



Regular Meeting Agenda March 5, 2024

Placentia City Council
Placentia City Council Acting as Successor Agency to the
Placentia Redevelopment Agency
Placentia Industrial Commercial Development Authority
Placentia Public Financing Authority

Mayor Jeremy B. Yamaguchi
District 3

Mayor Pro Tem Kevin Kirwin
District 2

Rhonda Shader
Councilmember
District 1

Ward L. Smith
Councilmember
District 5

Chad P. Wanke
Councilmember
District 4

Robert S. McKinnell
City Clerk

Kevin A. Larson
City Treasurer

Damien R. Arrula
City Administrator

Christian L. Bettenhausen
City Attorney

City of Placentia
401 E. Chapman Avenue
Placentia, CA 92870

Phone: (714) 993-8117

Fax: (714) 961-0283

Email:

administration@placentia.org

Website: www.placentia.org

Mission Statement

The City Council is committed to keeping Placentia a pleasant place by providing a safe family atmosphere, superior public services and policies that promote the highest standards of community life.

Vision Statement

The City of Placentia will maintain an open, honest, responsive, and innovative government that delivers quality services in a fair and equitable manner while optimizing available resources.

Copies of all agenda materials are available for public review in the Office of the City Clerk, online at www.placentia.org, and at the Placentia Library Reference Desk. Persons who have questions concerning any agenda item may call the City Clerk's Office, (714) 993-8231, to make inquiry concerning the nature of the item described on the agenda.

Procedures for Addressing the Council/Board Members

Any person who wishes to speak regarding an item on the agenda or on a subject within the City's jurisdiction during the "Oral Communications" portion of the agenda should fill out a "Speaker Request Form" and give it to the City Clerk BEFORE that portion of the agenda is called. Testimony for Public Hearings will only be taken at the time of the hearing. Any person who wishes to speak on a Public Hearing item should fill out a "Speaker Request Form" and give it to the City Clerk BEFORE the item is called.

The Council and Board members encourage free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks brief. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of an entire group. To encourage all views, the Council and Board discourages clapping, booing or shouts of approval or disagreement from the audience.

PLEASE SILENCE ALL PAGERS, CELL PHONES, AND OTHER ELECTRONIC EQUIPMENT WHILE COUNCIL AND BOARD MEMBERS ARE IN SESSION.

Special Accommodations

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (714) 993-8231. Notification 48 hours prior to the meeting will generally enable City Staff to make reasonable arrangements to ensure accessibility.
(28 CFR 35.102.35.104 ADA Title II)

In compliance with California Government Code § 54957.5, any writings or documents provided to a majority of the City Council regarding any item on this agenda that are not exempt from disclosure under the Public Records Act will be made available for public inspection at the City Clerk's Office at City Hall, 401 East Chapman Avenue, Placentia, during normal business hours.

Study Sessions are open to the public and held in the City Council Chambers or City Hall Community Room. Executive Sessions are held in the Council Caucus Room. While the public may be in attendance during oral announcements preceding Executive Sessions, Executive Sessions are not open to the public.

**PLACENTIA CITY COUNCIL
PLACENTIA CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE
PLACENTIA REDEVELOPMENT AGENCY
PLACENTIA INDUSTRIAL COMMERCIAL DEVELOPMENT AUTHORITY
PLACENTIA PUBLIC FINANCING AUTHORITY
REGULAR MEETING AGENDA - CLOSED SESSION**

March 5, 2024

**5:00 p.m. – City Council Chambers
401 E. Chapman Avenue, Placentia, CA
AND**

**Teleconference Site:
La Quinta Inn & Suites by Wyndham St. Petersburg Northeast,
6638 4th St N.,
St Petersburg Florida**

CALL TO ORDER:

ROLL CALL: Councilmember/Board Member Shader
Councilmember/Board Member Smith
Councilmember/Board Member Wanke
Mayor Pro Tem/Board Vice Chair Kirwin
Mayor/Board Chair Yamaguchi

ORAL COMMUNICATIONS:

At this time, the public may address the City Council and Boards of Directors concerning any items on the Closed Session Agenda only. There is a five (5) minute time limit for each individual addressing the City Council and Boards of Directors.

The City Council and Boards of Directors will recess to the City Council Caucus Room for the purpose of conducting their Closed Session proceedings.

1. Pursuant to Government Code Section 54957(b)(1):
PUBLIC EMPLOYEE PERFORMANCE EVALUATION
Title: City Administrator

2. Pursuant to Government Code Section 54956.9(d)(1)
CONFERENCE WITH LEGAL COUNSEL – Existing Litigation
Jimmy Wong, et al. v. City of Placentia, et al. Case No. 8:22-cv-00798-CJC-JDE

3. Pursuant to Government Code Section 54956.9(d)(4)
CONFERENCE WITH LEGAL COUNSEL – Anticipated Litigation
1 case

RECESS: The City Council and Boards of Directors will recess to their 7:00 p.m. Regular Meeting.

**PLACENTIA CITY COUNCIL
PLACENTIA CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE
PLACENTIA REDEVELOPMENT AGENCY
PLACENTIA INDUSTRIAL COMMERCIAL DEVELOPMENT AUTHORITY
PLACENTIA PUBLIC FINANCING AUTHORITY
REGULAR MEETING AGENDA**

March 5, 2024

**7:00 p.m. – City Council Chambers
401 E. Chapman Avenue, Placentia, CA**

CALL TO ORDER:

ROLL CALL: Councilmember/Board Member Shader
Councilmember/Board Member Smith
Councilmember/Board Member Wanke
Mayor Pro Tem/Board Vice Chair Kirwin
Mayor/Board Chair Yamaguchi

INVOCATION: Chaplain Charles Frost

PLEDGE OF ALLEGIANCE: Officer Mac Navarro

PRESENTATIONS: None

CLOSED SESSION REPORT:

CITY ADMINISTRATOR REPORT:

ORAL COMMUNICATIONS:

At this time, the public may address the City Council and Boards of Directors concerning any agenda item, which is not a public hearing item, or on matters within the jurisdiction of the City Council and Boards of Directors. There is a five (5) minute time limit for each individual addressing the City Council and Boards of Directors.

CITY COUNCIL/BOARD MEMBER COMMENTS:

1. CONSENT CALENDAR (Items 1.a. through 1.e.):

All items on the Consent Calendar are considered routine and are enacted by one motion approving the recommended action listed on the Agenda. Any Member of the City Council and Boards of Directors or City Administrator may request an item be removed from the Consent Calendar for discussion. All items removed shall be considered immediately following action on the remaining items.

1.a. **Consideration to Waive Reading in Full of all Ordinances and Resolutions**

Fiscal Impact: None

Recommended Action: Approve

1.b. **City Fiscal Year 2023-24 Registers for March 5, 2024**

Check Register

Fiscal Impact: \$1,875,679.11

Electronic Disbursement Register

Fiscal Impact: \$2,032,770.90

Recommended Action: It is recommended that the City Council:

1) Receive and file

- 1.c. **Resolution Approving the Amended Infrastructure Financing Plan (“IFP”) for the Placentia Enhanced Infrastructure Financing District (“Placentia EIFD”)**
Fiscal Impact: Estimated range of \$17 to \$24 million in property tax increment over approximately 40 years. Up to \$59 million in net fiscal impact revenue to the City over approximately 50 years
Recommended Action: It is recommended that the City Council:
 1) Adopt Resolution No. R-2024-12, A Resolution of the City Council of the City of Placentia, California approving the amended Infrastructure Financing Plan for Placentia Enhanced Infrastructure Financing District and the allocation of the City’s incremental tax revenue from the project area pursuant to Government Code Section 53398.75 et seq; and
 2) Authorize the City Administrator, or his designee, to execute all documents necessary, substantially in a form approved by the City Attorney.
- 1.d. **Cooperative Agreement for the Yorba Linda Boulevard/Weir Canyon Road Corridor Regional Traffic Signal Synchronization Project**
Fiscal Impact: Expense: \$160,134.98 City’s Share of Project Costs
 Budgeted: \$160,134.98 To be included in FY 2024-25 CIP Budget
Recommended Action: It is recommended that the City Council:
 1) Approve Cooperative Agreement for the Yorba Linda Boulevard/Weir Canyon Road Corridor Project Regional Traffic Signal Synchronization Program between the Cities of Yorba Linda, Anaheim, Fullerton, Placentia, and Caltrans; and
 2) Authorize the City Administrator and/or his designee to execute the necessary documents, in a form approved by the City Attorney.
- 1.e. **Review and adopt proposed updates to the Committee, Commission and Advisory Board Manual for Calendar Year 2024**
Fiscal Impact: None
Recommended Action: It is recommended that the City Council:
 1) Adopt Resolution No. R-2024-08, “A Resolution of the City Council of the City of Placentia adopting the updated Committee, Commission and Advisory Board Manual for Calendar Year 2024 and Eliminating Various Disbanded Advisory Boards.”

2. PUBLIC HEARINGS:

- 2.a. **Public Hearing and Consideration of Proposed Programs and Activities to be submitted to the County of Orange for Community Development Block Grant (CDBG) Funding for Fiscal Year 2024-25**
Fiscal Impact: CDBG Funds in the amount of \$358,886 for Fiscal Year 2024-25
Recommended Action: It is recommended that the City Council:
 1) Open the Public Hearing to consider proposed programs and activities for the Community Development Block Grant Funding for Fiscal Year 2024-25; and
 2) Receive the Staff report, consider all public testimony, ask any questions of Staff; and
 3) Close the Public Hearing; and
 4) Authorize the City Administrator to submit an application to the County of Orange to receive CDBG Funds to support public service programs, public facilities improvements, housing rehabilitation needs, and administrative expenses for Fiscal Year 2024-25; and
 5) Authorize the City Administrator to execute all necessary documents, in a form approved by the City Attorney.
- 2.b. **Adopt Resolution of Formation to Establish City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services) and Establish the Appropriations Limit for the Proposed Community Facilities District; Adopt Resolution Calling a Special Tax Election; First Reading of an Ordinance to Authorize the Levy of Special Taxes; Adopt Resolution Authorizing Future Annexations To Placentia Community Facilities District No. 2024-01; Adopt Resolution Declaring The Results Of The Special Election**
Fiscal Impact: Projected Annual Expense \$187,400
 Projected Annual Revenue \$187,400

Recommended Action: It is recommended that the City Council:

- 1) Open a public hearing inviting interested parties to speak for or against the establishment of the CFD, the extent of the CFD, or the furnishing of the specified services; and
- 2) Adopt Resolution No. R-2024-13, a Resolution of Formation of the City Council of the City of Placentia Establishing Community Facilities District No. 2024-01 (Old Town Maintenance Services); Authorizing the Levy of Special Taxes; and Establishing the Appropriations Limit for the proposed Community Facilities District; and
- 3) Adopt Resolution No. R-2024-14, a Resolution of the City Council of the City of Placentia Calling a Special Tax Election and Submitting to the Qualified Electors the Questions of Levying a Special Tax on the Property located in the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services); and
- 4) Adopt Resolution No. R-2024-15, a Resolution of the City Council of the City of Placentia setting forth Procedures to Allow for Future Annexation of Territory to the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services); and
- 5) Accept the Ballot(s) from the landowner(s), tabulate the votes for and against the establishment of the CFD and certify the election results; and
- 6) Adopt Resolution No. R-2024-16, a Resolution of the City Council of the City of Placentia Declaring the Results of the Special Election, Determining the Validity of Prior Proceedings, and Directing the Recording of Notice of Special Tax Lien; and
- 7) Introduce for first reading, by title only, further reading waived, Ordinance No. O-2024-03, an Ordinance of the City Council of the City of Placentia, California, Levying Special Taxes within the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services).

2.c. **Public Hearing, Introduction and First Reading of Ordinance No. O-2024-02 of the City Council of the City of Placentia, Amending Chapter 13.52 "Restricted Parking Zones" and Chapter 14.10 "Traffic and Parking Regulations" to the Placentia Municipal Code**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Open the Public Hearing concerning Ordinance No. 2024-02; and
- 2) Receive the staff report and consider all public testimony; and
- 3) Close the public hearing; and
- 4) Introduce for first reading, by title only, further reading waived, Ordinance No. O-2024-02, an Ordinance of the City Council of the City of Placentia, California, amending Chapters 13.52 and 14.10 of the Placentia Municipal Code.

2.d. **Public Hearing and Consideration of a Resolution Making Findings Pursuant to Health and Safety Code Section 33433 for Real Property Located at 314 Baker Street and 323 Baker Street in Conjunction with Authorizing the Sale of the Properties in Connection with Disposition and Development Agreement No. DDA-2023-01 with Mercy Housing California Transferring Title of Properties Located at 300, 307, 312, 314, and 323 Baker Street to Mercy Housing California to Facilitate the Development of a Five Story, Multifamily Apartment Building, with 68 Affordable Workforce Housing Units, Onsite Resident Services and Management, Onsite Parking and a Satellite Parking Site on a Total of 0.77-Gross Acre City-Owned Vacant Property Located at 300, 307, 312, 314, and 323 Baker Street and Finding the Project to be Exempt from further Environmental Review as an Infill Development Project**

Fiscal Impact: One Time Revenue: \$ 482,200.84 Development Impact Fees
Sale of Properties: \$3,200,000.00 (Affordable Housing Fund)

Recommended Action: It is recommended that the City Council:

- 1) Open Public Hearing regarding the contemplated action to make findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street And 323 Baker Street; and
- 2) Receive the Staff Report, consider all public testimony, ask questions of Staff; and

- 3) Close the Public Hearing; and
- 4) Adopt Resolution No. HSA-2024-01, a Resolution of the City Council of the City of Placentia, California, making findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street and authorizing the sale of the properties in connection therein; and
- 5) Adopt Resolution No. R-2024-17, a Resolution of the City Council of the City of Placentia, California, approving the Disposition and Development Agreement No. DDA-2023-01 with Mercy Housing California transferring title of properties located at 300, 307, 312, 314, and 323 Baker Street to Mercy Housing California to facilitate the future development of a five story, 68 unit multifamily affordable housing development with onsite resident services and management, onsite parking and a satellite parking site on a 0.77-gross acre site and finding the project to be exempt from further environmental review as a class 32 infill categorical exemption; and
- 6) Authorize the City Administrator to execute the necessary documents, in a form approved by the City Attorney.

3. REGULAR AGENDA: None

CITY COUNCIL/BOARD MEMBERS REQUESTS:

Council/Board Members may make requests or ask questions of Staff. If a Council/Board Member would like to have formal action taken on a requested matter, it will be placed on a future Council or Board Agenda.

ADJOURNMENT:

The City Council/Successor Agency/ICDA/PPFA Board of Directors will adjourn to a regular City Council meeting on Tuesday, March 19, 2024 at 5:30 p.m.

TENTATIVE AGENDA FORECAST

The Tentative Agenda Forecast is subject to change up until the posting of the Agenda for the Council Meeting listed below:

- Annual Housing Report
- Update to Façade Improvement Guidelines
- City Treasurer Investment Report Update
- Amend PSA with Fountainhead for Construction Management and Inspection Services
- PSAs: On Call-Construction Management and Inspection Services
- Facility Condition Assessment and Maintenance Plan

CERTIFICATION OF POSTING

I, Carole M. Wayman, Deputy City Clerk of the City of Placentia and Assistant Secretary of the Industrial Commercial Development Authority, the Successor Agency, and the Placentia Public Financing Authority hereby certify that the Agenda for the March 5, 2024 meetings of the City Council, Successor Agency, Industrial Commercial Development Authority, and the Placentia Public Financing Authority was posted on February 29, 2024.

Carole M. Wayman
Deputy City Clerk

City of Placentia
Check Register
 For 03/05/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
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Grand Total: 1,875,679.11

Check Totals by ID

AP	1,875,679.11
EP	0.00
IP	0.00
OP	0.00

Void Total: 0.00

Check Total: 1,875,679.11

Fund Name	<u>Check Totals by Fund</u>
101-General Fund (0010)	642,525.71
117-Measure U Fund (0079)	188,540.98
205-State Gas Tax (0017)	318,041.11
208-Scssr Agency Ret Oblg (0054)	49.03
209-State Gas Tax - RMRA (0060)	287,011.39
210-Measure M (0018)	287,011.39
225-Asset Seizure (0021)	814.00
236-Parks & Rec Impact Fees (0063)	3,470.00
242-Police Impact Fee (0067)	14,280.75
243-City Quimby In Lieu Fee (0069)	11,624.00
244-CW Aford House ImpactFee(0068)	3,000.00
247-TOD Sewer Impact Fees (0071)	11,552.56
249-TOD District CFD (0080)	453.31
265-Landscape Maintenance (0029)	28,113.95
275-Sewer Maintenance (0048)	24,199.25
280-Misc Grants Fund (0050)	3,261.98
401-City Capital Projects (0033)	10,165.59
501-Refuse Administration (0037)	23,591.41
601-Employee Health & Wlfre (0039)	878.60
605-Risk Management (0040)	8,187.00
701-Special Deposits (0044)	8,907.10

Check Total: 1,875,679.11

1.b.
March 5, 2024

Funds will be transferred from the Cash Basis Fund as needed to fund the warrants included on this warrant register

City of Placentia
Check Register
For 02/27/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	ADMINSURE V004980	DEC WC ADMINISTRATION	404580-6025 Third Party Administration	AP021224	5,328.00	16695	P13300	00130097	02/15/2024
Check Total:					5,328.00				
MW OH	AMAZON CAPITAL SERVICES V012336	LIGHTING SUPPLIES	103655-6301 Special Department Expenses	AP021224	78.49	13YD-6K7M-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SANITORIAL SUPPLIES	103658-6301 Special Department Expenses	AP021224	219.97	13YD-6K7M-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW SUPPLIES	103654-6301 Special Department Expenses	AP021224	864.70	13YD-6K7M-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	PHONE CASE	103550-6315 Office Supplies	AP021224	13.49	13YD-6K7M-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	103550-6315 Office Supplies	AP021224	192.51	16CL-NYNQ-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	FRASH CANS	103654-6301 Special Department Expenses	AP021224	559.95	16CL-NYNQ-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	NS SUPPLIES	104072-6301 Special Department Expenses	AP021224	405.93	16WV-6Q4Q-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SENIOR CTR SUPPLIES	104079-6301 Special Department Expenses	AP021224	857.61	16WV-6Q4Q-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	TOOLS	104076-6301 Special Department Expenses	AP021224	238.00	16WV-6Q4Q-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	BOY SCOUTS SUPPLIES	104071-6301 Special Department Expenses	AP021224	467.24	16WV-6Q4Q-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	AP021224	396.61	16WV-6Q4Q-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	REPAIR/MAINT SUPPLIES	104076-6141 Repair/Maint - Park Lights	AP021224	892.00	16WV-6Q4Q-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OUTDOOR LIGHT FIXTURES	104076-6139 Repair/Maint - Parks & Fields	AP021224	75.95	16WV-6Q4Q-		00130098	02/15/2024

City of Placentia
Check Register
For 02/27/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	AMAZON CAPITAL SERVICES V012336	STATION SUPPLIES	103066-6134 Vehicle Repair & Maintenance	AP021224	95.68	197P-6WMD-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	STATION SUPPLIES	103066-6301 Special Department Expenses	AP021224	2,537.46	197P-6WMD-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	STATION SUPPLIES	103066-6315 Office Supplies	AP021224	106.66	197P-6WMD-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	103067-6315 Office Supplies	AP021224	38.05	197P-6WMD-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	103065-6315 Office Supplies	AP021224	92.25	197P-6WMD-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	STATION SUPPLIES	103066-6362 Emergency Medical Supplies	AP021224	134.75	197P-6WMD-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	TAMALE FEST SUPPLIES	104073-6301 Special Department Expenses	AP021224	931.58	1VCL-FKMX-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SPORT EQUIPMENT	104071-6301 Special Department Expenses	AP021224	122.83	1VCL-FKMX-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	COMM X-MAS BOX SUPPLIES	104072-6301 Special Department Expenses	AP021224	149.69	1VCL-FKMX-		00130098	02/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	104076-6130 Repair & Maint/Facilities	AP021224	37.59	1VCL-FKMX-		00130098	02/15/2024
Check Total:					9,508.99				
MW OH	ASSI SECURITY INC V011251	CCTV/ACCESS CTRL FOR PSC	109800-6840 / 105213-6840 Machinery & Equipment	AP021224	85,140.58	74885	P13290	00130099	02/15/2024
Check Total:					85,140.58				
MW OH	AUDI NORTH OC V012263	JAN VEHICLE REBATE PROG	101534-6363 Resident Vehicle Rebate Prog	AP021224	1,000.00	JAN-24		00130100	02/15/2024
Check Total:					1,000.00				
MW OH	B & M LAWN & GARDEN	HAND TOOL PARTS	103066-6137	AP021224	316.31	627441		00130101	02/15/2024

City of Placentia
Check Register
For 02/27/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V000127		Repair Maint/Equipment						
				Check Total:	316.31				
MW OH	BADGE FRAME INC V010144	PD ORG CHART NAME	103040-6301 Special Department Expenses	AP021224	21.00	207901		00130102	02/15/2024
				Check Total:	21.00				
MW OH	BRENNAN ESTIMATING V011259	FEB FIRE/SEC ALARM MONITORING	103654-6127 Alarm Monitoring	AP021224	360.00	11541	P13006	00130103	02/15/2024
				Check Total:	360.00				
MW OH	CALMAT CO. V010007	PAVING MATERIALS	103652-6301 Special Department Expenses	AP021224	452.30	73900211	P13098	00130104	02/15/2024
MW OH	CALMAT CO. V010007	PAVING MATERIALS	103652-6301 Special Department Expenses	AP021224	537.49	73900212	P13098	00130104	02/15/2024
MW OH	CALMAT CO. V010007	PAVING MATERIALS	103652-6301 Special Department Expenses	AP021224	455.61	73903999	P13098	00130104	02/15/2024
MW OH	CALMAT CO. V010007	PAVING MATERIALS	103652-6301 Special Department Expenses	AP021224	738.54	73906726	P13098	00130104	02/15/2024
				Check Total:	2,183.94				
MW OH	CARAVEZ, ISAIAS V011136	PD TRAINING MEALS	213041-6250 Staff Training	AP021224	407.00	CARAVEZ02122		00130105	02/15/2024
				Check Total:	407.00				
MW OH	CCP INDUSTRIES INC V010526	PW SUPPLIES	103654-6301 Special Department Expenses	AP021224	181.39	IN03455443		00130106	02/15/2024
MW OH	CCP INDUSTRIES INC V010526	PW SUPPLIES	103654-6301 Special Department Expenses	AP021224	104.95	IN03455681		00130106	02/15/2024
				Check Total:	286.34				
MW OH	CICCS/EAP V012670	JAN EAP	395083-5199 Other Employee Benefits	AP021224	439.30	2024-1		00130107	02/15/2024
MW OH	CICCS/EAP	FEB EAP	395083-5199	AP021224	439.30	2024-2		00130107	02/15/2024

City of Placentia
Check Register
For 02/27/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012670		Other Employee Benefits						
				Check Total:	878.60				
MW OH	CITY OF BREA V000125	HOLIDAY CARD/ENVELOPES	103065-6230 Printing & Binding	AP021224	101.51	ASR0000306		00130108	02/15/2024
				Check Total:	101.51				
MW OH	CLEAR CHOICE LIEN SALES 1/5 LIEN SERVICES V005847		103047-6182 Lien Services	AP021224	45.00	3940-010524		00130109	02/15/2024
MW OH	CLEAR CHOICE LIEN SALES 12/7 LIEN SERVICES V005847		103047-6182 Lien Services	AP021224	85.50	434-120723		00130109	02/15/2024
MW OH	CLEAR CHOICE LIEN SALES 12/19 LIEN SERVICES V005847		103047-6182 Lien Services	AP021224	85.50	437-121923		00130109	02/15/2024
MW OH	CLEAR CHOICE LIEN SALES 1/18 LIEN SERVICES V005847		103047-6182 Lien Services	AP021224	85.50	445-011824		00130109	02/15/2024
				Check Total:	301.50				
MW OH	CPOA V004396	CPOA FOP FEE - B. BUTTS	103040-6255 Dues & Memberships	AP021224	150.00	422620		00130110	02/15/2024
MW OH	CPOA V004396	CPOA FOP LDP FEE - B. BUTTS	103040-6255 Dues & Memberships	AP021224	324.00	422630		00130110	02/15/2024
				Check Total:	474.00				
MW OH	DAVID TAUSSIG AND V001040	DEC CONSULTANT FEES	109595-6999 Other Expenditure	AP021224	1,377.50	2312369	P13091	00130111	02/15/2024
				Check Total:	1,377.50				
MW OH	DEROTIC EMERGENCY V011295	E2 REPAIRS	103066-6134 Vehicle Repair & Maintenance	AP021224	168.00	SO-4096	P13245	00130112	02/15/2024
				Check Total:	168.00				
MW OH	DIAMOND ENVIRONMENTAL RESTROOM RENT- KRAEMER PARK V004152		104076-6139 Repair/Maint - Parks & Fields	AP021224	872.40	52111438		00130113	02/15/2024

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				Check Total:	872.40				
MW OH	DIAMONDS SPORTS FIELD V011978	JAN FIELD MAINTENANCE	104076-6139 Repair/Maint - Parks & Fields	AP021224	2,250.00	6398	P13235	00130114	02/15/2024
				Check Total:	2,250.00				
MW OH	EMPLOYMENT V000203	OCT-DEC UNEMPLOYMENT INS.	404581-5155 Employee Insurance Claims	AP021224	2,593.00	L1747994960		00130115	02/15/2024
				Check Total:	2,593.00				
MW OH	ENTERPRISE FLEET V003312	FEB LEASE CHARGE	103042-6165 Vehicle Lease	AP021224	8,591.61	FBN4952732	P13005	00130116	02/15/2024
MW OH	ENTERPRISE FLEET V003312	FEB LEASE CHARGE	103041-6165 Vehicle Lease	AP021224	8,591.61	FBN4952732	P13005	00130116	02/15/2024
				Check Total:	17,183.22				
MW OH	EVERYTABLE PBC V012738	JAN SMART FRIDGE FEE	503040-6301 / 233004-6301 Special Department Expenses	AP021224	200.00	SI033546		00130117	02/15/2024
				Check Total:	200.00				
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	16.12	102-203051	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	50.15	102-203069	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	6.81	102-203193	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	105.62	102-203421	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	79.63	102-203437	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	101.14	12-5719047	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS	VH MAINT. PARTS/SUPPLIES	103658-6134	AP021224	10.99	12-5720286	P13045	00130118	02/15/2024

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	V010842		Vehicle Repair & Maintenance						
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	33.83	12-5720298	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	122.73	12-5726619	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	201.49	12-5727551	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	331.47	12-5729523	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	23.21	12-5729980	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	85.49	12-5729984	P13045	00130118	02/15/2024
MW OH	FACTORY MOTOR PARTS V010842	VH MAINT. PARTS/SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP021224	235.36	12-5734993	P13045	00130118	02/15/2024
Check Total:					1,404.04				
MW OH	FOUNTAINHEAD V012624	NOV CONST MGMT SVS	797902-6760 / 797902-6760 Infrastructure - Parks	AP021224	17,436.00	2023-11	P13030	00130119	02/15/2024
MW OH	FOUNTAINHEAD V012624	NOV CONST MGMT SVS	697902-6760 / 697902-6760 Infrastructure - Parks	AP021224	11,624.00	2023-11	P13030	00130119	02/15/2024
Check Total:					29,060.00				
MW OH	FRANCHISE TAX BOARD V000404	FTB PE2/3 PD2/9	0010-2196 Garnishments W/H	AP021224	7.73	PR2401003		00130120	02/15/2024
Check Total:					7.73				
MW OH	GALLS LLC V000438	DISPATCH UNIFORMS	101515-6360 Uniforms	AP021224	105.27	26933276		00130121	02/15/2024
MW OH	GALLS LLC V000438	DISPATCH UNIFORMS	101515-6360 Uniforms	AP021224	602.61	26937181		00130121	02/15/2024

