA
1100 W. CHAPMAN AVENUE
PLACENTIA, CA 92870

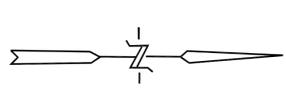
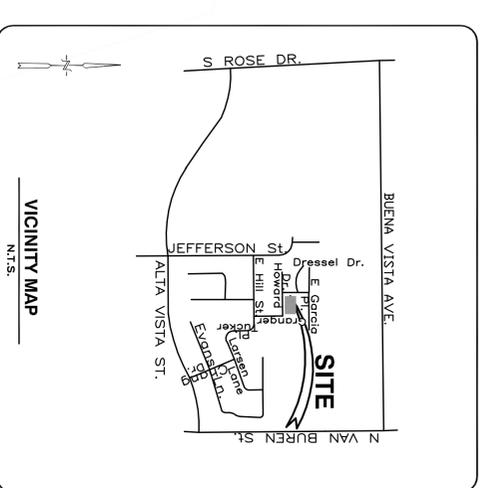
Gas: SOUTHERN CALIFORNIA GAS CO.
1919 S. STATE COLLEGE BLVD., SUITE C
ANAHEIM, CA 92830

ELECTRIC: SOUTHERN CALIFORNIA EDISON CO.
1851 W. VALENCA DRIVE
FULLERTON, CA 92833

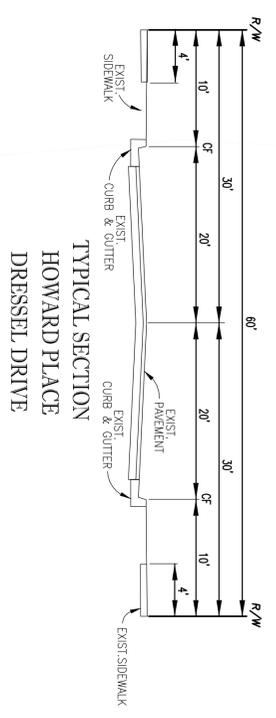
TRASH: REPUBLIC DISPOSAL SERVICES
11311 N. BLUE GUM STREET

TELEPHONE: AT&T
3539 E. CORONADO ST., SECOND FLOOR
ANAHEIM, CA 92807

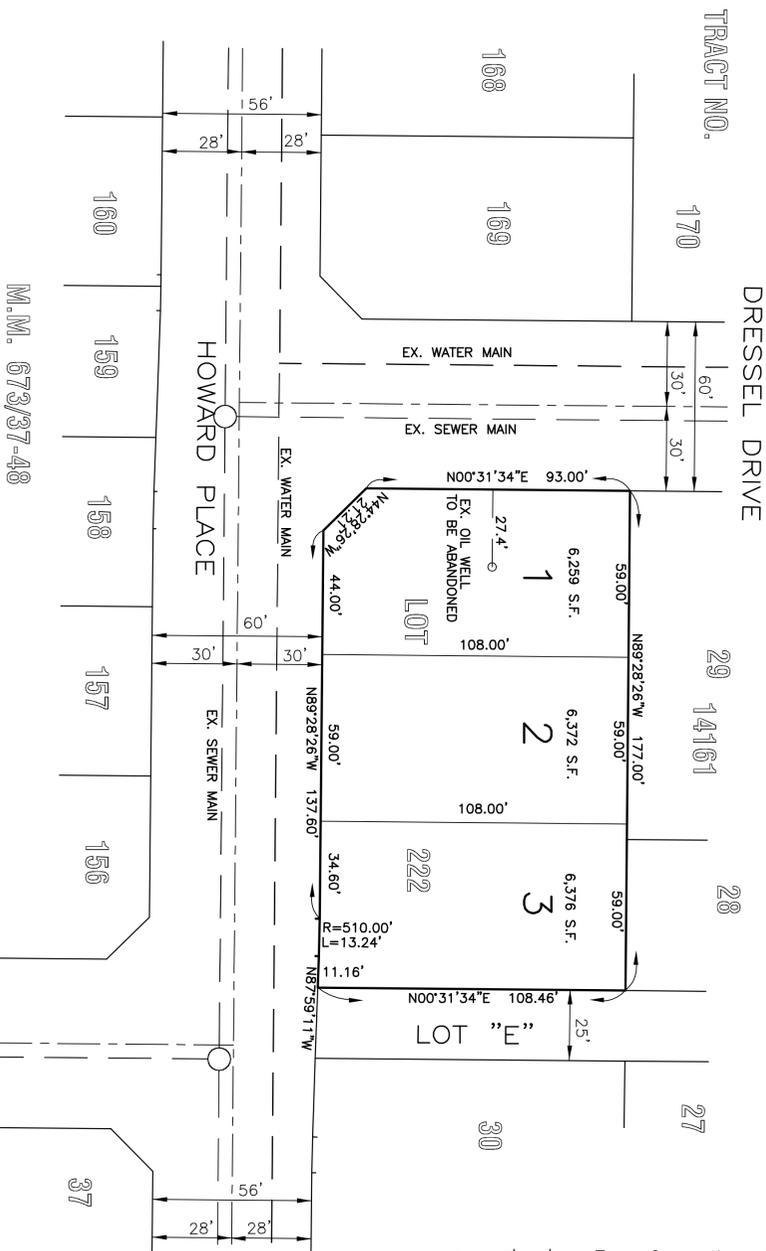
CABLE TV: TIME-WARNER



SCALE: 1" = 30'



