



# Placentia Planning Commission Agenda

Regular Meeting  
February 13, 2024  
6:30 p.m.

City Council Chambers  
401 E. Chapman Avenue, Placentia, CA

**Frank Perez**  
Vice Chair

**Nick Polichetti**  
Vice Chair

**Brandon Evans**  
Commissioner

**Thomas Ingalls**  
Commissioner

**Juan Navarro**  
Commissioner

**Matthew Rocke**  
Commissioner

**Susan Silvestri**  
Commissioner

## Procedures for Addressing the Commission

*Any person who wishes to speak regarding an item on the agenda or on a subject within the Planning Commission's jurisdiction during the "Oral Communications" portion of the agenda should fill out a "Speaker Request Form" and give it to the Commission Secretary BEFORE that portion of the agenda is called. Testimony for Public Hearings will only be taken at the time of the hearing.*

*The Commission encourages free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks brief. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of an entire group. To encourage all views, the Commission discourages clapping, booing or shouts of approval or disagreement from the audience.*

**PLEASE SILENCE CELL PHONES AND OTHER ELECTRONIC EQUIPMENT WHILE THE COMMISSION IS IN SESSION.**

## Special Accommodations

*In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (714) 993-8231. Notification 48 hours prior to the meeting will generally enable City staff to make reasonable arrangements to ensure accessibility.  
(28 CFR 35.102.35.104 ADA Title II)*

*Copies of all agenda materials are available for public review in the Office of the City Clerk, City Planning Division Counter, Placentia Library Reference Desk and the internet at [www.placentia.org](http://www.placentia.org) under the Planning Commission page. Persons who have questions concerning any agenda item may call the City Planning Division at (714) 993-8124 to make inquiry concerning the nature of the item described on the agenda.*

*In compliance with California Government Code Section 54957.5, any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda that are not exempt from disclosure under the Public Records Act will be made available for public inspection at the City Clerk's Office at City Hall, 401 East Chapman Avenue, Placentia, during normal business hours.*

*Study Sessions are open to the public and held in the City Council Chambers or City Hall Community Room.*

**City of Placentia**  
401 E Chapman Avenue  
Placentia, CA 92870

**Phone: (714) 993-8124**  
**Fax: (714) 528-4640**  
**Website: [www.placentia.org](http://www.placentia.org)**

**REGULAR MEETING**  
6:30 p.m. – City Council Chambers

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**CALL TO ORDER:**

**ROLL CALL:**

Commissioner Evans  
Commissioner Ingalls  
Commissioner Navarro  
Commissioner Rocke  
Commissioner Silvestri  
Vice Chair Polichetti  
Chair Perez

**PLEDGE OF ALLEGIANCE:**

**ORAL COMMUNICATIONS:**

At this time the public may address the Planning Commission concerning any agenda item, which is not a public hearing item, or on matters within the jurisdiction of the Planning Commission. There is a five (5) minute time limit for each individual addressing the Planning Commission.

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**CONSENT CALENDAR:**

1. **Planning Commission Special Meeting Minutes – January 23, 2024**  
**Recommended Actions:** Approve

**REGULAR AGENDA:** None

**PUBLIC HEARINGS:**

1. **Applicant:** Amador Lopez, on behalf of the property owner, Anh Khoi Lam

**Project Location:** 910 W. La Jolla Street Boulevard  
DPR 2023-01

**Request:** To request approval of a Development Plan Review to demolish an existing three-unit multifamily development to construct a five-unit multifamily complex, consisting of two, three-story duplexes, and one, three-story single-family residence on a 11,050-square foot lot and associated hardscape and landscaping improvements.

**Recommended Actions:** It is recommended that the Planning Commission:

- 1) Open Public Hearing, concerning Development Plan Review No. DPR 2023-01; and



**PLACENTIA PLANNING COMMISSION  
MINUTES  
SPECIAL MEETING  
January 23, 2024  
6:30 p.m. – Front Community Meeting Room  
401 E. Chapman Avenue, Placentia, CA**

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**CALL TO ORDER:** Commissioner/Chair Perez called the meeting to order at 6:33 p.m.

**ROLL CALL:**

PRESENT: Commissioner Evans, Navarro, Rocke, Silvestri, Perez

ABSENT: Commissioner Ingalls, Polichetti

**ORAL COMMUNICATIONS:** None

**STAFF PRESENT:**

Assistant City Attorney Russell Miyahira, Director of Development Services Joe Lambert, Planning Manager Andrew Gonzales, Associate Planner Lesley Whittaker, Planning Technician Devan Wells, Administrative Assistant Margie McCoy

**PLEDGE OF ALLEGIANCE:** Commissioner Navarro

**ORAL COMMUNICATIONS:** None

**CONSENT CALENDAR:**

1. **Minutes  
Placentia Planning Commission Regular Meeting of:  
November 14, 2023  
Recommended Action: Approve  
(Approved 3-0-2-2 as recommended)**

**Motion by Rocke second by Navarro and carried a (3-0-2-2) vote to approve the Consent Calendar.**

Ayes: Navarro, Rocke, Perez

Noes: None

Absent: Ingalls, Polichetti

Abstain: Evans, Silvestri

**PUBLIC HEARING:**

1. **Applicant: City of Placentia**

**Case No.: General Plan Amendment No. GPA 2021-02**

**Request: PUBLIC HEARING REGARDING GENERAL PLAN AMENDMENT  
NO. GPA 2021-02, 2021-2029 HOUSING ELEMENT UPDATE  
(AMENDMENT TO THE ADOPTED 2021-2029 HOUSING ELEMENT TO  
ADDRESS ADDITIONAL CALIFORNIA DEPARTMENT OF HOUSING AND**

**COMMUNITY DEVELOPMENT (HCD) COMMENTS.)**

Recommended Action: Approve

**(Approved 5-0 as recommended)**

Chair Perez opened the Public Hearing at 6:38 p.m.

Director of Development Services, Joe Lambert stated that Housing Elements are required by the State on eight-year cycles, and we are on what's called the six-cycle update for 2021-2029 and it addresses those years. The State Department of Housing and Community Development (HCD) is the body that reviews and certifies statewide Housing Elements, which are tied to grant funding, local control and there are restrictions on jurisdictions that are not in compliance. After 2022 findings and approvals by the City, revisions were necessary. Kimley-Horn was hired as a consultant after a previous consultant retired. Development Services has been working closely with them as well as HCD to address the revisions for the purpose of obtaining certification. Sites are needed to accommodate the Regional Housing Needs Assessment. Rezoning is needed to increase capacity for housing.

A question was asked about the multi-family parking space standards. In general, two cars per unit plus 15% guest parking spaces are required. This pertains to onsite parking. On affordable housing units, it can be as low as one space per unit. Additional discussion related to zoning and TOD expansion followed. Following Planning Commission's approval, Development Services is anticipating HCD's response letter stating substantial compliance subject to completing re-zoning and anticipates the certification letter. With PC recommendation, item GPA 2021-02 will go to City Council for the adoption of the Housing Element. There is an active web page, which has been live since 2021 and is a clearinghouse for this project. Resident Dominic Vigna asked if the site map was viewable on the City of Placentia website. Director Lambert stated that mass mailing was sent to nearby residents within 300 feet, was posted on the website and in the newspaper for the project he is referring to.

Chair Perez closed the Public Hearing at 7:00 p.m.

**Motion by Rocke second by Silvestri and carried a (5-0) vote to approve the recommended action.**

Ayes: Evans, Navarro, Rocke, Silvestri, Perez  
Noes: None  
Absent: Ingalls, Polichetti

**2. Applicant: City of Placentia**

**Case No.: General Plan Amendment (GPA) NO. 2023-01**

**Request: ZONE CHANGE (ZCA) NO. 2023-01, AND SUPPLEMENTAL INITIAL STUDY/MITIGATED NEGATIVE DECLARATION NO. EA 2023-01 EXPANDING THE CITY'S EXISTING TRANSIT ORIENTED DEVELOPMENT (TOD) PACKING HOUSE DISTRICT ZONING AND LAND USE DESIGNATION TO INCLUDE APPROXIMATELY 11.5 ACRES LOCATED SOUTH OF CROWTHER AVENUE AND WEST OF SOUTH MELROSE STREET AND APPROXIMATELY 3 ACRES ALONG CAMERON STREET SOUTH OF CROWTHER AVENUE**

Recommended Action: Approve

**(Approved 5-0 as recommended)**

Chair Perez opened the Public Hearing at 7:03 p.m.

Director Lambert presented the Regional Housing Needs Assessment requirements achieved through zoning to satisfy State requirements. He stated that this is a planning target and not a construction quota. We report on applications received, entitlements, ADU's approved and when, building permits issued through Certificate of Occupancy. A certain density is needed to satisfy the State. If the current zoning does not accommodate the Regional Housing Needs Assessment (4,800) then rezoning is required. We have a 1,200-unit shortfall. Rezoning is required and the Housing Element cannot be certified without this TOD expansion rezoning proposal. The forthcoming Metrolink Station is included in the planning documents and is now a matter of BNSF signing documents. Director Lambert presented the maps and streetscape master plan of the area and explained further the goals of using public transportation, biking, walking areas, wider sidewalks, paving, landscaping, with the goal of fewer cars. He noted that the Herald and JPI are there now. The improvements are funded by the developer and not by taxpayers.

A question was asked about the benefit to the developer and Director Lambert stated that the developer of the Herald was able to sell the property for \$120M, after purchasing it for \$12M. This was a catalyst site, and the developer has built other projects in Anaheim, Santa Ana as well as other areas. There was additional discussion about the development and improvements of this area over the past several years. Director Lambert showed the 2016-2017 photos and current photos of ongoing development. Resident Dominic Vigna commented about the parking issues in that area. There are many cars parking in front of fire hydrants, driveways, parking overnight, etc. He understands that some of the occupants are subletting. Additionally, there was a lot across the street that no one was allowed to park in, and a sign is posted that no parking is allowed, but people are parking there overnight as well. Commissioner Silvestri noted the letter from Myers Erickson and their concern regarding their industrial property and the potential for noise produced from daily operations. Director Lambert stated that their zoning would remain the same and if they are following the noise ordinance, there should not be a concern. Commercial and industrial land is an important tax base for the City. A second community member and business owner, John Anderson declined to comment as his questions were answered by Director Lambert during the presentation.

Chair Perez closed the Public Hearing at 7:30 p.m.

**Motion by Silvestri second by Navarro and carried a (5-0) vote to approve the recommended action.**

Ayes: Evans, Navarro, Rocke, Silvestri, Perez  
Noes: None  
Absent: Ingalls, Polichetti

**REGULAR AGENDA:** None

**NEW BUSINESS:** None

**OLD BUSINESS:** None

**DEVELOPMENT REPORT:**

Director Lambert updated the Planning Commissioners on Toll Brothers, 100 units near Alta Vista and Rose. A ground-breaking/ribbon cutting ceremony will follow and commissioners will be informed of that date. The Hudson Townhome Development on Orangethorpe and Van Buren is approximately half-way through construction. This project is being built in phases. Santa Angelina Senior apartments on Morse are nearing completion. Property walls and sidewalks are built. Developer CORE is handing the applicants and waiting list. They are having no trouble attracting tenants. Ace hardware has completed interior remodel and will begin exterior construction. Ace will commence merchandising with a plan to open for business in April. Thank you to those who signed up for the Planning Directors Association of Orange County (PDAOC) Annual Forum on 2/1/24 at the Nixon Library. Spitz Restaurant has construction underway with hopes to open for business at the end of March, beginning of April. The owners are Placentia residents with food service experience. This is a franchise. Clyde’s Restaurant experienced a fire in the kitchen, has pulled permits and has been closed for drywall and electrical repairs.

**DIRECTOR’S REPORT:** None

**PLANNING COMMISSION REQUESTS:** None

**ADJOURNMENT:**

Chair Perez adjourned the Special Meeting of the Planning Commission at 7:45 p.m. to the regular meeting of Tuesday, February 13, 2024, at 6:30 p.m. in the City Council Chambers at 401 East Chapman Avenue, Placentia, CA.

**Submitted by,**

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Joseph M. Lambert,  
Secretary to the Planning Commission



# Placentia Planning Commission

## AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: LESLEY WHITTAKER, ASSOCIATE PLANNER

DATE: FEBRUARY 13, 2024

SUBJECT: **DEVELOPMENT PLAN REVIEW NO. DPR 2023-01 FOR THE DEVELOPMENT OF AN APPROXIMATELY 11,050-SQUARE FOOT SITE WITH FIVE RESIDENTIAL HOUSING UNITS LOCATED AT 910 W. LA JOLLA STREET**

### **RECOMMENDATION**

It is recommended that the Planning Commission take the following actions:

- 1) Open Public Hearing, concerning Development Plan Review No. DPR 2023-01; and
- 2) Receive the Staff Report and consider all Public Testimony; and ask any questions of Staff; and
- 3) Close the Public Hearing; and
- 4) Adopt Resolution No. PC-2024-01, a Resolution of the Planning Commission of the City of Placentia, approving DPR 2023-01 and making findings to permit the development of an approximately 11,050-square foot lot for the construction of five, three-story, multi-family residential units and associated hardscape and landscape improvements within the High Density Residential (R-3) Zoning District, and within the High Density Residential Land Use District of the General Plan, on property located at 910 W. La Jolla Street and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15332 (Class 32 – In-Fill Development Projects) and the City of Placentia Environmental Guidelines.

### **STRATEGIC PLAN STATEMENT:**

This item is consistent with the City Council approved 5-Year Strategic Plan of Objective No. 3.10: Implementation of Housing Element Strategies.

This project will entitle a site that contains three existing residential units, to redevelop it to allow for a total of five housing units, therefore adding to the city's housing inventory and adding new housing stock to a neighborhood with parcels that can accommodate more

units, while complying with all development standards of the High-Density Multiple-Family Zone (R-3).

## **PROJECT DESCRIPTION**

The applicant, Amador Lopez, on behalf of the property owner, Anh Khoi Lam, requests approval of a Development Plan Review to demolish an existing three-unit multifamily development to construct a five-unit multifamily complex, consisting of two, three-story duplexes, and one, three-story single-family residence on a 11,050-square foot lot and associated hardscape and landscaping improvements.



The proposed five units will be located within three separate three-story buildings. Two of the two buildings feature side-by-side attached units, in a duplex building. The third proposed building is a three-story stand-alone unit. The buildings will be located on the westerly portion of the 11,050-square foot lot, with a 152-foot-long driveway on the easterly side. The development will feature a common area at the rear of the property offering picnic and barbecue amenities for residents.

All five units are proposed to have the same floor plan, as noted on the project plans. The plans will measure 2,022-square feet each. The first floor will contain a two-car garage, porch and stairway. The second floor contains 634-sq ft of livable space, with a 88-square foot balcony. The third floor will have 736-square feet of proposed livable space. Each unit will have three bedrooms and 2.5 baths.

The proposed three-story buildings will have an overall building height of approximately 35 feet. A total of 12 parking spaces will be provided, comprised of 10 garage spaces and two guest parking spaces. This complies with PMC 23.78.030(1) related to parking.