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					Check Total:	707.88			
MW OH	GOLDEN STATE WATER V000928	DEC-JAN WATER CHARGES	109595-6335 / 21010-6335 Water	AP021224	129.36	020624		00130122	02/15/2024
MW OH	GOLDEN STATE WATER V000928	DEC-JAN WATER CHARGES	109595-6335 Water	AP021224	18,534.09	020624		00130122	02/15/2024
MW OH	GOLDEN STATE WATER V000928	DEC-JAN WATER CHARGES	296561-6335 Water	AP021224	6,385.74	020624		00130122	02/15/2024
					Check Total:	25,049.19			
MW OH	HF&H CONSULTANTS LLC V010575	OCT SB 1383 CONSULTING SVS	374386-6099 Professional Services	AP021224	4,005.75	9720708	P13109	00130123	02/15/2024
MW OH	HF&H CONSULTANTS LLC V010575	NOV SB 1383 CONSULTING SVS	374386-6099 Professional Services	AP021224	5,183.00	9720763	P13109	00130123	02/15/2024
					Check Total:	9,188.75			
MW OH	HOUSTON & HARRIS PCS IN V010110	DEC SEWER LINE CLEANING/INSP	484356-6120 R & M/Sewer & Storm Drain	AP021224	7,804.00	23-25802	P13108	00130124	02/15/2024
MW OH	HOUSTON & HARRIS PCS IN V010110	JAN SEWER LINE CLEANING/INSP	484356-6120 R & M/Sewer & Storm Drain	AP021224	14,803.75	24-25858	P13108	00130124	02/15/2024
					Check Total:	22,607.75			
MW OH	HR GREEN PACIFIC INC V010735	JAN ON CALL PLAN CHECK SVS	103551-6290 Dept. Contract Services	AP021224	808.25	171823	P13122	00130125	02/15/2024
					Check Total:	808.25			
MW OH	INGLIS IMPORTS INC V012485	K9 MAINTENANCE TRAINING	103041-6099 Professional Services	AP021224	7,500.00	IPHS001096	P13296	00130126	02/15/2024
					Check Total:	7,500.00			
MW OH	JAIN, SATISH V012769	PLAN CHECK FEE REFUND	102532-4160 Building Permits	AP021224	113.75	1112024		00130127	02/15/2024
					Check Total:	113.75			
MW OH	JOHN HANCOCK USA-PARS	PARS FT-ER PE2/3 PD 2/9	0010-2131	AP021224	917.82	PR2401003		00130128	02/15/2024

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	V010625		Employer PARS/ARS Payable						
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0010-2131 Employer PARS/ARS Payable	AP021224	675.91	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0010-2131 Employer PARS/ARS Payable	AP021224	848.63	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0029-2131 Employer PARS/ARS Payable	AP021224	19.46	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0037-2131 Employer PARS/ARS Payable	AP021224	236.73	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0037-2131 Employer PARS/ARS Payable	AP021224	76.48	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0048-2131 Employer PARS/ARS Payable	AP021224	112.43	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0048-2131 Employer PARS/ARS Payable	AP021224	54.63	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0054-2131 Employer PARS/ARS Payable	AP021224	43.71	PR2401003		00130128	02/15/2024
MW OH	JOHN HANCOCK USA-PARS V010625	PARS FT-ER PE2/3 PD 2/9	0054-2131 Employer PARS/ARS Payable	AP021224	4.91	PR2401003		00130128	02/15/2024
				Check Total:	2,990.71				
MW OH	LEHR AUTO V009930	STRIP UNIT 25	109800-6842 / 24801-6842 Vehicles	AP021224	750.00	SI98846		00130129	02/15/2024
				Check Total:	750.00				
MW OH	LIN CONSULTING INC V012671	JAN ENG & TRAFFIC SURVEY SVS	103590-6015 Engineering Services	AP021224	2,460.00	15375	P13166	00130130	02/15/2024
				Check Total:	2,460.00				
MW OH	LYNCH EMS V011542	FEB EMT SERVICE	101516-6290 Dept. Contract Services	AP021224	88,784.06	23-3231	P12935	00130131	02/15/2024

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					Check Total:	88,784.06			
MW OH	MARIPOSA LANDSCAPES IN AUG CROWTHER MEDIAN & PKWY V000647		800000-6115 Landscaping	AP021224	159.88	103978	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN AUG LMD MAINTENANCE SVS V000647		296561-6115 Landscaping	AP021224	6,867.50	103978	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN AUG MEDIANS & PKWY MAINT SVS V000647		173555-6115 Landscaping	AP021224	10,944.06	103978	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN AUG MEDIANS & PKWY MAINT SVS V000647		103655-6115 Landscaping	AP021224	3,347.20	103978	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN AUG LIBRARY MAINTENANCE SVS V000647		103655-6115 / 21008-6115 Landscaping	AP021224	1,819.47	103978	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN AUG CALTRANS SLOPE ON 57 FWY V000647		103655-6115 / 243601-6115 Landscaping	AP021224	159.88	103978	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN OCT LMD MAINTENANCE SVS V000647		296561-6115 Landscaping	AP021224	6,867.50	10484	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN OCT MEDIANS & PKWY MAINT SVS V000647		103655-6115 Landscaping	AP021224	3,347.20	10484	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN OCT LIBRARY MAINTENANCE SVS V000647		103655-6115 / 21008-6115 Landscaping	AP021224	1,819.47	10484	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN OCT CALTRANS SLOPE ON 57 FWY V000647		103655-6115 / 243601-6115 Landscaping	AP021224	159.88	10484	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN OCT MEDIANS & PKWY MAINT SVS V000647		173555-6115 Landscaping	AP021224	10,944.06	10484	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN OCT CROWTHER MEDIAN & PKWY V000647		800000-6115 Landscaping	AP021224	159.88	10484	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN DEC CROWTHER MEDIAN & PKWY V000647		800000-6115 Landscaping	AP021224	133.55	105751	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES IN DEC LMD MAINTENANCE SVS V000647		296561-6115 Landscaping	AP021224	5,736.44	105751	P13264	00130132	02/15/2024

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MW OH	MARIPOSA LANDSCAPES INDEC MEDIANS & PKWY MAINT SVS V000647		173555-6115 Landscaping	AP021224	9,141.60	105751	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES INDEC MEDIANS & PKWY MAINT SVS V000647		103655-6115 Landscaping	AP021224	2,795.92	105751	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES INDEC LIBRARY MAINTENANCE SVS V000647		103655-6115 / 21008-6115 Landscaping	AP021224	1,519.81	105751	P13264	00130132	02/15/2024
MW OH	MARIPOSA LANDSCAPES INDEC CALTRANS SLOPE ON 57 FWY V000647		103655-6115 / 243601-6115 Landscaping	AP021224	133.55	105751	P13264	00130132	02/15/2024
Check Total:					66,056.85				
MW OH	MARK COMPANY V012657	RETENTION -CONSTRUCTION SVS	719800-6740 / 24101-6740 Infrastructure - Streets	AP021224	11,552.56	35539 RET	P13123	00130133	02/15/2024
MW OH	MARK COMPANY V012657	RETENTION - CONSTRUCTION SVS	799800-6740 / 24101-6740 Infrastructure - Streets	AP021224	1,440.69	35539 RET	P13123	00130133	02/15/2024
Check Total:					12,993.25				
MW OH	MARTIN, ARMANDO V011735	JAN DEAD ANIMAL REMOVAL SVS	103045-6280 Animal Control Services	AP021224	600.00	0002425	P13131	00130134	02/15/2024
Check Total:					600.00				
MW OH	MIKE RAAHAUGES V010677	1/16 PISTOL RANGE USAGE	103043-6162 Range Training	AP021224	150.00	1914		00130135	02/15/2024
Check Total:					150.00				
MW OH	NAPA AUTO PARTS V011456	BRAKE PADS	103658-6134 Vehicle Repair & Maintenance	AP021224	107.74	116175		00130136	02/15/2024
MW OH	NAPA AUTO PARTS V011456	BRAKE ROTOR	103658-6134 Vehicle Repair & Maintenance	AP021224	238.05	116420		00130136	02/15/2024
Check Total:					345.79				
MW OH	NAPA AUTO PARTS V012662	WHEEL BEARING, HUB ASSEMBLY	103658-6134 Vehicle Repair & Maintenance	AP021224	169.91	857870		00130137	02/15/2024
Check Total:					169.91				

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MW OH	ORANGE COUNTY V000699	OCEA PE2/3 PD2/9	0054-2176 PCEA/OCEA Assoc Dues	AP021224	0.38	PR2401003		00130138	02/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE2/3 PD2/9	0029-2176 PCEA/OCEA Assoc Dues	AP021224	8.38	PR2401003		00130138	02/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE2/3 PD2/9	0033-2176 PCEA/OCEA Assoc Dues	AP021224	12.51	PR2401003		00130138	02/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE2/3 PD2/9	0037-2176 PCEA/OCEA Assoc Dues	AP021224	14.64	PR2401003		00130138	02/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE2/3 PD2/9	0010-2176 PCEA/OCEA Assoc Dues	AP021224	504.90	PR2401003		00130138	02/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE2/3 PD2/9	0048-2176 PCEA/OCEA Assoc Dues	AP021224	9.63	PR2401003		00130138	02/15/2024
Check Total:					550.44				
MW OH	ORANGE COUNTY V011002	JAN CAPITAL FACILITIES CHARGE	100000-4364 Sanitation Collect Fees	AP021224	-443.01	2082024		00130139	02/15/2024
MW OH	ORANGE COUNTY V011002	JAN CAPITAL FACILITIES CHARGE	0044-2037 County Sanitation Dist Fee	AP021224	8,860.10	2082024		00130139	02/15/2024
Check Total:					8,417.09				
MW OH	ORANGE COUNTY V007306	OCT-DEC ANIMAL CARE SVS	103045-6280 Animal Control Services	AP021224	64,193.04	AC2490048	P12979	00130140	02/15/2024
Check Total:					64,193.04				
MW OH	PACIFIC COMPLIANCE V009292	TANK INSP/ SEC CONTAINMENT TES	103658-6137 Repair Maint/Equipment	AP021224	1,495.00	7343		00130141	02/15/2024
Check Total:					1,495.00				
MW OH	PACIFIC EMBROIDERY V008348	EMBROIDERY SVS	104071-6360 Uniforms	AP021224	142.10	90560		00130142	02/15/2024
MW OH	PACIFIC EMBROIDERY V008348	EMBROIDERY -CITY LOGO SHIRTS	103654-6301 Special Department Expenses	AP021224	132.50	90561		00130142	02/15/2024

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					Check Total:	274.60			
MW OH	PARKHOUSE TIRE INC V004472	TIRE REPLACEMENT	103658-6134 Vehicle Repair & Maintenance	AP021224	1,996.51	1020278945		00130143	02/15/2024
					Check Total:	1,996.51			
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE2/3 PD2/9	0029-2176 PCEA/OCEA Assoc Dues	AP021224	0.72	PR2401003		00130144	02/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE2/3 PD2/9	0048-2176 PCEA/OCEA Assoc Dues	AP021224	0.84	PR2401003		00130144	02/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE2/3 PD2/9	0054-2176 PCEA/OCEA Assoc Dues	AP021224	0.03	PR2401003		00130144	02/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE2/3 PD2/9	0010-2176 PCEA/OCEA Assoc Dues	AP021224	43.58	PR2401003		00130144	02/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE2/3 PD2/9	0033-2176 PCEA/OCEA Assoc Dues	AP021224	1.08	PR2401003		00130144	02/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE2/3 PD2/9	0037-2176 PCEA/OCEA Assoc Dues	AP021224	1.27	PR2401003		00130144	02/15/2024
					Check Total:	47.52			
MW OH	PETE'S ROAD SERVICE INC V000767	TIRE REPAIR	103658-6134 Vehicle Repair & Maintenance	AP021224	228.66	23-0724180-00		00130145	02/15/2024
MW OH	PETE'S ROAD SERVICE INC V000767	TIRE REPAIR	103658-6134 Vehicle Repair & Maintenance	AP021224	251.66	24-0733461-00		00130145	02/15/2024
					Check Total:	480.32			
MW OH	PRUDENTIAL OVERALL V000836	11/22 UNIFORM CLEANING SVS	103650-6360 Uniforms	AP021224	160.17	62864946	P12973	00130146	02/15/2024
MW OH	PRUDENTIAL OVERALL V000836	11/29 UNIFORM CLEANING SVS	103650-6360 Uniforms	AP021224	163.29	62866404	P12973	00130146	02/15/2024
					Check Total:	323.46			
MW OH	PSYCHOLOGICAL	PRE-EMPL. PSYCH EVAL	101512-6099	AP021224	462.00	526963		00130147	02/15/2024

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	V009259		Professional Services						
				Check Total:	462.00				
MW OH	QUADIENT INC V012611	FEB PARCEL PENDING SVS	103654-6301 Special Department Expenses	AP021224	136.86	60789678		00130148	02/15/2024
				Check Total:	136.86				
MW OH	RAMIREZ, DANIEL V012770	DAMAGE DEPOSIT REFUND	104071-4385 Facility Rental	AP021224	158.00	2003870.002		00130149	02/15/2024
				Check Total:	158.00				
MW OH	RAMLAOUI, HASAN V012771	PLAN CHECK FEE REFUND	102532-4160 Building Permits	AP021224	153.00	2052024		00130150	02/15/2024
				Check Total:	153.00				
MW OH	REVAR, TAYLOR V011038	PD TRAINING MEALS	213041-6250 Staff Training	AP021224	407.00	REVAR021224		00130151	02/15/2024
				Check Total:	407.00				
MW OH	SANDWOOD ENTERPRISES V009353	SANDBAGS	103652-6132 Repair & Maintenance/Streets	AP021224	1,376.90	OC231904336		00130152	02/15/2024
				Check Total:	1,376.90				
MW OH	SCA OF CA LLC V012501	JAN STREET SWEEPING	374386-6290 Dept. Contract Services	AP021224	14,073.54	2512219DS	P13119	00130153	02/15/2024
				Check Total:	14,073.54				
MW OH	SECO ELECTRIC & LIGHTING V010182	LIGHTING FOR IT ROOM	103654-6301 Special Department Expenses	AP021224	1,607.39	8463		00130154	02/15/2024
				Check Total:	1,607.39				
MW OH	SVA ARCHITECTS INC. V012625	JAN ARCHITECTURAL/ ENG SVS	109800-6850 / 105208-6850 Building & Facilities	AP021224	5,108.03	61615	P13031	00130155	02/15/2024
MW OH	SVA ARCHITECTS INC. V012625	JAN ARCHITECTURAL/ ENG SVS	799800-6850 / 795208-6850 Building & Facilities	AP021224	4,907.72	61615	P13031	00130155	02/15/2024

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				Check Total:	10,015.75				
MW OH	T-MOBILE USA V009215	GPS LOCATION SVS	103042-6290 Dept. Contract Services	AP021224	100.00	9549294063		00130156	02/15/2024
				Check Total:	100.00				
MW OH	TEAM ONE MANAGEMENT V010070	JAN PARK RESTROOMS JANITORIAL	104076-6290 Dept. Contract Services	AP021224	7,231.25	93594	P13060	00130157	02/15/2024
				Check Total:	7,231.25				
MW OH	THE BEE MAN V000117	BEE REMOVAL - 1019 FUCHSIA CIR	103654-6301 Special Department Expenses	AP021224	295.00	127117		00130158	02/15/2024
				Check Total:	295.00				
MW OH	TOTUM CORP V010229	NOV INSPECTION SVS - SIFI	103551-6099 Professional Services	AP021224	15,481.20	206352	P13087	00130159	02/15/2024
				Check Total:	15,481.20				
MW OH	TRENDWAY CORPORATION V012660	FILE CABINETS, COUNTER TOPS	675308-6850 / 675308-6850 Building & Facilities	AP021224	2,536.59	1003255	P13132	00130160	02/15/2024
MW OH	TRENDWAY CORPORATION V012660	WORKSTATION PANELS	675308-6850 / 675308-6850 Building & Facilities	AP021224	11,744.16	1003255	P13132	00130160	02/15/2024
				Check Total:	14,280.75				
MW OH	UNDERGROUND SERVICE V010637	JAN DIG ALERT SVS	484356-6301 Special Department Expenses	AP021224	265.50	120240526		00130161	02/15/2024
MW OH	UNDERGROUND SERVICE V010637	JAN CA STATE FEE REG COST	484356-6301 Special Department Expenses	AP021224	80.14	23-2424377		00130161	02/15/2024
				Check Total:	345.64				
MW OH	UNIQUE PRINTING V010259	PD BUSINESS CARDS	103041-6230 Printing & Binding	AP021224	69.06	45651		00130162	02/15/2024
				Check Total:	69.06				
MW OH	UNLIMITED	RETENTION - 207 W CHAPMAN AVE	682534-6099	AP021224	3,000.00	23-065-RET	P13192	00130163	02/15/2024

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	V009586		Professional Services						
				Check Total:	3,000.00				
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE2/3 PD2/9	0010-2126 Employee PARS/ARS W/H	AP021224	1,762.87	PR2401003		00130164	02/15/2024
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE2/3 PD2/9	0010-2131 Employer PARS/ARS Payable	AP021224	1,783.95	PR2401003		00130164	02/15/2024
				Check Total:	3,546.82				
MW OH	YORBA LINDA WATER V006633	JAN SEWER CHARGES	484356-6297 Billing Services	AP021224	1,068.33	558595		00130165	02/15/2024
				Check Total:	1,068.33				
MW OH	BELTRAN, JOSE V012773	MISSION SQ - LOAN PMT REFUND	0010-2140 Employee PERS W/H	AP021524	1,317.21	101915-051117		00130166	02/15/2024
MW OH	BELTRAN, JOSE V012773	MISSION SQ - LOAN PMT REFUND	0010-2150 Survivor Benefit Package	AP021524	38.13	101915-051117		00130166	02/15/2024
				Check Total:	1,355.34				
MW OH	BIG CITY SPARKLES V012772	REFUND - OVERPMT BL930001084	100000-4101 Business License Fees	AP021524	195.65	021224		00130167	02/15/2024
				Check Total:	195.65				
MW OH	ALLIANCE BUSINESS V011660	2/1-29 FD INTERNET FIBER LINE	109595-6215 Telephone/Internet	AP022024	2,027.94	3253076		00130174	02/22/2024
				Check Total:	2,027.94				
MW OH	AMERICAN CARNIVAL MARE V012775	EASTER EGGS - EGG HUNT	104071-6301 Special Department Expenses	AP022024	1,825.60	O-50349812		00130175	02/22/2024
				Check Total:	1,825.60				
MW OH	AMTECH ELEVATOR V012616	JAN ELEVATOR MAINTENANCE SVS	103654-6290 Dept. Contract Services	AP022024	356.00	151401455396	P13013	00130176	02/22/2024
				Check Total:	356.00				

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MW OH	ANAHEIM EMBROIDERY INCSWAT NEGOTIATOR SHIRT V003751		103041-6360 Uniforms	AP022024	80.81 6060		00130177	02/22/2024
					Check Total:	80.81		
MW OH	AT & T V008736	1/27-2/26 POWELL BLDG INT	109595-6215 Telephone/Internet	AP022024	95.59 24-FEB		00130178	02/22/2024
MW OH	AT & T V008736	2/1-29 PD IMPOUND YARD INTERNE	109595-6215 Telephone/Internet	AP022024	63.49 24-FEB		00130178	02/22/2024
					Check Total:	159.08		
MW OH	AT&T V004144	DEC-JAN PHONE CHARGES	109595-6215 Telephone/Internet	AP022024	617.67 021324		00130179	02/22/2024
MW OH	AT&T V004144	DEC-JAN PHONE CHARGES	109595-6215 / 21009-6215 Telephone/Internet	AP022024	14.68 021324		00130179	02/22/2024
MW OH	AT&T V004144	DEC-JAN PHONE CHARGES	296561-6215 Telephone/Internet	AP022024	88.08 021324		00130179	02/22/2024
					Check Total:	720.43		
MW OH	AT&T MOBILITY V011025	1/11-2/10 PW FIRSTNET	109595-6215 Telephone/Internet	AP022024	1,476.79 22688344		00130180	02/22/2024
MW OH	AT&T MOBILITY V011025	1/11-2/10 PW OUTSRA INTERNET S	109595-6215 Telephone/Internet	AP022024	40.24 22688344		00130180	02/22/2024
MW OH	AT&T MOBILITY V011025	1/11-2/10 CS DEVICES INTERNET	109595-6215 Telephone/Internet	AP022024	401.00 22688344		00130180	02/22/2024
MW OH	AT&T MOBILITY V011025	1/11-2/10 ADMIN INTERNET SVS	109595-6215 Telephone/Internet	AP022024	100.99 22688344		00130180	02/22/2024
					Check Total:	2,019.02		
MW OH	BEAR ELECTRICAL V010997	AUG- TS ROUTINE MAINT SVS	103590-6099 Professional Services	AP022024	3,042.45 20266	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	AUG- TS ROUTINE MAINT SVS	103590-6099 / 21011-6099 Professional Services	AP022024	85.00 20266	P13120	00130181	02/22/2024

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MW OH	BEAR ELECTRICAL V010997	AUG- TS ROUTINE MAINT SVS	103590-6099 / 21010-6099 Professional Services	AP022024	120.05	20266	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	AUG- TS ROUTINE MAINT SVS	103590-6099 / 21009-6099 Professional Services	AP022024	242.50	20266	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	SEP - TS ROUTINE MAINT SVS	103590-6099 Professional Services	AP022024	3,212.45	20486	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	SEP - TS ROUTINE MAINT SVS	103590-6099 / 21009-6099 Professional Services	AP022024	247.50	20486	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	SEP - TS ROUTINE MAINT SVS	103590-6099 / 21010-6099 Professional Services	AP022024	120.05	20486	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	SEP - TS ROUTINE MAINT SVS	103590-6099 / 21011-6099 Professional Services	AP022024	85.00	20486	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	OCT- TS RESPONSE MAINT SVS	103590-6099 Professional Services	AP022024	4,055.43	20812	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	OCT- TS RESPONSE MAINT SVS	103590-6099 / 21011-6099 Professional Services	AP022024	270.00	20812	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	OCT- TS RESPONSE MAINT SVS	103590-6099 / 21010-6099 Professional Services	AP022024	278.50	20812	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	NOV- TS RESPONSE MAINT SVS	103590-6099 / 21010-6099 Professional Services	AP022024	597.50	21111	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	NOV- TS RESPONSE MAINT SVS	103590-6099 / 21009-6099 Professional Services	AP022024	423.75	21111	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	NOV- TS RESPONSE MAINT SVS	103590-6099 Professional Services	AP022024	6,205.75	21111	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	NOV- TS RESPONSE MAINT SVS	103590-6099 / 21011-6099 Professional Services	AP022024	150.00	21111	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	DEC- TS RESPONSE MAINT SVS	103590-6099 Professional Services	AP022024	1,995.00	21288	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL	DEC- TS RESPONSE MAINT SVS	103590-6099 / 21009-6099	AP022024	90.00	21288	P13120	00130181	02/22/2024

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	V010997		Professional Services						
MW OH	BEAR ELECTRICAL V010997	DEC- TS RESPONSE MAINT SVS	103590-6099 / 21010-6099 Professional Services	AP022024	350.00	21288	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	DEC - TS ROUTINE MAINT SVS	103590-6099 Professional Services	AP022024	3,212.45	21289	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	DEC - TS ROUTINE MAINT SVS	103590-6099 / 21011-6099 Professional Services	AP022024	85.00	21289	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	DEC - TS ROUTINE MAINT SVS	103590-6099 / 21010-6099 Professional Services	AP022024	120.05	21289	P13120	00130181	02/22/2024
MW OH	BEAR ELECTRICAL V010997	DEC - TS ROUTINE MAINT SVS	103590-6099 / 21009-6099 Professional Services	AP022024	247.50	21289	P13120	00130181	02/22/2024
Check Total:					25,235.93				
MW OH	BOA ARCHITECTURE V010118	11/18 CH ARCH DESIGN SVS	109800-6850 / 105307-6850 Building & Facilities	AP022024	200.00	213-3011-4	P13073	00130182	02/22/2024
MW OH	BOA ARCHITECTURE V010118	11/28 CH -ARCH. DESIGN SVS	795307-6850 / 105307-6850 Building & Facilities	AP022024	780.00	213-3011-4	P13073	00130182	02/22/2024
MW OH	BOA ARCHITECTURE V010118	1/18 CH ARCH. DESIGN SVS	109800-6850 / 105307-6850 Building & Facilities	AP022024	3,000.00	23-3011-5	P13073	00130182	02/22/2024
MW OH	BOA ARCHITECTURE V010118	ARCHITECTURAL/ENG DESIGN SVS	795106-6850 Building & Facilities	AP022024	13,637.00	20-2916-2	P13301	00130182	02/22/2024
MW OH	BOA ARCHITECTURE V010118	ARCHITECTURAL/ENG DESIGN SVS	105106-6850 Building & Facilities	AP022024	10,063.00	20-2916-2	P13301	00130182	02/22/2024
Check Total:					27,680.00				
MW OH	CALMAT CO. V010007	PAVING MATERIALS	103652-6301 Special Department Expenses	AP022024	29.74	457911	P13098	00130183	02/22/2024
MW OH	CALMAT CO. V010007	PAVING MATERIALS	103652-6301 Special Department Expenses	AP022024	456.71	73910485	P13098	00130183	02/22/2024
MW OH	CALMAT CO.	PAVING MATERIALS	103652-6301	AP022024	451.19	73910486	P13098	00130183	02/22/2024

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	V010007		Special Department Expenses						
				Check Total:	937.64				
MW OH	CARPENTER ROTHANS & V012176	LITIGATION FEES	404582-6006 Litigation	AP022024	41.00	44426		00130184	02/22/2024
				Check Total:	41.00				
MW OH	CENTURY BUSINESS V010180	10/28-1/27 TONER DELIVERY SHIP	109595-6175 Office Equipment Rental	AP022024	75.00	AR52767		00130185	02/22/2024
				Check Total:	75.00				
MW OH	CHARTER COMMUNICATIONS V004450	24-2/24 PS INTERNET SVS	109595-6215 Telephone/Internet	AP022024	717.93	0034466012624		00130186	02/22/2024
MW OH	CHARTER COMMUNICATIONS V004450	24-2/24 CH INTERNET SVS	109595-6215 Telephone/Internet	AP022024	1,171.53	0347700012524		00130186	02/22/2024
MW OH	CHARTER COMMUNICATIONS V004450	24-2/24 WHITTEN CTR INTERNET	109595-6215 Telephone/Internet	AP022024	607.06	0347726012524		00130186	02/22/2024
MW OH	CHARTER COMMUNICATIONS V004450	26-2/25 PW YARD INTERNET	109595-6215 Telephone/Internet	AP022024	607.06	03478158012624		00130186	02/22/2024
				Check Total:	3,103.58				
MW OH	CHARTER COMMUNICATIONS V012060	25-1-29 GOMEZ CTR INTERNET	109595-6215 Telephone/Internet	AP022024	54.37	12228860102012		00130187	02/22/2024
				Check Total:	54.37				
MW OH	CHAVEZ, JUANITA V012774	DAMAGE DEPOSIT REFUND R3630	104071-4385 Facility Rental	AP022024	158.00	2003884.002		00130188	02/22/2024
				Check Total:	158.00				
MW OH	CITY OF BREA V000125	PW BUSINESS CARDS	103550-6230 Printing & Binding	AP022024	32.13	ASR0000305		00130189	02/22/2024
				Check Total:	32.13				
MW OH	COMLOCK	SECURITY SYST SERVICES	104079-6301	AP022024	265.00	829384		00130190	02/22/2024

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	V003166		Special Department Expenses						
				Check Total:	265.00				
MW OH	COSTAR REALTY V012340	FEB REAL ESTATE/PROP DATA	109595-6999 Other Expenditure	AP022024	567.00	119156153-1	P13206	00130191	02/22/2024
				Check Total:	567.00				
MW OH	DATA TICKET INC. V006119	JAN CITATION PROCESSING	102533-6290 Dept. Contract Services	AP022024	2,659.00	161250	P13114	00130192	02/22/2024
				Check Total:	2,659.00				
MW OH	DAVID VOLZ DESIGN V008863	NOV LANDSCAPE/ ARCHITECT SVS	637902-6760 / 637902-6760 Infrastructure - Parks	AP022024	3,470.00	422631	P13265	00130193	02/22/2024
				Check Total:	3,470.00				
MW OH	DEPARTMENT OF JUSTICE V000213	JAN LIVESCAN PROCESSING	0044-2053 DOJ Livescan	AP022024	32.00	713009		00130194	02/22/2024
MW OH	DEPARTMENT OF JUSTICE V000213	JAN LIVESCAN PROCESSING	0044-2054 FBI Livescan	AP022024	15.00	713009		00130194	02/22/2024
MW OH	DEPARTMENT OF JUSTICE V000213	JAN LIVESCAN PROCESSING	101512-6099 Professional Services	AP022024	64.00	713009		00130194	02/22/2024
				Check Total:	111.00				
MW OH	DOOLEY ENTERPRISES INC. V000347	INC.AMMUNITION	103043-6162 Range Training	AP022024	2,366.46	67292		00130195	02/22/2024
				Check Total:	2,366.46				
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	31.98	102-203928	P13045	00130196	02/22/2024
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	6.31	102-204708	P13045	00130196	02/22/2024
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	24.77	102-204726	P13045	00130196	02/22/2024
MW OH	FACTORY MOTOR PARTS	PARTS	103658-6134	AP022024	176.26	102-204737	P13045	00130196	02/22/2024