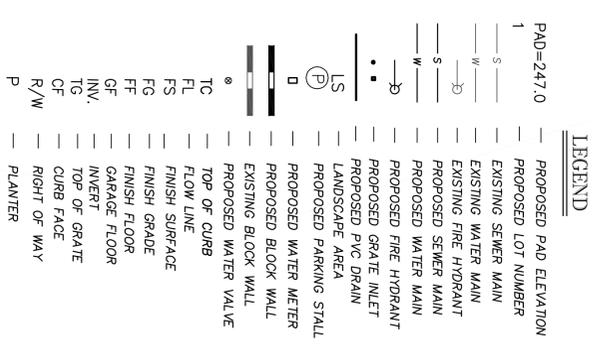
SITE ADDRESS: 1451 E. HOWARD PLACE



GRANGER DRIVE

NOTES:

1. Proposed Use: Single Family Residential
 2. Development of Lot: - Fully Developed Lots.
 3. All Existing Structures On Site To Be Demolished.
 4. Flood Zone "X".
 5. Assessor's Parcel No. 341-431-01
 6. Subdivider intends to comply with all requirements in Chapters 20.20, 22.16 through 22.64 and other laws of the City in regards to construction and erosion control.
- OCPFA NOTES:**
1. All fire lane signs or red curb areas shall be shown on a site plan approved by the OCPFA.
 2. All structures will be protected with an approved automatic fire sprinkler system.



I, THOMAS A. KING, DEPOSE AND STATE THAT THE OWNERS OF THIS PROPERTY COMPRISING THE PROPOSED SUBDIVISION NO. 2022-123 SHOWN ON THIS MAP HAVE CONSENTED TO THE PREPARATION AND SUBMISSION OF THIS MAP.

THAS

THOMAS A. KING
R.C.E. NO. 16916
DATED THIS 23 DAY OF MARCH 2022





Placentia Planning Commission

AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: LESLEY WHITTAKER, ASSOCIATE PLANNER

DATE: JULY 12, 2022

SUBJECT: TENTATIVE PARCEL MAP (TPM) NO. 2022-126 PERTAINING TO THE SUBDIVISION OF AN +/- 0.36 ACRE LOT INTO TWO PARCELS LOCATED AT 412 NORTH TIDLAND CIRCLE WITHIN SP-7 (SPECIFIC PLAN 7)

RECOMMENDATION:

It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning TPM 2022-126; and
2. Receive the Staff Report, consider all public testimony, ask any question of Staff; and
3. Close the public hearing; and
4. Adopt Resolution PC-2022-11, a Resolution of the Planning Commission of the City of Placentia, recommending to the City of Placentia City Council approval of TPM 2022-126 to permit the subdivision of an approximately 0.36-acre (15,681 square feet) parcel into two (2) parcels for a property within SP-7 (Specific Plan 7) located at 412 N. Tidland Circle (Assessor's Parcel Number 341-433-34) and to make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines.

REQUEST:

The applicant, Blain Meith, is requesting the subdivision of an approximately 0.36-acre (15,681 square foot) parcel into two (2) parcels for a property within the SP-7 (Specific Plan 7) Zoning District located at 412 N. Tidland Circle (Assessor's Parcel Number 341-433-34). The requested subdivision will allow for future sales and conveyance of the lots. Placentia Municipal Code (PMC) Section 22.80.010(a) requires a Parcel Map for all subdivisions of four or fewer parcels and Section 22.80.060(c) requires that the Planning Commission take action to recommend to the City Council conditional approval or denial of the map.

DISCUSSION:

The following table shows the lot size of each proposed parcel. Specific Plan 7 Site Development Standards (listed in Table 3 of the Specific Plan 7 document) states the average Low Density

Residential lot in SP 7 shall be 7,000 square feet on average and at a minimum, lots shall be 6,000 square feet. As the proposed lots meet the minimum lot size and are between 6,000 – 8,000 square feet, the proposed subdivision appears to meet the intent of SP-7 regarding lot size, as demonstrated in the table below.

Parcel No.	Lot Size (square feet)	Lot Size (acres)	Minimum Required Lot Size in SP-7 (LDR Designation)
1	8,273 square feet	.19 acres	6,000 square feet
2	7,537 square feet	.17 acres	6,000 square feet

Subject Site and Surrounding Land Uses:

The subject site is located within an existing single-family residential district at 412 N. Tidland Circle (Assessor’s Parcel Number 341-433-34). The parcel is located on the southern end of N. Tidland Circle, on the eastern side of the cul-de-sac. The table below shows surrounding existing land uses, and General Plan and Specific Plan Land Use designations. The site contains an oil well on what is proposed as “Lot 2”, which will be abandoned by CALGEM standards and requirements, as well as pursuant to local Fire Department standards.

Surrounding Land Uses:

Location	Existing Land Use	General Plan Land Use Element Designation	Zoning Map Designation	Specific Plan Land Use Designation
Subject Site	Vacant	Specific Plan	SP-7 (Specific Plan 7)	Low Density Residential
North, South (across La Paloma Ave), East, & West	Single-Family Residential	Specific Plan	SP-7	Low Density Residential

ZONING COMPLIANCE STANDARDS:

Lot Standards

Section 23.107.070 of the PMC sets forth development standards defining the minimum lot width, lot depth, and lot area for Low Density Residential (LDR) districts in Specific Plan 7. As previously stated, the SP-7 LDR development standards require a minimum lot size of 6,000 square feet for all interior lots and a minimum frontage and width of 60 feet. The proposed subdivision meets these standards. The subdivision proposes two lots—Lot 1: 8,273-square feet, with a street frontage of 76.23 feet and Lot 2: 7,537-square feet, with a street frontage of 73.05 feet. The proposed lots are of a similar lot size to the lots surrounding the subject site.