Vehicular access to the project will be provided by a single 18-foot-wide driveway that leads into a 20-foot 6-inch wide drive aisle that extends approximately 158-feet of the 170-foot-long depth of the lot. The driveway serves as the sole vehicular access for the five

units and provides access to garages for each unit. One guest parking space will be located between the single residence and one duplex, and another guest parking space between the two duplexes. A proposed pedestrian walkway along the westerly portion of the site links up to the barbeque area in the rear of the project. Decorative landscaping will be provided along the street frontage along La Jolla Street, as well as throughout the site. This proposed project and circulation was reviewed by the Transportation Manager and there were no concerns with the conditions recommended.

**PROJECT CHARACTERISTICS**

**Applicable Code Section – Placentia Municipal Code**

The project is located within the High Density Residential (R-3) Zoning District. The project will be required to comply with the development standards and use requirements set forth in the Placentia Municipal Code (PMC) for projects located within the R-3 Zoning District. Pursuant to PMC Section 23.75.010(a), construction of new buildings shall require a DPR to be reviewed at a noticed public hearing before the Planning Commission and pursuant to PMC 23.21.030.

**Subject Site and Surrounding Land Uses**

The table below illustrates the site and surrounding existing land uses, General Plan Land Use designation and zoning:

<b>Location</b>	<b>Existing Land Use</b>	<b>Land Use Element General Plan Designation</b>	<b>Zoning Map Designation</b>
<b>Existing</b>	One single family home, with detached garage and a duplex, with one detached garage (three units total)	High Density Residential (HDR)	High Density Residential (R-3)
<b>Proposed</b>	Five, three-story residential housing units	HDR	R-3
<b>North (Across W. La Jolla St.)</b>	Landscape Nursery	Industrial (I)	Manufacturing (M)
<b>South</b>	Residential (mix of multifamily and single-family homes)	HDR	R-3
<b>East</b>	Single Family Residential	HDR	R-3

<b>West</b>	Multi-Family housing townhomes	HDR	R-3

**ZONING COMPLIANCE ANALYSIS**

**Site Development Standards**

The project is located within the R-3 Zoning District. The five-unit multifamily development is conditionally permitted with a DPR subject to review and approval by the Planning Commission. In accordance with PMC Section 23.75.010.

The following matrix provides a summary of the development’s compliance with the identified development standards:

<b>STANDARD</b>	<b>PROJECT</b>
<b>Height</b> 35 ft. max.	34.6 ft. – top of roof parapet
<b>Setbacks</b> Front Yard Setback – 15 ft. min.  Interior Side Yard Setback – 5 ft. min.  Rear Yard Setback - 10 ft. min.	Front Yard : 15 ft. (La Jolla St.)  West Side Yard: 9 ft 6 in. East Side Yard: 21 ft 4 in.  South Rear Yard: 17 ft. 8 in.
<b>Building Separation</b> 10 ft. min.	10 ft.
<b>Lot Coverage</b> 60% max. (6,630 sq. ft.)	59.9% (6,617 sq. ft.)
<b>Parking</b> Two spaces per dwelling: 10 spaces min.  Additional 15% min. of total parking required for guest parking (10 x 15%)  <b>Total Parking Required: 11.5 spaces min.</b>	10 spaces  2 spaces  12 spaces

## **Other Departments Concerns and Requirements**

The Divisions of Planning and Building, Public Works/Engineering, Police Department, and Fire and Life Safety Department have reviewed the application and submitted comments but had no major concerns with the proposal that could not be addressed via conditions of approval. All applicable code requirements and conditions of approval have been incorporated into resolutions for consideration by the Planning Commission.

## **ISSUES ANALYSIS:**

### **Consistency with the General Plan**

The General Plan features policies that promote the reinvestment of underutilized properties while being sensitive to the suburban atmosphere and requires new developments to provide adequate improvements and pay impact fees to offset the demand costs on city services and facilities. The proposed development is consistent with the following Land Use Element and Housing Element policies and goals of the General Plan:

#### Land Use Element

*Policy 1.2* – Allow for a variety of residential infill opportunities including single family, multi-family, mixed-use, manufactured housing and mobile homes, in designated areas to satisfy regional housing needs.

*Policy 2.6* – Require new multifamily development to provide adequate buffers (such as decorative walls and landscaped setbacks) along boundaries with single-family residential uses to reduce impacts on residences due to noise, traffic, parking, light and glare, and differences in scale; to ensure privacy; and to provide visual compatibility.

*Policy 5.1* – Encourage development projects to utilize high quality design for architecture and site planning through the City's design review process.

*Policy 5.8* – Improve the quality of Placentia's multi-family neighborhoods through a) improved buffers between multi-family residences, and commercial, and business park uses; b) provision of usable private and common open space in new multi-family projects; c) increased code enforcement; and d) improved site, building, and landscape design.

#### Housing Element

*Goal 1* – Develop and maintain an adequate supply of housing that varies sufficiently in cost, size, type, and tenure to meet the economic and social needs of existing and future residents within the constraints of available land.

The demolition of three housing units, in order to construct five, is compatible with the High-Density Residential District Land Use, which is now 30 du/ac. The proposed project will provide more housing for the community, while maintaining the residential character of the neighborhood.

### **PMC Consistency**

The proposed development is located within the R-3 High Density Zoning Code, which allows a maximum density of 30 dwellings per acre. The 0.25-acre (11,050 sq ft) property has a potential maximum yield of 8 units and this development will feature 5 residential units, which is in compliance with the R-3 standards. Adoption of the recommended conditions of approval will result in a project that complies with all provisions of the R-3 Zoning District.

### **Land Use Compatibility**

The project will be compatible with the surrounding residential area as the development will enhance and add an additional two housing units for a total of five (three units to be demolished). The development will provide more housing and be compatible with the look and neighborhood feel of the existing neighborhood. Based upon the use, overall site layout, and building design, the proposed development is not anticipated to result in any significantly adverse impacts to the surrounding area. In addition, as previously discussed in Issues Analysis, the proposed use is consistent with the General Plan.

### **Architecture**

The proposed project will feature clean contemporary architecture, with the use of modern, sustainable materials and open floor plans. The main bulk of the buildings will be smooth white stucco, and to add texture, the first



floor will feature beige and white brick veneer. The second and third floor will have black board and batten siding to the otherwise contemporary façade. Common to contemporary design, the homes will feature flat roofs, large windows and sliding doors to allow natural light, with black casings to complement the black siding. Minimalistic and contemporary lighting features will adorn the porch and patios, a modern front

door will additional color, whereas the natural elements included in landscaping will soften the clean lines of the architecture. The project employs four-sided architecture, as seen in the elevations shown below, by using the same materials on all four sides of a structure so that, no matter what vantage point it is viewed from, the design is never interrupted, and all the parts are perceived as part of a unified whole.



## CEQA

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgement and find that DPR 2022-01 is exempt from CEQA pursuant to State CEQA Guidelines § 15332 (Class 32 – Infill Development Projects) and direct staff to file a Notice of Exemption.

## **PUBLIC NOTIFICATION**

Legal notice was published in the Placentia News-Times on February 1, 2024. Notices were sent to property owners of record within a 300-foot radius of the subject property and posted at the Civic Center on February 1, 2024. As of the writing of this report, staff has not received any correspondence related to this project.

## **CONCLUSION**

The proposed project is consistent with the City's General Plan and meets both the minimum and maximum development standards of the PMC. With the recommended conditions of approval, it is the determination of city staff that the proposed development will be compatible with adjacent land uses and will not result in any adverse impacts onto the surrounding neighborhood.

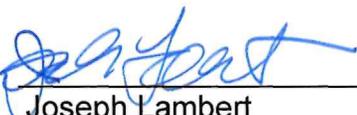
## **RECOMMENDATION**

Staff recommends that the Planning Commission adopt Resolution PC-2024-01 adopting a Notice of Exemption (NOE), and approving DPR 2023-01, permitting the development of the demolition of three residential units, to build five residential units on property located in the R-3 (High Density) Residential Zoning District, and within the High-Density Residential Land Use District of the General Plan located at 910 W. La Jolla Street.

### **Prepared and submitted by:**

  
\_\_\_\_\_  
Lesley Whittaker  
Associate Planner

  
\_\_\_\_\_  
Reviewed and approved by:  
Andrew Gonzales, Planning Manager

  
\_\_\_\_\_  
Joseph Lambert  
Development Services Director

### **ATTACHMENTS:**

1. Resolution No. PC-2024-01
2. Project Plans including the Site Plan, Floor Plans, Building Elevations, Preliminary Landscape Plan, Colored Renderings.
3. Vicinity Map
4. Site Photographs
5. Affidavit of Public Noticing, Mailing List, Radius Map for Public Notices

**RESOLUTION NO. PC-2024-01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA APPROVING DEVELOPMENT PLAN REVIEW NO. DPR 2023-01 FOR THE DEVELOPMENT OF FIVE RESIDENTIAL UNITS, CONSISTING OF THREE, THREE-STORY BUILDINGS ON A 11,050-SQUARE FOOT LOT LOCATED AT 910 EAST LA JOLLA STREET (APN: 344-031-04 ) WITHIN THE HIGH DENSITY RESIDENTIAL (R-3) ZONING DISTRICT AND WITHIN THE HIGH DENSITY RESIDENTIAL LAND USE DISTRICT OF THE GENERAL PLAN AND MAKING FINDINGS THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) SET FORTH IN TITLE 14 CCR § 15332 (CLASS 32 – INFILL DEVELOPMENT PROJECTS) AND THE CITY OF PLACENTIA ENVIRONMENTAL GUIDELINES.**

**A. Recitals.**

**WHEREAS**, Amado Lopez, representing property owner Anh Khoi Lam (“Applicant” hereinafter), located at 910 W. La Jolla Street (344-031-04), filed an application for approval of Development Plan Review No. DPR 2023-01, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Development Plan Review request is referred to as the “Application”; and

**WHEREAS**, on February 13, 2024, the Planning Commission conducted a duly noticed public hearing, as required by law, and received a staff report and other relevant information from City staff and members of the public regarding the La Jolla Street Development c/o Amado Lopez, application for Development Plan Review application; and

**WHEREAS**, after careful consideration of all pertinent testimony and the staff report offered in the case, the Planning Commission voted to approve the “Application”; and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.**

NOW, THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Placentia as follows:

**Section 1.** Development Plan Review. The development, as modified by the attached Conditions of Approval and Standard Development Requirements (Attachment “A”), meets the overall requirements of PMC Chapter 23.21 (“R-3”-High Density Multiple-Family District) and PMC Chapter 23.75 (Development Plan Review) of the Zoning Code. As such, the Planning Commission finds as follows:

- a. The project meets or exceeds the criteria established in PMC Section 23.75.020; and
- b. Conditions of Approval have been prepared as necessary to prevent: (A) detriment to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development or within the city, or (B) injurious to the property or improvements within the neighborhood or within the city, and
- c. The proposed development will be consistent with the latest adopted General Plan; and
- d. Conditions necessary to secure the purposes of PMC Section 23.75.020, including guarantees and evidence of compliance with conditions, are made part of the development approval.

**Section 2.** Based upon the environmental review of the project, the Planning Commission finds that DPR 2023-01 is exempt from the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia pursuant to the State CEQA Guidelines § 15332 (Class 32 – Infill Development Projects) as the permit would be issued to an infill development project.

**Section 4.** The Planning Commission hereby directs that, upon approval of DPR 2023-01, that a Notice of Exemption shall be filed with the Orange County Clerk/Recorder.

**Section 5.** Based upon the findings and conclusions set forth herein, this Planning Commission hereby approves DPR 2023-01 as modified herein, and specifically subject to the conditions set forth in Attachment “A” attached hereto and by this reference incorporated herein.

**Section 6.** The Secretary to the Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED THIS 13<sup>TH</sup> DAY OF FEBRUARY 2024.

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FRANK PEREZ, CHAIR

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 13<sup>th</sup> day of

February 2024, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 13<sup>th</sup> day of February 2024, by the following vote:

AYES:	COMMISSION MEMBERS:
NOES:	COMMISSION MEMBERS:
ABSENT:	COMMISSION MEMBERS:
ABSTAINED:	COMMISSION MEMBERS:

ATTEST:

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JOSEPH M. LAMBERT,  
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM:

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CITY ATTORNEY

Attachment A: Conditions of Approval for Development Plan Review No. 2023-01

**Attachment "A"**  
**Special Conditions of Approval and Standard Development Requirements for**  
**Development Plan Review No. (DPR) 2023-01**  
**910 W. La Jolla St.**  
**(APN: 344-031-04)**  
**SPECIAL CONDITIONS**

If the above application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Development Plan Review No. DPR 2023-01 is valid for a period of twenty-four (24) months from the date of final determination, unless extended pursuant to Placentia Municipal Code (PMC) Sections 23.75.080. If the development of the site and/or use approved by this action is not established by obtaining Building Permits within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved.
2. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
3. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
4. The site plan, floor plans, and elevations, including all associated architectural, landscape, and civil drawings, received and dated October 19, 2023, shall be the conceptually approved design.

5. Any significant modifications to the approved site plan, floor plans, and elevation plans, including any modifications which will change, expand or intensify the use(s) shall be subject to review and approval by the Director of Development Services or his or her designee. Modifications determined to be substantial in nature may be required to be approved by the City of Placentia Planning Commission at the direction of the Director of Development Services.
6. All applicable provisions of the Placentia Municipal Code (PMC) shall be met prior to issuance of Building Permits and shall be adhered to at all times.
7. Prior to issuance of building permits, except as otherwise noted, the project plans shall be submitted for the review and certification for inclusion into the entitlement file by the Director of Development Services and shall include the following information:
  - a. All Special Conditions of Approval and Standard Development Requirements of DPR 2023-01. Include any project revisions on the applicable sheets of the project plans. Additionally, include separate sheets with approved Special Conditions of Approval and Standard Development Requirements to be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
  - b. Typical cross section views and details through the property and across each property line as directed by the Director of Development Services.
  - c. Location of transformers, meters and other aboveground appurtenances.
  - d. The developer shall submit for City approval a construction staging plan that indicates how safe vehicular and pedestrian access to the site will be maintained for the duration of the construction period. The construction stage plan shall include measures such as, but not limited to the following:
    - i. A telephone number and a name of a contact person for registering complaints or comments shall be posted in a clearly visible manner along the perimeter of the site.
    - ii. A flag person shall be employed to direct traffic when construction vehicles access the project site and the construction staging area.
    - iii. Alternate pedestrian routes to the site shall be clearly delineated with safe access to and from the site.
    - iv. If any sidewalk is blocked during construction, alternate routes for pedestrians and bicycles shall be clearly marked with signs approved by the City.