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	V010842		Vehicle Repair & Maintenance						
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	89.43	102-204832	P13045	00130196	02/22/2024
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	40.99	11-1980878	P13045	00130196	02/22/2024
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	391.90	12-2763487	P13045	00130196	02/22/2024
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	15.70	12-5759240	P13045	00130196	02/22/2024
MW OH	FACTORY MOTOR PARTS V010842	PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	64.24	12-5759519	P13045	00130196	02/22/2024
Check Total:					841.58				
MW OH	FAIRWAY FORD V000376	JAN PLACENTIA VH REBATE PROG	101534-6363 Resident Vehicle Rebate Prog	AP022024	5,500.00	24-JAN		00130197	02/22/2024
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	125.25	284056		00130197	02/22/2024
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	94.82	284953		00130197	02/22/2024
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	60.50	285408		00130197	02/22/2024
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	188.41	285412		00130197	02/22/2024
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	441.12	285417		00130197	02/22/2024
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	-252.71	285445		00130197	02/22/2024
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	152.52	285446		00130197	02/22/2024
MW OH	FAIRWAY FORD	CITY VEHICLE PARTS	103658-6134	AP022024	78.13	385722		00130197	02/22/2024

User: Gabriela Calin

Report: AP1400M <3.01>: AP: Warrant List - Machine

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	V000376		Vehicle Repair & Maintenance						
MW OH	FAIRWAY FORD V000376	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	100.00	C13994		00130197	02/22/2024
					Check Total:	6,488.04			
MW OH	FM THOMAS AIR V010634	BACK'S BLDG - AC REPAIR	104076-6139 Repair/Maint - Parks & Fields	AP022024	7,699.12	46085	P13303	00130198	02/22/2024
					Check Total:	7,699.12			
MW OH	FOUNTAINHEAD V012624	NOV CONSTUCRTION MGMT SVS	799800-6740 / 791301-6740 Infrastructure - Streets	AP022024	13,640.00	2023-11-ST.	P13298	00130199	02/22/2024
MW OH	FOUNTAINHEAD V012624	DEC CONSTUCRTION MGMT SVS	799800-6740 / 791301-6740 Infrastructure - Streets	AP022024	21,700.00	2023-12-ST. REHP	P13298	00130199	02/22/2024
					Check Total:	35,340.00			
MW OH	GEOCON WEST INC V011765	SEP GEOTECHNICAL ENG SVS	109800-6850 / 105213-6850 Building & Facilities	AP022024	6,900.00	723100057	P13077	00130200	02/22/2024
					Check Total:	6,900.00			
MW OH	GLASBY MAINT. SUPPLY V000445	COJANITORIAL SUPPLIES	103654-6301 Special Department Expenses	AP022024	210.92	339394A		00130201	02/22/2024
MW OH	GLASBY MAINT. SUPPLY V000445	COJANITORIAL SUPPLIES	103654-6301 Special Department Expenses	AP022024	2,158.63	339515A		00130201	02/22/2024
					Check Total:	2,369.55			
MW OH	GOLDEN STATE WATER V000928	DEC-JAN WATER CHARGES	109595-6335 Water	AP022024	2,668.40	021324		00130202	02/22/2024
MW OH	GOLDEN STATE WATER V000928	DEC-JAN WATER CHARGES	109595-6335 Water	AP022024	2,093.47	021324		00130202	02/22/2024
MW OH	GOLDEN STATE WATER V000928	DEC-JAN WATER CHARGES	296561-6335 Water	AP022024	186.99	021324		00130202	02/22/2024
					Check Total:	4,948.86			
MW OH	GOLDEN WEST COLLEGE	FACILITY RENT - PD AGILITY TES	103041-6160	AP022024	840.00	2024-AAGTNL		00130203	02/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012177		Facility Rental						
				Check Total:	840.00				
MW OH	HR GREEN PACIFIC INC V010735	JAN ENG & LANDSCAPE DESIGN	799202-6770 / 229999-6770 Infrastructure - Major Studies	AP022024	19,329.11	171632	P13078	00130204	02/22/2024
MW OH	HR GREEN PACIFIC INC V010735	JAN ENG & LANDSCAPE DESIGN	109202-6770 / 229999-6770 Infrastructure - Major Studies	AP022024	19,830.35	171632	P13078	00130204	02/22/2024
				Check Total:	39,159.46				
MW OH	INFRASTRUCTURE V012600	JAN PROJECT MGMT SVS	331801-6740 / 331801-6740 Infrastructure - Streets	AP022024	10,152.00	475	P12987	00130205	02/22/2024
				Check Total:	10,152.00				
MW OH	INFRASTRUCTURE V011245	DEC ARCHITECTURAL/ENG DESIGN	102532-6290 Dept. Contract Services	AP022024	8,625.00	28989	P13167	00130206	02/22/2024
				Check Total:	8,625.00				
MW OH	JMDIAZ INC V011920	JAN ENG. & RAILROAD SVS	103551-6017 Special Studies	AP022024	4,885.00	002-24-015	P13280	00130207	02/22/2024
				Check Total:	4,885.00				
MW OH	KOA HILLS CONSULTING LLC V011519	022-26 CONSULTING SVS	102020-6099 Professional Services	AP022024	3,412.50	10381-A	P13026	00130208	02/22/2024
				Check Total:	3,412.50				
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - VEST CARRIERS	103041-6360 Uniforms	AP022024	964.83	INV772080		00130209	02/22/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - PLATE CARRIER	103041-6360 Uniforms	AP022024	998.75	INV773355		00130209	02/22/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - ID PATCHES	103041-6360 Uniforms	AP022024	95.16	INV775271		00130209	02/22/2024
				Check Total:	2,058.74				
MW OH	MARIPOSA LANDSCAPES INC	MEDIAN PLANTING	101009-6740 / 101009-6740	AP022024	46,299.17	106456	P13161	00130210	02/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V000647		Infrastructure - Streets						
MW OH	MARIPOSA LANDSCAPES INC V000647	ARKWAY PLANTING	101009-6740 / 101009-6740 Infrastructure - Streets	AP022024	53,330.63	106456	P13161	00130210	02/22/2024
Check Total:					99,629.80				
MW OH	MC FADDEN-DALE V000635	VEHICLE MAINT. SUPPLIES	103654-6301 Special Department Expenses	AP022024	43.53	537187/5		00130211	02/22/2024
MW OH	MC FADDEN-DALE V000635	CITY VEHICLE PARTS	103654-6301 Special Department Expenses	AP022024	50.42	537284/5		00130211	02/22/2024
MW OH	MC FADDEN-DALE V000635	PW FACILITIES SUPPLIES	103654-6301 Special Department Expenses	AP022024	62.28	537499/5		00130211	02/22/2024
Check Total:					156.23				
MW OH	MKC PRINTING V012722	2023/24 PYB COACHES T-SHIRTS	104071-6301 / 79376-6301 Special Department Expenses	AP022024	225.00	1046		00130212	02/22/2024
Check Total:					225.00				
MW OH	NAPA AUTO PARTS V011456	CITY VEHICLE PARTS	103658-6134 Vehicle Repair & Maintenance	AP022024	122.82	116180		00130213	02/22/2024
Check Total:					122.82				
MW OH	NAPA AUTO PARTS V012662	VEHICLE MAINT. SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP022024	85.41	856466		00130214	02/22/2024
MW OH	NAPA AUTO PARTS V012662	VEHICLE MAINT. SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP022024	46.05	856566		00130214	02/22/2024
MW OH	NAPA AUTO PARTS V012662	VEHICLE MAINT. SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP022024	-3.52	856634		00130214	02/22/2024
MW OH	NAPA AUTO PARTS V012662	VEHICLE MAINT. SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP022024	228.96	858669		00130214	02/22/2024
MW OH	NAPA AUTO PARTS V012662	VEHICLE MAINT. SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP022024	22.22	858926		00130214	02/22/2024
Check Total:					379.12				

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	OMEGA INDUSTRIAL SUPPLY V011740	GRAFFITI REMOVER	103652-6132 Repair & Maintenance/Streets	AP022024	512.40	154899		00130215	02/22/2024
					Check Total:	512.40			
MW OH	PARKHOUSE TIRE INC V004472	TIRES FOR CITY VEHICLE	103658-6134 Vehicle Repair & Maintenance	AP022024	431.10	1020279299		00130216	02/22/2024
					Check Total:	431.10			
MW OH	PLACEWORKS V012423	JAN PROFESSIONAL SVS	509104-6017 / 509104-6017 Special Studies	AP022024	1,916.98	83143	P13054	00130217	02/22/2024
					Check Total:	1,916.98			
MW OH	POWERSTRIDE BATTERY CO V000785	BATTERY REPAIR	103658-6134 Vehicle Repair & Maintenance	AP022024	431.68	C69066		00130218	02/22/2024
					Check Total:	431.68			
MW OH	RHA LANDSCAPE V011993	12/26-1/25 LA PLACITA PARKETTE	507911-6760 / 507911-6760 Infrastructure - Parks	AP022024	1,145.00	01312034	P13100	00130219	02/22/2024
					Check Total:	1,145.00			
MW OH	RJ NOBLE COMPANY V006779	DEC CONSTRUCTION SVS	179800-2046 / 171301-2046 Retentions Payable	AP022024	-15,105.86	238350		00130220	02/22/2024
MW OH	RJ NOBLE COMPANY V006779	DEC CONSTRUCTION SVS	189800-2046 / 181301-2046 Retentions Payable	AP022024	-15,105.86	238350		00130220	02/22/2024
MW OH	RJ NOBLE COMPANY V006779	DEC CONSTRUCTION SVS	609800-2046 / 601301-2046 Retentions Payable	AP022024	-15,105.86	238350		00130220	02/22/2024
MW OH	RJ NOBLE COMPANY V006779	DEC CONSTRUCTION SVS	799800-2046 / 791301-2046 Retentions Payable	AP022024	-5,035.29	238350		00130220	02/22/2024
MW OH	RJ NOBLE COMPANY V006779	DEC CONSTRUCTION SVS	179800-6740 / 171301-6740 Infrastructure - Streets	AP022024	302,117.25	238350	P13305	00130220	02/22/2024
MW OH	RJ NOBLE COMPANY V006779	DEC CONSTRUCTION SVS	189800-6740 / 181301-6740 Infrastructure - Streets	AP022024	302,117.25	238350	P13305	00130220	02/22/2024
MW OH	RJ NOBLE COMPANY	DEC CONSTRUCTION SVS	609800-6740 / 601301-6740	AP022024	302,117.25	238350	P13305	00130220	02/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V006779		Infrastructure - Streets						
MW OH	RJ NOBLE COMPANY V006779	DEC CONSTRUCTION SVS	799800-6740 / 791301-6740 Infrastructure - Streets	AP022024	100,705.75	238350	P13305	00130220	02/22/2024
				Check Total:	956,704.63				
MW OH	RP LAURAIN & ASSOCIATES V010868	APPRAISAL SVS - PLACENTIA/IND	101534-6099 Professional Services	AP022024	1,200.00	10127		00130221	02/22/2024
				Check Total:	1,200.00				
MW OH	SO CAL GAS V000909	DEC-JAN GAS CHARGES	109595-6340 Natural Gas	AP022024	1,819.21	021224		00130222	02/22/2024
				Check Total:	1,819.21				
MW OH	SOUTHERN CALIFORNIA V000910	DEC-JAN ELECTRIC CHARGES	296561-6330 Electricity	AP022024	1,953.14	020724		00130223	02/22/2024
MW OH	SOUTHERN CALIFORNIA V000910	DEC-JAN ELECTRIC CHARGES	109595-6330 Electricity	AP022024	32,049.91	020724		00130223	02/22/2024
MW OH	SOUTHERN CALIFORNIA V000910	DEC-JAN ELECTRIC CHARGES	109595-6330 / 21009-6330 Electricity	AP022024	55.14	020724		00130223	02/22/2024
				Check Total:	34,058.19				
MW OH	SUBURBAN PROPANE V000971	PROPANE	103658-6345 Gasoline & Diesel Fuel	AP022024	24.65	307103		00130224	02/22/2024
MW OH	SUBURBAN PROPANE V000971	PROPANE	103658-6345 Gasoline & Diesel Fuel	AP022024	14.15	308805		00130224	02/22/2024
MW OH	SUBURBAN PROPANE V000971	PROPANE	103658-6345 Gasoline & Diesel Fuel	AP022024	76.37	308983		00130224	02/22/2024
				Check Total:	115.17				
MW OH	T-MOBILE USA V009215	GPS LOCATION - DR24-00307	103042-6290 Dept. Contract Services	AP022024	100.00	9559281861		00130225	02/22/2024
				Check Total:	100.00				
MW OH	TALX UC eXpress	1/1-31 UNEMPL. CASE MGMT FEE	404581-6025	AP022024	225.00	2058967945		00130226	02/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V002944		Third Party Administration						
				Check Total:	225.00				
MW OH	TECHNICOLOR PRINTING V010386	AQUATICS T-SHIRTS	104071-6360 Uniforms	AP022024	600.12	8091		00130227	02/22/2024
				Check Total:	600.12				
MW OH	THINKSUPPLIES.COM V007047	OFFICE SUPPLIES	109595-6315 Office Supplies	AP022024	73.08	70410		00130228	02/22/2024
MW OH	THINKSUPPLIES.COM V007047	PAPER	109595-6315 Office Supplies	AP022024	217.46	70435		00130228	02/22/2024
				Check Total:	290.54				
MW OH	TOWNSEND PUBLIC AFFAIRS V004165	FEB CONSULTING SVS	101001-6001 Management Consulting Services	AP022024	5,500.00	21129	P13285	00130229	02/22/2024
				Check Total:	5,500.00				
MW OH	TRILLIUM CNG (1720) V007952	JAN CNG FUEL	103658-6345 Gasoline & Diesel Fuel	AP022024	50.55	24210793		00130230	02/22/2024
				Check Total:	50.55				
MW OH	YORBA LINDA WATER V001148	DEC-JAN WATER CHARGES	109595-6335 Water	AP022024	2,861.81	020824		00130231	02/22/2024
				Check Total:	2,861.81				
MW OH	ALVAREZ, CYNTHIA V012777	2024 CPRS EXP - C. ALVAREZ	104071-6245 Meetings & Conferences	AP022624	442.28	2202024		00130232	02/26/2024
				Check Total:	442.28				
MW OH	BRAND, MATTHEW V010065	2024 CPRS EXP - M. BRAND	104071-6245 Meetings & Conferences	AP022624	411.85	2202024		00130233	02/26/2024
				Check Total:	411.85				
MW OH	CROCKER, KAREN V012506	2024 CPRS EXP - C. CROKER	104070-6245 Meetings & Conferences	AP022624	312.30	2202024		00130234	02/26/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
				Check Total:	312.30				
MW OH	ESCOBEDO, DANIELA V012778	2024 CPRS EXP - D. ESCOBEDO	104071-6245 Meetings & Conferences	AP022624	516.97	2202024		00130235	02/26/2024
				Check Total:	516.97				
MW OH	MUNOZ CARILLO, AILEEN V010724	2024 CPRS EXP - A. MUNOZ	104071-6245 Meetings & Conferences	AP022624	490.17	2202024		00130236	02/26/2024
				Check Total:	490.17				
MW OH	ORTIZ, VERONICA V004409	2024 CPRS EXP - V. ORTIZ	104071-6245 Meetings & Conferences	AP022624	522.97	2202024		00130237	02/26/2024
				Check Total:	522.97				
MW OH	RODRIGUEZ, EDWARD V003419	2024 CPRS EXP - E. RODRIGUEZ	104071-6245 Meetings & Conferences	AP022624	574.97	2202024		00130238	02/26/2024
				Check Total:	574.97				
MW OH	ZAMBRANO, FELIPE V003496	2024 CPRS EXP - F. ZANBRANO	104071-6245 Meetings & Conferences	AP022624	430.15	2202024		00130239	02/26/2024
				Check Total:	430.15				
				Type Total:	1,875,679.11				
				Check Total:	1,875,679.11				

City of Placentia
ACH Check Register
For 03/05/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
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Grand Total: 1,426,108.78

Check Totals by ID

AP	1,426,108.78
EP	0.00
IP	0.00
OP	0.00

Void Total: 0.00

Check Total: 1,426,108.78

Fund Name	<u>Check Totals by Fund</u>
101-General Fund (0010)	710,841.99
117-Measure U Fund (0079)	107.74
208-Scssr Agency Ret Oblg (0054)	1,415.14
211-PEG Fund (0058)	830.17
225-Asset Seizure (0021)	2,052.84
227-Explorer Grant NOC (0076)	5,534.58
231-Placentia Reg Nav Cent(0078)	3,512.98
265-Landscape Maintenance (0029)	1,704.93
275-Sewer Maintenance (0048)	7,022.65
280-Misc Grants Fund (0050)	3,066.18
282-CalRecycle Grant (0083)	87.60
401-City Capital Projects (0033)	7,514.84
501-Refuse Administration (0037)	359,916.38
601-Employee Health & Wlfre (0039)	319,577.26
605-Risk Management (0040)	2,923.50
Check Total:	1,426,108.78

ACH Payroll Direct Deposit for 02/23/2024: 606,662.12

Electronic Disbursement Total: 2,032,770.90

Funds will be transferred from the Cash Basis Fund as needed to fund the warrants included on this warrant register

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For 02/27/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	ELAN CORPORATE PAYMENTS V012768	SANDBAGS	103066-6044 Credit Card Disputes	ELAN0923	355.58	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SANDBAGS (WRONG CARD USED)	103066-6044 Credit Card Disputes	ELAN0923	0.65	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CREDIT: SANDBAGS (WRONG CARD)	103066-6044 Credit Card Disputes	ELAN0923	-0.65	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN0923	95.39	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN0923	99.81	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TRUCK CLEANING SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN0923	33.90	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TRUCK WINDOW TINT REPLACE	104076-6130 Repair & Maint/Facilities	ELAN0923	50.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	237.31	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY YARD MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	29.28	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	19.42	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PD MAINTENANCE SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	188.28	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SPORTS COMPLEX	103654-6130 Repair & Maint/Facilities	ELAN0923	59.56	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL	103654-6130 Repair & Maint/Facilities	ELAN0923	95.21	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY YARD MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	159.78	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES	103654-6130	ELAN0923	161.55	SEPTEMBER202		00130168	02/15/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT V012768	MAINTENANCE SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	33.28	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WHITTEN CENTER MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	57.54	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	44.74	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	277.15	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	69.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINTENANCE SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	41.90	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	401.13	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	232.48	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BACKS BLDG SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	191.65	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FW MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	288.97	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINTENANCE SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN0923	27.44	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRUCK BACK RACK	103658-6134 Vehicle Repair & Maintenance	ELAN0923	623.54	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LIGHTS FOR TRUCK	103658-6134 Vehicle Repair & Maintenance	ELAN0923	217.45	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ASE RENEWAL FEES	103658-6134 Vehicle Repair & Maintenance	ELAN0923	48.00	SEPTEMBER202		00130168	02/15/2024

City of Placentia
Check Register
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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	ELAN CORPORATE PAYMENTS V012768	STROKE LIGHTS	103658-6134 Vehicle Repair & Maintenance	ELAN0923	32.52	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TRUCK LIGHT BAR	103658-6134 Vehicle Repair & Maintenance	ELAN0923	217.45	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PD CAR WINDSHIELD REPLACED	103658-6134 Vehicle Repair & Maintenance	ELAN0923	577.80	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	NEW TIRES FOR POLICE CHIEF	103658-6134 Vehicle Repair & Maintenance	ELAN0923	116.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BED LINER FOR NEW PW TRUCK	103658-6134 Vehicle Repair & Maintenance	ELAN0923	575.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	WHEEL ALIGNMENT FOR PD CHIEF	103658-6134 Vehicle Repair & Maintenance	ELAN0923	109.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	STROKE LIGHTS	103658-6134 Vehicle Repair & Maintenance	ELAN0923	32.52	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	LIGHTS FOR TRUCK	103658-6134 Vehicle Repair & Maintenance	ELAN0923	217.45	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	AUTO EXPENSES	103658-6134 Vehicle Repair & Maintenance	ELAN0923	320.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TRUCK DOORS TINT	104076-6134 Vehicle Repair & Maintenance	ELAN0923	320.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN0923	61.85	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	WARRANT BUILDER ACCESS - TITUS	03041-6136 Software Maintenance	ELAN0923	257.78	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PW MANAGER JOB ADVERTISEMENT	01512-6225 Advertising/Promotional	ELAN0923	300.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FIRE PREVENTION SUPPLIES	103067-6230 Printing & Binding	ELAN0923	693.50	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS	APCO CONFERENCE MEAL	101515-6235	ELAN0923	27.14	SEPTEMBER202		00130168	02/15/2024

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	V012768		Travel						
MW OH	ELAN CORPORATE PAYMENT V012768	APCO CONFERENCE HOTEL FEE	101515-6235 Travel	ELAN0923	1,506.30	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	APCO CONFERENCE MEAL	101515-6235 Travel	ELAN0923	20.85	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	101001-6235 Travel	ELAN0923	756.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	101001-6235 Travel	ELAN0923	664.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CREDIT-FLIGHT CHANGE	101001-6235 Travel	ELAN0923	-451.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CREDIT-FLIGHT CHANGE	101001-6235 Travel	ELAN0923	-451.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	101511-6235 Travel	ELAN0923	756.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TSCA REG - K. TAO	103590-6245 Meetings & Conferences	ELAN0923	500.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LEAGUE OF CITIES	104070-6245 Meetings & Conferences	ELAN0923	200.98	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	101001-6245 Meetings & Conferences	ELAN0923	89.15	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN0923	242.35	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR STAFF MEETING	104071-6245 Meetings & Conferences	ELAN0923	15.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR STAFF MEETING	104071-6245 Meetings & Conferences	ELAN0923	23.50	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR STAFF MEETING	104071-6245 Meetings & Conferences	ELAN0923	10.24	SEPTEMBER202		00130168	02/15/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR STAFF MEETING	104071-6245 Meetings & Conferences	ELAN0923	49.43	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING EXPENSES	104071-6245 Meetings & Conferences	ELAN0923	75.74	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR STAFF MEETING	104071-6245 Meetings & Conferences	ELAN0923	30.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	101511-6245 Meetings & Conferences	ELAN0923	47.42	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	101511-6245 Meetings & Conferences	ELAN0923	46.64	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CW EE TRAINING REFRESHMENTS	101512-6245 Meetings & Conferences	ELAN0923	123.56	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CW EE TRAINING REFRESHMENTS	101512-6245 Meetings & Conferences	ELAN0923	12.91	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CALPELRA -TRAINING CONFERENCE	01512-6245 Meetings & Conferences	ELAN0923	852.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR DEPT MEETING LUNCH	101512-6245 Meetings & Conferences	ELAN0923	100.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	102020-6245 Meetings & Conferences	ELAN0923	388.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL - LEAGUE OF CA CIT. CON	103550-6245 Meetings & Conferences	ELAN0923	174.01	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	102531-6245 Meetings & Conferences	ELAN0923	15.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	102531-6245 Meetings & Conferences	ELAN0923	15.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	APA CALI - MEMBERSHIP FEE	102531-6245 Meetings & Conferences	ELAN0923	725.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT	TRAVEL EXPENSES	102531-6245	ELAN0923	197.80	SEPTEMBER202		00130168	02/15/2024

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	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT V012768	APA CALI - MEMBERSHIP FEE	102531-6245 Meetings & Conferences	ELAN0923	725.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	102531-6245 Meetings & Conferences	ELAN0923	15.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	102531-6245 Meetings & Conferences	ELAN0923	15.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING EXPENSES	102531-6245 Meetings & Conferences	ELAN0923	167.44	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	102531-6245 Meetings & Conferences	ELAN0923	197.80	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LUNCH MEETING MEALS	103040-6245 Meetings & Conferences	ELAN0923	77.16	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	STRATEGIC PLAN MTG MEALS	103040-6245 Meetings & Conferences	ELAN0923	85.06	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL - LEAGUE OF CA CIT. CON	103550-6245 Meetings & Conferences	ELAN0923	564.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SWANA WORKSHOP FEE	103550-6245 Meetings & Conferences	ELAN0923	109.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING: ROESTI/CHIEF ADAMS	103066-6245 Meetings & Conferences	ELAN0923	13.51	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKSHOP BREAKFAST	103066-6245 Meetings & Conferences	ELAN0923	83.37	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKSHOP LUNCH	103066-6245 Meetings & Conferences	ELAN0923	152.42	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKSHOP BREAKFAST	103066-6245 Meetings & Conferences	ELAN0923	40.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MISAC MEMBERSHIP	101523-6245 Meetings & Conferences	ELAN0923	675.00	SEPTEMBER202		00130168	02/15/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	DOBINE FLIGHT: LEAGUE OF CA	103065-6245 Meetings & Conferences	ELAN0923	460.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EXECUTIVE OFFICER CLASSES	103065-6245 Meetings & Conferences	ELAN0923	755.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EXECUTIVE OFFICER CLASSES	103065-6245 Meetings & Conferences	ELAN0923	1,005.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PRIORITY DISPATCH	103065-6245 Meetings & Conferences	ELAN0923	365.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LUNCH: DOBINE, RAMIREZ, LYNCH	103065-6245 Meetings & Conferences	ELAN0923	67.90	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ARREST OPERATIONS MTG MEALS	103042-6245 Meetings & Conferences	ELAN0923	238.26	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG - MARTINEZ	103042-6250 Staff Training	ELAN0923	105.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG - REVARD	103042-6250 Staff Training	ELAN0923	105.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING - TITUS	103042-6250 Staff Training	ELAN0923	131.84	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CLETS TRAINING REG - GRIFFITH	103043-6250 Staff Training	ELAN0923	250.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CLETS TRAINING REG - GRIFFITH	103043-6250 Staff Training	ELAN0923	250.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RECORDS TRAINING REG - GRIFFIT	103043-6250 Staff Training	ELAN0923	250.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CREDIT - CLETS TRAINING REG	103043-6250 Staff Training	ELAN0923	-250.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION: RED HELMET HUGHES	103066-6250 Staff Training	ELAN0923	700.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT	HOGUEISSON: COMPANY OFFICER CL	103066-6250	ELAN0923	900.00	SEPTEMBER202		00130168	02/15/2024

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	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	FORCIBLE ENTRY PROP MATERIALS	103066-6250	ELAN0923	139.43	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	FD TRAINING - ALCALA	103041-6250	ELAN0923	500.00	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	FD TRAINING HOTEL - GILLIS	103041-6250	ELAN0923	208.68	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	FD TRAINING HOTEL - MACCUBBIN	103041-6250	ELAN0923	208.68	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	FD TRAINING HOTEL - IRVINE	103041-6250	ELAN0923	208.68	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	FD TRAINING REG- MARTINEZ	103041-6250	ELAN0923	289.00	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	FD TRAINING - MARTINEZ	103041-6250	ELAN0923	289.00	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	7/28-9/1 K9 TRAINING HOTEL	103041-6250	ELAN0923	1,034.60	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	ANAHEIM ST6 HAZMAT	103066-6245	ELAN0923	40.40	SEPTEMBER202		00130168	02/15/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENTS	POST BASIC DISPATCHER COURSE	101515-6250	ELAN0923	347.00	SEPTEMBER202		00130168	02/15/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENTS	DESIGN SERVICES	104071-6299	ELAN0923	119.99	SEPTEMBER202		00130168	02/15/2024
	V012768		Other Purchased Services						
MW OH	ELAN CORPORATE PAYMENTS	VIDEO CONFERENCE SERVICES	104071-6299	ELAN0923	155.15	SEPTEMBER202		00130168	02/15/2024
	V012768		Other Purchased Services						
MW OH	ELAN CORPORATE PAYMENTS	WATER & ICE DAY CAMP	104071-6301	ELAN0923	69.43	SEPTEMBER202		00130168	02/15/2024
	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENTS	LARGE TRACH CAN	104071-6301	ELAN0923	47.93	SEPTEMBER202		00130168	02/15/2024
	V012768		Special Department Expenses						