	Minimum Lot Size 6,000 square feet	Minimum Lot Width 60'
Lot 1	8,273 square feet	76.23 feet
Lot 2	7,537 square feet	73.05 feet

CEQA:

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgment and find that TPM 2022-126 is exempt from CEQA pursuant to State CEQA Guidelines §15315 (Class 15 - Minor Land Divisions), as it applies to the division of property in urbanized areas zoned for residential use into four or fewer parcels, the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

PUBLIC NOTIFICATION:

Legal notice was published in the Placentia News Times on June 30, 2022, and notices were sent to property owners of record within a 300-foot radius of the subject property, posted at the Civic Center, and on the City website on June 30, 2022. As of July 7, 2022, staff has received no comments in support or in opposition of the request.

CONCLUSION:

The proposed project is consistent with the City’s General Plan and meets the minimum development standards of the PMC. Including the recommended conditions of approval, the proposed subdivision located within the existing SP-7 District will be compatible with adjacent land uses and will not result in any adverse impacts to the surrounding area.

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution PC 2022-11, recommending approval of TPM 2022-126 to the City of Placentia City Council and making the findings to permit the subdivision of an approximately 0.36 acre (15,681 square feet) lot into two parcels located at 412 N. Tidland Circle (Assessor’s parcel number 341-433-34) and make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines.

Prepared and submitted by:



Lesley Whittaker
Associate Planner

Reviewed and approved by:



Joseph M. Lambert
Director of Development Services

Attachments:

1. Resolution No. PC 2022-11 recommending City Council approval of TPM 2022-126
 - 1.a. Conditions of Approval
2. Vicinity Map
3. Proposed Tentative Parcel Map No. 2022-126

RESOLUTION NO. PC-2022-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA APPROVING TENTATIVE PARCEL MAP (TPM) 2022-126 PERTAINING TO THE SUBDIVISION OF AN APPROXIMATELY 0.36 ACRE (15,681 SQUARE FEET) LOT INTO TWO PARCELS LOCATED AT 412 N. TIDLAND CIRCLE (ASSESSOR'S PARCEL NUMBER 341-433-34) AND MAKING FINDINGS THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) SET FORTH IN TITLE 14 CCR § 15315 (CLASS 15 – MINOR LAND DIVISIONS) AND THE CITY OF PLACENTIA ENVIRONMENTAL GUIDELINES.

A. Recitals.

(i) Blain Meith, representing Realm California, LLC., at Assessor's Parcel Number 341-433-34 at 412 North Tidland Circle, ("Applicant" hereinafter) heretofore filed an application for approval of Tentative Parcel Map (TPM) 2022-126, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Tentative Parcel Map request is referred to as the "Application".

(ii) On July 12, 2022, this Commission conducted a duly noticed public hearing, as required by law, and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Placentia as follows:

1. The Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff reports, verbal testimony and development plans, this Commission hereby specifically finds as follows:

a. The proposed project will not be: (1) detrimental to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development or within the city, or (2) injurious to the property or improvements within the neighborhood or within the city as it only involves the subdivision of land for the purposes of the future sales and conveyance of the subject lots. Subject to compliance with the attached Conditions of Approval and Standard Development Requirements (Attachments "A"), this development complies with all

applicable code requirements and development standards of Title 23 Placentia Municipal Code, Specific Plan 7, and Title 22, and all applicable Building Codes and other Regulations of the Placentia Municipal Code.

b. Accepting that the Planning Commission recommends approval of Tentative Parcel Map 2022-126, the proposed use will be consistent with the City's General Plan. The General Plan Land Use designation for the subject site is Specific Plan, and the proposed use does not involve any change in the land use of the subject site. The proposed project involves the subdivision of an approximately 0.36 acre (15,681 square foot) lot into 2 parcels located at 412 N. Tidland Circle (Assessor's Parcel Number 341-433-24) in "SP-7" (Specific Plan 7) which is a development type that is consistent with the land use designation within the Specific Plan, which is Low Density Residential.

c. The proposed project as presented in the staff report and accompanying plans complies with all requirements of Chapter 22.80 Subdivision of four or less parcels. The proposed Development includes Conditions of Approval and Standard Development Requirements to ensure full compliance with applicable code requirements.

d. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions are made part of this development approval. Attachment "A" contains Conditions of Approval and Standard Development Requirements specific to this development application in order to provide assurances that the proposed subdivision and related on and off-site improvements are in compliance with applicable requirements of the Placentia Municipal Code.

e. That the proposed map is consistent with the General Plan. The proposed Tentative Parcel Map is to subdivide a larger parcel into two smaller parcels. In an overall review of the General Plan, the proposed subdivision is consistent with all of the policies, programs, and goals. More specifically, it is a goal of the General Plan land use element under policy 2.4, "that, Large, contiguous vacant or underutilized parcels should be comprehensively planned for development to be compatible with adjacent neighborhoods." The subject site is a 0.36-acre site. The subdivision will allow for the development of two additional single-family homes on the newly created parcels. Furthermore, it is an objective of the City's Housing Element to increase the overall housing stock within the City. This includes providing sufficient housing to meet the City's share of the Regional Housing Needs Assessment (RHNA). By allowing the proposed project to be constructed there will be an increase in the housing inventory by three units. For these reasons, approval of the Tentative Parcel Map is consistent with all other goals, policies, programs, and land uses of applicable elements of the General Plan.