- v. All access points shall be clearly marked during construction, and if an access point is blocked during construction, a detour sign to an alternate access point shall be clearly posted.
  - vi. A detailed timeline outlining the course of drilling, grading/construction work that will take place on the property.
  - vii. In no event shall construction staging, and construction vehicles be parked within adjacent properties or along W. La Jolla Street.
8. All waste bins shall be kept within their respective garages so as not to be visible from the adjacent street.
9. Prior to any modification of the floor plans that would affect parking as stipulated in the zoning code, the applicant shall obtain written approval from the Director of Development Services or his/her designee.
10. All mechanical equipment shall be screened from public view to the satisfaction of the Development Services Director.
11. The applicant, property owner(s) shall be responsible for maintaining their respective properties, including the landscaped areas, walkways, and all paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the applicant/business owner(s) within 72 hours of defacement and/or upon notification by the City.
12. Prior to issuance of the residential building permits, the applicant must follow the procedure for approval under the MWELo for the proposed landscaping of each respective portion. A MWELo procedure and approval package is available from the front counter in the Development Services Department.
13. At the request of the Director of Development Services, applicant and/or property owner will provide a Parking Management Plan at their own expense to be reviewed by the Director of Development Services to remedy any parking concerns that may arise with the project. The staff review of the parking management plan will be at the expense of the property owner/property management company.
14. Developer shall pay all applicable residential DIF's prior to issuance of the first building permit, including but not limited to:
  - a. Developer shall pay in full to the City of Placentia, all applicable citywide Development Impact Fees adopted in and set forth in Placentia Municipal Code, Chapter 5 prior to issuance of the first building permit.
  - b. Developer shall pay in full to the City of Placentia all applicable citywide Affordable Housing Fees adopted and set forth in Placentia Municipal Code, Chapter 5 prior to issuance of the first building permit.
  - c. Developer shall pay Library development impact fees adopted and set forth in Placentia Municipal Code, Chapter 5 prior to issuance of first building permit.

15. Developer and/or property owner agrees to approve the incorporation of the project into the Community Facilities District No. CFD 2014-01 (Public Services) pursuant to the provisions of California Government Code Section 53311, et seq. Said annexation into CFD No. 2014-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
16. Developer and/or property owner agrees to approve the incorporation of the project into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
17. Developer and/or property owner agrees to approve the incorporation of the project into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
18. Developer and/or property owner agrees that the City may, at its sole election, require that, instead annexing into SLD 1981-01 and/or LMD 1992-1, the project shall be incorporated into a Community Facilities District to be created by the City pursuant to the provision of California Government Code Section 53311, et seq; the purpose of which, and the initial amount of the taxes and assessments thereunder, will be substantially the same, in whole or in part, as SLD 1981-1 and/or LMD 1992-1. Developer and/or property owner agrees to approve the incorporation of the project into said Community Facilities District.
19. Prior to the issuance of any building permits, submit the following for the approval of the Director of Development Services:
  - a. An exterior lighting (photometric) plan showing location, type of fixtures and-areas of illumination shall be submitted and reviewed for compliance with City standards and the Placentia Municipal Code. Lighting shall neither negatively impact adjacent properties nor the public right-of-way.
  - b. Complete landscape and irrigation plans.
  - c. Postmaster approval of the location and design of the mailboxes, if applicable.
20. The individual residential units cannot be occupied, the final Certificate of Occupancy cannot be approved, and utilities cannot be released until the following is completed for each respective portion of the property:
  - a. The property owner(s) and/or their successor(s) willfully agree to annex into those district(s) for the project area identified by Condition Nos. 15-18 above. If any of the subject units are sold prior to annexation into the three districts, the future

property owner(s) must complete the annexation process and no Certificates of Occupancy shall be issued prior to completion of annexation.

b. The property owner(s) shall pay in full all applicable impact fees associated with the development project prior to issuance of the first building permit of the project, pursuant to Title 5 of the PMC.

21. If the sale of this property occurs in the future, and is to be redeveloped, **all adopted conditions of approval herein**, and all development standards of the Placentia Municipal Code Chapter 23.21 shall apply.

### **DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION:**

22. The submitted plans for the DPR 2023-01 are not townhouses and are considered as 2 duplexes and 1 detached unit, total of 5 units are on the property.

23. The governing codes for the subject project are the 2022 editions of CRC, CBC, CEC, CMC, CPC, CFC, California Residential Green Building Standards Code, & California Energy Standards Code.

24. An approved precise grading plan prepared, sealed, and signed by a California license civil engineer is required. The required precise grading plans shall address complete site surface drainage system and points of discharge along with plans to furnish complete utilities for each unit.

25. A geotechnical soil report prepared, sealed, and signed by a California licensed Geotech engineer shall be part of the plans submittal. The Geotech engineer shall review the design. Calculations, plans, and details of the precise grading and the foundation plans of each building and in writing verify that all are in compliance with his recommendations.

26. Any Tentative Tract Map addressing the boundaries of the property/properties shall be prepared sealed and signed by a California License Land Surveyor or a California civil engineer licensed prior to January 1, 1982, with a license number before 33966 per B&P Code §§ 6731, 6731.1.

27. The structural plans, calculations, and details of the buildings shall be prepared, sealed & signed by a California licensed civil or structural engineer who will be the project engineer of record.

28. If any visitor parking has to be provided shall address minimum one van accessible parking stall and access form the accessible parking stall to each unit.

29. All required site accessibilities and accessible parking stalls shall be addressed on approved precise grading plans.

30. Complete Building, Electrical, Mechanical, Plumbing, & approved Civil plans are required for building plan check.
31. Shall provide photometric plans to address access from all exits to public ways and other common use areas, which could be used by the occupants of the buildings.
32. Shall provide sound transmission report for the duplexes.
33. All units shall be equipped with the minimum required photovoltaic systems.
34. The demising walls separating the units of the duplexes from each other shall be constructed of one-hour fire resistance construction from the floor concrete slab to the roof sheathing and there shall not be used for any plumbing purposes.
35. The demolition of the existing 3 units shall be under separate plans submittal and permit issuance. Clearance from the AQMD for demolition is required and shall be part of the demo permit plans.
36. Plans and details addressing the best management practice for the demo and the new construction will be required.

## **PUBLIC WORKS DEPARTMENT:**

### **ENGINEERING DIVISION**

#### **General Requirements**

37. The following items are required for plan check:
  - a. Preliminary Grading and drainage plan.
  - b. Preliminary geotechnical report.
  - c. Preliminary Water Quality Management Plan (WQMP) in the form and content per the City's WQMP template.
38. Prior to issuance of a Certificate of Occupancy, the project engineer shall record and submit a copy of the recorded Master Covenant and Agreement to the Public Works Department.
39. Applicant must fill out and submit a Red Imported Fire Aunt-pest Exclusion Program (RIFA) Form to California Department of Food and Agriculture and provide the City of Placentia copy of the approved form.
40. Provide Signature block for City Engineer: License Number: C82756
41. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and removal of the existing utilities, vaults and meters.

It is also the applicant's responsibility to notify the Public Works and Building Inspection Division to inspect and to ensure that these utilities have been properly disconnected.

42. Provide a Bond Estimate for all improvements. Performance and Labor/Material bonds shall be required prior to issuance of grading and encroachment permits. This is to guarantee completion of all public improvements to the satisfaction of the City.
43. Provide details for the new driveway and the sidewalks per the City of Placentia Standards (OC Standard Plans) and the latest Standard Specifications of Public Works Contracting (The Green Book.) All new and existing sidewalk and driveway will have to be ADA compliant and replaced from joint to joint over the entire frontage of the parcel. Applicant must hire a CASp consultant to certify all ADA Improvements, per the latest ADA requirements for design, construction and obtain a final CASp certification for all ADA ramps and pathways within the public right-of-way.
44. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
45. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances. All existing utility poles and associated overhead utility lines located along the project/property frontage shall be removed.
46. Prior to recordation of the final map, the public improvement plans as required shall be signed by the City Engineer.
47. Prior to issuance of a Certificate of Occupancy, the engineer of record shall submit all approved project plans on an approved electronic format to the Public Works Department. If the required files are unavailable, the applicant shall pay a scanning fee to cover the cost of scanning the as-built plans.
48. Applicant agrees to annex itself into the City's existing Public Safety Services CFD 2014-04 as a condition of approval and prior to receiving a Certificate of Occupancy.
49. Applicant shall pay for all applicable development impact fees at the time the grading permit is issued.

## **Demolition**

50. Provide a site plan showing that the new building footprint will be completely outside of the easement areas.
51. Provide a full set of plans for demolition of the existing facilities and utilities, including above ground and underground structures, footings, utilities, vaults, fences, walls, sewer lines, storm drain pipes, waterlines, etc., Plans shall address conditions and procedures, as are necessary, to show that the demolition work will be conducted without creating a hazardous condition, when excavating next to other existing footings, walls and slopes. A separate demolition permit is required from the Building Department, prior to performing any kind of demolition on site.
52. The existing sanitary sewer line has to be removed and capped at the property line. The sewer cap shall be inspected and shall not be covered until an inspection has been made by the Department of Public Works Inspector. This inspection shall be requested at least 24 hours before the inspection is needed.
53. Provide AQMD Rule 1403 permit number, prior to starting any demolition work.
54. Provide erosion control, Storm Water Pollution Prevention Plans (SWPPP) for protection of the site during and post demolition and excavation activities.
55. A copy of the Grant deed and owner's permission on the application for demolition is required at the time of issuance of the permit.
56. Applicant must submit the following items for review and approval on the Demolition plans:
  - a. Sanitary Sewer location and capping details
  - b. Lot drainage of the subject and the adjacent properties.
  - c. Existing contour elevations of the subject lot and the adjacent lots.
  - d. Any structures on the subject lot to be removed.
  - e. Any structure or substructure on the subject lot to remain.
  - f. All easements and right-of-ways.
57. Applicant must comply with City's Construction and Demolition Waste Management Plan And post a bond if necessary.

### **Sewer line Improvements and Construction**

58. The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.
59. Sewer flow calculations justifying pipeline design and connection to the main shall be prepared by a registered civil engineer and submitted as a part of an improvement plan for approval by the City Engineer. Provide sewer capacity analysis to evaluate the proposed sewer flow rates into the City sewer system using current flow rate and for pipeline capacity availability.

60. Provide details for sewer capping and connections.
61. Prior to issuance of building permit, the developer's engineer shall analyze and mitigate any sewer system deficiencies for all phases of the proposed development. Results of the system analysis may require special construction such as booster pumps, upsize the downstream pipes and backwater valves. The engineering analysis and special construction requirements shall be subject to review and approval of the City Engineer.

### **Storm Drain Improvements and Construction**

62. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the Public Works Director.
63. Please provide Hydrology/Hydraulic Calculations and show the drainage and runoff to the street.
64. Prior to the approval of the improvement plans, the hydrology study shall show that the 25-year storm flow will be contained within the street from curb to curb and the 100-year storm flow shall be contained within the street right-of-way. When either of these criteria are exceeded, additional drainage facilities shall be installed. All analysis shall comply with the Orange County Hydrology Manual and County Local Drainage Manual.
65. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by the City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual. The project development shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. If the quantities exceed the existing downstream capacity, the developer shall provide adequate drainage facilities to mitigate the impact as approved by the City Engineer.
66. The post development peak flow rate generated from the project site shall be less than or equal to the predevelopment peak flow rate from the site for all frequency storms up to and including 100-year return.
67. Drainage facilities with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency flow bypass shall also be provided

as approved by the City Engineer.

### **Public Improvements and Construction**

68. Existing pavement conditions are determined unsuitable due to cracking, irregular surface, age, water damage, and/or failure to meet structural section to support the new development. The applicant shall provide street resurfacing from the center of La Jolla Street, full width, along the full length of property frontage (grind to a depth of 2-inch and 2-inch overlay of rubberized asphalt).
69. Prior to the issuance of occupancy permit, all new public improvements shall be constructed satisfactorily to City Standards and match the adjacent public improvements.
70. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances.

### **GRADING**

71. Provide volumes of cut and fill on the grading plan.
72. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
73. Prior to the issuance of a grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/glltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long-term maintenance responsibilities. The plan shall be prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.
74. Prior to approval of the final design plans and issuance of a grading permit, the applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected. The report shall provide grading and structural design recommendations for avoiding liquefaction,

subsidence or collapse for each of the proposed structures. The recommendations shall be implemented by Applicant.

75. Prior to issuance of a grading permit, the applicant shall prepare a water quality management Plan (WQMP) specifically identifying the Best management practices (BMP'S) that will be used on site to control predictable pollutant runoff. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the location of structural BMP's and assignment of long-term maintenance responsibilities (which shall also be included in Maintenance agreement). The plan shall be prepared to the general form and content show in the city of Placentia's WQMP template and shall be submitted to the city engineer for review and approval. website available at (<http://www.placentia.org/index.aspx?nid=262>).
76. Prior to the issuance of grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.
77. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtain under the California's general permit for discharge of Storm Water Associated with Construction activity by providing a copy of the Notice of Intent (NOI) submitted to the State water Resource Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit including clearing, grading and disturbance to the ground such as stockpiling, or excavation. Prior to the issuance of the grading permit, the applicant shall submit to the City Engineer for review a Stormwater pollution Prevention Plan (SWPPP). A copy of the approved SWPPP shall be kept at the project site and available for review upon request.
78. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
79. The site grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency with each other and for consistency with the requirements and standards of the City of Placentia.

80. All parking, common, and storage areas shall be lighted to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photo censored cell.
81. Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD.
82. Prior to the issuance of a grading permit, erosion control plans and notes shall be submitted and approved by the Engineering Division of Public Works Department.

### **PLACENTIA FIRE & LIFE SAFETY DEPARTMENT:**

#### **Prior to issuance of a building permit**

83. Placentia Fire & Life Safety Department at time of plan or permit submission will charge certain fees for plan review and inspections. Fees will be determined at the time of plan review and/or inspections.
84. The proposed project shall comply with the applicable codes and standards of Title 24, Part 1-12.

#### **Prior to Construction**

85. Hose pull distances shall not exceed one hundred and fifty feet (150) feet from all portions of the exterior walls as measured by an approved path of travel. Distances are measured from a point beginning ten (10) feet from the edge of the curb.
86. Roadways shall be extended to within one hundred and fifty feet (150) feet of all portions of the exterior walls as measured by an approved path of travel. An approved turnaround shall be provided when the roadway exceeds one hundred and fifty (150) feet as directed by Placentia Fire & Life Safety Department, pursuant to the California Fire Code, Chapter 5, and as amended locally. Fire Department turnaround requirements shall be installed as directed and shall be inspected and approved prior to lumber drop.
87. Private residential fire access roads shall provide an access roadway with a minimum unobstructed width of 20 ft and a minimum 13'6" vertical clearance. Additional width requirements may be applied to individual projects as determined by the Fire Marshal.
88. Proposed gates and barriers crossing fire access must be shown on the plans. Information such as the location, type of gate, dimensions, and method of operation (manual, electric) must also be provided.

89. Group R-3 and U Occupancies: An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into or within the jurisdiction. No portion of the facility or building shall be in excess of 300 feet from a water supply on a public street, as measured by an approved route around the exterior of the facility or building.