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MW OH	ELAN CORPORATE PAYMENT V012768	LARGE TRASH CAN WHEEL KIT	104071-6301 Special Department Expenses	ELAN0923	44.59	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BAOFENG RADIOS	104071-6301 Special Department Expenses	ELAN0923	75.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BASKETBALL BACKBOARD PAINT	104071-6301 Special Department Expenses	ELAN0923	43.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RRPA TRAINING	104071-6250 Staff Training	ELAN0923	192.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RRPA TRAINING	104071-6250 Staff Training	ELAN0923	70.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RRPA TRAINING	104071-6250 Staff Training	ELAN0923	142.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FE LICENSE RENEW	103590-6255 Dues & Memberships	ELAN0923	180.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MISAC MEMBERSHIP	101523-6255 Dues & Memberships	ELAN0923	130.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ALPELRA- 2023-2024 MEMBERSHIP	101512-6255 Dues & Memberships	ELAN0923	380.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MMBRSHP RENEWAL - RISK MGMT	101512-6255 Dues & Memberships	ELAN0923	449.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVIES IN THE PARK DVD	104071-6301 Special Department Expenses	ELAN0923	19.56	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	INSURANCE PLAN FOR PROJECTOR	104071-6301 Special Department Expenses	ELAN0923	83.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	INSURANCE PLAN FOR DEPT	104071-6301 Special Department Expenses	ELAN0923	31.52	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DEPARTMENT CAMERA	104071-6301 Special Department Expenses	ELAN0923	598.12	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT	ICE FOR SUMMER CONCERTS	104071-6301	ELAN0923	19.36	SEPTEMBER202		00130168	02/15/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT V012768	HDMI AUDIO SPLITTER	104071-6301 Special Department Expenses	ELAN0923	26.75	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAY CAMP EXCURSION	104071-6301 Special Department Expenses	ELAN0923	104.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	F.A.R.K.S EVENT SUPPLIES	104071-6301 Special Department Expenses	ELAN0923	218.79	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	F.A.R.K.S EVENT SUPPLIES	104071-6301 Special Department Expenses	ELAN0923	14.12	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SUMMER DAY CAMP EXCURSION	104071-6301 Special Department Expenses	ELAN0923	124.45	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN0923	26.98	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVIES SNACKS & DRINKS	104071-6301 Special Department Expenses	ELAN0923	411.34	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAY CAMP EXCURSION	104071-6301 Special Department Expenses	ELAN0923	30.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LUNCH MEETING W/ DAMIEN & LUIS	104071-6301 Special Department Expenses	ELAN0923	139.35	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LET'S DANCE DINNER	104071-6301 Special Department Expenses	ELAN0923	203.20	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAYCAMP EXCURSION	104071-6270 Excursions	ELAN0923	673.20	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EXTRA SUBSCRIPTION - REFUNDED	581573-6290 Dept. Contract Services	ELAN0923	155.56	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TAMALE FESTIVAL WEBSITE	581573-6290 Dept. Contract Services	ELAN0923	7.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CH/OLD TOWN/TOD MUSIC	581573-6290 Dept. Contract Services	ELAN0923	494.64	SEPTEMBER202		00130168	02/15/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	YEARLY SUBSCRIPTION VIDEO EDIT	581573-6290 Dept. Contract Services	ELAN0923	156.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	8/20-9/19 PD MAPPING SOFTWARE	103042-6290 Dept. Contract Services	ELAN0923	15.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104074-6301 Special Department Expenses	ELAN0923	107.75	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104074-6301 Special Department Expenses	ELAN0923	26.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ICE FOR SUMMER CONCERTS	104074-6301 Special Department Expenses	ELAN0923	13.02	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FOOD FOR NS HEALTH FAIR	104072-6301 Special Department Expenses	ELAN0923	585.35	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MEETING SUPPLIES	104071-6301 Special Department Expenses	ELAN0923	271.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUMMER DAY CAMP EXCURSION	104071-6301 Special Department Expenses	ELAN0923	181.02	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SAND BAGS AND SAND	103652-6301 Special Department Expenses	ELAN0923	730.63	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SAND BAGS & SAND	103652-6301 Special Department Expenses	ELAN0923	997.33	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BREAKFAST BURRITOS FOR PW	103652-6301 Special Department Expenses	ELAN0923	119.52	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TOOLS FOR STREET DEPARTMENT	103652-6301 Special Department Expenses	ELAN0923	392.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FENCE REPAIR @ AVE DE PIO PICO	103652-6301 Special Department Expenses	ELAN0923	54.74	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR SIDEWALK REPAIR	103652-6301 Special Department Expenses	ELAN0923	61.49	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS	SAND FOR SANDBAGS	103652-6301	ELAN0923	927.85	SEPTEMBER202		00130168	02/15/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENTS V012768	SAND FOR SANDBAGS	103652-6301 Special Department Expenses	ELAN0923	112.06	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SAND BAGS & SAND	103652-6301 Special Department Expenses	ELAN0923	610.73	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN0923	21.07	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN0923	125.81	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL	103654-6301 Special Department Expenses	ELAN0923	246.86	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PW MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN0923	173.82	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PW MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN0923	124.38	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BED LINER FOR NEW PW TRUCK	103658-6301 Special Department Expenses	ELAN0923	575.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	DISINFECTING WIPES	103654-6301 Special Department Expenses	ELAN0923	12.26	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HAND SANITIZERS	103654-6301 Special Department Expenses	ELAN0923	28.26	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PW MAINTENANCE SUPPLIES	103654-6301 Special Department Expenses	ELAN0923	10.45	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN0923	35.22	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	EXPLORER COMPETITION MEALS	763041-6301 Special Department Expenses	ELAN0923	117.58	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	EXPLORER COMPETITION MEALS	763041-6301 Special Department Expenses	ELAN0923	90.76	SEPTEMBER202		00130168	02/15/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	CREDIT REFUND-BREAKROOM	109595-6301 Special Department Expenses	ELAN0923	-22.19	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BROWN BAG HIGH FIVE AWARD	109595-6301 Special Department Expenses	ELAN0923	143.54	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BREAKROOM SNACKS	109595-6301 Special Department Expenses	ELAN0923	453.51	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SLEEVES	109595-6301 Special Department Expenses	ELAN0923	13.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CREDIT - STANDING DESK	103040-6301 Special Department Expenses	ELAN0923	150.72	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD SNACK PROGRAM ITEMS	103040-6301 Special Department Expenses	ELAN0923	41.22	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	STANDING DESK	103040-6301 Special Department Expenses	ELAN0923	-150.72	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOTOR RODEO REG	103041-6301 Special Department Expenses	ELAN0923	80.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE EXPENSES	103041-6301 Special Department Expenses	ELAN0923	55.97	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	K9 DOG FOOD	103041-6301 Special Department Expenses	ELAN0923	75.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	8/27-9/26 MCV DIRECT TV SVS	103041-6301 Special Department Expenses	ELAN0923	95.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	STANDING DESK CONVERTER	103040-6301 Special Department Expenses	ELAN0923	326.24	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MUGS	103066-6301 Special Department Expenses	ELAN0923	391.50	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	INTAKE SCREENS	103066-6301 Special Department Expenses	ELAN0923	180.06	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT	ROPE BAGS/CARABINERS	103066-6301	ELAN0923	928.73	SEPTEMBER202		00130168	02/15/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENTS V012768	MOP/BROOM STICKS	103066-6301 Special Department Expenses	ELAN0923	46.59	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	2024 SHIFT CALENDARS	103066-6301 Special Department Expenses	ELAN0923	690.53	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MOPS/BROOMS	103066-6301 Special Department Expenses	ELAN0923	280.58	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	STORAGE CABINETS FOR S2	103066-6301 Special Department Expenses	ELAN0923	813.27	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ABSORBANT	103066-6301 Special Department Expenses	ELAN0923	21.54	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	7/29 GANG SWEEP SUPPLIES	103042-6301 Special Department Expenses	ELAN0923	45.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	7/29 GANG SWEEP SUPPLIES	103042-6301 Special Department Expenses	ELAN0923	22.76	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CAPE MEMBERSHIP - RODRIGUEZ	103043-6301 Special Department Expenses	ELAN0923	50.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	GLOVES FOR PD	103043-6301 Special Department Expenses	ELAN0923	1,503.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	7/29 GANG SWEEP MEALS	103042-6301 Special Department Expenses	ELAN0923	559.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	7/29 GANG SWEEP MEALS	103042-6301 Special Department Expenses	ELAN0923	109.37	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUNNELS	103066-6301 Special Department Expenses	ELAN0923	10.75	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REPLACEMENT AXE HANDLES	103066-6301 Special Department Expenses	ELAN0923	81.23	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	GLASS WHITE BOARD	103065-6301 Special Department Expenses	ELAN0923	303.40	SEPTEMBER202		00130168	02/15/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	FIREFIGHTER INTERVIEW PANEL LUNCH	101512-6301 Special Department Expenses	ELAN0923	90.02	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	POLICE OFFICER PANEL LUNCH	101512-6301 Special Department Expenses	ELAN0923	86.07	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE ENG LISTOE DEGREE VERIFY	101512-6301 Special Department Expenses	ELAN0923	19.95	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BLDG PERMIT TECH PANEL LUNCH	101512-6301 Special Department Expenses	ELAN0923	56.46	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIREFIGHTER PANEL LUNCH	101512-6301 Special Department Expenses	ELAN0923	66.75	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LUNCH BLD INSP & PERMIT TECH	101512-6301 Special Department Expenses	ELAN0923	47.69	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE PREV SPEC PANEL LUNCH	101512-6301 Special Department Expenses	ELAN0923	54.15	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UPDATE COUNCIL PHOTO-SMITH	101001-6301 Special Department Expenses	ELAN0923	4.88	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	104070-6315 Office Supplies	ELAN0923	88.78	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES INK FORPRINTER	101534-6315 Office Supplies	ELAN0923	231.95	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR SUPPLIES	101512-6315 Office Supplies	ELAN0923	21.55	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR SUPPLIES	101512-6315 Office Supplies	ELAN0923	17.23	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR SUPPLIES	101512-6315 Office Supplies	ELAN0923	20.10	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RISK MGMT SUPPLIES	101512-6315 Office Supplies	ELAN0923	107.56	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT	ADMIN/RISK MGMT SUPPLIES	101512-6315	ELAN0923	11.78	SEPTEMBER202		00130168	02/15/2024

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	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENT V012768	MOUSE PADS	101511-6315 Office Supplies	ELAN0923	65.22	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CERTIFICATE FRAME	101511-6315 Office Supplies	ELAN0923	9.78	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES FOR CITY ENG	103550-6315 Office Supplies	ELAN0923	21.19	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES FOR CITY ENG	103550-6315 Office Supplies	ELAN0923	113.83	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE BULLETIN BOARD	103550-6315 Office Supplies	ELAN0923	72.14	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE EXPENSES	102531-6315 Office Supplies	ELAN0923	63.86	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	102532-6315 Office Supplies	ELAN0923	42.12	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	102532-6315 Office Supplies	ELAN0923	61.72	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	102532-6315 Office Supplies	ELAN0923	9.12	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	102532-6315 Office Supplies	ELAN0923	59.85	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	103040-6315 Office Supplies	ELAN0923	61.05	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	103040-6315 Office Supplies	ELAN0923	118.46	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PURCHASE OF 2 PW GREENBOOKS	103551-6320 Books & Periodicals	ELAN0923	322.20	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SHIPPING CHARGES	103040-6325 Postage	ELAN0923	7.39	SEPTEMBER202		00130168	02/15/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	SHIPPING CHARGES	103040-6325 Postage	ELAN0923	111.35	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 TRAINING FUEL - IRVINE	103658-6345 Gasoline & Diesel Fuel	ELAN0923	61.75	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 TRAINING FUEL - IRVINE	103658-6345 Gasoline & Diesel Fuel	ELAN0923	56.59	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN0923	71.63	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN0923	111.36	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 TRAINING FUEL - IRVINE	103658-6345 Gasoline & Diesel Fuel	ELAN0923	81.68	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN0923	80.37	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN0923	100.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN0923	81.62	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN0923	40.14	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 TRAINING FUEL - IRVINE	103658-6345 Gasoline & Diesel Fuel	ELAN0923	42.84	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CRR SHIRTS	103067-6360 Uniforms	ELAN0923	53.83	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MOTORCYCLE BOOTS	103047-6360 Uniforms	ELAN0923	577.29	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MOTORCYCLE PANTS	103047-6360 Uniforms	ELAN0923	776.17	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENTS	NEW OFFICE CHAIR - CHRIS TANIO	103551-6355	ELAN0923	326.24	SEPTEMBER202		00130168	02/15/2024

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	V012768		Small Furniture & Fixture						
MW OH	ELAN CORPORATE PAYMENT V012768	HAT BADGES: DC, FM	103065-6360 Uniforms	ELAN0923	127.07	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UNIFORMS FOR EADY AND	102533-6360 Uniforms	ELAN0923	67.88	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UNIFORMS FOR EADY AND	102533-6360 Uniforms	ELAN0923	165.47	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PINK PATCHES	103041-6360 Uniforms	ELAN0923	952.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	109595-6399 Other Supplies	ELAN0923	23.77	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	109595-6399 Other Supplies	ELAN0923	-23.77	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6399 Other Supplies	ELAN0923	36.39	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6399 Other Supplies	ELAN0923	39.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6399 Other Supplies	ELAN0923	34.06	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	799700-6368 Computer Peripheral/Accessory	ELAN0923	107.74	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6399 Other Supplies	ELAN0923	17.84	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	103654-6399 Other Supplies	ELAN0923	17.32	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TOWER FAN	103654-6399 Other Supplies	ELAN0923	86.99	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101001-6399 Other Supplies	ELAN0923	8.69	SEPTEMBER202		00130168	02/15/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	CONF ROOM SUPPLIES	101001-6399 Other Supplies	ELAN0923	32.61	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FANS	101001-6399 Other Supplies	ELAN0923	195.72	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	101001-6399 Other Supplies	ELAN0923	12.48	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HEATER	101001-6399 Other Supplies	ELAN0923	73.40	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CHALLENGE COIN BOXES FOR DEPT	101515-6399 Other Supplies	ELAN0923	597.96	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PROJECTOR FOR MOVIES IN PARK	104071-6401 Community Programs	ELAN0923	851.03	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAY CAMP EXCURSION	104071-6401 Community Programs	ELAN0923	539.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAY CAMP EXCURSION	104071-6401 Community Programs	ELAN0923	1,200.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BEAKROOM SUPPLIES	104071-6401 Community Programs	ELAN0923	187.58	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RECREATION SUPPLIES	104071-6401 Community Programs	ELAN0923	323.50	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BATHROOM SUPPLIES	104071-6401 Community Programs	ELAN0923	298.41	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	104071-6401 Community Programs	ELAN0923	282.07	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAY CAMP EXCURSION	104071-6401 Community Programs	ELAN0923	98.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAY CAMP EXCURSION	104071-6401 Community Programs	ELAN0923	539.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMENT	EXCURSION FOR DAY CAMP	104071-6401	ELAN0923	563.95	SEPTEMBER202		00130168	02/15/2024

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	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMEN V012768	EXCURSION FOR DAY CAMP	104071-6401 Community Programs	ELAN0923	12.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	EXCURSION FOR DAY CAMP	104071-6401 Community Programs	ELAN0923	686.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	COMM SVS SUPPLIES	104072-6401 Community Programs	ELAN0923	61.24	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BINS	104072-6401 Community Programs	ELAN0923	71.12	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	SOCIAL MEDIA TRAINING	109595-6999 Other Expenditure	ELAN0923	9.00	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	LACTATION ROOM SUPPLIES/MATER	109595-6999 Other Expenditure	ELAN0923	287.10	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	LACTATION ROOM SUPPLIES/MATER	109595-6999 Other Expenditure	ELAN0923	432.37	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	LACTATION ROOM SUPPLIES/MATER	109595-6999 Other Expenditure	ELAN0923	10.78	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	PRIZES FOR HEALTH AND WELLNESS	109595-6999 Other Expenditure	ELAN0923	99.07	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FOOD FOR HEALTH AND WELLNESS	109595-6999 Other Expenditure	ELAN0923	49.83	SEPTEMBER202		00130168	02/15/2024
MW OH	ELAN CORPORATE PAYMEN V012768	SOCIAL MEDIA TRAINING	109595-6999 Other Expenditure	ELAN0923	9.00	SEPTEMBER202		00130168	02/15/2024
Check Total:					59,676.95				
MW OH	CALIFORNIA DENTAL V008102	DEC DENTAL NETWORK INS	395000-4720 ISF Dental Ins Reimbursement	EFT021324	1,251.42	DECEMBER-23		00130169	02/22/2024
MW OH	CALIFORNIA DENTAL V008102	DEC DENTAL NETWORK INS	395083-5162 Dental Insurance Premiums	EFT021324	126.33	DECEMBER-23		00130169	02/22/2024
MW OH	CALIFORNIA DENTAL	JAN DENTAL NETWORK INS	395083-5162	EFT021324	132.63	JANUARY-24		00130169	02/22/2024

User: Gabriela Calin

Report: AP1400M <3.01>: AP: Warrant List - Machine

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	V008102		Dental Insurance Premiums						
MW OH	CALIFORNIA DENTAL V008102	JAN DENTAL NETWORK INS	395000-4720 ISF Dental Ins Reimbursement	EFT021324	1,533.61	JANUARY-24		00130169	02/22/2024
MW OH	CALIFORNIA DENTAL V008102	NOV DENTAL NETWORK INS	395000-4720 ISF Dental Ins Reimbursement	EFT021324	1,220.12	NOVEMBER-23		00130169	02/22/2024
MW OH	CALIFORNIA DENTAL V008102	NOV DENTAL NETWORK INS	395083-5162 Dental Insurance Premiums	EFT021324	126.33	NOVEMBER-23		00130169	02/22/2024
Check Total:					4,390.44				
MW OH	FIDELITY SECURITY LIFE V008132	OCT EYEMED INS	395000-4740 ISF Employee Optical Costs	EFT021324	2,936.68	165970060		00130170	02/22/2024
MW OH	FIDELITY SECURITY LIFE V008132	OCT EYEMED INS	395083-5164 Optical Insurance Premiums	EFT021324	1,141.53	165970060		00130170	02/22/2024
MW OH	FIDELITY SECURITY LIFE V008132	NOV EYEMED INS	395083-5164 Optical Insurance Premiums	EFT021324	1,141.53	166012820		00130170	02/22/2024
MW OH	FIDELITY SECURITY LIFE V008132	NOV EYEMED INS	395000-4740 ISF Employee Optical Costs	EFT021324	2,974.35	166012820		00130170	02/22/2024
MW OH	FIDELITY SECURITY LIFE V008132	DEC EYEMED INS	395000-4740 ISF Employee Optical Costs	EFT021324	3,008.07	166054990		00130170	02/22/2024
MW OH	FIDELITY SECURITY LIFE V008132	DEC EYEMED INS	395083-5164 Optical Insurance Premiums	EFT021324	1,141.53	166054990		00130170	02/22/2024
Check Total:					12,343.69				
MW OH	PRINCIPAL FINANCIAL V000844	DEC LIFE INS	109595-5110 Life Ins Allocation	EFT021324	1,414.61	124123049000-		00130171	02/22/2024
MW OH	PRINCIPAL FINANCIAL V000844	DEC LIFE INS	395083-5163 Life Insurance Premiums	EFT021324	572.57	124123049000-		00130171	02/22/2024
MW OH	PRINCIPAL FINANCIAL V000844	JAN LIFE INS	395083-5163 Life Insurance Premiums	EFT021324	102.19	124123159000-		00130171	02/22/2024
MW OH	PRINCIPAL FINANCIAL	JAN LIFE INS	109595-5110	EFT021324	1,414.61	124123159000-		00130171	02/22/2024

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	V000844		Life Ins Allocation						
MW OH	PRINCIPAL FINANCIAL V000844	NOV LIFE INS	109595-5110 Life Ins Allocation	EFT021324	1,414.61	124129334000-		00130171	02/22/2024
MW OH	PRINCIPAL FINANCIAL V000844	NOV LIFE INS	395083-5163 Life Insurance Premiums	EFT021324	678.61	124129334000-		00130171	02/22/2024
MW OH	PRINCIPAL FINANCIAL V000844	NOV LIFE INS	395083-5163 Life Insurance Premiums	EFT021324	678.61	91523		00130171	02/22/2024
MW OH	PRINCIPAL FINANCIAL V000844	OCT LIFE INS	109595-5110 Life Ins Allocation	EFT021324	1,309.54	91523		00130171	02/22/2024
Check Total:					7,585.35				
MW OH	PRINCIPAL LIFE V008141	JAN PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	EFT021324	1,376.10	1012024		00130172	02/22/2024
MW OH	PRINCIPAL LIFE V008141	JAN PRINCIPAL DENTAL INS	395083-5161 Health Insurance Premiums	EFT021324	792.00	1012024		00130172	02/22/2024
MW OH	PRINCIPAL LIFE V008141	NOV PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	EFT021324	792.00	11012023		00130172	02/22/2024
MW OH	PRINCIPAL LIFE V008141	NOV PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	EFT021324	1,356.30	11012023		00130172	02/22/2024
MW OH	PRINCIPAL LIFE V008141	DEC PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	EFT021324	1,435.50	12012023		00130172	02/22/2024
MW OH	PRINCIPAL LIFE V008141	DEC PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	EFT021324	792.00	12012023		00130172	02/22/2024
MW OH	PRINCIPAL LIFE V008141	SEP PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	EFT021324	3,573.90	9012023		00130172	02/22/2024
MW OH	PRINCIPAL LIFE V008141	SEP PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	EFT021324	792.00	9012023		00130172	02/22/2024
Check Total:					10,909.80				
MW OH	THE HARTFORD	NOV LIFE INS	109595-5163	EFT021324	4,579.18	120550165761		00130173	02/22/2024

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	V012278		Life Insurance Premiums						
MW OH	THE HARTFORD V012278	NOV SHORT TERM D. INS	109595-5169 STD Ins Premium	EFT021324	6,512.48	120550165761		00130173	02/22/2024
MW OH	THE HARTFORD V012278	NOV LONG TERM D. INS	109595-5169 STD Ins Premium	EFT021324	3,987.61	120550165761		00130173	02/22/2024
MW OH	THE HARTFORD V012278	OCT SHORT TERM D. INS	109595-5169 STD Ins Premium	EFT021324	6,467.90	120551574810		00130173	02/22/2024
MW OH	THE HARTFORD V012278	OCT LONG TERM D. INS	109595-5169 STD Ins Premium	EFT021324	3,960.31	120551574810		00130173	02/22/2024
MW OH	THE HARTFORD V012278	OCT LIFE INS	109595-5163 Life Insurance Premiums	EFT021324	3,160.17	120551574810		00130173	02/22/2024
MW OH	THE HARTFORD V012278	DEC LIFE INS	109595-5163 Life Insurance Premiums	EFT021324	4,699.41	120558674978		00130173	02/22/2024
MW OH	THE HARTFORD V012278	DEC SHORT TERM D. INS	109595-5169 STD Ins Premium	EFT021324	6,613.92	120558674978		00130173	02/22/2024
MW OH	THE HARTFORD V012278	DEC LONG TERM D. INS	109595-5169 STD Ins Premium	EFT021324	4,049.71	120558674978		00130173	02/22/2024
Check Total:					44,030.69				
Type Total:					138,936.92				
Check Total:					138,936.92				

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MW OH	PLACENTIA FIREFIGHTERS V011878	PFPA PE 2/3 PD 2/9	0010-2178 Placentia Police Assoc Dues	PY2401003	800.00	PR2401003		00018320	02/15/2024
					Check Total:	800.00			
MW OH	PLACENTIA POLICE V000839	PPFMA PE 2/3 PD 2/9	0010-2180 Police Mgmt Assn Dues	PY2401003	1,493.28	PR2401003		00018321	02/15/2024
					Check Total:	1,493.28			
MW OH	PLACENTIA POLICE V003519	PPOA PE 2/3 PD 2/9	0010-2178 Placentia Police Assoc Dues	PY2401003	3,258.14	PR2401003		00018322	02/15/2024
MW OH	PLACENTIA POLICE V003519	PPOA PE 2/3 PD 2/9	0076-2178 Placentia Police Assoc Dues	PY2401003	1.94	PR2401003		00018322	02/15/2024
MW OH	PLACENTIA POLICE V003519	PPOA PE 2/3 PD 2/9	0078-2178 Placentia Police Assoc Dues	PY2401003	47.67	PR2401003		00018322	02/15/2024
					Check Total:	3,307.75			
MW OH	REPUBLIC WASTE SERVICES V007205	JAN REFUSE COLLECTION SVS	374386-6101 Disposal	ACH021423	353,640.12	676-005464844	P13107	00018323	02/15/2024
					Check Total:	353,640.12			
MW OH	ELAN CORPORATE PAYMENTS V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1123	42.95	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINTENANCE PARTS	103654-6130 Repair & Maint/Facilities	ELAN1123	28.30	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY YARD MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	104.37	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL REP/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	59.15	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY YARD MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	86.06	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	83.82	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	118.33	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	57.97	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FW MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	228.15	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	323.63	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE HQ WINDOW	103654-6130 Repair & Maint/Facilities	ELAN1123	538.92	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLEET SMOG CHECK	103658-6134 Vehicle Repair & Maintenance	ELAN1123	45.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLEET LIGHTNING BEDLINER	103658-6134 Vehicle Repair & Maintenance	ELAN1123	575.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINT FOR LIGHTNIG	103658-6134 Vehicle Repair & Maintenance	ELAN1123	105.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FRONT TIRES FOR PAY LOADER	103658-6134 Vehicle Repair & Maintenance	ELAN1123	1,737.32	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLEET SMOG CHECK	103658-6134 Vehicle Repair & Maintenance	ELAN1123	45.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLEET SMOG CHECK	103658-6134 Vehicle Repair & Maintenance	ELAN1123	45.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EMPLOYEE SCHEDULING PROGRAM.	104070-6099 Professional Services	ELAN1123	210.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD/GOMEZ MAINT SUPPL	103654-6130 Repair & Maint/Facilities	ELAN1123	263.10	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BAKS BLDG SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	173.26	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	CITY HALL REP/MAINT SUPPLIES	103654-6130	ELAN1123	139.99	NOVEMBER-23		00018324	02/22/2024

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	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL REP/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1123	325.52	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION FOR CPRS	104070-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	POST COURSE MEAL- STEFANIE	101515-6235 Travel	ELAN1123	10.18	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	POST COURSE MEAL- STEFANIE	101515-6235 Travel	ELAN1123	16.15	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	POST TRAINING PARKING FEE	101515-6235 Travel	ELAN1123	40.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	POST TRAINING PARKING FEE	101515-6235 Travel	ELAN1123	40.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CPRS CONFERENCE REGISTRATION	104071-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CPRS REGISTRATION	104071-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION FOR CPRS	104071-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION FOR CPRS	104071-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CPRS REGISTRATION	104071-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CPRS REGISTRATION	104071-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CPRS REGISTRATION	104071-6245 Meetings & Conferences	ELAN1123	480.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CPRS REGISTRATION	104071-6245 Meetings & Conferences	ELAN1123	565.00	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	IACP CONF HOTEL - PERRY	213041-6235 Travel	ELAN1123	832.76	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	IACP CONF HOTEL - BUTTS	213041-6235 Travel	ELAN1123	825.76	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	IACP CONF HOTEL - MILLSAP	213041-6235 Travel	ELAN1123	619.32	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LUNCH WITH INTERVIEW PANEL	109595-6245 Meetings & Conferences	ELAN1123	79.70	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REFRESHMENT FOR CA	109595-6245 Meetings & Conferences	ELAN1123	6.25	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ASTRIES FOR EMT MTNG	109595-6245 Meetings & Conferences	ELAN1123	47.70	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UBER RIDE AT ICSC SAN DIEGO	102534-6235 Travel	ELAN1123	24.54	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LAMBERT HOTEL ICSC	102534-6235 Travel	ELAN1123	831.56	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR DIRECTOR CALPELRA FLIGHT	101512-6235 Travel	ELAN1123	694.81	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CIRA ACADEMY/BOARD OF DIR MTG	101512-6235 Travel	ELAN1123	382.96	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HERITAGE PARADE	103652-6170 Equipment & Tool Rental	ELAN1123	918.50	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BATTALION CHIEF ADVERTISEMENT	101512-6225 Advertising/Promotional	ELAN1123	575.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OCT 2023 MONTHLY CHARGES	101523-6136 Software Maintenance	ELAN1123	260.62	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MDC DOCK REPAIRS	103041-6137 Repair Maint/Equipment	ELAN1123	284.76	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	FLEET, PAY LOADER BUCKET	103658-6137	ELAN1123	987.09	NOVEMBER-23		00018324	02/22/2024