f. That the site is physically suitable for the type and density of development. The subject site is a 0.36 acre parcel, which has been designed to

accommodate the units, as well as sufficient parking, landscaping, and open space. Based on this, the subject site is adequate to accommodate the SP-7 Zoning Designation.

g. That the design of the subdivision or type of improvements is not likely to cause serious public health problems. The proposed subdivision is to allow a subdivision of a 0.36-acre lot into 2 parcels.

h. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. As part of the review of the application, an extensive record research was completed. Additionally, the application submitted a preliminary title report with their application. All of the easements will be protected in place.

i. That the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidable injure wildlife or their habitat. The subject site is an underutilized single-family use. There are no known areas within the City that host wildlife or their habitat, most particularly species.

3. The Planning Commission hereby recommends: (a). The City Council of the City of Placentia find that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) guidelines set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions), the City of Placentia Environmental Guidelines, and California Public Resources Code §§ 21000, *et seq.*, and to direct staff to file a Notice of Exemption with respect to the subject Project;

(b). That, based upon the findings set forth below, and changes and alterations which have been incorporated into and conditioned upon the proposed project, no significant adverse environmental effects will occur; and

4. Based upon the findings and conclusions set forth herein, this Planning Commission hereby recommends approval of Tentative Parcel Map 2022-126 to the City of Placentia City Council, as modified herein, and specifically subject to the conditions set forth in Attachment “A” attached hereto and by this reference incorporated herein.

5. The Secretary to the Planning Commission shall:

a. Certify to the adoption of this Resolution; and

b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the Applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED this 12th day of July 2022.

FRANK PEREZ, CHAIR

I, Joseph Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July 2022, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 12th day of July 2022, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAINED:	COMMISSION MEMBERS:

ATTEST:

JOE LAMBERT
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM

CITY ATTORNEY

Attachment A
Special Conditions of Approval for
Tentative Parcel Map 2022-126 (TPM 2022-126)
412 N. Tidland Circle (APN: 341-433-34)

SPECIAL CONDITIONS

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

ALL OF THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.

DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:

1. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation or amendment of said actions by the City of Placentia Planning Commission.
2. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
3. Approval of Tentative Parcel Map (TPM) 2022-126 and the resulting Final Map is contingent upon City Council approval.
4. TPM 2022-126 shall expire twenty-four (24) months after City Council approval or conditional approval if a final map is not recorded. Upon written request, by the developer, the time limit may be extended an additional twelve (12) months by City Council.
5. The developer/owner of each resulting lot shall be required to join any applicable Homeowner's Association (HOA) that the properties fall within the boundaries of.

6. A final map shall be prepared by or under the direction of a registered Civil Engineer or licensed land surveyor in the State, as provided for in the Business and Professions Code.
7. TPM 2022-126 and the related Final Map shall comply with the applicable requirements of Title 22 Subdivisions of the Placentia Municipal Code.
8. Any modifications to the approved Tentative Parcel Map and any modifications which will change, expand or intensify the use shall be subject to review and approval by the Director of Development Services. The Director of Development Services or his or her designee may determine if such modifications require approval by the Placentia Planning Commission or may be approved administratively by City staff.
9. Prior to the development of the parcels, the Applicant will provide certification of well abandonment from CALGEM (California Geologic Energy Management Division) and any mitigation measures needed for development atop and/or in proximity of any oil wells.
10. Prior to final release of the buildings for occupancy, all Special Conditions of Approval and Standard Development Requirements shall have been completed and final inspections approved.
11. Applicant/builder is responsible, at its sole cost and expense, to cause all cable, telephone, electrical, and other utility services serving the property to be placed underground within the subject site. Prior to the issuance of building permits, applicant/builder shall submit a separate utility plan for each such utility service. The utility plan shall indicate the precise location of where all cable, telephone, electrical, and other utility services serving the property will be placed underground within the subject site, as well as the points of connection at the proposed building or buildings on the site and the public right-of-way. Prior to the submittal of the utility plans to the City, the plans shall be reviewed and approved by the utility companies. Evidence of approvals shall be in the form of a signed and dated approval stamp and/or approval letter. If the precise locations of future utility services cannot be reasonably ascertained prior to the issuance of building permits, upon prior written approval of the Director of Development Services, prior to issuance of a certificate of occupancy. Applicant/builder shall provide the City with "as built" plans showing the precise locations where all cable, telephone, electrical, and other utility services serving the property were placed underground within the subject site, as well as the points of connection at the building or buildings on the site and the public right-of-way.
12. Developer shall pay in full to the City of Placentia, any and all applicable citywide Development Impact Fees (including, but not limited to fees relating to recreational facilities, sewer facilities, transportation infrastructure, storm drain facilities, public safety impacts and affordable housing impacts) adopted by and set forth by the City Council, as set forth in Chapter 5 of the Placentia Municipal Code, in effect at the

time building permits are issued prior to issuance of the first building permit for each respective property.