**Prior to Occupancy**

90. Prior to Fire Department clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13-R Standard for Automatic Fire Sprinkler Systems-Multi-Family Dwellings. Electronic, PDF format plans with hydraulic calculations and material specification's sheets for all equipment used in the system shall be submitted to Placentia Fire and Life Safety via email by a State of California Licensed C-16 Contractor for review, approval, and permits must be issued prior to commencing work.
91. Hardwired with battery backup smoke alarms are required throughout each unit and shall be interconnected.
92. CO detectors are required to be installed throughout each unit.
93. Permanent residential three-dimensional street numbers, minimum 6 inches in height, shall be provided on the address side of the building at the highest point and furthest projection of the structure. The address shall be illuminated and be visible from the street and shall not be obstructed in any manner.
94. Provide plans as a PDF file for pre-fire planning use by the fire department. Information shall include locations of all exits, stairwells, and roof access. Also, the location of fire hydrants, fire department connections, post indicator valves, backflow prevention, gas, electrical, water, fire sprinkler risers and standpipe valves and shutoffs, and elevator and electrical equipment rooms, fire alarm panels, and remote annunciators. The symbols used for the pre-fire plan must be obtained from Placentia Fire & Life Safety Department.
95. Final fire protection plans, hydraulics, specifications, and technical books shall be submitted in a PDF file and checked for quality control, prior to occupancy. The PDF must contain the approved plan stamps from Placentia Fire & Life Safety Department.

**POLICE DEPARTMENT:**

96. The project will comply with the Placentia Police Department Residential Development Requirements (see Conditions Nos. 101-136). Include these requirements in the building plan set.

97. Provide a landscape legend.
98. Prior to the issuance of building permits, submit the following plans showing compliance with the Police Department Development Requirements for Residential Projects.
99. A photometric lighting plan for walkways, driveways, and parking meeting the requirements of the Police Department Development Requirements for Residential Projects.
100. If gates or driveway have restricted access, provide an Emergency Access Plan per the Police Department Residential Development Requirements.

# **PLACENTIA POLICE DEPARTMENT**

## **STANDARD DEVELOPMENT REQUIREMENTS**

### **RESIDENTIAL**

**October 2022**

In accordance with Penal Code section 1405, relating to building safety, the following building standards shall be required for all residential developments. No modifications shall be made without the approval of the Chief of Police.

#### **Doors**

Except for vehicular access doors, all exterior swinging doors of any residential building and garage, including the door leading from the garage area into the dwelling unit, shall be equipped as follows:

101. All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches, or with panels not less than nine-sixteenths (9/16) inch thick.
102. A single or double door shall be equipped with a single cylinder deadbolt lock. The bolt shall have a minimum projection of one (1) inch and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one-fourth (1/4) inch in diameter.
103. The strike plate for deadbolts on all wood framed doors shall be constructed of minimum sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by minimum of two screws, which must penetrate at least two (2) inches into solid backing beyond the surface to which the strike is attached.

104. All exterior doors equipped with lever-handled locking devices which operate the deadbolt shall have thresholds designed and installed so as to prevent the passing of rigid materials between the door and threshold to the interior.
105. When pairs of doors are utilized in residential structures, a one-piece assembly attached to the full-length edge of the inactive door leaf, incorporating an astragal and flush-bolts for the header and threshold, will be accepted as a strike plate, provided the assembly is constructed of aluminum or steel a minimum of one-eighth inch in thickness.
106. The inactive leaf of double door(s) shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch into the head and threshold of the door frame.
107. Door stops on wooden jambs for in-swinging doors shall be of one-piece construction with the jamb.
108. Glazing in exterior doors or within forty (40) inches of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing, except when double cylinder deadbolt locks are installed.
109. Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior from the exterior by removing the hinge pins.
110. Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle one hundred-eighty-degree (180°) door viewer.
111. Upon occupancy by the owner or proprietor, each single unit in tract or multi-unit development, constructed under the same general plan, shall have locks using combinations which are interchangeable free from locks used in all other separate dwellings, proprietorships, or similar distinct occupancies.

### **Windows**

112. No louvered windows shall be used.
113. Sliding windows shall incorporate an anti-lift device.

### **Addressing-Multiple Family Residential**

Multiple family buildings shall display a street address number conforming to the following specifications. Dual signage may be required to meet accessibility requirements of the California Building Code including but not limited to mounting height, size, font, Braille, and tactile standards:

114. Each individual unit within the complex shall display a prominent identification number at the main dwelling entry door, but not on the entry door, of a contrasting color to the background to which it is affixed and clearly visible to approaching vehicles and/or pedestrians. Size and design shall conform to the following:
- a. Minimum four inches in height; or
  - b. Minimum two inches in height if the entry door is located within a fully enclosed corridor; or
  - c. Minimum two inches in height if, from the interior of the building common space area, the sight line to the entry door from any approach does not exceed 50 feet; and,
  - d. Numerals shall be in a Sans Serif font with a stroke weight of regular to medium, or an approved equivalent font which is clearly legible.
115. Numerals shall be located within one foot of the door frame and illuminated during the hours of darkness. The numerals and light source shall be contained with a single, weather-resistant fixture. The light source shall be provided with an uninterruptible A.C. power source or controlled only by a photoelectric device. Nothing in this section shall preclude the requirement for circuit protection devices where applicable. An illuminated fixture is not required when the address number can be lighted by area lighting as required in the lighting section of these building security requirements regarding walkways and doors.
116. For buildings containing ten or more units, each side which affords vehicle and/or pedestrian access, the primary address number or range of primary address numbers within the building and range of unit numbers within the building where a multi-building complex has one primary address number shall be displayed. If the building has vehicle or pedestrian access from an adjacent street not associated with the building addressing, then in addition to the address numbers, the addressed street name must also be displayed. Numerals and any lettering shall be a minimum of eight inches in height. The font used shall be Sans Serif with a stroke weight of medium to bold, or an approved equivalent font which is clearly legible. Such numerals and any lettering shall be of contrasting color to the background to which they are attached and mounted not less than 10 feet nor more than 20 feet from ground level. Addressing shall be clearly illuminated during the hours of darkness with an uninterruptible A.C. power source or controlled only by a photoelectric device, which may be the common area site lighting. Building landscaping at full maturity shall not obstruct visibility to the numerals.
117. Complexes where unit address numbers are not visible from the addressed public or private street, shall provide vehicle directional signage as follows:
- a. Signs shall be installed from the point of entry onto the property to each building parking area and/or building entrance and at all decision-making locations along walkways.

- b. Signs shall display building addresses or unit number range and be located at the complex entry and at all turning points along the route to a building entrance or parking area.
  - c. Range of addresses shall note if all numbers are even or odd based upon existing or potential address sequencing conflicts on the opposite side of the addressed street, with the word "even" or "odd" in minimum one and one-half-inch high letters
118. There shall be positioned, at each vehicle entrance of a multiple family dwelling complex with more than two buildings, an illuminated diagrammatic representation of the complex, which depicts the location of the viewer and the unit designations within the complex. The diagram shall be of a size clearly readable from a distance of at least 10 feet. It shall be lighted during the hours of darkness utilizing a light source, constructed of weather and vandal resistant materials, and provided with an uninterruptible A.C. power source or controlled by a photoelectric device. Nothing in this section shall preclude the requirement for circuit protection devices where applicable.
119. Signs shall contain directional arrows and street name, in minimum one and one-half-inch high letters if the complex has more than one addressed street.
- a. Numerals shall be no less than two feet from ground level and not obstructed by building landscaping at full maturity or by parked cars.
  - b. Numerals shall be at least three inches in height using a Sans Serif font with a stroke weight of medium to bold, or an approved equivalent font which is clearly legible.
120. In multiple-family complexes, garages or carports not directly attached to the dwelling unit or placed next to the dwelling unit and discernible as being associated with one addressed dwelling unit shall not use corresponding dwelling unit addresses to identify the garage or carport. Where garages are attached and the dwelling unit number is not adjacent to the garage door, an address number shall be displayed, in a clearly visible location, using an address number a minimum of four inches in height.
121. Exterior address identification numbers and/or letters shall not be affixed to a surface using two-sided tape or any material not resistant to weather conditions.
122. An 8.5 inch by 11-inch site plan(s) of the complex shall be provided to the Police and Fire Department. It shall contain all streets, sidewalks, buildings, including identification numbers and/or descriptions, emergency services access key vaults or key override switches, radio-controlled entry system access points, and fire hydrants.

### **Lighting-Multiple Family Residential**

Multiple-family buildings, carports, parking areas, driveways, and walking surfaces shall conform to the following lighting standards:

123. All vehicular drive surfaces, open parking areas and carports shall be illuminated with a minimum maintained one foot-candle of light at ground level during the hours of darkness.
124. All vehicular drive surfaces, open parking areas and carports shall be illuminated with a minimum maintained one foot-candle of light at ground level during the hours of darkness.
125. All exterior common area pedestrian walkways and recreation areas shall be illuminated with a minimum maintained 0.25 foot-candles of light at ground level during the hours of darkness.
126. Open stairways and enclosed common area corridors shall be illuminated with a minimum maintained 0.5 foot-candles of light on all landings and stair treads during the hours of darkness. Enclosed stairways shall be illuminated at all times with a minimum maintained one foot-candle of light on all landings and stair treads.
127. Recessed areas of building or fences, which have a minimum depth of two feet, a minimum height of five feet, and do not exceed six feet in width and are capable of human concealment, shall be illuminated with a minimum maintained 0.25 foot-candles of light at ground level during the hours of darkness. This requirement applies to defined recessed areas which are within six feet of the edge of designated walking surface with an unobstructed pathway to it, not hindered by walls or hedge row landscaping a minimum of two feet in height.
128. Accessible luminaires utilized to meet the requirements of this section shall have vandal resistant light fixtures and be not less than three feet in height from the walking surface when used to illuminate walkways and a minimum of 78 inches in height above the driving surface when illuminating surfaces associated with vehicles. Light fixtures shall be deemed accessible if mounted within 15 feet vertically or six feet horizontally from any accessible surface or any adjoining roof, balcony, landing, stair tread, platform or similar structure.
129. The light source utilized to comply with this section to meet parking and drive surface lighting shall have a rated average bulb life of not less than 15,000 hours.
130. A site plan shall be provided, unless otherwise approved, showing buildings, parking areas, walkways, detailed landscaping, fixture schedule, mounting height, the lighting ratio and a point-by-point photometric calculation of the required light levels. If a parking lot is equipped with an occupancy sensor, then a point-by-point photometric calculation is required to show it meets the required minimum level of light. Foot-candles shall be measured at grade on a horizontal plane and conform to a uniformity ratio of six to one (6:1) average/minimum. Landscaping shall not be

planted so as to obscure required light levels with light fixtures exceeding eight feet in height installed at least two feet from a tree's canopy at 70 percent maturity.

131. The light source shall be controlled by a photocell device or a timeclock with an astronomic feature.

### **Construction Site Security**

The number of access points onto the site shall be minimized and, where feasible, situated in locations that are highly visible from an adjacent street, and conform to the following:

122. Perimeter construction site fencing shall be installed adjacent to streets and designed as follows:

- a. Chain link or other metal fencing and gates, at least six feet in height, and
  - (1) Vehicle and pedestrian access gates shall not be covered. Fencing with fabric shall not be covered for the first 50 feet in lineal length, or greater where necessary for sight distance control, on each side of a gate.
- b. All vehicle and pedestrian openings shall have gates secured after hours of operation by a padlock(s) designed to prohibit cutting of the shackle; and
  - (1) Coil chain, minimum 30 grade, at least 3/8-inch thick, if used to secure a gate, or
  - (2) Cable at least 5/16-inch thick, if used to secure a gate.
- c. Perimeter fencing may be removed when there is no longer outside storage of building materials or building fixtures and when there are no remaining exterior construction activities requiring separation of non-construction related personnel and public from exterior construction activity.
- d. Alternative fencing and protection may be approved by the police department.

128. Office trailers and temporary buildings shall be secured as follows:

- a. At a minimum, doors shall have a deadbolt lock and an auxiliary locking device using a hasp or slide bolt with a protective device to prohibit cutting of a padlock, attached with non-removable bolts from the exterior, and locked with a padlock having a minimum 1/2-inch thick shackle with heel and toe locking; or secured in a manner as approved by the police department.
- b. All windows shall be secured from entry using either:
  - (1) Steel bars of at least 1/2-inch round or one-inch by 1/4-inch flat steel material, spaced not more than five inches apart, securely attached on the

inside of the trailer using bolts that are nonremovable from the exterior; or

(2) Steel grate mesh of at least 1/8-thick material, securely attached on the interior or exterior of the trailer using means that are resistant to removal from the exterior.

129. Storage containers with at least 64 square feet of storage area shall be secured as follows:

a. Doors shall be secured using a hasp or slide bolt with a protective device to prohibit cutting of the padlock, attached with nonremovable bolts from the exterior, and locked with a padlock having a minimum 1/2-inch thick shackle with heel and toe locking; or secured in a manner as approved by the police department.

b. Exterior hinge pins shall be rendered nonremovable by design or welding.

130. Site lighting shall be installed and designed as follows:

a. Where lighting required would impinge on occupied residential properties:

(1) Motion sensors may be used to control light fixtures.

(2) Elements of the lighting provisions below may be modified or not required when approved by the police department.

b. All vehicle gate locations shall be illuminated, during the hours of darkness, with an approximate minimum maintained one foot-candle of light on the ground, within and on all sides of the gated opening for a distance of 15 feet beyond the opening. Outdoor lighting shall be maintained and installed so that direct rays are confined to the site and adjacent properties and streets open to the public are protected from glare.

c. All open centralized storage areas for building materials or building fixtures shall be illuminated, during the hours of darkness, with an approximate minimum maintained one foot-candle of light on the ground, within and on all sides of the stored items for a distance of 15 feet beyond the materials or fixtures.

d. All trailers, temporary buildings, or containers used as an office or for storage of building materials, or fixtures for buildings, or construction equipment shall be illuminated on all sides with openings, during the hours of darkness, with an approximate minimum maintained one foot-candle of light on the ground for a distance of 15 feet beyond the exterior walls.

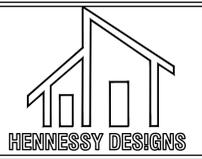
e. Luminaries utilized to meet this section shall be installed at least 18 feet from the ground, have tempered or polycarbonate lenses, and meet or exceed U.L. Bulletin 1572 for wet locations.

131. Forklifts shall be rendered inoperable, when hours of operation are ceased, by removing the key and adding a device to either disable the engine or other

measure to prohibit moving it.