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	V012768		Repair Maint/Equipment						
MW OH	ELAN CORPORATE PAYMENT V012768	WARRANT BLDR SOFTWARE - FLOOR	03041-6136 Software Maintenance	ELAN1123	257.78	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GETAC REPAIRS	103041-6136 Software Maintenance	ELAN1123	629.95	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRUCK CLEANING SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1123	9.68	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1123	100.68	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WINDOW TINT FOR UTILITY TRUCK	103066-6134 Vehicle Repair & Maintenance	ELAN1123	175.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WINDOW TINT FOR STATION 1	103066-6134 Vehicle Repair & Maintenance	ELAN1123	990.86	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HALLOWEEN POPCORN	104071-6301 Special Department Expenses	ELAN1123	59.98	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD SUPPLIES WAGNER	104071-6301 Special Department Expenses	ELAN1123	483.73	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAINING SUPPLIES	103550-6290 Dept. Contract Services	ELAN1123	65.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	10/20-11/19 PD MAPPING SVS	103042-6290 Dept. Contract Services	ELAN1123	15.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TAMALE FESTIVAL WEBSITE	581573-6290 Dept. Contract Services	ELAN1123	7.99	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE EXPENSES	103590-6255 Dues & Memberships	ELAN1123	25.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE EXPENSES	103590-6255 Dues & Memberships	ELAN1123	15.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE DEPT SUPPLIES	103065-6255 Dues & Memberships	ELAN1123	50.00	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	SMFO REG- MANAGEMENT REG	102020-6255 Dues & Memberships	ELAN1123	135.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	INCIDENT RESPONSE POCKET GUIDE	03066-6250 Staff Training	ELAN1123	361.21	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CPRS MEMBERSHIP	104071-6255 Dues & Memberships	ELAN1123	165.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOTEL PARKING	103590-6255 Dues & Memberships	ELAN1123	27.25	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOTEL PARKING	103590-6255 Dues & Memberships	ELAN1123	27.25	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOTEL PARKING	103590-6255 Dues & Memberships	ELAN1123	27.25	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REGISTRATION FOR CONCERT	104071-6250 Staff Training	ELAN1123	25.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	NRPA TRAINING	104071-6250 Staff Training	ELAN1123	180.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PARKS HALLOWEEN FOOD FOR KIDS	04071-6301 Special Department Expenses	ELAN1123	107.49	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FYB MAILING SUPPLIES	104071-6301 Special Department Expenses	ELAN1123	143.48	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COMMUNITY SRV. BOOTH NEEDS	104071-6301 Special Department Expenses	ELAN1123	40.96	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	STAFF MEETING	104071-6301 Special Department Expenses	ELAN1123	148.88	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ICE FOR WAGNER RIBBON CUTTING	104071-6301 Special Department Expenses	ELAN1123	38.79	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BALLOONS FOR WAGNER RIBBON	104071-6301 Special Department Expenses	ELAN1123	130.24	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	SUPPLIES FOR COUNCIL MEETING	104071-6301	ELAN1123	35.51	NOVEMBER-23		00018324	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT V012768	F.A.R.K.S EVENT SUPPLIES	104071-6301 Special Department Expenses	ELAN1123	85.85	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COOKIES FOR WAGNER PARK EVENT	104071-6301 Special Department Expenses	ELAN1123	450.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1123	53.49	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DEPARTMENT SUPPLIES	104071-6301 Special Department Expenses	ELAN1123	14.13	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRUNK OR TREAT-PD	104071-6301 Special Department Expenses	ELAN1123	43.49	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRUNK OR TREAT-PD	104071-6301 Special Department Expenses	ELAN1123	46.75	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRUNK OR TREAT-PD	104071-6301 Special Department Expenses	ELAN1123	17.39	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS HALLOWEEN EVENT	104071-6301 / 22401-6301 Special Department Expenses	ELAN1123	100.15	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICE FOR HALLOWEEN POTLUCK	104071-6301 Special Department Expenses	ELAN1123	17.20	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SUPPLIES FOR HERITAGE FESTIVAL	104071-6301 Special Department Expenses	ELAN1123	47.35	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FALL DECOR	104071-6301 Special Department Expenses	ELAN1123	58.11	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PLASTIC BINS, BUG REPELLANT	104071-6301 Special Department Expenses	ELAN1123	167.74	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1123	124.74	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR TRAINING FOR HR CLERK	101512-6250 Staff Training	ELAN1123	210.00	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	RETURN FLIGHT SMART CITY CONF	103550-6245 Meetings & Conferences	ELAN1123	208.98	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PARKING	103550-6245 Meetings & Conferences	ELAN1123	10.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 TRAINING HOTEL - IRVINE	103041-6250 Staff Training	ELAN1123	832.28	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FD TRAINING REG - MARTINEZ	103041-6250 Staff Training	ELAN1123	459.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FUEL FOR K9 TRAINING	103041-6250 Staff Training	ELAN1123	58.89	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FD TRAINING REG	103041-6250 Staff Training	ELAN1123	270.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FD TRAINING REG - HERREN	103041-6250 Staff Training	ELAN1123	459.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FD TRAINING HOTEL - OLDHAM	103041-6250 Staff Training	ELAN1123	808.20	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FD TRAINING HOTEL - SHELITO	103041-6250 Staff Training	ELAN1123	808.20	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 TRAINING HOTEL - IRVINE	103041-6250 Staff Training	ELAN1123	208.07	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COFFEE FOR ADMIN MEETING	103065-6245 Meetings & Conferences	ELAN1123	12.68	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CSC BOOTH MINTS, CANDY	101534-6245 Meetings & Conferences	ELAN1123	52.03	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CSFMO - TRAVEL/MEAL EXP	102020-6245 Meetings & Conferences	ELAN1123	60.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CSFMO REG FULL CONF - LAMPMAN	102020-6245 Meetings & Conferences	ELAN1123	515.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	DEV. SVCS. MTG.	102531-6245	ELAN1123	198.09	NOVEMBER-23		00018324	02/22/2024

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	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION: E. HUGHES	103066-6245 Meetings & Conferences	ELAN1123	800.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PLATES FOR CAPTAINS WORKSHOP	103066-6245 Meetings & Conferences	ELAN1123	13.84	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAPTAINS WORKSHOP - BREAKFAST	103066-6245 Meetings & Conferences	ELAN1123	120.07	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE DEPT SUPPLIES	103066-6245 Meetings & Conferences	ELAN1123	126.86	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE DEPT SUPPLIES	103065-6245 Meetings & Conferences	ELAN1123	543.42	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE DEPT SUPPLIES	103066-6245 Meetings & Conferences	ELAN1123	167.10	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE DEPT SUPPLIES	103066-6245 Meetings & Conferences	ELAN1123	114.77	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE DEPT SUPPLIES	103066-6245 Meetings & Conferences	ELAN1123	136.86	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRE DEPT SUPPLIES	103066-6245 Meetings & Conferences	ELAN1123	101.94	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MMASC LUNCH - ER AND ND	103550-6245 Meetings & Conferences	ELAN1123	93.89	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MMASC LUNCH - CA	103550-6245 Meetings & Conferences	ELAN1123	0.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOTEL FOR MMASC ANNUAL CONF	103550-6245 Meetings & Conferences	ELAN1123	543.42	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TICKET FOR CATHY N.	103550-6245 Meetings & Conferences	ELAN1123	65.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TICKET FOR LUIS E	103550-6245 Meetings & Conferences	ELAN1123	50.00	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	TICKET FOR CHRIS T.	103550-6245 Meetings & Conferences	ELAN1123	50.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TICKET FOR RAQUEL G.	103550-6245 Meetings & Conferences	ELAN1123	50.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TICKET FOR NATHAN R.	103550-6245 Meetings & Conferences	ELAN1123	50.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TIP AT HOTEL STAY FOR MGT ASST	103550-6245 Meetings & Conferences	ELAN1123	11.79	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	STAY MGMT ASSISTANT AT MMASC	103550-6245 Meetings & Conferences	ELAN1123	265.77	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLIGHT FOR SMART CITY CONF	103550-6245 Meetings & Conferences	ELAN1123	492.98	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MMASC CONFERENCE FEE FOR KATE	103550-6245 Meetings & Conferences	ELAN1123	500.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE MEAL	102534-6245 Meetings & Conferences	ELAN1123	89.72	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONF DINNER EXPENSES	102534-6245 Meetings & Conferences	ELAN1123	221.20	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE EXPENSES	102534-6245 Meetings & Conferences	ELAN1123	20.56	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKING EXPENSES	102534-6245 Meetings & Conferences	ELAN1123	100.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONF HOTEL EXPENSES	102534-6245 Meetings & Conferences	ELAN1123	741.56	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CSC MEAL EXPENSES	102534-6245 Meetings & Conferences	ELAN1123	376.32	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ACP EXPO PARKING	103040-6245 Meetings & Conferences	ELAN1123	20.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	SHADER-CONFERENCE	101001-6245	ELAN1123	88.00	NOVEMBER-23		00018324	02/22/2024

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	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENTS V012768	SHADER-CONFERENCE	101001-6245 Meetings & Conferences	ELAN1123	88.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CHRC HOLIDAY PARTY REGIST	101512-6245 Meetings & Conferences	ELAN1123	127.09	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOTEL FOR MMASC CONFERENCE	101512-6245 Meetings & Conferences	ELAN1123	513.42	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	EANNETTENICOLETTEJOELSLEYA	101511-6245 Meetings & Conferences	ELAN1123	25.05	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOTEL FOR ICSC	101511-6245 Meetings & Conferences	ELAN1123	854.06	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1123	3.25	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SHADER-CONFERENCE	101001-6245 Meetings & Conferences	ELAN1123	171.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	STATE OF THE CITY 2023	101001-6245 Meetings & Conferences	ELAN1123	880.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1123	56.06	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1123	60.20	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1123	56.39	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1123	107.32	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CSC WESTERN CONFERENCE -JORTEGA	101511-6245 Meetings & Conferences	ELAN1123	831.56	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CSC WESTERN CONF -L.WHITTAKER	101511-6245 Meetings & Conferences	ELAN1123	831.56	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	DAMIEN, CONF. REGISTRATION	101511-6245 Meetings & Conferences	ELAN1123	750.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE REGISTRATION	101511-6245 Meetings & Conferences	ELAN1123	1,195.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1123	8.94	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1123	63.37	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	G.HOUN CSMFO CONFERENCE	102020-6245 Meetings & Conferences	ELAN1123	515.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CSFMO - REGISTRATION GRIGGS	102020-6245 Meetings & Conferences	ELAN1123	515.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CSMFO REG- LAMPMAN, MARISCAL,	102020-6245 Meetings & Conferences	ELAN1123	180.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EMPLOYEE MEAL	101515-6245 Meetings & Conferences	ELAN1123	19.31	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HONDA-CONF. REGISTRATION	101001-6245 Meetings & Conferences	ELAN1123	-1,195.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1123	84.75	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SHADER-CONFERENCE	101001-6245 Meetings & Conferences	ELAN1123	701.07	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SHADER-CONFERENCE	101001-6245 Meetings & Conferences	ELAN1123	318.90	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1123	15.98	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1123	129.83	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	TEREMY CONF. REGISTRATION	101001-6245	ELAN1123	1,195.00	NOVEMBER-23		00018324	02/22/2024

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	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENTS V012768	SHADER-CONFERENCE REGISTRATION	101001-6245 Meetings & Conferences	ELAN1123	1,195.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	JEREMY CONF. REGISTRATION	101001-6245 Meetings & Conferences	ELAN1123	-1,195.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TRUNK OR TREAT EVENT ITEMS	101515-6401 Community Programs	ELAN1123	218.30	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BADGE PINNING CEREMONY	101515-6401 Community Programs	ELAN1123	269.70	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BADGE PINNING CEREMONY SNACKS	101515-6401 Community Programs	ELAN1123	99.11	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REFUND FOR TRUNK OR TREAT ITEM	101515-6401 Community Programs	ELAN1123	-114.81	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TRUNK OR TREAT ITEM	101515-6401 Community Programs	ELAN1123	112.74	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	588.80	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	-374.30	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CSC BOOTH MATERIAL HANDLING	109595-6999 Other Expenditure	ELAN1123	539.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	374.30	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FIREFIGHTER BADGES	103066-6360 Uniforms	ELAN1123	579.06	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104071-6401 Community Programs	ELAN1123	84.73	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOTS SUPPLIES	104071-6401 / 22401-6401 Community Programs	ELAN1123	32.38	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	PARK'S SUPPLIES	104071-6401 Community Programs	ELAN1123	37.49	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOSQUITO REPELLENT -CTLC	104071-6401 Community Programs	ELAN1123	104.37	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARK'S HALLOWEEN SUPPLIES	104071-6401 Community Programs	ELAN1123	130.58	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKS HALLOWEEN SUPPLIES	104071-6401 Community Programs	ELAN1123	25.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104071-6401 Community Programs	ELAN1123	153.82	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6401 / 22401-6401 Community Programs	ELAN1123	-167.01	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKS HALLOWEEN SUPPLIES	104071-6401 Community Programs	ELAN1123	19.01	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKS HALLOWEEN SUPPLIES	104071-6401 Community Programs	ELAN1123	29.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	F.A.R.K.'S SUPPLIES GENERA	104071-6401 Community Programs	ELAN1123	25.76	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104071-6401 Community Programs	ELAN1123	105.41	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CSC BOOTH MATERIALS	109595-6999 Other Expenditure	ELAN1123	2,712.80	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CSC BOOTH AV SET UP	109595-6999 Other Expenditure	ELAN1123	1,177.90	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	8.60	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	32.60	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	SHIRTS FOR STAFF	109595-6999	ELAN1123	295.74	NOVEMBER-23		00018324	02/22/2024

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	V012768		Other Expenditure						
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	46.31	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	65.69	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	0.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1123	63.72	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REFUND	109595-6999 Other Expenditure	ELAN1123	-32.31	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CREDIT	109595-6999 Other Expenditure	ELAN1123	-9.69	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKS HALLOWEEN SUPPLIES	104071-6401 Community Programs	ELAN1123	201.19	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKS HALLOWEEN SUPPLIES	104071-6401 Community Programs	ELAN1123	49.30	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN1123	97.67	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN1123	56.47	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN1123	33.70	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN1123	206.45	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HERITAGE FEST - FOOD	104078-6401 Community Programs	ELAN1123	371.60	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104078-6401 Community Programs	ELAN1123	407.56	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FEST - FOOD	104078-6401 Community Programs	ELAN1123	53.86	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104078-6401 Community Programs	ELAN1123	299.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOTS SUPPLIES	104071-6401 / 22401-6401 Community Programs	ELAN1123	244.59	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOTS SUPPLIES	104071-6401 / 22401-6401 Community Programs	ELAN1123	186.64	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOTS SUPPLIES	104071-6401 / 22401-6401 Community Programs	ELAN1123	21.55	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOTS SUPPLIES	104071-6401 / 22401-6401 Community Programs	ELAN1123	74.82	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ACC PURCHASE REFUND ON 1.2.24	101512-6399 Other Supplies	ELAN1123	100.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	AMAZON RETURN COIN BOX	101515-6399 Other Supplies	ELAN1123	-17.47	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TRUNK OR TREAT EVENT DECCO	103040-6401 Community Programs	ELAN1123	21.74	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REFRIGERATOR MAGNETS	103040-6401 Community Programs	ELAN1123	326.50	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	1/1 ROTARY MTG MEAL	103040-6401 Community Programs	ELAN1123	11.82	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	AMAZON RETURN COIN BOX	101515-6399 Other Supplies	ELAN1123	-28.22	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLLIDAY LUNCHEON EXPENSES	109595-6399 / 239501-6399 Other Supplies	ELAN1123	1,500.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	UNIFORM SHIRT ORDER	101515-6360 Uniforms	ELAN1123	151.19	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	UNIFORM SHIRT ORDER	101515-6360	ELAN1123	175.85	NOVEMBER-23		00018324	02/22/2024

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	V012768		Uniforms						
MW OH	ELAN CORPORATE PAYMENT V012768	CLASS A UNIFORM SHIRT	101515-6360 Uniforms	ELAN1123	103.44	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UNIFORMS ACCESSORIES JOHNSON	102533-6360 Uniforms	ELAN1123	28.25	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UNIFORMS EADY PIVAROFF	102533-6360 Uniforms	ELAN1123	200.63	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPLACEMENT KEY BOARDS	101515-6364 Computer Hardware	ELAN1123	169.60	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DC REGISTER 6 MONTH SUBSCRIPT.	101515-6366 Web Based Service/Subscriptions	ELAN1123	1.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101514-6366 Web Based Service/Subscriptions	ELAN1123	99.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104071-6366 Web Based Service/Subscriptions	ELAN1123	19.99	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104071-6366 Web Based Service/Subscriptions	ELAN1123	16.99	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SHIRTS FOR ADMIN	103065-6360 Uniforms	ELAN1123	152.25	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UNIFORM ACCESSORY FOR JOHNSON	102533-6360 Uniforms	ELAN1123	19.02	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SHIRTS FOR CRR	103067-6360 Uniforms	ELAN1123	80.55	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR TRAINING - PERRY	103658-6345 Gasoline & Diesel Fuel	ELAN1123	81.16	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	127.98	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	76.13	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMEN V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	100.69	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	58.60	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	60.37	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	97.10	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	131.92	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	K9 TRAINING FUEL - IRVINE	103658-6345 Gasoline & Diesel Fuel	ELAN1123	90.84	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	K9 TRAINING FUEL - IRVINE	103658-6345 Gasoline & Diesel Fuel	ELAN1123	40.48	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	MDC SHIPPING CHARGES	103040-6325 Postage	ELAN1123	59.21	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	100.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN1123	66.12	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HERITAGE FEST - LAMINATING SHE	104078-6325 Postage	ELAN1123	32.31	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HERITAGE FEST SUPPLIES	104078-6325 Postage	ELAN1123	46.19	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BUILDING FOR LABEL	102532-6315 Office Supplies	ELAN1123	18.69	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BUILDING INSP. IPAD CASE	102532-6315 Office Supplies	ELAN1123	29.35	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMEN	RESO PAPER FOR PC MTGS.	102532-6315	ELAN1123	20.65	NOVEMBER-23		00018324	02/22/2024

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	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	BINDERS	103040-6315	ELAN1123	72.05	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	TONER	103040-6315	ELAN1123	63.60	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	MARGIE - RESO PAPER FOR PC RES	102531-6315	ELAN1123	10.60	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	EQMT. FOR CODE ENF. VEHICLE	102533-6315	ELAN1123	39.11	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	STEPHEN JOHNSON'S DESK SET UP	102533-6315	ELAN1123	72.83	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	STEPHEN JOHNSON'S DESK SET UP	102533-6315	ELAN1123	23.90	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	TACKING TAPE/CODE ENF. ROOM	102533-6315	ELAN1123	17.17	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	OFFICE SUPPLIES	101511-6315	ELAN1123	16.77	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	OFFICE SUPPLIES	101511-6315	ELAN1123	-16.77	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	OFFICE SUPPLIES	101511-6315	ELAN1123	-14.34	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	OFFICE SUPPLIES	101511-6315	ELAN1123	19.31	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	HERITAGE RADIO DOWN PAYMENT	104078-6299	ELAN1123	365.15	NOVEMBER-23		00018324	02/22/2024
	V012768		Other Purchased Services						
MW OH	ELAN CORPORATE PAYMENTS	SUPPLIES FOR PW INSPECTOR	103550-6315	ELAN1123	112.54	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENTS	CITY CLERK SUPPLIES	101513-6315	ELAN1123	21.72	NOVEMBER-23		00018324	02/22/2024
	V012768		Office Supplies						

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MW OH	ELAN CORPORATE PAYMENT V012768	CITY CLERK IPAD CASE	101513-6315 Office Supplies	ELAN1123	52.19	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LABEL MAKER - KRYSTLE	101512-6315 Office Supplies	ELAN1123	27.18	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR/ADMIN SUPPLIES	101512-6315 Office Supplies	ELAN1123	17.17	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	104070-6315 Office Supplies	ELAN1123	12.76	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	104070-6315 Office Supplies	ELAN1123	22.83	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	104070-6315 Office Supplies	ELAN1123	35.55	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	NS OFFICE SUPPLIES	104072-6315 Office Supplies	ELAN1123	7.44	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	NS OFFICE SUPPLIES	104072-6315 Office Supplies	ELAN1123	49.95	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SYMPATHY FLOWERS	101001-6301 Special Department Expenses	ELAN1123	71.03	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CARD FOR KAREN K.	101001-6301 Special Department Expenses	ELAN1123	8.18	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HERITAGE FESTIVAL LUNCH	104078-6310 Street Signs	ELAN1123	54.66	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	THANK YOU EDIBLE ARRANGEMENT	101511-6301 Special Department Expenses	ELAN1123	94.99	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COASTER STAND FOR CAUCUS	101511-6301 Special Department Expenses	ELAN1123	20.37	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BADGE PINNING ITEMS	101515-6301 Special Department Expenses	ELAN1123	20.49	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	NO SHAVE NOVEMBER DONATION	101515-6301	ELAN1123	25.00	NOVEMBER-23		00018324	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENTS V012768	STICKER FOR DRONE CERTIFICATION	101511-6301 Special Department Expenses	ELAN1123	5.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CSC ATTENDEE LIST	101511-6301 Special Department Expenses	ELAN1123	515.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PLANS EXAMINER INTERVIEW	101512-6301 Special Department Expenses	ELAN1123	99.19	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SR MGMT ANALYST PANEL	101512-6301 Special Department Expenses	ELAN1123	24.05	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HALLOWEEN POTLUCK FOOD	101512-6301 Special Department Expenses	ELAN1123	50.01	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR RETIREMENT BENEFITS	101512-6301 Special Department Expenses	ELAN1123	56.38	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	LUNCH FOR RETIREMENT BENEFITS	101512-6301 Special Department Expenses	ELAN1123	228.53	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OUTREACH BASKETS	103067-6301 Special Department Expenses	ELAN1123	10.86	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FIRE DEPT SUPPLIES	103065-6301 Special Department Expenses	ELAN1123	18.96	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CONDOLENCE FLOWERS	103065-6301 Special Department Expenses	ELAN1123	118.50	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FIRE DEPT SUPPLIES	103065-6301 Special Department Expenses	ELAN1123	-0.30	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FIRE DEPT SUPPLIES	103065-6301 Special Department Expenses	ELAN1123	45.15	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FIRE DEPT SUPPLIES	103065-6301 Special Department Expenses	ELAN1123	165.75	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ADJUSTABLE DESK CONVERTER	103040-6301 Special Department Expenses	ELAN1123	141.36	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	DETECTIVE TOLL ROAD CHARGES	103040-6301 Special Department Expenses	ELAN1123	25.50	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DETECTIVE TOLL ROAD CHARGES	103040-6301 Special Department Expenses	ELAN1123	6.70	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ANGEL TREE SUPPLIES	103040-6301 Special Department Expenses	ELAN1123	23.44	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ANGEL TREE SUPPLIES	103040-6301 Special Department Expenses	ELAN1123	20.84	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PD SUPPLIES	103040-6301 Special Department Expenses	ELAN1123	0.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DETECTIVE TOLL ROAD	103040-6301 Special Department Expenses	ELAN1123	2.55	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ANGEL TREE SUPPLIES	103040-6301 Special Department Expenses	ELAN1123	18.42	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	0/25 ROTARY MTG MEAL	103040-6301 Special Department Expenses	ELAN1123	25.03	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DETECTIVE TOLL ROAD	103040-6301 Special Department Expenses	ELAN1123	3.40	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DETECTIVE TOLL ROAD	103040-6301 Special Department Expenses	ELAN1123	3.35	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SYMPATHY FLOWERS FOR PD VIP	103040-6301 Special Department Expenses	ELAN1123	86.37	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SMALL REFRIGERATOR	103040-6301 Special Department Expenses	ELAN1123	271.86	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ANGEL TREE SUPPLIES	103040-6301 Special Department Expenses	ELAN1123	8.72	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BADGE TO PATCH CONVERSION SVS	103040-6301 Special Department Expenses	ELAN1123	34.15	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	REPLENISH GLOVES & WIPES	103043-6301	ELAN1123	391.50	NOVEMBER-23		00018324	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENTS V012768	REPLENISH JAIL BLANKETS	103043-6301 Special Department Expenses	ELAN1123	486.94	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	STORAGE BINS	103043-6301 Special Department Expenses	ELAN1123	47.35	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REPLENISH GLOVES & WIPES	103043-6301 Special Department Expenses	ELAN1123	1,021.68	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SPEED TRAILER LOCK	103047-6301 Special Department Expenses	ELAN1123	14.85	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COMMUNITY RAFFLE DINNER	103066-6301 Special Department Expenses	ELAN1123	234.68	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SEARCH WARRANTS STAFF MEALS	103042-6301 Special Department Expenses	ELAN1123	131.08	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	INVESTIGATION SUPPLIES	103042-6301 Special Department Expenses	ELAN1123	83.11	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR INVESTIGATIONS	103042-6301 Special Department Expenses	ELAN1123	90.48	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FEER SUPPORT CONF HOTEL	503040-6301 / 233004-6301 Special Department Expenses	ELAN1123	680.92	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FEER SUPPORT CONF HOTEL	503040-6301 / 233004-6301 Special Department Expenses	ELAN1123	680.92	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FEER SUPPORT CONF HOTEL	503040-6301 / 233004-6301 Special Department Expenses	ELAN1123	680.92	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FEER SUPPORT CONF HOTEL	503040-6301 / 233004-6301 Special Department Expenses	ELAN1123	680.92	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	9 DOG FOOD	103041-6301 Special Department Expenses	ELAN1123	75.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	9/27-10/26 MCV DIRECT TV SVS	103041-6301 Special Department Expenses	ELAN1123	95.99	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	K9 DOG FOOD	103041-6301 Special Department Expenses	ELAN1123	75.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOMELESS CAMP CLEAN-UP SUPPLIES	103041-6301 Special Department Expenses	ELAN1123	224.04	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FD STAFF HERITAGE MEALS	103041-6301 Special Department Expenses	ELAN1123	750.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE SUPPLIES	103041-6301 Special Department Expenses	ELAN1123	61.72	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE SUPPLIES	103041-6301 Special Department Expenses	ELAN1123	83.15	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 DOG FOOD	103041-6301 Special Department Expenses	ELAN1123	56.94	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	K9 DOG FOOD - ENZO	103041-6301 Special Department Expenses	ELAN1123	65.03	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FD STAFF HERITAGE MEALS	103041-6301 Special Department Expenses	ELAN1123	372.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SHOTGUN RAIL MOUNT - GILLIS	103041-6301 Special Department Expenses	ELAN1123	87.03	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HALLOWEEN EVENT AT SC	104079-6301 Special Department Expenses	ELAN1123	314.87	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1123	58.33	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1123	57.07	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BROWN BAG	109595-6301 Special Department Expenses	ELAN1123	532.26	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MEETING EXPENSES	109595-6301 Special Department Expenses	ELAN1123	150.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	EXPLORER HERITAGE MEALS	763041-6301	ELAN1123	412.35	NOVEMBER-23		00018324	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENEXPLORER SUPPLIES V012768		763041-6301 Special Department Expenses	ELAN1123	600.84	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENEXPLORER SUPPLIES V012768		763041-6301 Special Department Expenses	ELAN1123	114.03	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENEXPLORER SUPPLIES V012768		763041-6301 Special Department Expenses	ELAN1123	152.18	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENEXPLORER COMPETITION REG V012768		763041-6301 Special Department Expenses	ELAN1123	1,070.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENEXPLORER SUPPLIES V012768		763041-6301 Special Department Expenses	ELAN1123	991.67	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTRAINING TASERS V012768		763041-6301 Special Department Expenses	ELAN1123	1,173.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTEEN CTR MAINT SUPPLIES V012768		833593-6301 Special Department Expenses	ELAN1123	46.29	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTSENIOR CENTER SUPPLIES V012768		104079-6301 Special Department Expenses	ELAN1123	69.75	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTSENIOR CENTER SUPPLIES V012768		104079-6301 Special Department Expenses	ELAN1123	19.98	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTSENIOR CENTER SUPPLIES V012768		104079-6301 Special Department Expenses	ELAN1123	139.21	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTGOMEZ CTR MAINT SUPPLIES V012768		104076-6301 Special Department Expenses	ELAN1123	82.52	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTRADIO EARPIECES HERITAGE V012768		104078-6301 Special Department Expenses	ELAN1123	186.75	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTHERITAGE STAFF MEETING DRINKS V012768		104078-6301 Special Department Expenses	ELAN1123	38.44	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTCITY YARD MAINT SUPPLIES V012768		103654-6301 Special Department Expenses	ELAN1123	173.75	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	21.70	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	5.36	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	YD MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	97.64	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL AND OLD CITY HALL SU	103654-6301 Special Department Expenses	ELAN1123	64.88	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	YD MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	25.76	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	25.45	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SANDWICHES - HALLOWEEN	109595-6301 Special Department Expenses	ELAN1123	179.90	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PIZZA FOR HALLOWEEN POTLUCK	109595-6301 Special Department Expenses	ELAN1123	139.37	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HIGH FIVE AWARD - HOLIDAY LUNC	109595-6301 Special Department Expenses	ELAN1123	56.32	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HALLOWEEN POTLUCK SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	173.24	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	36.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	49.54	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	YD COFFEE SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	49.67	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HOLIDAY PARTY SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	130.50	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	SUPPLIES FOR ELECTED OFFICIAL	109595-6301	ELAN1123	39.70	NOVEMBER-23		00018324	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES/BROWN BAG	109595-6301 Special Department Expenses	ELAN1123	138.66	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES/CT	109595-6301 Special Department Expenses	ELAN1123	12.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	23.19	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE EXPENSES	109595-6301 Special Department Expenses	ELAN1123	21.56	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1123	28.47	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRST AID KIT CITY YARD	103654-6301 Special Department Expenses	ELAN1123	152.23	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CODE ENFORCEMENT ROOM	103654-6301 Special Department Expenses	ELAN1123	152.22	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DEPOSIT FOR (3) OFFICE SIGNS	103654-6301 Special Department Expenses	ELAN1123	500.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL REP/MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	13.68	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLYING INSECT TRAPS	103654-6301 Special Department Expenses	ELAN1123	35.88	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GOMEZ BLDG MAINT SUPPL	103654-6301 Special Department Expenses	ELAN1123	57.45	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	13.84	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HERITAGE SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	46.30	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RADIO EARPIECES TAMALE FEST	104078-6301 Special Department Expenses	ELAN1123	209.65	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR HERITAGE FESTIVAL	104078-6301 Special Department Expenses	ELAN1123	67.22	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	43.07	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	STAFF MEETING FOOD HERITAGE	104078-6301 Special Department Expenses	ELAN1123	424.75	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SANITIZER TEST STRIPS HERITAGE	104078-6301 Special Department Expenses	ELAN1123	20.95	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SOAP & BLEACH HERITAGE	104078-6301 Special Department Expenses	ELAN1123	19.34	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ICE FOR HERITAGE	104078-6301 Special Department Expenses	ELAN1123	7.59	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUNBLOCK FOR HERITAGE FESTIVAL	104078-6301 Special Department Expenses	ELAN1123	44.65	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CS SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	22.77	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	43.47	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	103.66	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	47.33	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	51.60	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR HERITAGE FESTIVAL	104078-6301 Special Department Expenses	ELAN1123	38.73	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	17.20	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	HERITAGE FESTIVAL SUPPLIES	104078-6301	ELAN1123	88.74	NOVEMBER-23		00018324	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL LUNCH	104078-6301 Special Department Expenses	ELAN1123	638.62	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR HERITAGE FESTIVAL	104078-6301 Special Department Expenses	ELAN1123	731.72	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FESTIVAL SUPPLIES	104078-6301 Special Department Expenses	ELAN1123	21.42	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE PARADE	103652-6301 Special Department Expenses	ELAN1123	77.00	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE PARADE	103652-6301 Special Department Expenses	ELAN1123	101.24	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR STREET DEPT	103652-6301 Special Department Expenses	ELAN1123	221.71	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR STREET DEPT	103652-6301 Special Department Expenses	ELAN1123	47.19	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	WAGNER PARK EVENT SUPPLIES	104071-6301 Special Department Expenses	ELAN1123	402.55	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	RECREATION SUPPLIES	104071-6301 Special Department Expenses	ELAN1123	89.22	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOT PRINTING SERVICES	104071-6301 / 22401-6401 Special Department Expenses	ELAN1123	20.65	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOT PRINTING SERVICES	104071-6301 / 22401-6401 Special Department Expenses	ELAN1123	14.13	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITY HALL REP/MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	9.63	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CH/PD REP/MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	326.58	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BACKS BLDG MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	31.71	NOVEMBER-23		00018324	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL SUPPLIES	103654-6301 Special Department Expenses	ELAN1123	77.99	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD MAINT SUPPLIES	103652-6301 Special Department Expenses	ELAN1123	72.84	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HERITAGE FEST SUPPLIES	103652-6301 Special Department Expenses	ELAN1123	130.55	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIXED CONCRETE FOR PARADE	103652-6301 Special Department Expenses	ELAN1123	19.27	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ATWOOD MAINT SUPPLIES	104076-6301 Special Department Expenses	ELAN1123	25.42	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RIBBON CUTTING CEREMONY SUPP.	104071-6301 Special Department Expenses	ELAN1123	25.29	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPLACEMENT TABLES	104071-6301 Special Department Expenses	ELAN1123	731.72	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1123	59.88	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1123	30.17	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1123	26.63	NOVEMBER-23		00018324	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COMM SVS SUPPLIES	104071-6301 Special Department Expenses	ELAN1123	56.00	NOVEMBER-23		00018324	02/22/2024
Check Total:					81,476.67				
MW OH	CALIFORNIA PUBLIC V006234	FEB MED INS PREMIUM	395083-5161 Health Insurance Premiums	EFT021324	15,543.00	10000001742131		00018325	02/22/2024
MW OH	CALIFORNIA PUBLIC V006234	FEB MED INS PREMIUM	395083-5161 Health Insurance Premiums	EFT021324	321.71	10000001742131		00018325	02/22/2024
MW OH	CALIFORNIA PUBLIC V006234	FEB MED INS PREMIUM	395000-4715 ISF Health Ins Reimbursement	EFT021324	226,038.16	10000001742131		00018325	02/22/2024