13. Developer and/or property owner agrees to approve the incorporation of the project into Community Facilities District No. CFD 2014-01 (Public Services) pursuant to the provisions of California Government Code Section 53311, et seq. Said annexation into CFD No. 2014-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
14. Developer and/or property owner agrees to approve the incorporation of the project into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
15. Developer and/or property owner agrees to approve the incorporation of the project into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
16. Developer and/or property owner agrees that the City may, at its sole election, require that, instead of annexing into SLD 1981-01 and/or LMD 1992-1, the project shall be incorporated into a Community Facilities District to be created by the City pursuant to the provision of California Government Code Section 53311, et seq; the purpose of which, and the initial amount of the taxes and assessments thereunder, will be substantially the same, in whole or in part, as SLD 1981-1 and/or LMD 1992-1. Developer and/or property owner agrees to approve the incorporation of the project into said Community Facilities District, provided that the incorporation of the new CFD does not otherwise delay the development of the project; in which event the project shall instead be annexed into SLD 1981-01 and/or LMD 1992-1. Any automatic fee increases for the Community Services District shall not be inconsistent with the approved rate study.

DEVELOPMENT SERVICES DEPARTMENT - BUILDING DIVISON

17. The parcel maps shall be prepared, sealed, and signed by a California licensed land surveyor or a California licensed civil engineer who had been licensed prior to January 1980.
18. Complete orientation of the proposed line between the two parcels shall be addressed on the Tentative Parcel Map No. 2022-126.
19. The parcels map after being approved by the City shall be recorded by the Orange County Recording Office.

20. All improvement and grading plans shall be drawn on twenty-four (24) inches by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.

PUBLIC WORKS DEPARTMENT – ENGINEERING DIVISION

21. The following items are required for the entitlement review:

- a. Preliminary grading and drainage plan.
- b. Preliminary geotechnical report.
- c. Preliminary hydrology/drainage study.
- d. Preliminary Water Quality Management Plan (WQMP) in the form and content per the City's WQMP template.
- e. Sewer capacity study.

22. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances.

23. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and/or relocation of the existing utilities, vaults and meters. It is also the applicant's responsibility to ensure applicant notifies the Building Inspection Division that these utilities have been properly relocated and/or disconnected. Prior to recordation of the final map, the public improvement plans as required shall be prepared and signed by the City Engineer.

24. Prior to issuance of a Certificate of Occupancy, the engineer of record shall submit all approved project and site improvements plans on an AutoCAD DWG and DFX formatted Compact Disc (CD) to the Public Works Department. The applicant shall pay for and provide the City with copies of as-built plans.

25. Recent title report to clarify the ownership and all easements on the property.

26. Provide an erosion control, Storm Water Pollution Prevention Plans (SWPPP) for protection of the site during and post excavation activities.

GRADING

27. Prior to the issuance of a grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall

comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/glltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long-term maintenance responsibilities. The plan shall be prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.

28. Prior to the issuance of a grading permit, the applicant shall prepare a Water Quality Management Plan (WQMP) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the locations of structural BMP's, and assignment of long-term maintenance responsibilities (which shall also be included in the Maintenance Agreement). The plan shall be prepared to the general form and content shown in the City of Placentia's WQMP Template and shall be submitted to the City Engineer for review and approval. Website available at (<http://www.placentia.org/index.aspx?nid=262>)
29. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtained under the California's General Permit for Discharge of Storm Water Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. Prior to the issuance of a grading permit, the applicant shall submit to the City Engineer for review a Storm water Pollution Prevention Plan (SWPPP). A copy of the approved SWPPP shall be kept at the project site and available for review upon request.
30. Prior to the issuance of grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.
31. Prior to approval of the final design plans and issuance of a grading permit, the

applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected. The report shall provide grading and structural design recommendations for avoiding liquefaction, subsidence or collapse for each of the proposed structures. The recommendations shall be implemented by the Applicant.

32. Prior to the issuance of a grading permit, erosion control plans and notes shall be submitted and approved by the Engineering Division of Public Works Department.
33. All private slopes of 4 feet or more in vertical height and of 4:1 or greater slope, but less than 2:1 slope, shall be, at minimum, irrigated and landscaped with appropriate ground cover for erosion control. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy.
34. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
35. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
36. The final grading plan for this parcel shall be substantially the same, specifically regarding pad elevations, size, and configuration as the proposed grading illustrated on the approved site plan. If there is a significant deviation between the two plans the Community Development Director and the City Engineer will review the plans and determine if a finding of substantial conformance can be made prior to the issuance of a grading permit. The Development Services Director and the City Engineer may refer the matter to the Planning Commission for an opinion before deciding.
37. All parking, common, and storage areas shall be lighted to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photo censored cell.
38. The site grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency with each other and for consistency with the requirements and standards of the City of Placentia.
39. The applicant shall provide a quitclaim or relocation of existing easements as applicable in the plan review process prior to issuance of grading permit.
40. Provide and identify all pavement and driveway paving materials used inside and outside of the development areas. Identify all storm drain structures, types, sizes,

and specifications on the plans.

41. Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD. Golden State Water Company currently operates a water well pump at the northwest corner of Bradford Avenue and Crowther Avenue.