132. A record shall be developed and maintained of on-site motorized construction vehicle equipment, which have wheels a minimum of 15 inches in diameter, listing the manufacturer, model, license plate number, vehicle identification number (VIN), and product identification number (PIN).
133. An address sign shall be installed at all perimeter vehicle access points and include the street name and number, using minimum six-inch high letters and numbers, and shall be posted at the top of the perimeter fence or at least five feet from the ground.
134. A "No Trespassing" sign, conforming to the requirements of California Penal Code, Section 602, shall be installed at all perimeter access points, posted at the top of the perimeter fence or at least five feet from the ground.
135. A 24-hour emergency phone number, for management of the site, shall be posted at the main gated entrance and on the exterior of an on-site office trailer or building near the main vehicle entrance.
136. The following additional security measures shall be required if the residential construction site has 25 or more dwelling units:
  - a. Institute at least one of the following additional security measures:
    - (1) Provide color cameras that view all vehicle access points and record vehicle license plates when the hours of operation cease, saving recorded activity for at least 60 days; or
    - (2) Utilize a California State Licensed Security Guard for every 10 contiguous acres of the same project or portion thereof, to monitor the site when hours of operation cease, recording persons and vehicles entering and leaving it, saving recorded activity for at least 60 days; or
    - (3) Other alternate measure(s) approved by the police department that are found to provide at least the equivalent security of providing one of measures (1) or (2) above.
  - b. Develop a written procedure and implement a property identification program approved by the police department that is designed to readily identify ownership of heavy equipment, building materials where feasible, and building equipment.





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ENGINEER INFO

OWNER INFORMATION

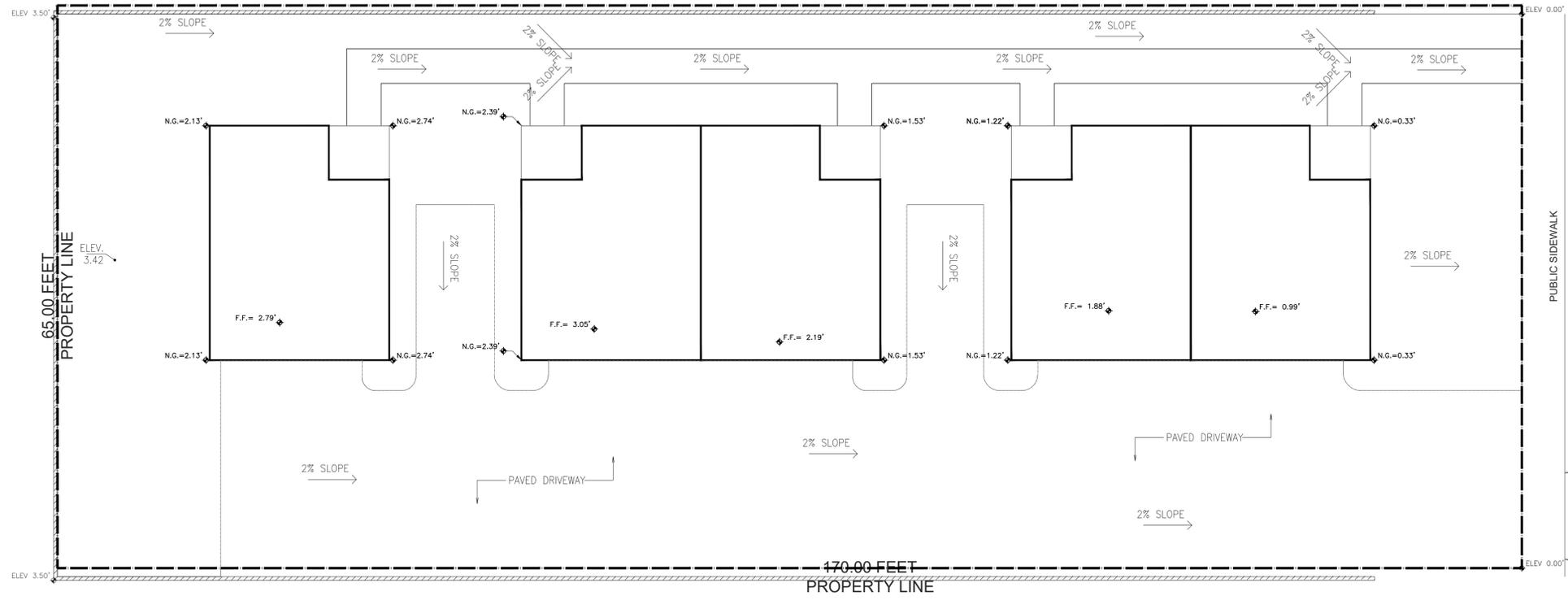
UNDEFEATED CONST GRP LLC  
1331 N EAST ST #B  
ANAHEIM CA 92805  
PROJECT ADDRESS  
910 W LA JOLLA

SPECIAL NOTES/CONDITIONS

Project Number	-
Drawn By	AL
Date	October 19, 2023
Scale	N.T.S.
Rev 1	-
Rev 2	-
Rev 3	-
Rev 4	-

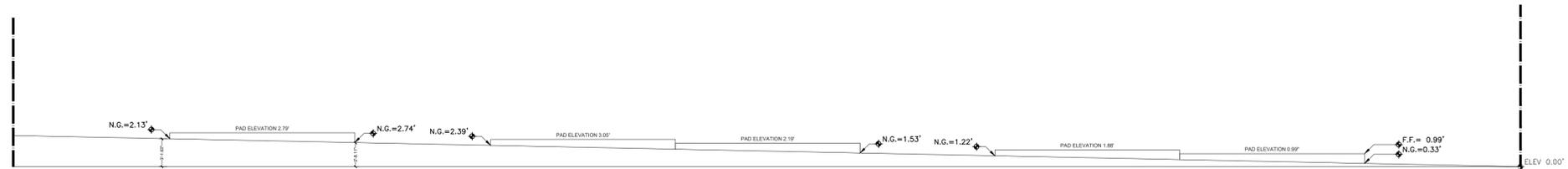
SHEET:  
**A1.1**





**PRELIMINARY - PRECISE GRADING**

1/8" = 1'-0"



**PRELIMINARY - PRECISE GRADING SECTION**

1/8" = 1'-0"



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**ENGINEER INFO**

**OWNER INFORMATION**

JDMHYPEBEAST LLC  
1331 N EAST ST #B  
ANAHEIM CA 92805  
PROJECT ADDRESS  
910 W LA JOLLA ST

**SPECIAL NOTES/CONDITIONS**

Project Number	AL	October 19, 2023	1/8" = 1'-0"				
Drawn By							
Date							
Scale							
Rev 1							
Rev 2							
Rev 3							
Rev 4							

SHEET:

AG-1

- ELEVATION - KEY**
- 1] WHITE SMOOTH STUCCO
  - 2] BLACK - FIBER CEMENT BAT AND BOARD SIDING
  - 3] WHITE STONE/BLOCK VENEER
  - 4] WHITE BRICK VENEER
  - 5] (BLACK) 4" L METAL DRIP EDGE
  - 6] MILGARD BLACK VINYL WINDOW
  - 7] WROUGHT IRON GUARD RAIL
  - 8] SOLID EXTERIOR DOOR



**BLDG 1 & 2- NORTH ELEVATION**

1/8" = 1'-0"



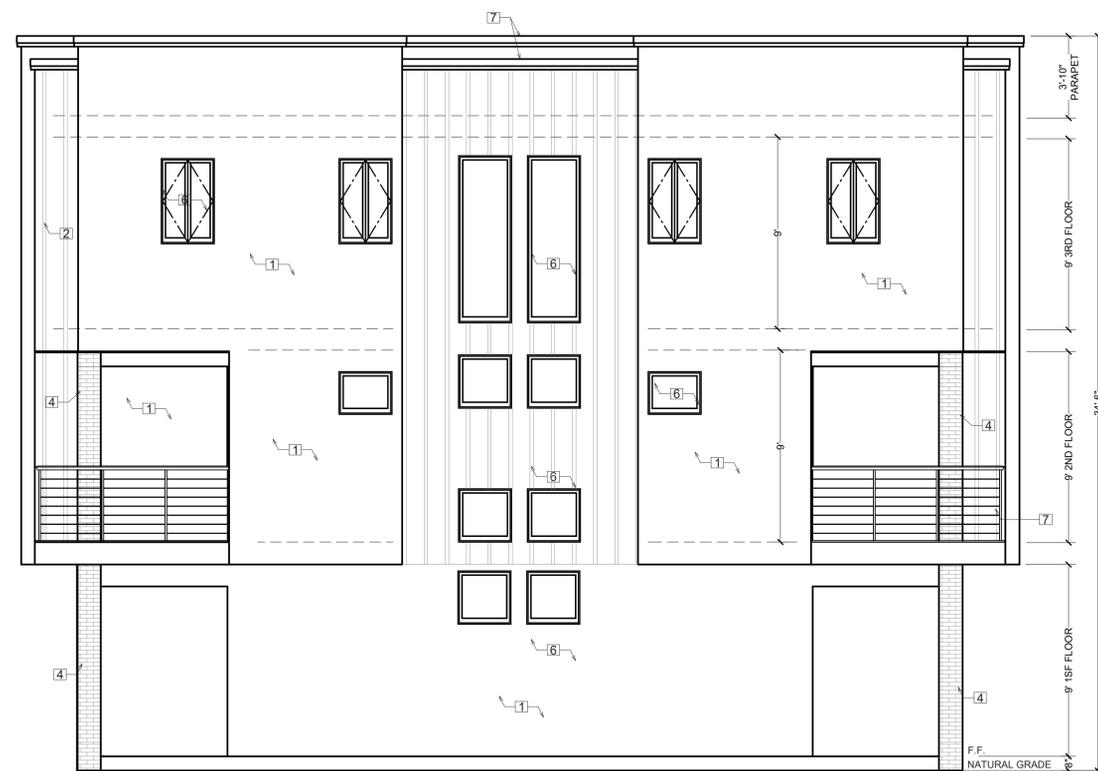
**BLDG 1 & 2- SOUTH ELEVATION**

1/8" = 1'-0"



**BLDG 1 & 2- EAST ELEVATION (SIDE)**

1/8" = 1'-0"



**BLDG 1 & 2- WEST ELEVATION (SIDE)**

1/8" = 1'-0"



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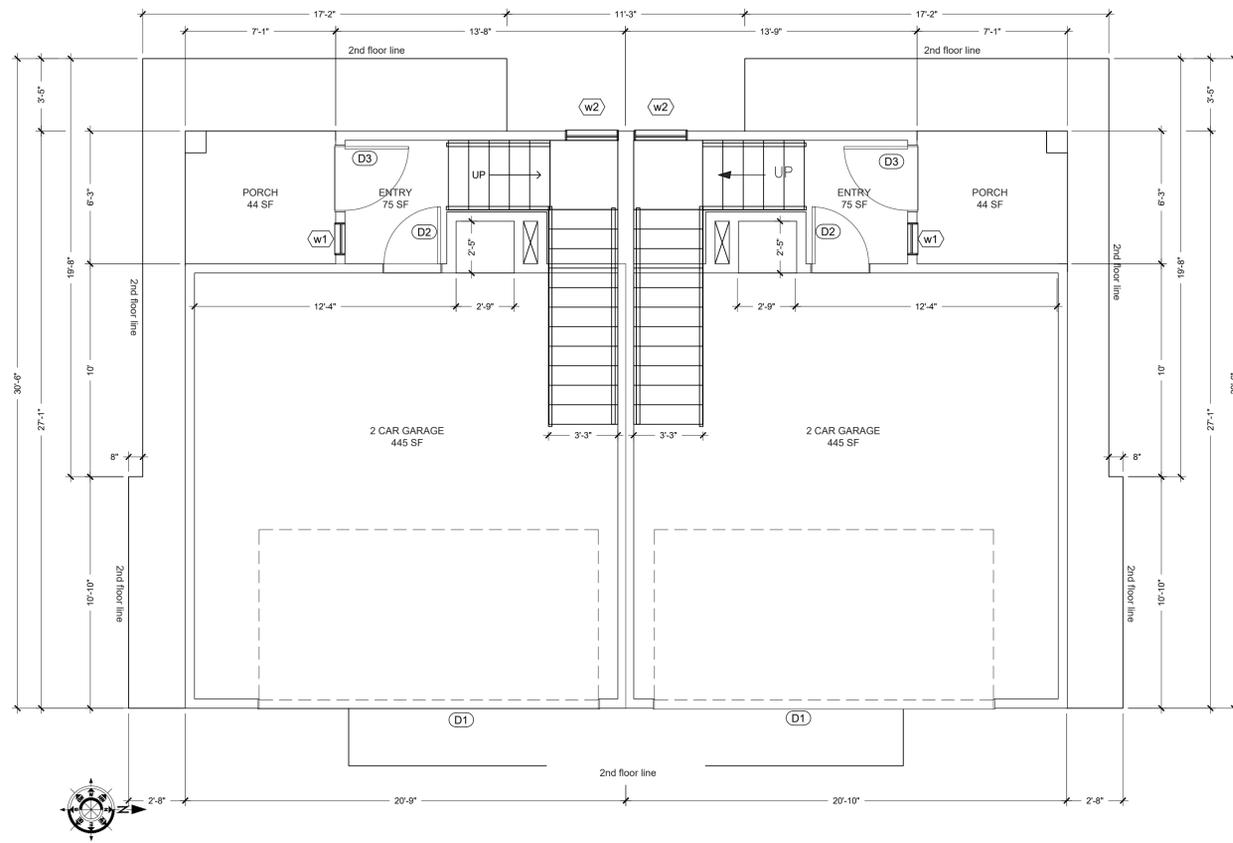
JDMHYPEBEAST LLC  
1331 N EAST ST #B  
ANAHEIM CA 92805  
PROJECT ADDRESS  
(n) 1863-1/2 S Redondo Blvd  
Los Angeles CA 90019