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MW OH	CALIFORNIA PUBLIC V006234	FEB MED INS PREMIUM	395000-4715 ISF Health Ins Reimbursement	EFT021324	723.32	10000001742131		00018325	02/22/2024
MW OH	CALIFORNIA PUBLIC V006234	FEB NON-PERS MED INS PREMIUM	395000-4715 ISF Health Ins Reimbursement	EFT021324	47,124.36	10000001742131		00018325	02/22/2024
MW OH	CALIFORNIA PUBLIC V006234	FEB NON-PERS MED INS PREMIUM	395000-4715 ISF Health Ins Reimbursement	EFT021324	150.80	10000001742131		00018325	02/22/2024
Check Total:					289,901.35				
MW OH	WASHINGTON STATE V011597	WA CHILD SUPP PE 2/3 PD 2/10	0010-2196 Garnishments W/H	EFT021324	823.09	PR2401003		00018326	02/22/2024
Check Total:					823.09				
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0048-2195 PERS Uniform	EFT021324	0.41	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0078-2195 PERS Uniform	EFT021324	0.56	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0010-2195 PERS Uniform	EFT021324	26.37	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0029-2195 PERS Uniform	EFT021324	0.04	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0040-2150 Survivor Benefit Package	EFT021324	0.93	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0029-2150 Survivor Benefit Package	EFT021324	1.13	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0010-2150 Survivor Benefit Package	EFT021324	148.98	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0054-2140 Employee PERS W/H	EFT021324	423.91	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0078-2140 Employee PERS W/H	EFT021324	1,168.54	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC	PERS PE1/6 PD1/12	0033-2140	EFT021324	2,044.44	PR2401001		00018327	02/22/2024

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	V010053		Employee PERS W/H						
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0037-2140 Employee PERS W/H	EFT021324	1,501.78	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0040-2140 Employee PERS W/H	EFT021324	836.35	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0048-2140 Employee PERS W/H	EFT021324	2,016.75	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0029-2140 Employee PERS W/H	EFT021324	527.88	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0010-2140 Employee PERS W/H	EFT021324	129,984.20	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0010-2145 Employee PERS Payback W/H	EFT021324	223.30	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0029-2145 Employee PERS Payback W/H	EFT021324	2.59	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0037-2145 Employee PERS Payback W/H	EFT021324	18.11	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0048-2145 Employee PERS Payback W/H	EFT021324	4.40	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0048-2150 Survivor Benefit Package	EFT021324	2.81	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0054-2150 Survivor Benefit Package	EFT021324	0.40	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0054-2145 Employee PERS Payback W/H	EFT021324	10.35	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0078-2150 Survivor Benefit Package	EFT021324	0.93	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0037-2150 Survivor Benefit Package	EFT021324	2.09	PR2401001		00018327	02/22/2024

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MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/6 PD1/12	0033-2150 Survivor Benefit Package	EFT021324	3.11	PR2401001		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0033-2150 Survivor Benefit Package	EFT021324	3.11	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0048-2150 Survivor Benefit Package	EFT021324	2.81	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0040-2150 Survivor Benefit Package	EFT021324	0.93	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0037-2150 Survivor Benefit Package	EFT021324	2.10	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0048-2145 Employee PERS Payback W/H	EFT021324	4.40	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0054-2150 Survivor Benefit Package	EFT021324	0.40	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0054-2145 Employee PERS Payback W/H	EFT021324	10.35	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0037-2145 Employee PERS Payback W/H	EFT021324	18.11	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0010-2145 Employee PERS Payback W/H	EFT021324	223.30	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0029-2145 Employee PERS Payback W/H	EFT021324	2.59	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0010-2140 Employee PERS W/H	EFT021324	131,355.79	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0029-2140 Employee PERS W/H	EFT021324	529.80	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0040-2140 Employee PERS W/H	EFT021324	836.35	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC	PERS PE1/20 PD1/26	0033-2140	EFT021324	2,044.44	PR2401002		00018327	02/22/2024

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	V010053		Employee PERS W/H						
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0037-2140 Employee PERS W/H	EFT021324	2,130.24	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0054-2140 Employee PERS W/H	EFT021324	423.91	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0078-2140 Employee PERS W/H	EFT021324	1,168.53	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0048-2140 Employee PERS W/H	EFT021324	2,053.11	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0078-2150 Survivor Benefit Package	EFT021324	0.92	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0029-2150 Survivor Benefit Package	EFT021324	1.15	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0010-2150 Survivor Benefit Package	EFT021324	144.82	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0048-2195 PERS Uniform	EFT021324	0.41	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0010-2195 PERS Uniform	EFT021324	26.36	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0029-2195 PERS Uniform	EFT021324	0.05	PR2401002		00018327	02/22/2024
MW OH	CALIFORNIA PUBLIC V010053	PERS PE1/20 PD1/26	0078-2195 PERS Uniform	EFT021324	0.56	PR2401002		00018327	02/22/2024
Check Total:					279,934.90				
MW OH	CALIFORNIA STATE V004813	CA CHILD SUPP PE 2/3 PD 2/9	0048-2196 Garnishments W/H	EFT021324	46.15	PR2401003		00018328	02/22/2024
MW OH	CALIFORNIA STATE V004813	CA CHILD SUPP PE 2/3 PD 2/9	0037-2196 Garnishments W/H	EFT021324	69.23	PR2401003		00018328	02/22/2024
MW OH	CALIFORNIA STATE	CA CHILD SUPP PE 2/3 PD 2/9	0029-2196	EFT021324	9.23	PR2401003		00018328	02/22/2024

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	V004813		Garnishments W/H						
MW OH	CALIFORNIA STATE V004813	CA CHILD SUPP PE 2/3 PD 2/9	0010-2196 Garnishments W/H	EFT021324	1,859.98	PR2401003		00018328	02/22/2024
Check Total:					1,984.59				
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0010-2135 Calif Income Tax W/H	EFT021324	38,158.95	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0029-2135 Calif Income Tax W/H	EFT021324	195.86	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0040-2135 Calif Income Tax W/H	EFT021324	354.02	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0037-2135 Calif Income Tax W/H	EFT021324	534.90	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0033-2135 Calif Income Tax W/H	EFT021324	802.58	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0076-2135 Calif Income Tax W/H	EFT021324	7.40	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0078-2135 Calif Income Tax W/H	EFT021324	218.19	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0048-2135 Calif Income Tax W/H	EFT021324	482.23	PR2401003		00018329	02/22/2024
MW OH	EMPLOYMENT V010052	STATE WITHHOLD. PE2/3 PD2/9	0054-2135 Calif Income Tax W/H	EFT021324	113.56	PR2401003		00018329	02/22/2024
Check Total:					40,867.69				
MW OH	INTERNAL REVENUE V010054	Q4 2023 - 941V	0010-2120 Employer Medicare Payable	EFT021324	339.47	PR2301999		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	Q4 2023 - 941V	101511-5135 Medicare	EFT021324	237.83	PR2301999		00018330	02/22/2024
MW OH	INTERNAL REVENUE	FED TAX PE2/3 PD 2/9	0033-2120	EFT021324	198.61	PR2401003		00018330	02/22/2024

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	V010054		Employer Medicare Payable						
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0037-2120 Employer Medicare Payable	EFT021324	148.77	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0048-2120 Employer Medicare Payable	EFT021324	180.40	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0040-2120 Employer Medicare Payable	EFT021324	82.09	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0054-2120 Employer Medicare Payable	EFT021324	37.93	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0050-2120 Employer Medicare Payable	EFT021324	0.00	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0061-2120 Employer Medicare Payable	EFT021324	0.00	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0076-2120 Employer Medicare Payable	EFT021324	1.88	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0010-2125 Employee Social Sec W/H	EFT021324	18.50	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0010-2130 Employer Soc Sec Payable	EFT021324	18.50	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0010-2110 Federal Income Tax W/H	EFT021324	95,186.77	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0029-2110 Federal Income Tax W/H	EFT021324	272.45	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0033-2110 Federal Income Tax W/H	EFT021324	2,111.22	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0037-2110 Federal Income Tax W/H	EFT021324	1,221.05	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0040-2110 Federal Income Tax W/H	EFT021324	430.74	PR2401003		00018330	02/22/2024

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MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0048-2110 Federal Income Tax W/H	EFT021324	1,481.70	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0050-2110 Federal Income Tax W/H	EFT021324	0.00	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0054-2110 Federal Income Tax W/H	EFT021324	256.13	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0061-2110 Federal Income Tax W/H	EFT021324	0.00	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0076-2110 Federal Income Tax W/H	EFT021324	15.59	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0078-2110 Federal Income Tax W/H	EFT021324	658.98	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0076-2115 Employee Medicare W/H	EFT021324	1.88	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0061-2115 Employee Medicare W/H	EFT021324	0.00	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0054-2115 Employee Medicare W/H	EFT021324	37.93	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0050-2115 Employee Medicare W/H	EFT021324	0.00	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0048-2115 Employee Medicare W/H	EFT021324	180.40	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0040-2115 Employee Medicare W/H	EFT021324	82.09	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0037-2115 Employee Medicare W/H	EFT021324	148.77	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0033-2115 Employee Medicare W/H	EFT021324	198.61	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE	FED TAX PE2/3 PD 2/9	0029-2115	EFT021324	59.74	PR2401003		00018330	02/22/2024

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	V010054		Employee Medicare W/H						
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0010-2115 Employee Medicare W/H	EFT021324	12,717.50	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0078-2115 Employee Medicare W/H	EFT021324	62.72	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0078-2120 Employer Medicare Payable	EFT021324	62.72	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0010-2120 Employer Medicare Payable	EFT021324	12,717.50	PR2401003		00018330	02/22/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE2/3 PD 2/9	0029-2120 Employer Medicare Payable	EFT021324	59.74	PR2401003		00018330	02/22/2024
Check Total:					129,228.21				
MW OH	MISSION SQUARE 100091 V012393	401 A PE2/3 PD2/9	0010-2170 Deferred Comp Payable - ICMA	EFT021324	10,443.25	PR2101003		00018331	02/22/2024
Check Total:					10,443.25				
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0010-2170 Deferred Comp Payable - ICMA	EFT021324	34,199.42	301387-PY2403		00018332	02/22/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0029-2170 Deferred Comp Payable - ICMA	EFT021324	42.68	301387-PY2403		00018332	02/22/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0040-2170 Deferred Comp Payable - ICMA	EFT021324	300.00	301387-PY2403		00018332	02/22/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0048-2170 Deferred Comp Payable - ICMA	EFT021324	566.67	301387-PY2403		00018332	02/22/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0033-2170 Deferred Comp Payable - ICMA	EFT021324	108.72	301387-PY2403		00018332	02/22/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0037-2170 Deferred Comp Payable - ICMA	EFT021324	481.11	301387-PY2403		00018332	02/22/2024
MW OH	MISSION SQUARE 301387	EE/ER CONTR & EE LOANS PE2/3 P	0078-2170	EFT021324	75.00	301387-PY2403		00018332	02/22/2024

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	V012394		Deferred Comp Payable - ICMA						
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0076-2170 Deferred Comp Payable - ICMA	EFT021324	4.81	301387-PY2403		00018332	02/22/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER CONTR & EE LOANS PE2/3 P	0054-2170 Deferred Comp Payable - ICMA	EFT021324	100.27	301387-PY2403		00018332	02/22/2024
Check Total:					35,878.68				
MW OH	PLACENTIA FIREFIGHTERS V011878	PFPA PE 1/20 PD 1/26	0010-2178 Placentia Police Assoc Dues	PY2401002	800.00	PR2401002		00018334	02/22/2024
Check Total:					800.00				
MW OH	PLACENTIA POLICE V000839	PPFMA PE 1/20 PD 1/26	0010-2180 Police Mgmt Assn Dues	PY2401002	1,493.28	PR2401002		00018335	02/22/2024
Check Total:					1,493.28				
MW OH	PLACENTIA POLICE V003519	PPOA PE 1/20 PD 1/26	0010-2178 Placentia Police Assoc Dues	PY2401002	3,260.09	PR2401002		00018336	02/22/2024
MW OH	PLACENTIA POLICE V003519	PPOA PE 1/20 PD 1/26	0078-2178 Placentia Police Assoc Dues	PY2401002	47.66	PR2401002		00018336	02/22/2024
Check Total:					3,307.75				
MW OH	ELAN CORPORATE PAYMENTS V012768	NOV 2023 MONTHLY CHARGES	101523-6136 Software Maintenance	ELAN1223	260.62	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ANTIFREEZE	103066-6134 Vehicle Repair & Maintenance	ELAN1223	96.92	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINTENANCE SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	ELAN1223	27.09	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TW MANAGER JOB ADVERTISEMENT	101512-6225 Advertising/Promotional	ELAN1223	300.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CALPELRA CONFERENCE STAY	101512-6235 Travel	ELAN1223	991.41	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	FD TRAINING HOTEL - TREJO	103041-6235	ELAN1223	743.65	DECEMBER-23		00018337	02/22/2024

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	V012768		Travel						
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING HOTEL	103041-6235 Travel	ELAN1223	743.65	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKING 4 TRAINING JOHNSON	102533-6235 Travel	ELAN1223	30.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKING LUNCH	109595-6245 Meetings & Conferences	ELAN1223	33.80	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKING LUNCH: JOE	109595-6245 Meetings & Conferences	ELAN1223	11.41	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKING LUNCH	109595-6245 Meetings & Conferences	ELAN1223	13.33	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OCCMA HOLIDAY LUNCHEON-STAFF	109595-6245 Meetings & Conferences	ELAN1223	260.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REFRESHMENTS FOR MGNT & STAFF	109595-6245 Meetings & Conferences	ELAN1223	77.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKING LUNCH	109595-6245 Meetings & Conferences	ELAN1223	66.89	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	104070-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LIBRARY MAINT SUPPLIES	103654-6130 / 21008-6130 Repair & Maint/Facilities	ELAN1223	37.18	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FW MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	100.57	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL REP/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	331.08	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL REP/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	116.89	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	16.13	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	52.20	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EMPLOYEE SCHEDULING PROGRM.	104070-6099 Professional Services	ELAN1223	234.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TREE LIGHTING CRAFTS	104071-6099 / 79394-6099 Professional Services	ELAN1223	87.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CANDY CANES -TREE LIGHTING	104071-6099 / 79394-6099 Professional Services	ELAN1223	9.10	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TREE LIGHTING CRAFTS	104071-6099 / 79394-6099 Professional Services	ELAN1223	143.43	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	AUTO TINT	104076-6099 Professional Services	ELAN1223	257.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	AUTO TINT	104076-6099 Professional Services	ELAN1223	270.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	2G FEE	102020-6044 Credit Card Disputes	ELAN1223	1.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	107.70	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	145.24	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	ELAN1223	50.10	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	37.94	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FREE PARK MAINT SUPPL	104076-6130 Repair & Maint/Facilities	ELAN1223	123.71	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	53.84	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	REPAIR/MAINT SUPPLIES	104076-6130	ELAN1223	21.39	DECEMBER-23		00018337	02/22/2024

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	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	42.67	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	30.12	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	84.62	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINT TECH SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	703.97	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINT TECH SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	244.37	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINT TECH SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	731.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINT TECH SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN1223	171.62	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	16.31	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	61.20	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	17.40	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	29.36	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	17.94	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	16.31	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	18.49	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	SHADER-CONFERENCE	101001-6245 Meetings & Conferences	ELAN1223	204.58	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SHADER-CONFERENCE	101001-6245 Meetings & Conferences	ELAN1223	54.60	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	18.49	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	16.31	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING-DAMIEN	101511-6245 Meetings & Conferences	ELAN1223	4.49	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SCOOTER RENTAL FOR CPRS	104071-6245 Meetings & Conferences	ELAN1223	210.55	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1223	34.21	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BATTALION CHIEF PANEL/EE LUNCH	01512-6245 Meetings & Conferences	ELAN1223	239.68	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	WORKING LUNCH	101511-6245 Meetings & Conferences	ELAN1223	5.77	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1223	82.50	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN1223	66.09	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	DAMIEN, WORKING LUNCH	101511-6245 Meetings & Conferences	ELAN1223	5.15	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	DAMIEN-BREAKFAST MEETING	101511-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BUSINESS MEETING-DAMIEN	101511-6245 Meetings & Conferences	ELAN1223	4.49	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	COUNCIL, MGMNT, STAFF DINNERS	101001-6245	ELAN1223	153.54	DECEMBER-23		00018337	02/22/2024

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	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	201.27	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	374.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	IEREMY-BUSINESS MEETING	101001-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HONDA-CONFERENCE	101001-6245 Meetings & Conferences	ELAN1223	771.72	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BATTALION CHIEF REFRESHMENTS	101512-6245 Meetings & Conferences	ELAN1223	18.04	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	KOSANA-BUSINESS MEETING	101512-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR RETREAT 11/13 BRKFST	101512-6245 Meetings & Conferences	ELAN1223	101.65	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	17.40	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	16.31	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	17.40	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN1223	17.94	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PFMA MEDIATION	102020-6245 Meetings & Conferences	ELAN1223	94.43	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	T1/29 ROTARY MTG MEAL	103040-6245 Meetings & Conferences	ELAN1223	13.15	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	103040-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	103040-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	103040-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES	103550-6245 Meetings & Conferences	ELAN1223	65.64	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	103550-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ONBOARD LUNCH W/SR. ENGINEER	103550-6245 Meetings & Conferences	ELAN1223	46.90	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SOCAL WASTE MGMT FORUM	103550-6245 Meetings & Conferences	ELAN1223	235.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKSHOP LUNCH	103066-6245 Meetings & Conferences	ELAN1223	112.97	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SCAG ECONOMIC SUMIT	101534-6245 Meetings & Conferences	ELAN1223	275.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAPTAINS WORKSHOP - BREAKFAST	103066-6245 Meetings & Conferences	ELAN1223	27.40	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAPTAINS WORKSHOP - BREAKFAST	103066-6245 Meetings & Conferences	ELAN1223	20.95	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAPTAINS WORKSHOP - LUNCH	103066-6245 Meetings & Conferences	ELAN1223	98.95	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ROESTI 3A AND 3D CLASS	103066-6245 Meetings & Conferences	ELAN1223	815.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WORKSHOP LUNCH	103066-6245 Meetings & Conferences	ELAN1223	112.97	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	103040-6245 Meetings & Conferences	ELAN1223	30.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	CEOAC TICKET - NATHAN R.	103551-6245	ELAN1223	50.00	DECEMBER-23		00018337	02/22/2024

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	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT V012768	CEOAC TICKET - RAQUEL GARCIA	103551-6245 Meetings & Conferences	ELAN1223	50.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEOAC TICKET - GABRIEL GUERRE	103551-6245 Meetings & Conferences	ELAN1223	50.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEOAC TICKET - CHRIS TANIO	103551-6245 Meetings & Conferences	ELAN1223	50.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMART CITIES CONFERENCE	103550-6245 Meetings & Conferences	ELAN1223	29.35	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRANSPORTATION 11/27 - SMRT CC	103550-6245 Meetings & Conferences	ELAN1223	40.36	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRANSPORTATION 11/27 - SMRT CC	103550-6245 Meetings & Conferences	ELAN1223	94.55	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMART CITIES CONFERENCE	103550-6245 Meetings & Conferences	ELAN1223	23.55	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOTEL STAY - SMRT CITIES CONF	103550-6245 Meetings & Conferences	ELAN1223	683.22	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMART CITIES CONFERENCE	103550-6245 Meetings & Conferences	ELAN1223	15.90	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMRT CITIES CONF W/SHADER	103550-6245 Meetings & Conferences	ELAN1223	297.51	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMRT CITIES CONF W/SHADER	103550-6245 Meetings & Conferences	ELAN1223	46.37	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMART CITIES CONFERENCE	103550-6245 Meetings & Conferences	ELAN1223	25.97	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMART CITIES CONFERENCE	103550-6245 Meetings & Conferences	ELAN1223	22.26	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEAL SMRT CITIES CONF W/SHADER	103550-6245 Meetings & Conferences	ELAN1223	73.48	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	TRANSPORTATION 11/30 - SMRT CC	103550-6245 Meetings & Conferences	ELAN1223	40.87	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEO SEMINAR - PIVAROFF	102533-6250 Staff Training	ELAN1223	54.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAINING FOR S. JOHNSON	102533-6250 Staff Training	ELAN1223	175.20	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FORM 1099	102020-6250 Staff Training	ELAN1223	219.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LEAGUE OF CA CITIES MEMBERSHIP	101511-6250 Staff Training	ELAN1223	25.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PRIORITY DISPATCH - REG	101515-6250 Staff Training	ELAN1223	258.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAINING REGISTRATION	101515-6250 Staff Training	ELAN1223	150.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BEHAVIORAL ANALYSYS TRAINING	103041-6250 Staff Training	ELAN1223	138.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BEHAVIORAL ANALYSYS TRAINING	103041-6250 Staff Training	ELAN1223	138.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TASER TRAINING SUPPLIES	103041-6250 Staff Training	ELAN1223	62.36	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TASER TRAINING SUPPLIES	103041-6250 Staff Training	ELAN1223	45.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DRONE FAA TEST - MENDOZA	103042-6250 Staff Training	ELAN1223	175.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG - GRIFFITH	103043-6250 Staff Training	ELAN1223	574.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LET'S DANCE DINNER	104071-6301 Special Department Expenses	ELAN1223	168.57	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	TINY TOTS SUPPLIES	104071-6301 / 22401-6301	ELAN1223	57.65	DECEMBER-23		00018337	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1223	11.31	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TOT PRINTING SERVICES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1223	13.04	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LET'S DANCE DINNER	104071-6301 Special Department Expenses	ELAN1223	114.66	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GOMEZ FACILITY SUPPLIES	104071-6301 Special Department Expenses	ELAN1223	5.42	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GOMEZ FACILITY SUPPLIES	104071-6301 Special Department Expenses	ELAN1223	34.63	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TREE LIGHTING SUPPLIES	104071-6301 Special Department Expenses	ELAN1223	18.42	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TYB COACHING BINDERS	104071-6301 Special Department Expenses	ELAN1223	81.18	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CHRISTMAS TREES	104071-6301 Special Department Expenses	ELAN1223	300.06	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TREE SHOW SANTA FACE LIGHT	104071-6301 Special Department Expenses	ELAN1223	158.69	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TREE LIGHTING EVENT SUPPLIES	104071-6301 / 79394-6301 Special Department Expenses	ELAN1223	154.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CHRISTMAS TREE SHOW LIGHTS	104071-6301 / 79394-6301 Special Department Expenses	ELAN1223	70.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVIE SUBSCRIPTION	104071-6301 Special Department Expenses	ELAN1223	19.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EXTENTION CORDS TREE LIGHTING	104071-6301 / 79394-6301 Special Department Expenses	ELAN1223	71.03	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LET'S DANCE DINNER - 11/11/23	104071-6301 Special Department Expenses	ELAN1223	134.20	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	TREE LIGHTING EVENT SUPPLIES	104071-6301 Special Department Expenses	ELAN1223	76.42	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SPECIAL EVENT SUPPLIES	104071-6301 Special Department Expenses	ELAN1223	29.34	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICE FOR TREE LIGHTING	104071-6301 Special Department Expenses	ELAN1223	14.59	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	ELAN1223	93.78	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EVENT LUNCH MEETING	104071-6301 Special Department Expenses	ELAN1223	66.52	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TREE LIGHTING EVENT SUPPLIES	104071-6301 Special Department Expenses	ELAN1223	32.29	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR TREE LIGHTING EVENT	104071-6301 Special Department Expenses	ELAN1223	503.33	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR TREE LIGHTING EVENT	104071-6301 Special Department Expenses	ELAN1223	223.29	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MUSIC SUBSCRIPTION	104071-6301 Special Department Expenses	ELAN1223	16.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD ROOM RACK REPLACEMENT	104071-6301 Special Department Expenses	ELAN1223	711.09	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CREDIT - PD TRAINING REG	213041-6250 Staff Training	ELAN1223	-225.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEMBERSHIP RENEWAL	101515-6255 Dues & Memberships	ELAN1223	147.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	APCO - MEMBERSHIP	101515-6255 Dues & Memberships	ELAN1223	136.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CACEO MEMBERSHIP	102533-6255 Dues & Memberships	ELAN1223	100.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	CACEO MEMBERSHIP	102533-6255	ELAN1223	100.00	DECEMBER-23		00018337	02/22/2024