Public Improvements and Construction

42. Applicant shall be responsible for reconstruction of the existing pavement within the limits of the project. The applicant shall provide street resurfacing using grind to a depth of 2-inch and 2-inch overlay. Applicant may also be responsible for reconstruction of the driveway approaches, sidewalks, curb and gutters, streetlights, and street trees as determined by the City Engineer. The limit of the paving shall include full width of the street along the entire property frontage. All public improvements shown on the plans and the map shall be constructed to the City of Placentia's standards, ordinances, policies
43. Prior to issuance of 1st occupancy permit, all new public improvements including curb, gutter, sidewalk, asphalt concrete pavement, and streetlights within property boundaries shall be constructed satisfactorily to the City Engineer.
44. Improvement plans shall be based upon a centerline profile extending beyond the project boundaries a minimum distance of 150 feet at a grade and alignment approved by the City Engineer.
45. All ADA improvements constructed within the public right of way must meet the latest ADA and CBC standards and will require CASp inspection during construction and be certified by the CASp inspector. All CASp inspection and related activities shall be provided and paid for by the applicant and the developer.
46. Prior to recordation of final map or issuance of building permit if recordation has already been accomplished, the applicant shall enter into an agreement and post security bond, in a form and amount acceptable to the City Engineer, guaranteeing the construction of public improvements in conformance with applicable City standards and the City Code, including, but not limited to the following:
47. Street improvement including, but not limited to: pavement, curb and gutter, sidewalks, driveway approaches, street lights, signing, striping, traffic signal systems and other traffic control devices as appropriate.
 - a. Storm drain facilities
 - b. Landscaping
 - c. Sewer systems
 - d. Street lighting

Storm Drain Improvements and Construction

48. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the Public Works Director.
49. Drainage easements, when required, shall be shown on the grading plans, and noted as follows: "Drainage Easement - no buildings, obstructions, or encroachments by landfills are allowed."
50. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual. The project development shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. If the quantities exceed the existing downstream capacity, the developer shall provide adequate drainage facilities to mitigate the impact as approved by the City Engineer.
51. Prior to the approval of the improvement plans, the hydrology study shall show that the 25-year storm flow will be contained within the street from curb to curb and the 100-year storm flow shall be contained within the street right-of-way. When either of these criteria are exceeded, additional drainage facilities shall be installed. All analysis shall comply with the Orange County Hydrology Manual and County Local Drainage Manual.
52. The post development peak flow rate generated from the project site shall be less than or equal to the predevelopment peak flow rate from the site for all frequency storms up to and including 100-year return.
53. Drainage facilities with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency flow bypass shall also be provided as approved by City Engineer.

Sewer line Improvements and Construction

54. Sewer flow calculations justifying pipeline design and connection to the main shall be prepared by a registered civil engineer and submitted as a part of an improvement plan for approval by the City Engineer. Provide sewer capacity analysis in accordance

with the City's Guidelines to evaluate the proposed sewer flow rates into the City sewer system using current flow rate and for pipeline capacity availability. Please see attached "Sewer Capacity Guidelines."

55. Prior to issuance of building permits, the developer's engineer shall analyze and mitigate any sewer system deficiencies for all phases of the proposed development. Results of the system analysis may require special construction such as booster pumps, upsize the downstream pipes and backwater valves. The engineering analysis and special construction requirements shall be subject to review and approval of City Engineer.
56. Onsite water improvement and fire protection plans shall be approved by the Fire Marshal, the local water district, and City Engineer. The water distribution lines and appurtenances shall conform to the applicable laws and adopted regulations enforced by the Golden State Water Company.
57. Prior to the issuance of a building permit, the applicant shall dedicate ingress and egress of the access route within the project site and improve it fully operational as required by the Orange County Fire Authority and satisfaction to the City Engineer.
58. The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.
59. Installation of new sanitary sewer manholes may be required at the discretion of the City Engineer and OCSC. All sanitary sewer improvements shall be in accordance with the latest OC Public Works Department Standards.

Traffic

60. Provide new and modify the existing striping modifications within the limits of the new paving and the project.

Final Map

61. Applicant shall provide a quitclaim or relocation of any existing easements that affect the proposed development.
62. The applicant shall prepare and submit a preliminary title report not older than 90 days.
63. Prior to approval of the Final Map, pursuant to the Subdivision Improvement Agreement for Public Improvements, the developer shall provide security in an amount specified in writing by the Registered Civil Engineer or a Licensed Land Surveyor of record. The developer shall enter into an agreement for providing the necessary right-of-way design and construction of missing public improvements, which shall be constructed in coordination with adjacent existing improvements prior to occupancy of the development and subject to review and approval by the City Engineer.

64. Prior to the exoneration of any security, the applicant shall submit one (1) duplicate Mylar of the final map and all as built public improvement plans, in a manner acceptable to the City Engineer.
65. This project falls under the City's Municipal Code: 8.04.390 Special requirements for construction/deconstruction waste. This is to ensure the diversion of at least fifty (50) percent of all construction/deconstruction waste generated within the city the following special requirements apply to all covered projects as listed in Section 8.04.400:
- a) All contractors or owner-builders applying for a permit are required to complete a project form and attest that only an authorized city agent will be used to haul debris and other solid waste generated by that project.
 - b) All contractors or owner-builders are required to place a deposit with the city to ensure their compliance with the required use of an authorized city agent. The specific deposit amount shall be an equivalent to One (1.00) percent of the total project value.
 - c) Upon completion of the project, and if proof deemed satisfactory by the city confirms that all solid waste hauling for that project was done by an authorized city agent then a full refund of the deposit will be made. Acceptable forms of proof are weight tickets, collection receipts, billings, or similar statements from an authorized city agent showing that they performed solid waste collection at the location established for that project. It is the contractor's or owner-builders' responsibility to provide receipts covering all hauling activity for that project. Failure to provide complete records will be deemed as noncompliance.
 - d) Failure to provide receipts or other acceptable proof of compliance for all solid waste hauling on a project will result in the forfeiture of one hundred (100) percent of deposited funds. (O-2011-08 § 2, 2011)



ATTACHMENT 2. VICINITY ZONING MAP

TPM 2022-126; 412 N. Tidland Circle



Aerial A.