**SPECIAL NOTES/CONDITIONS**

Project Number	Drawn By	Date	Scale	Rev 1	Rev 2	Rev 3	Rev 4
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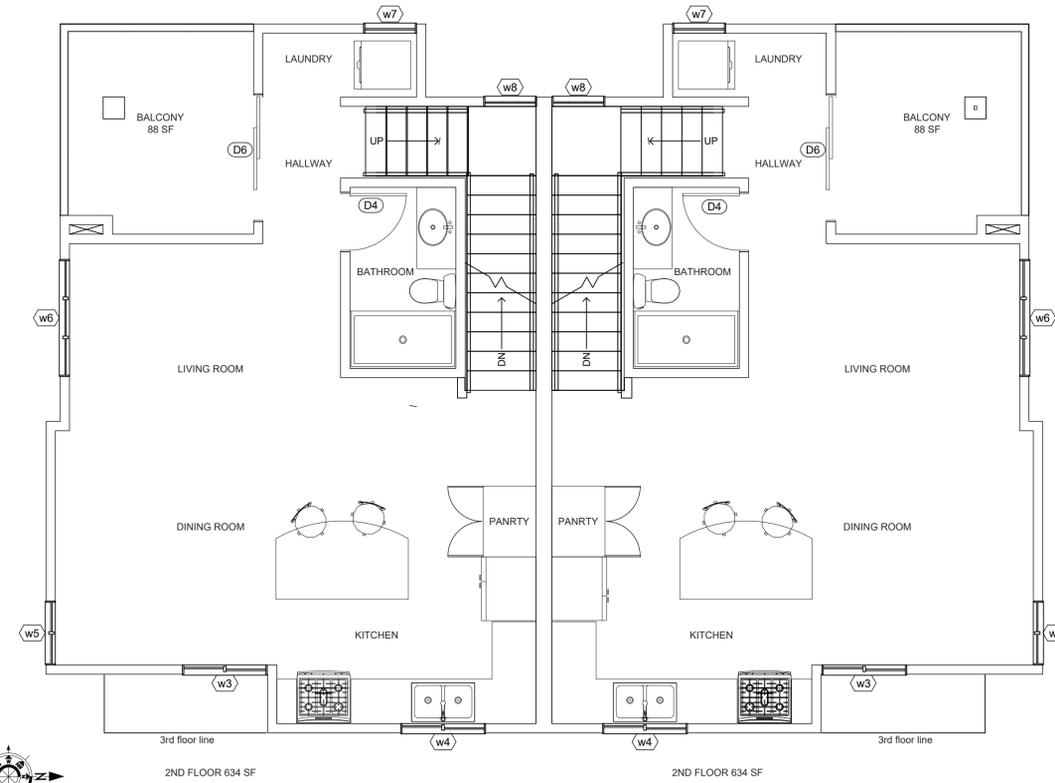
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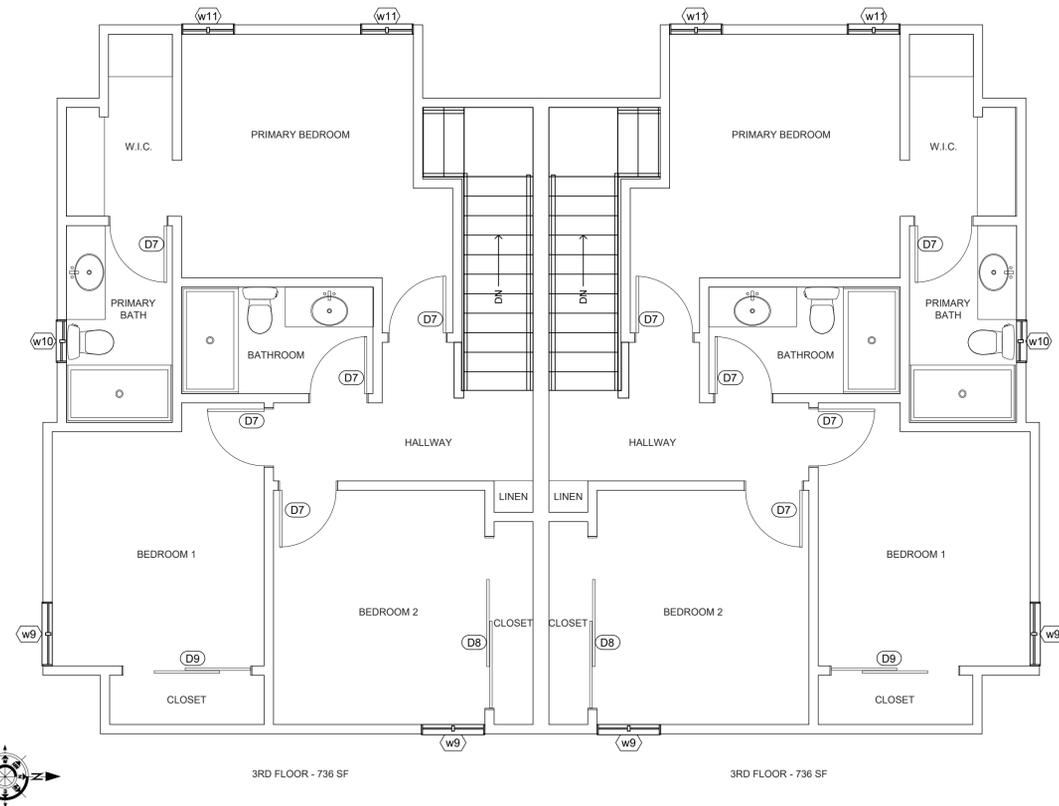
BLDG 1 & 2 - 1st FLOOR PLAN

1/4" = 1'-0"



BLDG 1 & 2 - 2nd FLOOR PLAN

1/4" = 1'-0"



BLDG 1 & 2 - 3rd FLOOR PLAN

1/4" = 1'-0"

DOOR SCHEDULE				
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION
D01	2	192"	96"	GARAGE - ERP STOCKTON II 7'
D02	2	32"	96"	EXT. HINGED-DOOR P05
D03	2	36"	96"	HINGED-LINEA SILBS 6'8"
D04	2	32"	80"	HINGED-DOOR P04
D05	1	60"	96"	EXT. 4+0 DR. BIFOLD-GLASS PANEL
D06	1	60"	96"	EXT. 0+4 DR. BIFOLD-GLASS PANEL
D07	10	32"	96"	HINGED-DOOR P04
D08	2	96"	96"	SLIDER-DOOR P04
D09	2	72"	96"	SLIDER-DOOR P04

WINDOW SCHEDULE				
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION
W01	2	18"	96"	FIXED GLASS
W02	2	30"	72"	FIXED GLASS
W03	2	48"	60"	LEFT SLIDING
W04	2	48"	48"	LEFT SLIDING
W05	2	36"	60"	DOUBLE CASEMENT-LHL/RHR
W06	3	72"	60"	GLASS SLIDER
W07	2	30"	24"	FIXED GLASS
W08	2	30"	140"	FIXED GLASS
W09	4	36"	48"	DOUBLE CASEMENT-LHL/RHR
W10	2	24"	24"	LEFT SLIDING
W11	4	30"	48"	DOUBLE CASEMENT-LHL/RHR
W12	2	36"	84"	FIXED GLASS - TEMP.



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ENGINEER INFO

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1331 N EAST ST #B  
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PROJECT ADDRESS  
(n) 1863-1/2 S Redondo Blvd  
Los Angeles CA 90019

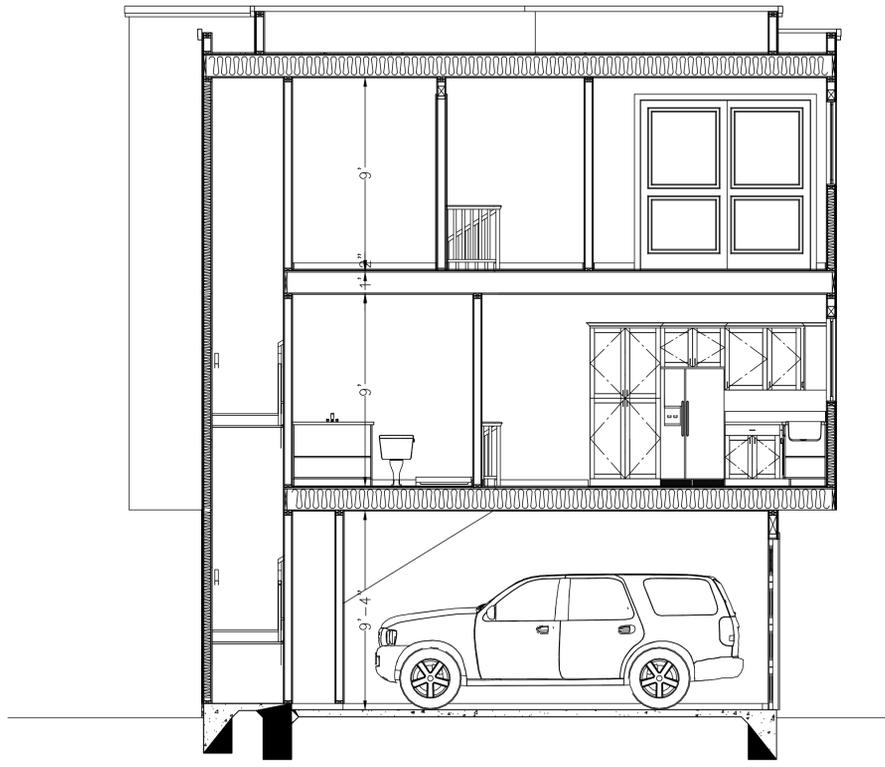
SPECIAL NOTES/CONDITIONS

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Project Number	AL	October 19, 2023	1/4" = 1'-0"						
Drawn By									
Date									
Scale									
Rev 1									
Rev 2									
Rev 3									
Rev 4									

SHEET:

A2.1



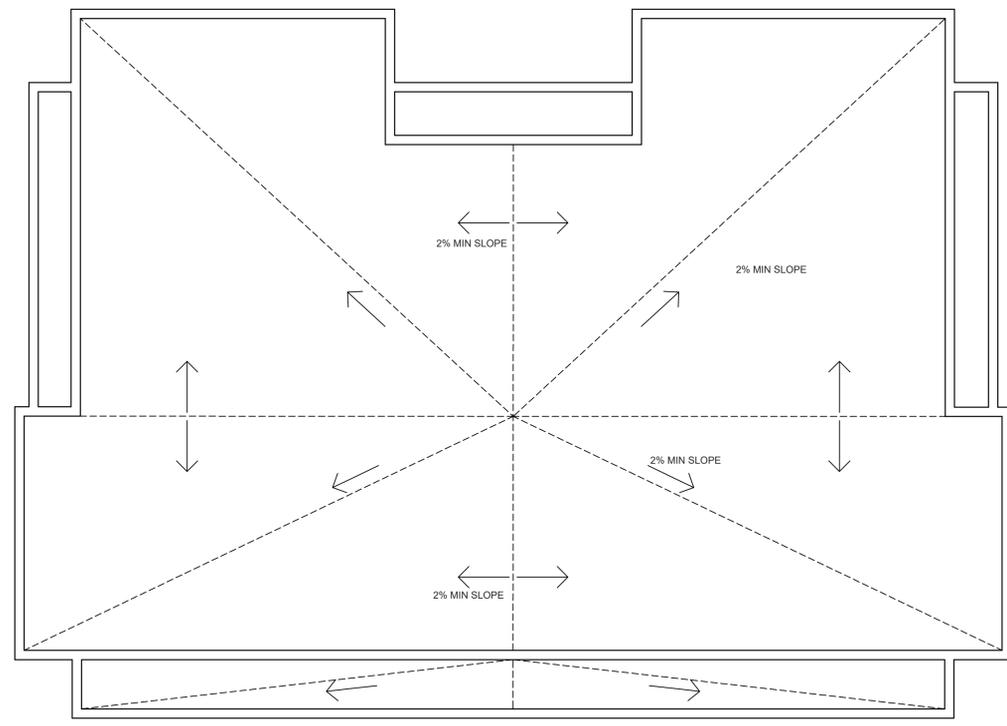
BLDG 1 & 2- TYPICAL SECTION

1/4" = 1'-0"



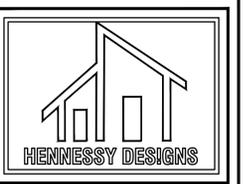
BLDG 1 & 2- TYPICAL SECTION

1/4" = 1'-0"



BLDG 1 & 2- ROOF PLAN

1/4" = 1'-0"



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SPECIAL NOTES/CONDITIONS

Project Number	AL	October 19, 2023	1/4" = 1'-0"			
Drawn By						
Date						
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Rev 1						
Rev 2						
Rev 3						
Rev 4						

SHEET:

A2.2

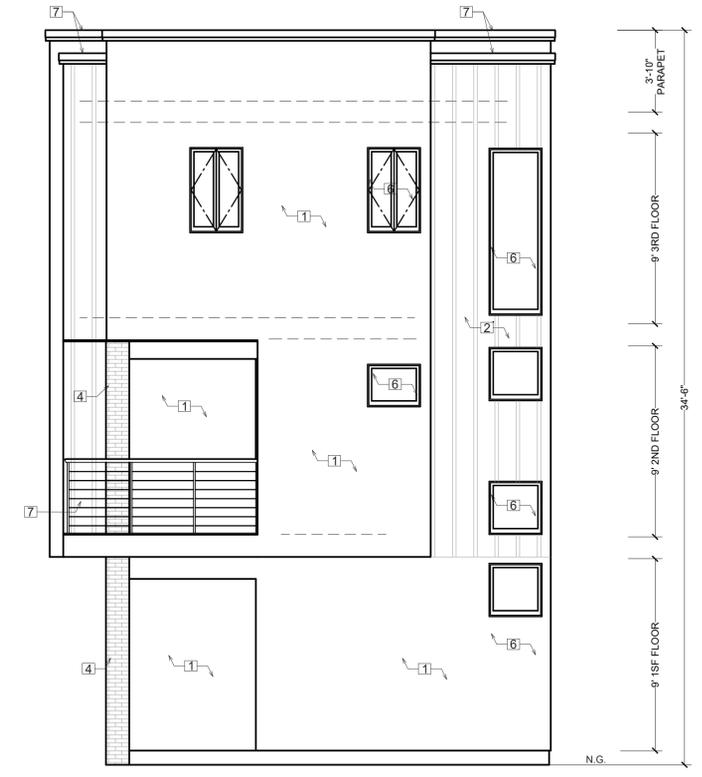
- ELEVATION - KEY**
- 1 WHITE SMOOTH STUCCO
  - 2 BLACK - FIBER CEMENT BAT AND BOARD SIDING
  - 3 WHITE STONE/BLOCK VENEER
  - 4 WHITE BRICK VENEER
  - 5 (BLACK) 4" L METAL DRIP EDGE
  - 6 MILGARD BLACK VINYL WINDOR
  - 7 WROUGHT IRON GUARD RAIL
  - 8 SOLID EXTERIOR DOOR



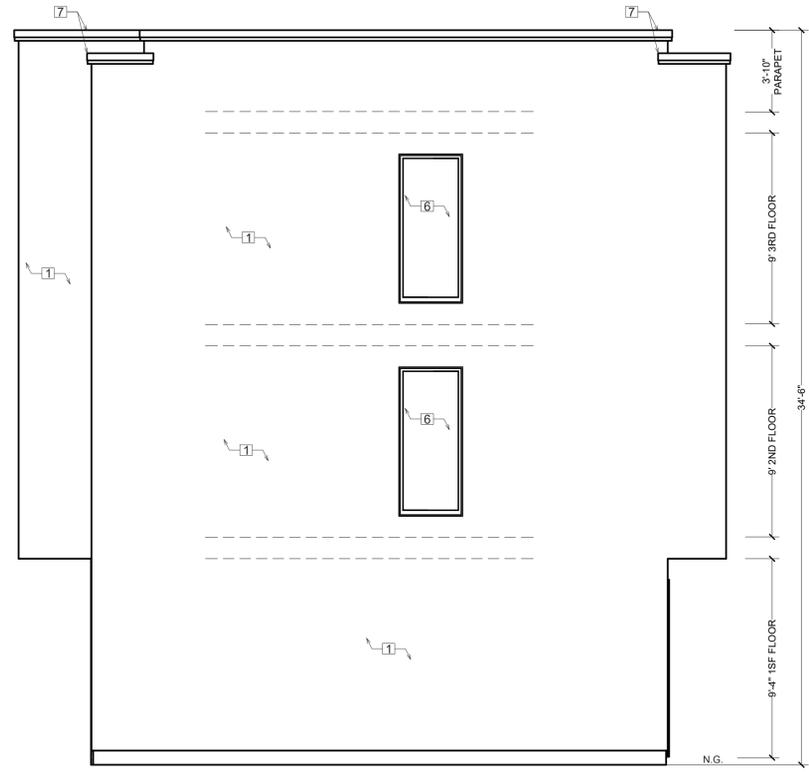
**BLDG 3 - SOUTH ELEVATION**  
1/8" = 1'-0"