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	V012768		Dues & Memberships						
MW OH	ELAN CORPORATE PAYMENTS V012768	APWA MEMBERSHIP FEE	103550-6255 Dues & Memberships	ELAN1223	286.25	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	WEBSITE DOMAIN	581573-6290 Dept. Contract Services	ELAN1223	7.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	1/20-12/19 MAPPING SERVICES	103041-6290 Dept. Contract Services	ELAN1223	15.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CARDBOARD SUPPLIES FOR CCB DECOR	104072-6301 Special Department Expenses	ELAN1223	110.93	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR CCB DECOR	104072-6301 Special Department Expenses	ELAN1223	23.60	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TAPE FOR DECORATION FOR CCB	104072-6301 Special Department Expenses	ELAN1223	43.52	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	THANKSGIVING DIST FOOD FOR BAG	104072-6301 Special Department Expenses	ELAN1223	735.39	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	THANKSGIVING DIST FOOD FOR BAG	104072-6301 Special Department Expenses	ELAN1223	56.64	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CCB GIFT BAGS FOR TOY GIVEAWAY	104072-6301 Special Department Expenses	ELAN1223	69.28	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TOY GIFTS FOR TEENS CCB	104072-6301 Special Department Expenses	ELAN1223	318.62	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TOY GIFTS FOR TEENS CCB	104072-6301 Special Department Expenses	ELAN1223	80.81	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	THANKSGIVING EVENT SUPPLIES	104072-6301 Special Department Expenses	ELAN1223	967.36	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CHRISTMAS BASKET SUPPLIES	104072-6301 Special Department Expenses	ELAN1223	105.60	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	THANKSGIVING DIST SUPPLIES	104072-6301 Special Department Expenses	ELAN1223	39.10	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103652-6301 Special Department Expenses	ELAN1223	60.93	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINTENANCE SUPPLIES	103652-6301 Special Department Expenses	ELAN1223	290.87	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CLEANING SUPPLIES	103654-6301 Special Department Expenses	ELAN1223	88.03	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EMPLOYEE SNACK PROGRAM	109595-6301 Special Department Expenses	ELAN1223	282.78	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EMPLOYEE SNACK PROGRAM	109595-6301 Special Department Expenses	ELAN1223	74.41	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	13.06	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	24.49	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	51.50	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES-REFUND	109595-6301 Special Department Expenses	ELAN1223	-13.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	13.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	22.43	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	-22.43	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	16.24	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1223	71.59	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	OLD CITY HALL MAINT SUPPLIES	103654-6301	ELAN1223	185.57	DECEMBER-23		00018337	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT V012768	OLD CITY HALL MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1223	19.03	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1223	123.31	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1223	77.36	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103654-6301 Special Department Expenses	ELAN1223	204.08	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	STAFF HOLIDAY PARTY SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	48.70	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICE FOR HERITAGE MTG	104078-6301 Special Department Expenses	ELAN1223	8.60	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TREE LIGHTING POP CORN	104071-6301 / 79394-6301 Special Department Expenses	ELAN1223	23.68	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRICITY PARK MAINT SUPPLIES	103655-6301 Special Department Expenses	ELAN1223	175.28	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103655-6301 Special Department Expenses	ELAN1223	45.13	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIR/MAINT SUPPLIES	103655-6301 Special Department Expenses	ELAN1223	78.57	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OIL PUMP	103658-6301 Special Department Expenses	ELAN1223	500.24	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	151.38	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	96.23	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	66.11	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	16.53	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	251.34	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	48.29	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REPLACEMENT TV FOR SENIOR CENTER	104079-6301 Special Department Expenses	ELAN1223	549.74	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	192.64	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	50.42	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6301 Special Department Expenses	ELAN1223	12.77	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	20.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MEETING SUPPLIES	109595-6301 Special Department Expenses	ELAN1223	38.01	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FEST WRAP UP MTG.	104078-6301 Special Department Expenses	ELAN1223	711.70	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HERITAGE FEST WRAP UP MTG.	104078-6301 Special Department Expenses	ELAN1223	52.83	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	833593-6301 Special Department Expenses	ELAN1223	41.31	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICER PRE-WORKOUT SUPPLIES	503040-6301 / 233004-6301 Special Department Expenses	ELAN1223	342.50	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	EXPLORER COMPETITION MEALS	763041-6301 Special Department Expenses	ELAN1223	127.11	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	CREDIT - ANGEL TREE SUPPLIES	103040-6301	ELAN1223	-23.44	DECEMBER-23		00018337	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMEN V012768	ANGEL TREE SUPPLIES	103040-6301 Special Department Expenses	ELAN1223	14.82	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	ANGEL TREE SUPPLIES	103040-6301 Special Department Expenses	ELAN1223	59.90	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	EYSOL	103040-6301 Special Department Expenses	ELAN1223	36.39	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	MISC SUPPLIES	103040-6301 Special Department Expenses	ELAN1223	18.02	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	1/5 TOLL ROAD CHARGE	103040-6301 Special Department Expenses	ELAN1223	60.84	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FD STAFF XMAS LUNCH	103040-6301 Special Department Expenses	ELAN1223	407.82	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	NORTH OC CHIEFS MTG MEALS	103040-6301 Special Department Expenses	ELAN1223	102.33	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	SNACK PROGRAM ITEMS	103040-6301 Special Department Expenses	ELAN1223	72.80	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	0/5 TOLL ROAD CHARGE	103040-6301 Special Department Expenses	ELAN1223	5.50	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	K9 DOG FOOD - ENZO	103041-6301 Special Department Expenses	ELAN1223	75.23	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FD TRAINING SUPPLIES	103041-6301 Special Department Expenses	ELAN1223	62.36	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FD TRAINING SUPPLIES	103041-6301 Special Department Expenses	ELAN1223	40.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	K9 DOG FOOD	103041-6301 Special Department Expenses	ELAN1223	75.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FLASH DRIVES FOR INVESTIGATION	103042-6301 Special Department Expenses	ELAN1223	358.80	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	CELL PHONE TRACKING DR23-03784	103042-6301 Special Department Expenses	ELAN1223	300.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	1/28 TOLL ROAD FEES - TITUS	103042-6301 Special Department Expenses	ELAN1223	7.07	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PAROLE SWEEP STAFF MEALS	103042-6301 Special Department Expenses	ELAN1223	261.88	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GLOVES FOR JAIL & PATROL	103043-6301 Special Department Expenses	ELAN1223	834.51	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPLENISH PACKAGING SUPPLIES	103043-6301 Special Department Expenses	ELAN1223	1,143.82	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPLENISH GLOVES	103043-6301 Special Department Expenses	ELAN1223	630.85	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RAFFLE AWARD DINNER ITEMS	103066-6301 Special Department Expenses	ELAN1223	30.95	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RAFFLE AWARD DINNER ITEMS	103066-6301 Special Department Expenses	ELAN1223	194.08	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICE FOR COOLERS	103066-6301 Special Department Expenses	ELAN1223	10.38	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVING BOXES	103047-6301 Special Department Expenses	ELAN1223	34.96	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FAS DEVICE ADAPTER	103047-6301 Special Department Expenses	ELAN1223	26.28	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CHRISTMAS TREE	103065-6301 Special Department Expenses	ELAN1223	219.40	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CHRISTMAS ORNAMENTS	103065-6301 Special Department Expenses	ELAN1223	16.16	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	NEW COURTYARD KEYS	103065-6301 Special Department Expenses	ELAN1223	51.89	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	PLASTIC KEY TAGS	103042-6301	ELAN1223	9.78	DECEMBER-23		00018337	02/22/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENTS V012768	BC INTERVIEW BREAKFAST	101512-6301 Special Department Expenses	ELAN1223	22.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BC INTERVIEW BREAKFAST- COFFEE	101512-6301 Special Department Expenses	ELAN1223	20.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BC INTERVIEW BREAKFAST	101512-6301 Special Department Expenses	ELAN1223	48.28	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SR MGMT ANALYST PANEL LUNCH	101512-6301 Special Department Expenses	ELAN1223	53.13	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SR CS SPEC PROGDEV PANEL LUNCH	101512-6301 Special Department Expenses	ELAN1223	53.14	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BC INTERVIEW BREAKFAST	101512-6301 Special Department Expenses	ELAN1223	59.20	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	GIFT FOR OUTGOING MAYOR	101001-6301 Special Department Expenses	ELAN1223	283.19	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	GET WELL PLANT-R. MCKINNELL	101001-6301 Special Department Expenses	ELAN1223	58.69	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAYOR'S RECEPTION SUPPLIES	101001-6301 Special Department Expenses	ELAN1223	96.52	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAYOR'S RECEPTION SUPPLIES	101001-6301 Special Department Expenses	ELAN1223	150.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COUNCIL MAGNETIC NAME BADGES	101001-6301 Special Department Expenses	ELAN1223	54.95	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAYOR'S RECEPTION SUPPLIES	101001-6301 Special Department Expenses	ELAN1223	32.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	104070-6315 Office Supplies	ELAN1223	235.57	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAYOR'S GIFT-ENGRAVING	101001-6315 Office Supplies	ELAN1223	48.49	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN1223	17.39	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN1223	2.13	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN1223	23.91	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN1223	19.12	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN1223	16.30	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN1223	10.10	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY CLERK SUPPLIES	101513-6315 Office Supplies	ELAN1223	46.98	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY CLERK RECORDS USB	101513-6315 Office Supplies	ELAN1223	13.04	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY CLERK SUPPLIES	101513-6315 Office Supplies	ELAN1223	11.35	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY CLERK SUPPLIES	101513-6315 Office Supplies	ELAN1223	31.93	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY CLERK RECORDS USB(3)	101513-6315 Office Supplies	ELAN1223	39.12	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR SUPPLIES	101512-6315 Office Supplies	ELAN1223	10.64	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BINDERS	103066-6315 Office Supplies	ELAN1223	54.93	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLASH DRIVES FOR INVESTIGATION	103042-6315 Office Supplies	ELAN1223	86.50	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	OFFICE SUPPLIES - RETURN	103042-6315	ELAN1223	-91.04	DECEMBER-23		00018337	02/22/2024

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	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES - RETURN	103042-6315 Office Supplies	ELAN1223	-144.36	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	103042-6315 Office Supplies	ELAN1223	80.26	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	103042-6315 Office Supplies	ELAN1223	172.38	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	103042-6315 Office Supplies	ELAN1223	81.43	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HARD HAT FOR BUILDING INSPECT.	102532-6315 Office Supplies	ELAN1223	29.06	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLASH DRIVES FOR INVESTIGATION	103042-6315 Office Supplies	ELAN1223	123.20	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BAND REVIEW AWARD SHIPPING	104078-6325 Postage	ELAN1223	119.14	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BINDER DIVIDERS	103040-6315 Office Supplies	ELAN1223	54.30	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LABELS	103040-6315 Office Supplies	ELAN1223	20.67	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LABELS	103040-6315 Office Supplies	ELAN1223	0.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	2024 DESK CALENDARS	103040-6315 Office Supplies	ELAN1223	90.97	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LA TIMES DIGITAL SUBSCRIPTION	101001-6320 Books & Periodicals	ELAN1223	16.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MONTHLY DIGITAL SUBSCRIPTION	101001-6320 Books & Periodicals	ELAN1223	16.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CRR SUPPLIES: VICKERS	103067-6350 Small Tools/Equipment	ELAN1223	133.78	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	HELMET SHIELDS	103066-6360 Uniforms	ELAN1223	641.33	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN1223	96.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN1223	99.11	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN1223	91.08	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN1223	79.70	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN1223	62.29	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN1223	61.96	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL FOR UNIT 71	103658-6345 Gasoline & Diesel Fuel	ELAN1223	63.85	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	USB CABLE	103043-6364 Computer Hardware	ELAN1223	14.96	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FINGERPRINT PADS	103043-6366 Web Based Service/Subscriptions	ELAN1223	33.90	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	1/27-12/26 MCV DIRECT TV SVS	103041-6366 Web Based Service/Subscriptions	ELAN1223	95.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UNIFORMS FOR CODE	102533-6360 Uniforms	ELAN1223	157.70	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COLLER RANK INSIGNIA	103040-6360 Uniforms	ELAN1223	40.41	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UNIFORMS FOR CODE	101515-6360 Uniforms	ELAN1223	261.64	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENT	UNIFORMS FOR CODE	101515-6360	ELAN1223	160.83	DECEMBER-23		00018337	02/22/2024

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	V012768		Uniforms						
MW OH	ELAN CORPORATE PAYMENTS V012768	UNIFORMS FOR CODE	101515-6360 Uniforms	ELAN1223	161.92	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	4,511.39	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	985.49	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	1,379.70	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	766.50	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	114.97	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	0.01	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	114.97	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	0.01	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	-27.33	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	24.99	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	-1,916.50	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	1,885.63	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	-0.01	DECEMBER-23		00018337	02/22/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	HOLIDAY LUNCHEON SUPPLIES	109595-6399 / 239501-6399 Other Supplies	ELAN1223	1,379.70	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PIES RECOGNITION	101515-6399 Other Supplies	ELAN1223	63.03	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	101515-6399 Other Supplies	ELAN1223	65.19	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	101515-6399 Other Supplies	ELAN1223	130.49	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TAIL BLANKETS	103043-6399 / 50085-6399 Other Supplies	ELAN1223	532.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CITIZENS ACADEMY SUPPLIES	103040-6401 Community Programs	ELAN1223	17.22	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	VETERANS EVENT SUPPLIES	103040-6401 Community Programs	ELAN1223	59.94	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ICE - VETERANS EVENT	103040-6401 Community Programs	ELAN1223	15.18	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	VETERANS DAY EVENT MEALS	103040-6401 Community Programs	ELAN1223	125.68	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	T-1-1 FOR KIDS PROMO ITEMS	101515-6401 Community Programs	ELAN1223	465.81	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COMM OUTREACH MAGNETS	101515-6401 Community Programs	ELAN1223	133.46	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	101515-6399 Other Supplies	ELAN1223	119.61	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	EXPLORERS RUNNING SHOES	763041-6401 Community Programs	ELAN1223	456.75	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	EXPLORER COMPETITION MEALS	763041-6401 Community Programs	ELAN1223	145.08	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS	EXPLORER COMPETITION SUPPLIES	763041-6401	ELAN1223	49.73	DECEMBER-23		00018337	02/22/2024

City of Placentia
Check Register
For 02/27/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS V012768	STRETCH WRAP DISPENSER	105213-6850 Building & Facilities	ELAN1223	926.88	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FALLETTS, EVIDENCE BOXES	105213-6850 Building & Facilities	ELAN1223	956.55	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINT OFFICE SUPPLIES	104076-6855 Furniture & Fixtures	ELAN1223	100.19	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINT OFFICE SUPPLIES	104076-6855 Furniture & Fixtures	ELAN1223	348.87	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	GRATITUDE GRAMS	109595-6999 Other Expenditure	ELAN1223	97.35	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1223	-12.92	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COASTER ENGRAVING-CAUCUS RM	109595-6999 Other Expenditure	ELAN1223	103.00	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1223	17.38	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITIES SUPPLIES	109595-6999 Other Expenditure	ELAN1223	34.76	DECEMBER-23		00018337	02/22/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	VETERANS EVENT SUPPLIES	103040-6999 Other Expenditure	ELAN1223	47.77	DECEMBER-23		00018337	02/22/2024

Check Total: 51,791.25
Type Total: 1,287,171.86
Check Total: 1,287,171.86



Placentia City Council

AGENDA REPORT

TO: CITY COUNCIL

VIA: CITY ADMINISTRATOR

FROM: DIRECTOR OF DEVELOPMENT SERVICES

DATE: MARCH 5, 2024

SUBJECT: **RESOLUTION APPROVING THE AMENDED INFRASTRUCTURE FINANCING PLAN ("IFP") FOR THE PLACENTIA ENHANCED INFRASTRUCTURE FINANCING DISTRICT ("PLACENTIA EIFD")**

FISCAL

IMPACT: Estimated range of \$17 to \$24 million in property tax increment over approximately 40 years. Up to \$59 million in net fiscal impact revenue to the City over approximately 50 years

SUMMARY:

In response to the elimination of redevelopment agencies, California Senate Bill 628, effective January 1, 2015, and California Assembly Bill 313, effective January 1, 2016, authorized public agencies to form Enhanced Infrastructure Financing Districts ("EIFDs"), which are public financing instruments designed to succeed former Redevelopment Agency financing mechanisms and provide more flexibility than Infrastructure Financing Districts ("IFDs"). An EIFD is a governmental entity, separate and distinct from the city or county that establishes it and is governed by a Public Financing Authority ("PFA").

EIFDs can aid local government entities in funding public capital facilities, or other specified projects of communitywide significance, primarily by capturing tax increment revenue ("TI") generated within the district. EIFDs provide an opportunity for agencies to issue bonds for an array of public infrastructure projects as well as supporting economic development efforts in specific areas. Those areas of particular interest to Placentia are in the newly established Old Town Placentia Revitalization Plan area.

On February 19, 2019, the City Council approved Resolution No. R-2019-05, A Resolution of Intention ("ROI") proposing the establishment of the Placentia Enhanced Infrastructure Financing District ("Placentia EIFD") with the County of Orange and the initiation of proceedings to form an EIFD within City boundaries. Subsequently, on April 23, 2019, the County Board of Supervisors approved their resolution to participate in the Placentia EIFD and PFA. In addition, on May 21, 2019, the City Council approved Resolution No. R-2019-23, A Resolution to establish the membership of the Placentia EIFD PFA.

On June 18, 2019, the Placentia City Council, in accordance with EIFD law, adopted Resolution No. R-2019-28 approving the Infrastructure Financing Plan ("IFP") for the EIFD. The IFP specifically defines the boundaries of the EIFD, identifies the public infrastructure improvements,

1.c.
March 5, 2024

and the financial analysis of expected tax increment over the life of the EIFD to allow for the issuance of bonds to pay for the identified public infrastructure improvements.

However, a nascent EIFD bond market, the COVID pandemic, inflation, and related current economic conditions have contributed to delayed EIFD implementation and cost increases. Specifically, the Old Town Streetscape Master Plan cost estimates have increased from approximately \$8 million to \$10.05 million, an increase of 25.6%. In addition, interest rates have risen, increasing the cost of debt service, particularly to a “first-time” debt issuer, such as the Placentia EIFD. As a result, the existing financing structure approved by the City Council on June 18, 2019, will not facilitate private investment and will fall short of expected rate of Tax Increment (TI) growth. Subsequently, an amendment to the Infrastructure Financing Plan (“IFP”) for the EIFD is needed.

On April 18, 2023, the City Council held a Study Session to review the proposed amendments to the Infrastructure Financing Plan (“IFP”) for the EIFD. Since that time, City Staff, County Staff, consultants, and legal advisors have worked to formalize the proposed updates to the Amended IFP.

This action, in accordance with EIFD law, is to adopt a resolution approving the amended Infrastructure Financing Plan (“IFP”) for the EIFD. The IFP specifically defines the boundaries of the EIFD, identifies the public infrastructure improvements, and the financial analysis of expected tax increment over the life of the EIFD to allow for the issuance of bonds to pay for the identified public infrastructure improvements.

STRATEGIC PLAN STATEMENT:

This item is consistent with the City Council approved 5-Year Strategic Goal to Promote Community and Economic Development, under Objective #3.4, which is to Complete Financing Structure for Old Town EIFD.

RECOMMENDATION:

It is recommended that the City Council take the following actions:

1. Adopt Resolution No. R-2024-12, A Resolution of the City Council of the City of Placentia, California approving the amended Infrastructure Financing Plan for Placentia Enhanced Infrastructure Financing District and the allocation of the City’s incremental tax revenue from the project area pursuant to Government Code Section 53398.75 et seq; and
2. Authorize the City Administrator, or his designee, to execute all documents necessary, substantially in a form approved by the City Attorney.

DISCUSSION:

In response to the elimination of redevelopment agencies, California Senate Bill 628, effective January 1, 2015, and California Assembly Bill 313, effective January 1, 2016, authorized the formation of EIFDs, which are public financing instruments designed to succeed the former

Redevelopment Agency financing mechanism and provide more flexibility than IFDs. An EIFD is a governmental entity, separate and distinct from the city or county that establishes it and is governed by a PFA that is comprised of one or more members from the participating EIFD parties.

EIFDs can aid local government entities in funding public capital facilities, or other specified projects of communitywide significance, primarily by capturing TI generated within the district. The primary source of revenue available to an EIFD, like a Redevelopment project area, is TI. Essentially, the added improvements gained through EIFD funding would conceptually support future development and result in increased property values, which would generate increased property tax revenues from the base year (established from the most recent equalized tax roll prior to district formation). The increased revenue can then be leveraged for additional improvements through the issuance of bonds and/or applied to fund improvements on a “pay-as-you-go” basis from the date of formation.

Unlike Redevelopment, other affected taxing entities are not required to forgo their TI for the district; participation is voluntary. Each tax sharing entity that chooses to join an EIFD has the option to allocate up to 100% of its portion of TI to the district. Under the EIFD law, school districts are precluded from participation.

EIFDs provide an opportunity for agencies to issue bonds for an array of public infrastructure projects as well as supporting economic development efforts in specific areas. The area of particular interest to Placentia is the infrastructure needed in and around the newly established Old Town Placentia Revitalization Plan. This area will require a significant investment of infrastructure in order to attract developers to the area while improving the City’s housing stock and retail opportunities for the public. Land use designations in the area include residential, commercial, industrial, open space and parks. The area contains over 300 acres, which is approximately 7.1% of the City’s total 4,243 acres.

On June 18, 2019, the Placentia City Council, in accordance with EIFD law, adopted Resolution No. R-2019-28 approving the Infrastructure Financing Plan (“IFP”) for the EIFD. The IFP specifically defines the boundaries of the EIFD, identifies the public infrastructure improvements, and the financial analysis of expected tax increment over the life of the EIFD to allow for the issuance of bonds to pay for the identified public infrastructure improvements.

However, a nascent EIFD bond market, the COVID pandemic, inflation, and related current economic conditions have contributed to delayed EIFD implementation and cost increases. Specifically, the Old Town Streetscape Master Plan cost estimates have increased from approximately \$8 million to \$10.05 million, an increase of 25.6%. In addition, interest rates have risen, increasing the cost of debt service, particularly to “first-time” debt issuer, such as the Placentia EIFD. As a result, the existing financing structure approved by the City Council on June 18, 2019, will not facilitate private investment and will fall short of expected rate of Tax Increment (TI) growth. Subsequently, an amendment to the Infrastructure Financing Plan (“IFP”) for the EIFD is needed. This item tonight describes the proposed amendment to the IFP and will be a receive and file. A subsequent date will be scheduled for formal approval of the IFP amendment.

On April 18, 2023, the City Council held a Study Session to review the proposed amendments to the Infrastructure Financing Plan (“IFP”) for the EIFD. Since that time, City Staff, County Staff,

consultants, and legal advisors have worked to formalize the proposed updates to the Amended IFP. The amendment would generate the required estimated \$10 million (net of debt issuance and interest costs) to completely fund the infrastructure outlined within the Old Town Streetscape Master Plan previously adopted by the City Council in 2017 at one time (instead of in phases), which will better induce private investment to fulfil Tax Increment ("TI") and economic benefit projections. This will also accelerate the City's timetable to meet regional housing needs, including affordable housing. Finally, construction of public funds in one phase will ultimately save the EIFD on construction costs.

Amended Infrastructure Financing Plan

The Amended Infrastructure Financing Plan ("IFP") prepared by Kosmont Companies ("Kosmont") for the Placentia EIFD includes tax increment revenue projections, a cap on the maximum tax increment revenue to be contributed to the EIFD by both the City and the County, bond authorization, a description of proposed facilities to be funded, a finding of communitywide significance, and a statement of the goals of the EIFD. As a participating taxing entity of the Placentia EIFD, the County Board of Supervisors will also have an opportunity to review and approve the Amended IFP at an upcoming meeting.

The key changes in the Amended IFP include the following:

- a) Recalibration of the duration (term) of tax increment allocation:
 - Increase City maximum term from 20 to 40 years
 - Could end earlier if interest rates level out prior to bond issuance
 - Increase County maximum term from 20 to 25 years, with option to extend to 30 only if needed
 - Provides adequate time for County to contribute its full share of tax increment (i.e., \$3.547 million)
 - Additional 5 years only triggered if tax increment receipt levels perform worse than suboptimal projections
 - EIFD to terminate upon extinguishment of all EIFD debt, even if repaid early
- b) Increase City's maximum dollar allocation from \$9,100,000 in tax increment up to \$24,000,000 in increment (more likely \$17-19M over 33-35 years needed), could be as low as \$12M over 30 years in best-case interest rate scenarios
 - Amount projected to enable full repayment of various financing structures evaluated, even under severely adverse issuance conditions
- c) Limitation / focus on use of funds: EIFD tax increment limited to repayment of IFP projects costs & associated debt; excess amount would flow to General Funds of City and County.

Projected Tax Increment Updates

Kosmont prepared a tax increment analysis to determine district revenue potential based upon planned projects and future development potential. Based on this analysis, the City's contribution is capped at 50% of its share of property tax increment (~6.8 out of 13.6 cents on the dollar) within the district boundary for a maximum of \$24,000,000 total over the approximately 40-year district lifetime (estimated range of actual allocation is \$17 to \$24 million, depending primarily on interest rates). The County's contribution is similarly capped at 50% of its share (~2.95 out of 5.9 cents) within the district boundary for a maximum of \$3,547,000 total over the first 25 years of the

district's lifetime, with an option to extend to 30 years, only if needed. Both the City and County allocations would terminate sooner if project funding goals were achieved sooner than projected.

While the Placentia area would benefit from a new dedicated revenue source for infrastructure improvements, formation of the Placentia EIFD would result in a reallocation of property tax TI revenue from the City's General Fund. Once the Placentia EIFD terminates, TI revenue would no longer be allocated to the Placentia EIFD and will flow back into the City's General Fund.