Aerial B.

Zoning Code			
	C-1		R-3
	C-1 (O)		R-3 (O-1)
	C-1 (O-1)		R-A
	C-2		R-G
	C-2-H65		R-G (O)
	C-M		R-G(O) & C-1 (O)
	C-O		RPC (O)
	M		SP-1
	M (O)		SP-2
	M (PMD)		SP-3
	PUD-1		SP-4
	PUD-2		SP-5
	PUD-2 (O)		SP-6 (O)
	PUD-3		SP-7
	PUD-3 (O)		SP-8
	PUD-4		SP-9
	R-1		SP-10
	R-1 (MHP)		T-C
	R-1 (O)		Old Town
	R-2		TOD
	R-2 (MHP)		N/A

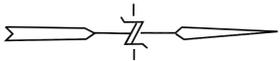
TENTATIVE PARCEL MAP No. 2022-126

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE,
STATE OF CALIFORNIA.
BEING A SUBDIVISION OF LOT NO. 227 OF TRACT NO. 14161, AS PER MAP RECORDED
IN BOOK 673, PAGES 37-48 INCLUSIVE MISCELLANEOUS MAPS, IN THE OFFICE OF THE
COUNTY RECORDER, ORANGE COUNTY, CALIFORNIA.

2 LOTS 0.36 ACRES (NET & GROSS) MARCH 2022

SUBDIVIDER:
REALM California, LLC
1746 F South Victoria Avenue #245
VENTURA, CA 93003
Contact: Brian Meith 985-630-9165
brian.meith@realmcg.com

PREPARED BY:
KING CIVIL ENGINEERING CORP
26702 VALPARISO DRIVE
MISSION VIEJO, CA 92691
Contact: Tom King 714-996-7010
kingctv1@earthlink.net



SCALE: 1" = 20'



TIDLAND CIRCLE

TRACT NO.

14343

14161

M.M. 37-48

137

132

142

227

131

141

LOT 2

130

140

7,537 S.F.

138

139

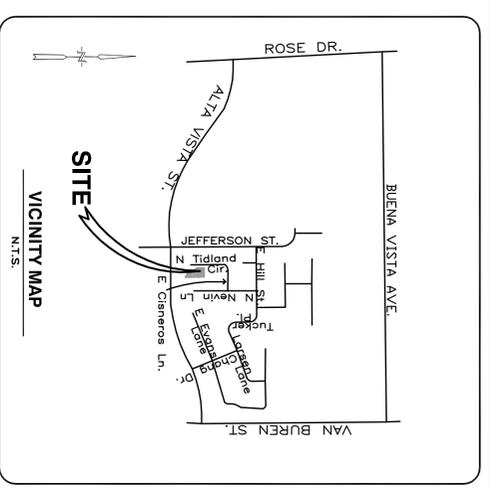
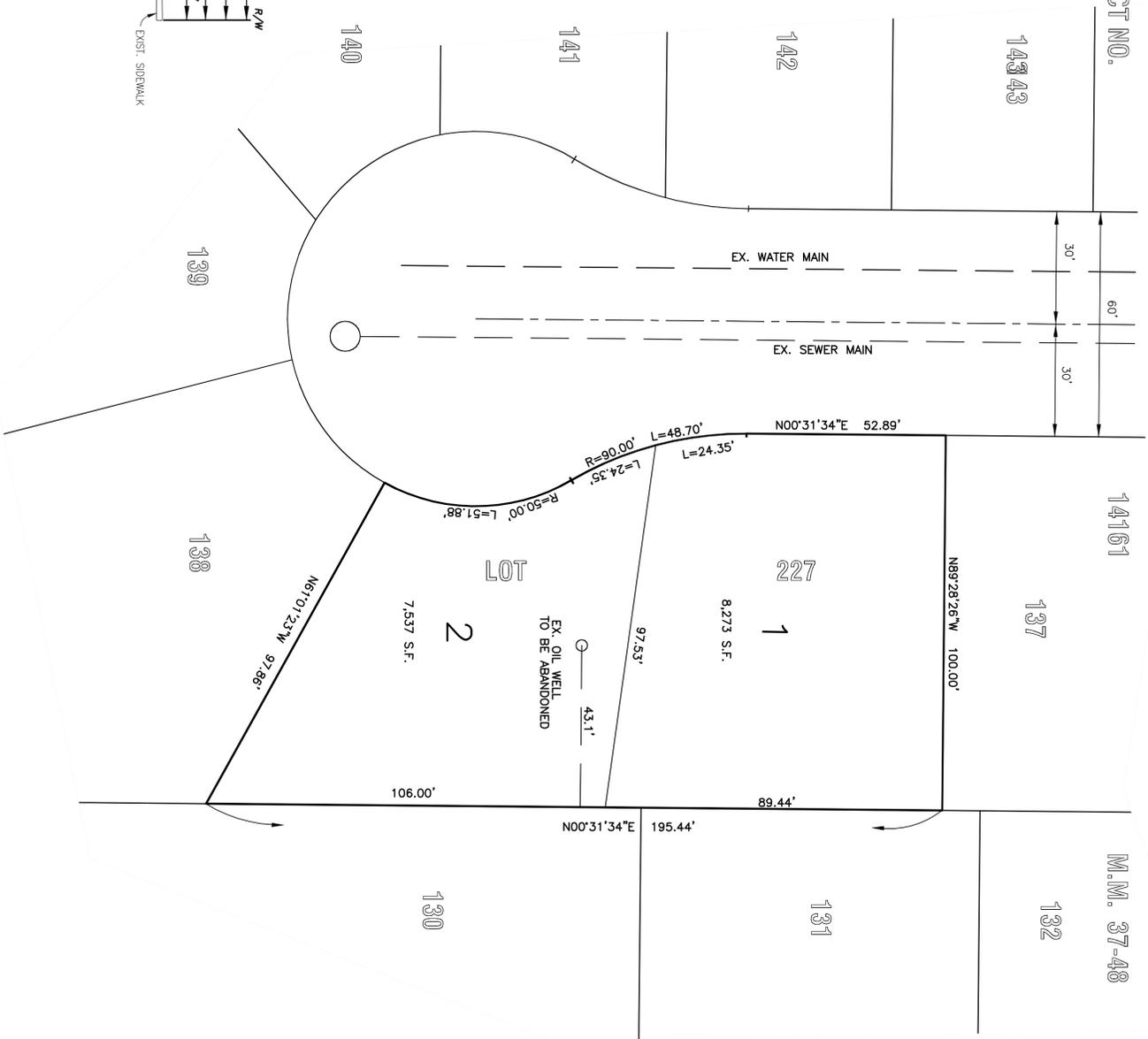
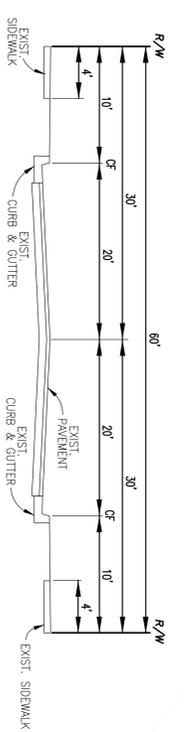
138