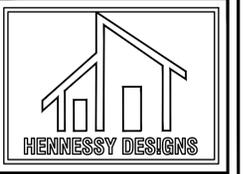
**BLDG 3 - NORTH ELEVATION (STREET SIDE)**  
1/8" = 1'-0"



**BLDG 3 - WEST ELEVATION (SIDE)**  
1/8" = 1'-0"



**BLDG 3 - EAST ELEVATION (SIDE)**  
1/8" = 1'-0"



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**ENGINEER INFO**

**OWNER INFORMATION**

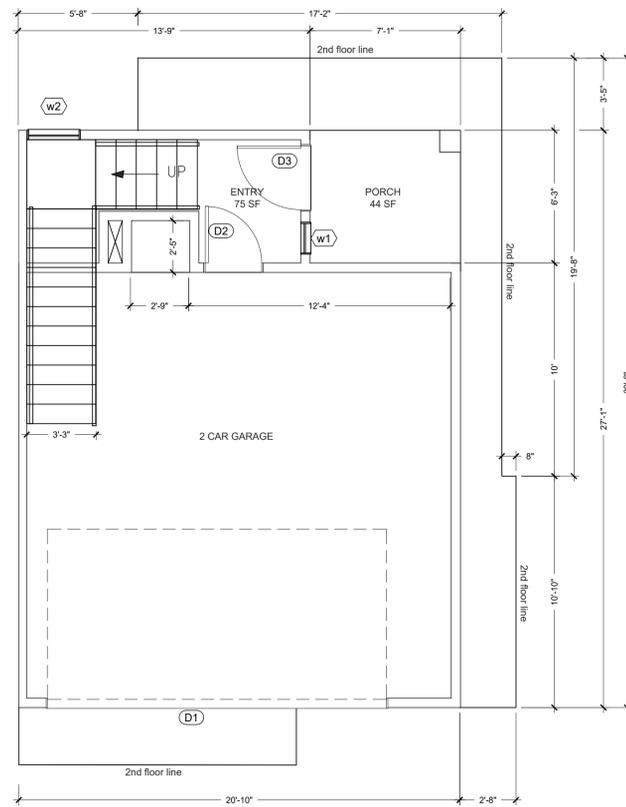
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(n) 1863-1/2 S Redondo Blvd  
Los Angeles CA 90019

**SPECIAL NOTES/CONDITIONS**

Project Number	AL	October 19, 2023	1/4" = 1'-0"			
Drawn By						
Date						
Scale						
Rev 1						
Rev 2						
Rev 3						
Rev 4						

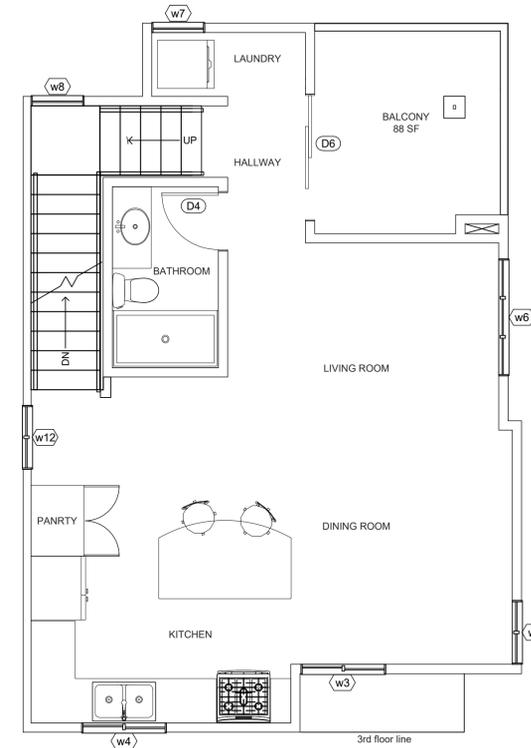
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**A3.0**



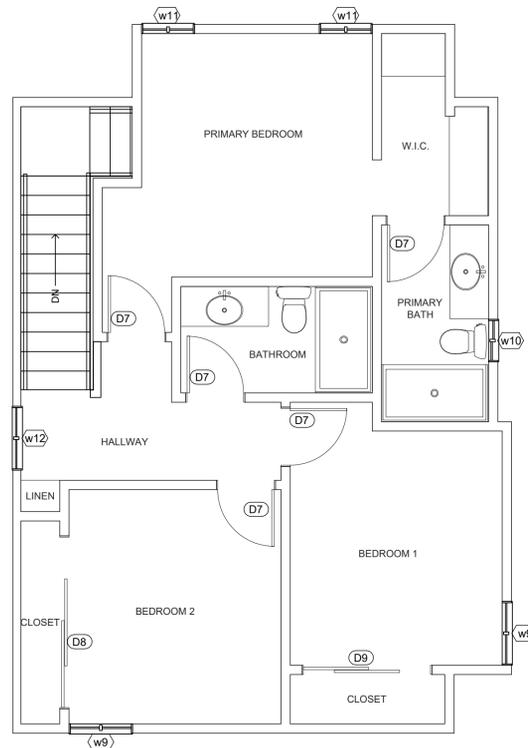
**BLDG 3 - 1st FLOOR PLAN**

1/4" = 1'-0"



**BLDG 3 - 2nd FLOOR PLAN**

1/4" = 1'-0"



**BLDG 3 - 3rd FLOOR PLAN**

1/4" = 1'-0"



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**ENGINEER INFO**

**OWNER INFORMATION**

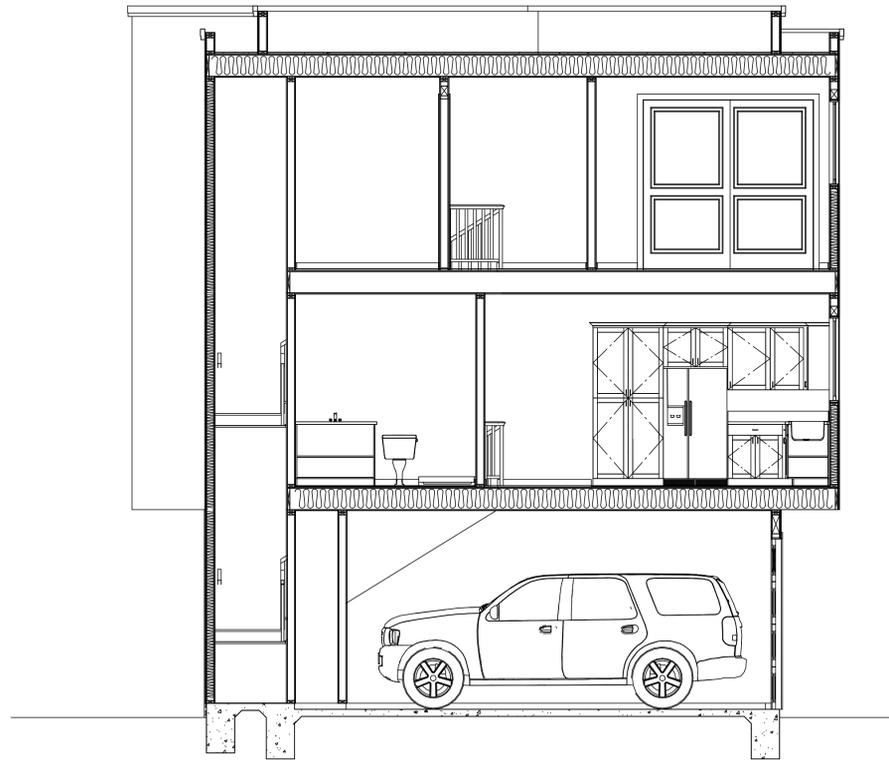
JDMHYPEBEAST LLC  
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**SPECIAL NOTES/CONDITIONS**

Project Number	AL	October 19, 2023	1/4" = 1'-0"				
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Rev 1							
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Rev 4							

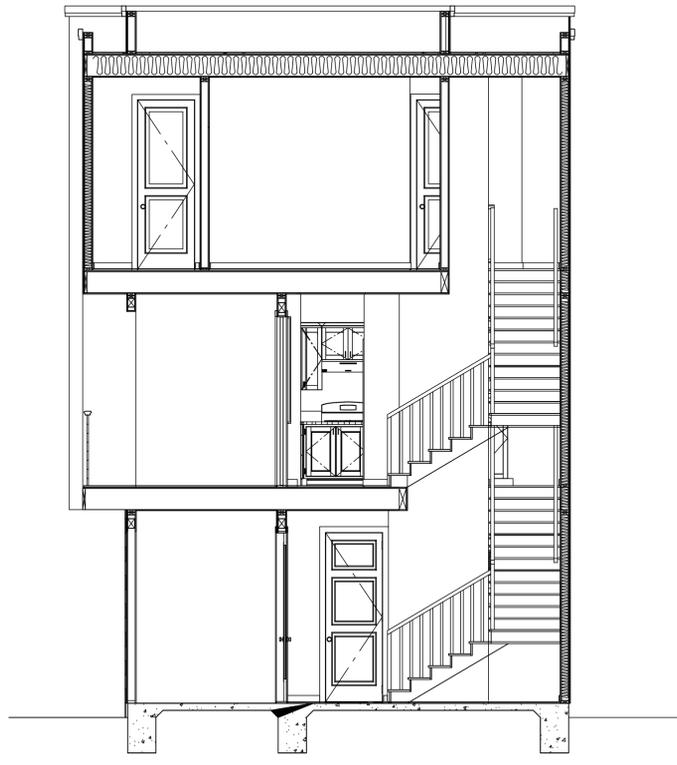
SHEET:

**A3.1**



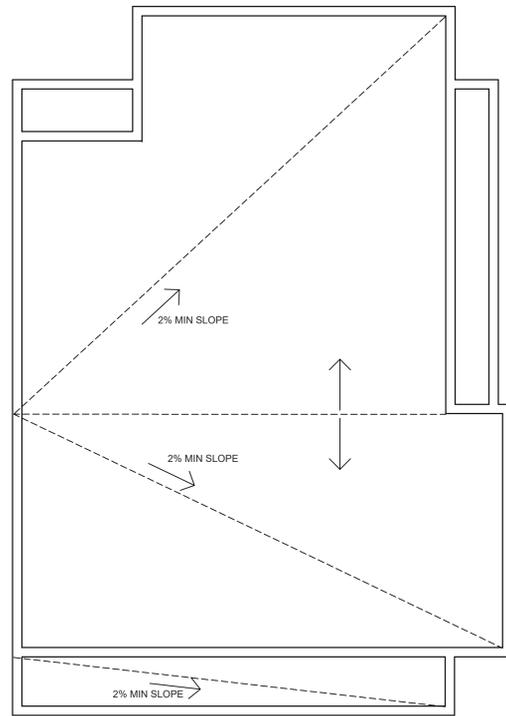
BLDG 3 - TYPICAL SECTION

1/4" = 1'-0"



BLDG 3 - TYPICAL SECTION

1/4" = 1'-0"



BLDG 3 - ROOF PLAN

1/4" = 1'-0"



AMADOR LOPEZ  
15120 ATKINSON AVE #3  
GARDENA CA 90249  
310-408-0151  
Info@ADUpermits.com

GENERAL NOTES:

CONTRACTOR/OWNER BUILDER shall verify all field conditions prior to commencing construction and/or ordering materials. All measurements are subject to verifications by CONTRACTOR/OWNER BUILDER. any discrepancies shall be brought to the attention of the Designer or Engineer immediately. NOTE: all dimensions are based on field measurements unless a Engineered Survey was provided within these drawings.

ENGINEER INFO

OWNER INFORMATION

JDMHYPEBEAST LLC  
1331 N EAST ST #B  
ANAHEIM CA 92805  
PROJECT ADDRESS  
(n) 1863-1/2 S Redondo Blvd  
Los Angeles CA 90019

SPECIAL NOTES/CONDITIONS

Project Number	-
Drawn By	AL
Date	October 19, 2023
Scale	1/4" = 1'-0"
Rev 1	-
Rev 2	-
Rev 3	-
Rev 4	-

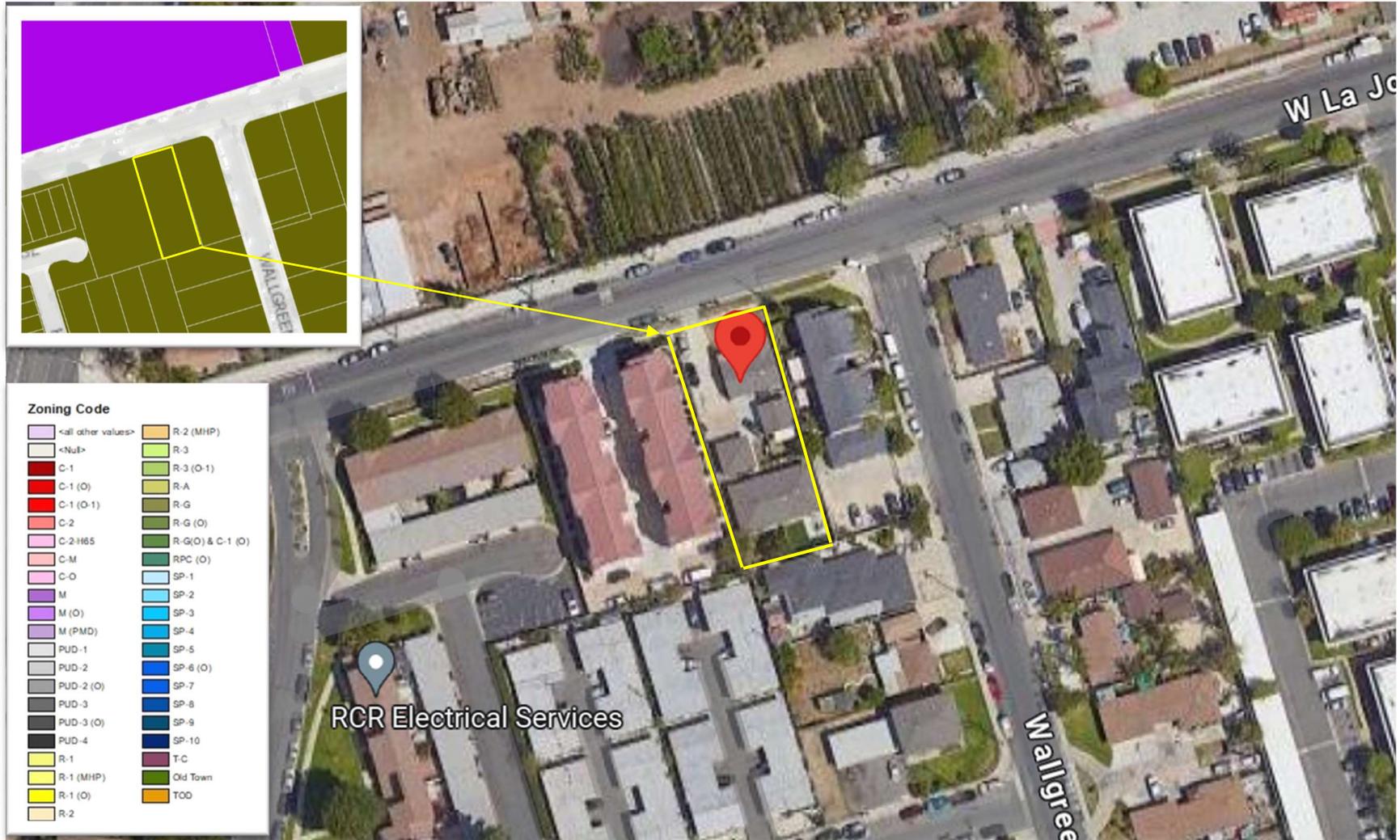
SHEET:

A3.2



# ATTACHMENT 2. VICINITY MAP

## DPR 2023-01; 910 W. LA JOLLA STREET (APN 341-022-10)



**DPR 2023-01 ; 910 W. La Jolla St.**  
**Site Photos of Existing Conditions**



**CITY OF PLACENTIA  
CERTIFIED PROPERTY OWNERSHIP LIST AFFIDAVIT**

STATE OF CALIFORNIA

COUNTY OF ORANGE

I, Robert Castro, hereby certify that the attached list contains the names and addresses of all persons to whom all property is assessed as they appear on the latest available assessment roll of the County within the area described on the attached application and for a distance three hundred feet (300) from the exterior boundaries of the property described on the attached application.