UTILITY PURVEYORS:
WATER: GOLDEN STATE WATER COMPANY
1920 W. CORPORATE WAY
ANAHEIM, CA 92801
SEWER: CITY OF PLACENTIA
DEPARTMENT OF PUBLIC WORKS
401 E. CHAPMAN AVENUE
PLACENTIA, CA 92870
GAS: SOUTHERN CALIFORNIA GAS CO.
1919 S. STATE COLLEGE BLVD., SUITE G
ANAHEIM, CA 92830
ELECTRIC: SOUTHERN CALIFORNIA EDISON CO.
1831 W. VALENCIA DRIVE
FULLERTON, CA 92833
TRASH: REPUBLIC DISPOSAL SERVICES
1131 N. BLUE GUM STREET
TELEPHONE: AT&T
3339 E. CORONADO ST., SECOND FLOOR
ANAHEIM, CA 92807
CABLE TV: TIME-WARNER

LEGEND

PAD=247.0	PROPOSED PAD ELEVATION
1	PROPOSED LOT NUMBER
— S —	EXISTING SEWER MAIN
— W —	EXISTING WATER MAIN
— H —	EXISTING FIRE HYDRANT
— S —	PROPOSED SEWER MAIN
— W —	PROPOSED WATER MAIN
— H —	PROPOSED FIRE HYDRANT
— G —	PROPOSED GRATE INLET
— D —	PROPOSED PVC DRAIN
— L —	LANDSCAPE AREA
— P —	PROPOSED PARKING STALL
— M —	PROPOSED WATER METER
— B —	PROPOSED BLOCK WALL
— W —	EXISTING BLOCK WALL
— V —	PROPOSED WATER VALVE
— * —	TOP OF CURB
— TC —	FLOW LINE
— FL —	FINISH SURFACE
— FS —	FINISH GRADE
— FG —	FINISH FLOOR
— FF —	GARAGE FLOOR
— GF —	INVERT
— INV. —	TOP OF GRATE
— TG —	CURB FACE
— CF —	RIGHT OF WAY
— R/W —	PLANTER
— P —	

TYPICAL SECTION
TIDLAND CIRCLE
SITE ADDRESS: 412 N. TIDLAND CIRCLE



- NOTES:**
1. Proposed Use: Single Family Residential.
 2. Development of Lot: Fully Developed Lots.
 3. All Existing Structures On Site To Be Demolished.
 4. Flood Zone "X".
 5. Assessor's Parcel No. 341-433-34
 6. Subdivider intends to comply with all requirements in Chapters 20.20, 22.16 through 22.64 and other laws of the City in regards to construction and erosion control.
- OCEFA NOTES:**
1. All fire lane signs or red curb areas shall be shown on a site plan approved by the OCEFA.
 2. All structures will be protected with an approved automatic fire sprinkler system.

I, THOMAS A. KING, DEPOSE AND STATE THAT THE OWNERS, ASSASSOR AND ASSASSOR'S AGENTS AND I HAVE CONSENTED TO THE PREPARATION AND SUBMISSION OF THIS MAP.

Thomas A. King

THOMAS A. KING R.C.L.E. NO. 16916
DATED THIS 23 DAY OF MARCH 2022