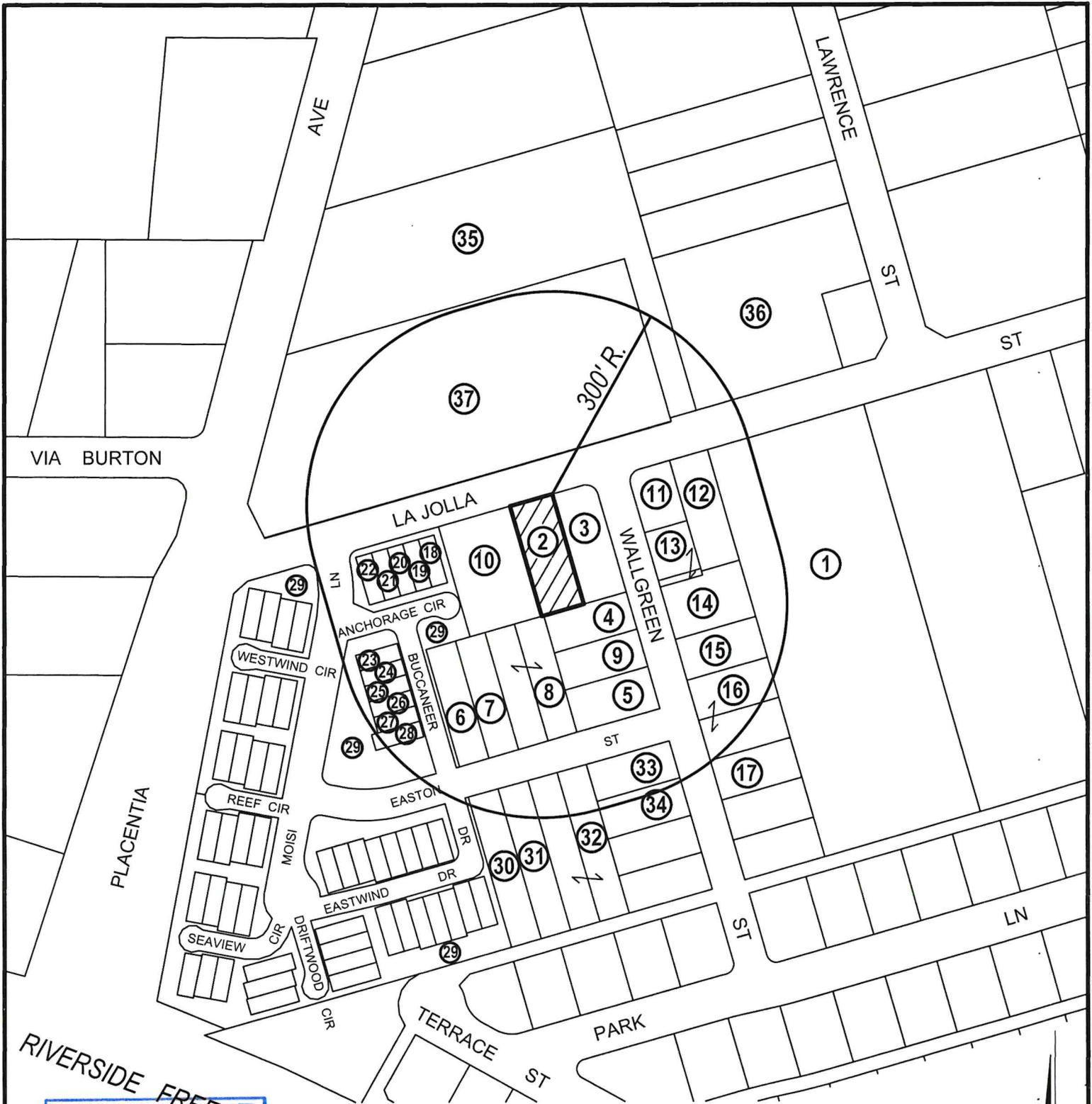
I, certify under penalty of perjury that the foregoing is true and correct.

  
\_\_\_\_\_  
**Signed**

March 28, 2023  
\_\_\_\_\_  
**Date**

910 W. La Jolla Street





RIVERSIDE FREEWAY

**RECEIVED**  
 OCT 19 2023  
 By *an*

# 300' RADIUS MAP

910 W. La Jolla St., Placentia, CA 92870

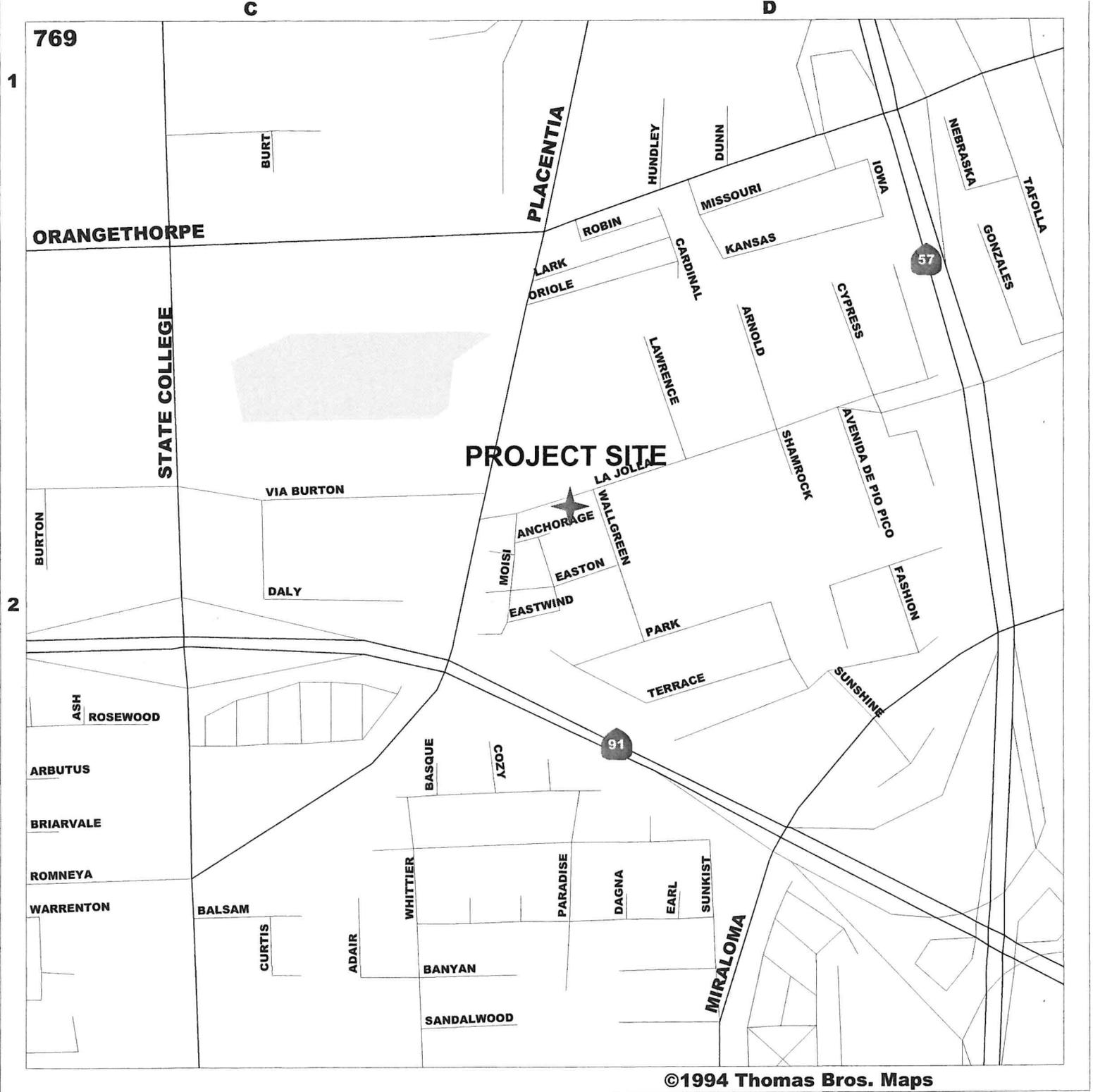


**L.A. MAPPING SERVICE, INC**  
 781 PINEFALLS AVENUE  
 WALNUT, CA 91789  
 (909) 595-0903

LEGEND

⑬ OWNERSHIP NO.  
 ⚡ OWNERSHIP HOOK

CASE NO.  
 DATE: 3 - 27 - 23  
 SCALE: 1" = 200'



**VICINITY MAP**

**Project Site: 910 W. La Jolla St., Placentia, CA 92870**

**L.A. MAPPING SERVICE, INC**  
 781 PINEFALLS AVENUE  
 WALNUT, CA 91789  
 (909) 595-0903

1 344-011-11  
KOYL HACIENDA LA JOLLA II  
752 W LA JOLLA ST  
PLACENTIA CA 92870

2 344-031-04  
JDMHYPEBEAST LLC  
1331 N EAST ST  
ANAHEIM CA 92805

3 344-031-05  
MORTAZA JAMSHIDIAN  
6573 E NORTH VIEW DR  
ANAHEIM CA 92807

4 344-031-06  
SALVADOR & ANGELA SANCHEZ  
634 N BUTTONWOOD ST  
ANAHEIM CA 92805

5 344-031-09  
VERA A SAMARIN  
13218 BONA VISTA LN  
LA MIRADA CA 90618

6 344-031-11  
BETA LUNA HOLDINGS LLC  
1442 FAREN DR  
SANTA ANA CA 92705

7 344-031-12  
MARIO PEREZ  
10811 ENDRY ST  
ANAHEIM CA 92804

8 344-031-14, 15  
INDRAWES, MELAD S TR  
19257 LIPIZZAN LN  
YORBA LINDA CA 92886

9 344-031-24  
MARIA ELENA & VICTOR Z LEON  
1023 S WALLGREEN ST  
PLACENTIA CA 92870

10 344-031-25  
WEST COAST LA JOLLA INVESTMENT  
GROUP LLC  
PO BOX 25863  
ANAHEIM CA 92825

11 344-032-01  
MAXIMIANO RAZON  
884 W LA JOLLA ST  
PLACENTIA CA 92870

12 344-032-02  
BERNARDO LOZA  
870 W LA JOLLA ST  
PLACENTIA CA 92870

13 344-032-03, 04  
GENEVIEVE JIMENEZ  
1801 E KATELLA AVE 3056  
ANAHEIM CA 92805

14 344-032-05  
PETER HOA NGUYEN  
14506 S CRENSHAW BLVD  
GARDENA CA 90249

15 344-032-06  
PAWANDEEP K SIDHU  
1030 WALLGREEN ST  
PLACENTIA CA 92870

16 344-032-07, 08  
PETER LABORDE  
19852 RIVERVIEW DR  
YORBA LINDA CA 92886

17 344-032-12  
EL CIELO ENTERPRISES LLC  
419 XIMENO DR  
FULLERTON CA 92835

18 344-034-01  
MARIA E MORENO  
929 ANCHORAGE CIR  
PLACENTIA CA 92870

19 344-034-02  
ALEXA RAE BASINILLO  
933 ANCHORAGE CIR  
PLACENTIA CA 92870

20 344-034-03  
MARIAN DE LOS ANGELES PAEZ  
JIMENEZ  
937 ANCHORAGE CIR  
PLACENTIA CA 92870

21 344-034-04  
CHRISTIAN & OLGA LOURDES  
GONZALEZ  
941 ANCHORAGE CIR  
PLACENTIA CA 92870

22 344-034-05  
FRANCISCO ARREGUIN  
945 ANCHORAGE CIR  
PLACENTIA CA 92870

23 344-034-06  
ALFONSO & RACHEL VASQUEZ  
1025 BUCCANEER DR  
PLACENTIA CA 92870

24 344-034-07  
ROSALIO CORENA RAMIREZ  
1029 BUCCANEER DR  
PLACENTIA CA 92870

25 344-034-08  
ALAN M MANSFIELD  
2235 FAIRWAY CT  
OCEANSIDE CA 92056

26 344-034-09  
HECTOR DUCO & JESSICA AMORES  
1037 BUCCANEER DR  
PLACENTIA CA 92870

27 344-034-10  
SARAH AWAD  
12221 BEACH BLVD #7  
GARDEN GROVE CA 92841

28 344-034-11  
FOREVER GREEN PROPERTY  
MANGEMENT INC  
PO BOX 3396  
CYPRESS CA 90630

29 344-034-24, 025  
SADDLEBACK GARDENS ASSN  
469 W VALENCIA A  
FULLERTON CA 95832

344-035-35

*SAME AS # 29*

30 344-036-01  
DOLAN HOO  
PO BOX 3632  
ORANGE CA 92857

31 344-036-02  
ADA WANG HOO  
PO BOX 3632  
ORANGE CA 92857

32 344-036-03, 04  
JML AND ASSOCIATES  
5627 PRESTON FAIRWAYS DR  
DALLAS TX 75252

33 344-036-05  
PHU VAN DO  
906 EASTON ST  
PLACENTIA CA 92870

34 344-036-06  
CARL L & RICARDA G STORY  
1053 WALLGREEN ST  
PLACENTIA CA 92870

35 344-131-14  
COUNTY INVESTMENTS  
27286 VIA INDUSTRIA B  
TEMECULA CA 92590

36 344-131-16  
LWP LLC  
1841 AVENIDA DEL NORTE  
FULLERTON CA 92833

37 344-131-17  
LEATRICE L MOISI  
35107 ROAD 180  
VISALIA CA 93292

AMADOR LOPEZ  
3141 FLOWER ST  
LYNWOOD, CA 90262

ROBERT CASTRO  
LA MAPPING SERVICE, INC  
781 PINEFALLS AVE  
WALNUT, CA 91789