Preliminary Bonded Indebtedness

Kosmont Financial Services provided a preliminary bonded indebtedness analysis with County's participation and estimated EIFD revenues. The structure of the analysis is a City-issued 30-year lease revenue bond of approximately \$10.5 million to net approximately \$10.05 million in net proceeds. A total of approximately \$19.1 million (principal and interest) would be repaid over 30 years with an average annual payment of approximately \$676,000. The proposed IFP amendment would allow for up to 40 years to provide additional time for EIFD tax increment revenues to pay back debt service costs.

Financial Implication of Establishing Placentia EIFD

Kosmont concluded several regional financial implications for the establishment of the Placentia EIFD, including providing essential regional transportation infrastructure improvements, improved regional competitiveness for federal/state grant funds and support of the County's Comprehensive Economic Development Strategy (e.g., job creation, quality of life improvement, promote environmental sustainability). Locally, based on the Kosmont gross economic impact analysis, approximately 5,024 construction jobs will be created, 1,178 permanent jobs will be created, \$695 million in economic output from construction, and \$196 million in annual ongoing economic output. Implementation of the Placentia EIFD is forecasted to create an acceleration of development and related fiscal revenues in the amount of approximately \$59 million in net fiscal impact to the City and \$50 million in net fiscal benefit to the County (present value net fiscal benefit over 50 years).

FISCAL IMPACT:

As described above, preliminarily, it is projected that approximately \$10.05 million could be generated in net bond proceeds utilizing City and County tax increment revenues over the approximately 40-year term of the Placentia EIFD to help fund core public infrastructure needed to support Placentia's growth. The City's contribution is capped at 50% of its share of property tax increment (~6.8 out of 13.6 cents on the dollar) within the district boundary for a maximum of \$24,000,000 total over the approximately 40-year district lifetime (estimated range of actual allocation is \$17 to \$24 million, depending primarily on interest rates). The County's contribution is capped at 50% of its share (~2.95 out of 5.9 cents) within the district boundary for a maximum of \$3,547,000 total over the first 25 years district lifetime, with an option to extend to 30 years only if needed. Both the City and County allocations would terminate sooner if project funding goals are achieved sooner than projected.

The recommended debt insurance structure is for the City to loan \$1 million in General Fund reserves to accelerate Project financing which would reduce bond issues size, debt service, improve security and reduce the bond interest rate. In this proposed structure, the City would take the lead and issue its own 30-year lease revenue bonds ("LRBs") in lieu of the PFA. The City

would provide property/building collateral for underlying LRB lease in this structure. The ultimate debt issuance structure would come before the City Council for separate approval at the appropriate time.

While the Placentia area would benefit from the infrastructure improvements, the formation of the EIFD would result in a reallocation of TI (i.e., the City's share of taxes levied on property within the district boundaries on that portion of the taxable valuation over and above the taxable valuation of the base year property tax roll) from the General Fund to pay for the Placentia infrastructure improvements.

The aforementioned TI projections are based upon various assumptions made utilizing the future growth potential of the residential, commercial, and industrial development sectors in the area. Once the EIFD has terminated, the property tax increment revenue allocated to the EIFD will flow back into the City's General Fund. The property tax generated up to the taxable valuation of the base year tax roll will continue to flow to the City's General Fund.

Prepared by:



Jeannette Ortega
Deputy Director of Administrative Services

Reviewed and approved:



Joseph M. Lambert
Director of Development Services

Reviewed and approved:



Jennifer Lampman
Finance Director

Reviewed and approved:



Damien R. Arrula
City Administrator

Attachment:

Resolution No. R-2024-12 Approving the amended IFP and Allocation of Incremental Tax Revenue

RESOLUTION NO. R-2024-12

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA APPROVING THE AMENDED INFRASTRUCTURE FINANCING PLAN FOR PLACENTIA ENHANCED INFRASTRUCTURE FINANCING DISTRICT AND THE ALLOCATION OF THE CITY'S INCREMENTAL TAX REVENUE FROM THE PROJECT AREA PURSUANT TO GOVERNMENT CODE SECTION 53398.75 ET SEQ

A. Recitals

(i). The California Legislature enacted California Government Code (Code) sections 53398.50 through 53398.88 (EIFD Law) authorizing cities to form enhanced infrastructure financing districts and use specified property tax increment revenue generated within such districts to finance certain infrastructure and community benefit projects; and

(ii). In enacting the EIFD Law, the California Legislature found and determined that with the dissolution of redevelopment agencies, public benefits will accrue, if local agencies finance certain public infrastructure and community benefit projects authorized under the EIFD Law; and

(iii). The City Council has determined that it will be beneficial to the City of Placentia (City) to form the Placentia Enhanced Infrastructure Financing District (Placentia EIFD); and

(iv). By Resolution No. R-2019-05 the City Council has (1) stated its intention that the Placentia EIFD is proposed to be established under the EIFD Law; (2) identified the boundaries of the proposed Placentia EIFD; (3) identified the types of public facilities and development proposed to be financed or assisted by the proposed Placentia EIFD; (4) described the need for the proposed Placentia EIFD and the goals the Placentia EIFD proposes to achieve; (5) confirmed that incremental property tax revenue from the City and some, all or none of the affected taxing entities within the proposed Placentia EIFD may be used to finance these activities; and (6) set a time and place for a public hearing on the proposed Placentia EIFD; and

(v). By Resolution No. 19-032 the County of Orange Board of Supervisors has stated its intention to participate in the Placentia EIFD and Public Financing Authority; and

(vi). By Resolution No. R-2019-23 the City Council established the Placentia Enhanced Infrastructure Financing District Public Financing Authority (PFA); and

(vii). By Resolution No. R-2019-28 the City Council approved the Infrastructure Financing Plan for the Placentia Enhanced Infrastructure Financing District and the allocation of the City's incremental tax revenue from the project area pursuant to Government Code Section 53398.75 et seq; and

(viii). Pursuant to the EIFD Law, an amended Infrastructure Financing Plan (IFP) has been developed for the Placentia EIFD which defines the boundaries of the Placentia EIFD, identifies the public infrastructure improvements, and the financial analysis of expected tax increment over the life of the EIFD to allow for the issuance of bonds to pay for the identified public infrastructure improvements.

(ix). All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

1. The facts set forth in the Recitals, Part A of this Resolution, are true and correct.

2. Approval of the amended Infrastructure Financing Plan for Placentia Enhanced Infrastructure Financing District. The City Council hereby approves the Amended Infrastructure Financing Plan attached hereto as Exhibit A substantially in the form presented to the City Council.

3. Approval of Tax Allocation Financing. The allocation of the City of Placentia's tax revenue from the project area pursuant to Government Code Section 533398.75 et seq is hereby approved.

4. The County-Auditor Controller will calculate the property tax shares consistent with Section 53398.75(a)(2)(b), which requires that for areas that overlap former redevelopment agency project areas, any debt or obligation of the Public Financing Authority is subordinate to the obligations of the former redevelopment agency.

5. This Resolution is hereby adopted by the City Council and the City Clerk shall cause a copy thereof to be forwarded to the Public Financing Authority.

6. That the Mayor shall sign, and the City Clerk shall attest to the passage and adoption of this Resolution.

APPROVED and ADOPTED this 5th day of March 2024.

Jeremy Yamaguchi, Mayor

ATTEST:

Robert S. McKinnell, City Clerk

Exhibit A: Infrastructure Financing Plan

STATE OF CALIFORNIA
COUNTY OF ORANGE

I, Robert S. McKinnell, City Clerk of the City of Placentia do hereby certify that the foregoing Resolution was adopted at a regular meeting of the City Council held on the 5th day of March 2024 by the following vote:

AYES:	Councilmembers:
NOES:	Councilmembers:
ABSENT:	Councilmembers:
ABSTAIN:	Councilmembers:

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

Christian L. Bettenhausen, City Attorney

CITY OF PLACENTIA ENHANCED INFRASTRUCTURE FINANCING DISTRICT

INFRASTRUCTURE FINANCING PLAN

Prepared For:

The City of Placentia and the County of Orange



Prepared By:



Kosmont Companies in Partnership with
The Southern California Association of Governments

REVISED OCTOBER 2023

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- Appendix B: Legal Description of the Placentia EIFD
- Appendix C: Projected Tax Increment Revenue Analysis
- Appendix D: Fiscal Impact Analysis
- Appendix E: Old Town Placentia Revitalization Streetscape Master Plan

1.0 Introduction

1.1 Background & Purpose

The proposed Placentia Enhanced Infrastructure Financing District (“Placentia EIFD” or “District”) will serve as a catalyst for private development and critical regional transportation infrastructure with transformative potential for the City of Placentia (“City”) and the North Orange County region. The Placentia EIFD encompasses just over 300 acres of land, representing approximately 7% of the City. The Placentia EIFD includes the City’s Old Town Placentia Revitalization Plan area, a forthcoming Metrolink station, and the City’s Transit-oriented Development (“TOD”) Packing House District. The District represents a partnership between the City and the County of Orange (“County”), and as such, will be funded by property tax increment from both taxing entities. The Southern California Association of Governments (“SCAG”) has additionally provided funding assistance for the technical analysis associated with this Infrastructure Financing Plan through its Tax Increment Financing Pilot Project Program.

1.2 Contents and Overview of this Infrastructure Financing Plan (“IFP”)

Pursuant to Government Code Sections 53398.59 through 53398.74, this IFP comprises the following information:

- a) A map and legal description of the District, [included herein as Appendix A and Appendix B, respectively.](#)
- b) A description of the public facilities and other forms of development or financial assistance that is proposed in the area of the district, including those to be provided by the private sector, those to be provided by governmental entities without assistance under this chapter, those public improvements and facilities to be financed with assistance from the proposed district, and those to be provided jointly. The description shall include the proposed location, timing, and costs of the development and financial assistance. [This information is included in Section 3 of this IFP.](#)
- c) If funding from affected taxing entities is incorporated into the financing plan, a finding that the development and financial assistance are of communitywide significance and provide significant benefits to an area larger than the area of the district. [This information is included in Section 4 of this IFP.](#)
- d) A financing section ([included in Section 5 of this IFP](#)), which shall contain all of the following information:
 - i. A specification of the maximum portion of the incremental tax revenue of the city or county and of each affected taxing entity proposed to be committed to the

district for each year during which the district will receive incremental tax revenue. The maximum portion of the City's property tax increment to be committed to the District will be 50% throughout the duration of the District lifetime, where the District lifetime is characterized in paragraph (e) below and Section 5.5 of this IFP. For the County, the maximum portion of the County's property tax increment to be committed to the District will be 50% throughout the duration of the County's Allocation Period, where the County's Allocation Period is defined as the earliest of (i) twenty-five (25) years (or thirty (30) years only upon Board of Supervisors approval) from the date on which the acquisition of a loan is approved by the Public Financing Authority ("PFA")¹, (ii) the allocation by the County of its total dollar maximum allocation described in paragraph (d) below and Section 5.4 of this IFP, or (iii) upon full repayment of all outstanding obligations pertaining to the approved infrastructure projects outlined in this IFP.

- ii. A projection of the amount of tax revenues expected to be received by the district in each year during which the district will receive tax revenues, including an estimate of the amount of tax revenues attributable to each affected taxing entity for each year. Section 5.3 of this IFP includes a projection of tax revenues to be received by the District by year over the course of the District lifetime as attributable to each affected taxing entity. These projections are based on research and analysis of available data at the time of IFP preparation for purposes of illustration. Actual results may differ from those expressed in this document. Appendix C provides additional detail for the projected revenue analysis.
- iii. A plan for financing the public facilities to be assisted by the district, including a detailed description of any intention to incur debt. Section 5.4 of this IFP includes a plan for financing the public facilities to be assisted by the District. The PFA governing the District intends to incur debt only when it is financially prudent to do so. It is estimated at this time that approximately \$10 million of loan proceeds (in current 2023 dollars) will be secured over the District lifetime. The financing strategy, consistent with Government Code Section 53398.87, is a loan by the City to the Placentia EIFD, which may be repaid at an interest rate that does not exceed the Local Agency Investment Fund ("LAIF") rate that is in effect on the date that such a loan is approved by the PFA. The District will inform County finance staff in writing of the terms and conditions of the loan, and provide any requested documents, before the loan is approved by the PFA. The loan will not be approved by the PFA if the County Executive Officer objects to the terms and conditions of the loan. The County shall not unreasonably withhold approval of such terms. If the City issues debt in connection with the loan given by the City to the Placentia EIFD, and the City and County's committed tax increment described

¹ 25 years subject to a possible five (5) year extension only upon approval by the County Board of Supervisors

in Sections 5.1 to 5.4 of this IFP is insufficient for the required debt payments, the City will pay the remaining amount of the debt payment. If the Placentia EIFD issues debt at a future date, the debt will only be issued with the purpose of repaying the loan made by the City to the Placentia EIFD. The issuance of any such future debt will not increase the County's Allocation Period or the County's total dollar maximum allocation or postpone the District's Termination Date as described in Sections 5.1-5.5 of this IFP.

- iv. A limit on the total number of dollars of taxes that may be allocated to the district pursuant to the plan. The total number of dollars or taxes that may be allocated to the District shall not exceed \$27,547,000. This translates into a maximum allocation of \$24,000,000 million from the City and \$3,547,000 from the County over the District lifetime. This maximum has been set based on preliminary underwriting of various debt issuance alternatives evaluated to fund approximately \$10 million in required infrastructure improvements.
- v. A date on which the district will cease to exist, by which time all tax allocation to the district will end. The District will cease to exist the earliest of: (i) 40 years from the date on which the acquisition of a loan from the City is approved by the PFA, (ii) upon full repayment of all outstanding obligations pertaining to the approved infrastructure projects outlined in this IFP, or (iii) June 30, 2064. This IFP assumes a District base year of Fiscal Year 2020-2021 and the first year of tax increment revenue flow in Fiscal Year 2021-2022. It is assumed in the financial projections that the first approval for acquisition of a loan will occur in Fiscal Year 2023-2024.
- vi. An analysis of the costs to the city or county of providing facilities and services to the area of the district while the area is being developed and after the area is developed. The plan shall also include an analysis of the tax, fee, charge, and other revenues expected to be received by the city or county as a result of expected development in the area of the district. Appendix D to this IFP includes, as part of the Fiscal Impact Analysis, an analysis of the costs to the City and County for providing facilities and services to the area of the District. It is estimated that, at Year 20 of the District lifetime, annual costs to the City will be approximately \$2,223,100, and annual costs to the County will be approximately \$547,300 to service the area of the District.
- vii. An analysis of the projected fiscal impact of the district and the associated development upon each affected taxing entity. Appendix D to this IFP includes an analysis of the projected fiscal impact of the District and the associated development upon both the City and the County, as the only two affected taxing entities that are allocating tax increment revenues to the District. It is estimated that, at Year 20 of the District lifetime, the District area will generate an annual net

fiscal surplus of \$966,500 to the City and an annual net fiscal surplus of \$804,300 to the County.

- viii. A plan for financing any potential costs that may be incurred by reimbursing a developer of a project that is both located entirely within the boundaries of that district and qualifies for the Transit Priority Project Program, pursuant to Section 65470, including any permit and affordable housing expenses related to the project. The PFA does not intend to finance any potential costs that may be incurred by reimbursing a developer of a project that is both located entirely within the boundaries of the District and qualifies for the Transit Priority Project Program, pursuant to Section 65470.
- e) If any dwelling units within the territory of the district are proposed to be removed or destroyed in the course of public works construction within the area of the district or private development within the area of the district that is subject to a written agreement with the district or that is financed in whole or in part by the district, a plan providing for replacement of those units and relocation of those persons or families consistent with the requirements of Section 53398.56. The PFA does not anticipate that any housing units will be removed as a result of any project identified in this IFP. However, if any relocation of dwelling units is deemed to be required in the future for a project financed by the District, the PFA will comply with the requirements of Government Code Section 53398.56.
- f) The goals the district proposes to achieve for each project financed pursuant to Section 53398.52. Section 7 of this IFP summarizes the goals of each project to be financed by the District.

2.0 Description of the Proposed District

The Placentia EIFD encompasses just over 300 acres of land, representing approximately 7% of the City's total 4,243 acres. The District can be characterized as a developing area of the City within the Old Town Placentia area, the TOD Packing House District, and parcels south of the TOD Packing House District and adjacent to the 57 freeway.

Land use designations in the District include residential, commercial, industrial, open space and parks. The newly established Old Town Revitalization Plan, the TOD Packing House District, the prime industrial lands, and the planned hospitality areas make this area the City's prime location for establishing an EIFD.

Appendix A includes a map of the proposed District, and Appendix B is a legal description of the District.

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3.0 Description of Proposed Facilities and Development

3.1 Anticipated Future Private Development

Anticipated future private development within the Placentia EIFD is summarized in Table 1 below. Buildout and absorption of these land uses are forecasted in the first 10-15 years of the District lifetime.

Table 1: Anticipated Future Private Development

Development Type	Units / SF	AV Factor	Estimated Total AV
Residential	1,600 DU	\$250K per DU	\$400.0 million
Commercial	9,203 SF	\$250 PSF	\$2.3 million
Industrial	41,875 SF	\$150 PSF	\$6.3 million
Hotel	116 rooms	\$250K per room	\$29.0 million
Estimated Total			\$437.6 million

3.2 Public Facilities to be Financed with Assistance from the Placentia EIFD

The PFA intends to utilize the District to assist the funding of transit-supportive public infrastructure, including improvements to bicycle and pedestrian connectivity, sidewalks, landscaping, signage, lighting, beautification, public safety access, parking, roadway, circulation, open space, water, sewer and other utility capacity improvements, with emphasis on implementation of the Old Town Placentia Revitalization Streetscape Master Plan, with an estimated cost of approximately \$10 million in current 2023 dollars.

The PFA intends to continue to identify, evaluate, and pursue additional funding sources and financing mechanisms aside from District tax increment to implement the improvements identified above, including City lease revenue financing, and potentially grant sources, impact fees, private sector investment incentivized by the Federal Opportunity Zones tax program, and/or other sources. The City intends to implement a Community Facilities District (“CFD”) to assist with ongoing maintenance of public improvements installed in the District. Appendix E provides additional detail on anticipated public facilities to be financed with assistance from the District.

Private sector developers will be responsible for funding project-specific / fair-share / in-tract infrastructure, and also some public infrastructure improvements within the TOD Packing House District. Some public facilities not included within the Old Town Placentia Revitalization Streetscape Master Plan are anticipated to be provided by governmental entities without assistance from the District. There are no public facilities anticipated to be provided jointly by the private sector and governmental entities.

4.0 Finding of Communitywide Significance

Implementation of the District promotes the goals of the City's General Plan, supports essential regional transportation connectivity via the forthcoming Metrolink station, and supports the County's Comprehensive Economic Development Strategy, in pursuit of job creation, improvement of quality of life, and promotion of environmental sustainability within the County.

Specific communitywide and regional benefits anticipated to be generated by the District include:

- \$24 million in net fiscal impact to the City over 50 years (on a present-value basis)
- \$20 million in net fiscal impact to County over 50 years (on a present-value basis)
- 1,600 estimated housing units within the District
- 5,024 estimated construction jobs in the City and County
- 1,178 estimated permanent jobs in the City and County
- \$695 million in estimated economic output from construction in the City and County
- \$196 million in estimated annual ongoing economic output in the City and County
- Convenient transit to local universities
- Greenhouse Gas (GHG) and Vehicles Miles Travelled (VMT) reduction through public transit.

5.0 Financing Section

Projections included in this IFP are based on research and analysis of available data at the time of IFP for purposes of planning and illustration. Actual results may differ from those expressed in this document.

The Placentia EIFD represents a partnership between the City and County, and as such, will be funded by property tax increment from both taxing entities. No other taxing entity is allocating property tax increment to the District. It is anticipated that property tax increment will be utilized on both a “pay-as-you-go” basis as well as security for tax increment bond issuance or loan acquisition.

Portions of the Placentia EIFD are located within the boundaries of the former Redevelopment Project Area of the former Redevelopment Agency of Placentia, and so property tax revenues generated by the properties within the overlapping area will flow according to the Redevelopment Agency dissolution statutes until all of the Successor Agency’s obligations are retired (currently anticipated in 2032). Redevelopment Property Tax Trust Fund (“RPTTF”) residual revenues are intended to be allocated by the City and County to the District as part of the maximum allocations outlined in the following sections.

While not anticipated to be allocated by the City, the City will retain the authority to dedicate incremental property tax revenue allocated to the City in lieu of motor vehicle license fees to the District pursuant to Government Code Section 53398.75(e)(1).

5.1 Maximum Portion of Incremental Tax Revenue Dedicated to the District

The maximum portion of the City’s property tax increment to be committed to the District will be 50% throughout the duration of the District lifetime, where the District lifetime is characterized in Section 5.5 of this IFP. For the County, the maximum portion of the County’s property tax increment to be committed to the District will be 50% throughout the duration of the County’s Allocation Period, where the County’s Allocation Period is defined as the earliest of (i) twenty-five (25) years (thirty (30) years only upon Board of Supervisors approval) from the date on which the acquisition of a loan is approved by the PFA², (ii) the allocation by the County of its total dollar maximum allocation described in Section 5.4 of this IFP, or (iii) upon full repayment of all outstanding obligations pertaining to the approved infrastructure projects outlined in this IFP.

² 25 years subject to a possible five (5) year extension only if approved by the County Board of Supervisors

5.2 Projection of District Tax Revenues by Year

Table 2 provides an overview of the projected growth of assessed value, property tax increment, and City and County allocations to the District over the District lifetime. It is expected that a total of \$24,000,000 of incremental tax revenues will be allocated to the District by the City, and a total of \$3,547,000 of incremental tax revenues will be allocated to the District by the County, for a total allocation of taxes revenues to the Placentia EIFD of \$27,547,000.

Table 2: Summary of Property Tax Increment Projections

District Year	Fiscal Year	Incremental Assessed Value	Property Tax Increment @ 1% General Levy	City Allocation				County Allocation				Total Taxes Allocated to EIFD
				Average City Share Available	City Increment Available	City Share Allocated	City Increment Allocated	Average County Share Available	County Increment Available	County Share Allocated	County Increment Allocated	
0	2020 / 2021	\$0	\$0	13.6%	\$0	50%	\$0	5.9%	\$0	50%	\$0	\$0
1	2021 / 2022	\$8,050,756	\$80,508	13.6%	\$10,949	50%	\$5,475	5.9%	\$4,750	50%	\$2,375	\$7,849
2	2022 / 2023	\$104,077,489	\$1,040,775	13.6%	\$141,545	50%	\$70,773	5.9%	\$61,406	50%	\$30,703	\$101,476
3	2023 / 2024	\$228,557,928	\$2,285,579	13.6%	\$310,839	50%	\$155,419	5.9%	\$134,849	50%	\$67,425	\$222,844
4	2024 / 2025	\$241,179,842	\$2,411,798	13.6%	\$328,005	50%	\$164,002	5.9%	\$142,296	50%	\$71,148	\$235,150
5	2025 / 2026	\$307,687,680	\$3,076,877	13.6%	\$418,455	50%	\$209,228	5.9%	\$181,536	50%	\$90,768	\$299,995
6	2026 / 2027	\$399,792,606	\$3,997,926	13.6%	\$543,718	50%	\$271,859	5.9%	\$235,878	50%	\$117,939	\$389,798
7	2027 / 2028	\$415,839,214	\$4,158,392	13.6%	\$565,541	50%	\$282,771	5.9%	\$245,345	50%	\$122,673	\$405,443
8	2028 / 2029	\$432,206,754	\$4,322,068	13.6%	\$587,801	50%	\$293,901	5.9%	\$255,002	50%	\$127,501	\$421,402
9	2029 / 2030	\$495,375,807	\$4,953,758	13.6%	\$673,711	50%	\$336,856	5.9%	\$292,272	50%	\$146,136	\$482,991
10	2030 / 2031	\$513,334,079	\$5,133,341	13.6%	\$698,134	50%	\$349,067	5.9%	\$302,867	50%	\$151,434	\$500,501
11	2031 / 2032	\$604,575,419	\$6,045,754	13.6%	\$822,223	50%	\$411,111	5.9%	\$356,699	50%	\$178,350	\$589,461
12	2032 / 2033	\$625,526,188	\$6,255,262	13.6%	\$850,716	50%	\$425,358	5.9%	\$369,060	50%	\$184,530	\$609,888
13	2033 / 2034	\$695,567,921	\$6,955,679	13.6%	\$945,972	50%	\$472,986	5.9%	\$410,385	50%	\$205,193	\$678,179
14	2034 / 2035	\$717,530,035	\$7,175,300	13.6%	\$975,841	50%	\$487,920	5.9%	\$423,343	50%	\$211,671	\$699,592
15	2035 / 2036	\$739,931,392	\$7,399,314	13.6%	\$1,006,307	50%	\$503,153	5.9%	\$436,560	50%	\$218,280	\$721,433
16	2036 / 2037	\$762,780,776	\$7,627,808	13.6%	\$1,037,382	50%	\$518,691	5.9%	\$450,041	50%	\$225,020	\$743,711
17	2037 / 2038	\$786,087,147	\$7,860,871	13.6%	\$1,069,079	50%	\$534,539	5.9%	\$463,791	50%	\$231,896	\$766,435
18	2038 / 2039	\$809,859,646	\$8,098,596	13.6%	\$1,101,409	50%	\$550,705	5.9%	\$477,817	50%	\$238,909	\$789,613
19	2039 / 2040	\$834,107,595	\$8,341,076	13.6%	\$1,134,386	50%	\$567,193	5.9%	\$492,123	50%	\$246,062	\$813,255
20	2040 / 2041	\$858,840,502	\$8,588,405	13.6%	\$1,168,023	50%	\$584,012	5.9%	\$506,716	50%	\$253,358	\$837,369
21	2041 / 2042	\$884,068,068	\$8,840,681	13.6%	\$1,202,333	50%	\$601,166	5.9%	\$521,600	50%	\$260,800	\$861,966
22	2042 / 2043	\$909,800,185	\$9,098,002	13.6%	\$1,237,328	50%	\$618,664	5.9%	\$536,782	31%	\$164,832	\$693,496
23	2043 / 2044	\$936,046,945	\$9,360,469	13.6%	\$1,273,024	50%	\$636,512	5.9%	\$552,268	0%	\$0	\$636,512
24	2044 / 2045	\$962,818,640	\$9,628,186	13.6%	\$1,309,433	50%	\$654,717	5.9%	\$568,063	0%	\$0	\$654,717
25	2045 / 2046	\$990,125,768	\$9,901,258	13.6%	\$1,346,571	50%	\$673,286	5.9%	\$584,174	0%	\$0	\$673,286
26	2046 / 2047	\$1,017,979,040	\$10,179,790	13.6%	\$1,384,451	50%	\$692,226	5.9%	\$600,608	0%	\$0	\$692,226
27	2047 / 2048	\$1,046,389,376	\$10,463,894	13.6%	\$1,423,090	50%	\$711,545	5.9%	\$617,370	0%	\$0	\$711,545
28	2048 / 2049	\$1,075,367,920	\$10,753,679	13.6%	\$1,462,500	50%	\$731,250	5.9%	\$634,467	0%	\$0	\$731,250
29	2049 / 2050	\$1,104,926,034	\$11,049,260	13.6%	\$1,502,699	50%	\$751,350	5.9%	\$651,906	0%	\$0	\$751,350
30	2050 / 2051	\$1,135,075,310	\$11,350,753	13.6%	\$1,543,702	50%	\$771,851	5.9%	\$669,694	0%	\$0	\$771,851
31	2051 / 2052	\$1,165,827,572	\$11,658,276	13.6%	\$1,585,525	50%	\$792,763	5.9%	\$687,838	0%	\$0	\$792,763
32	2052 / 2053	\$1,197,194,880	\$11,971,949	13.6%	\$1,628,185	50%	\$814,093	5.9%	\$706,345	0%	\$0	\$814,093
33	2053 / 2054	\$1,229,189,533	\$12,291,895	13.6%	\$1,671,698	50%	\$835,849	5.9%	\$725,222	0%	\$0	\$835,849
34	2054 / 2055	\$1,261,824,080	\$12,618,241	13.6%	\$1,716,081	50%	\$858,040	5.9%	\$744,476	0%	\$0	\$858,040
35	2055 / 2056	\$1,295,111,317	\$12,951,113	13.6%	\$1,761,351	50%	\$880,676	5.9%	\$764,116	0%	\$0	\$880,676
36	2056 / 2057	\$1,329,064,299	\$13,290,643	13.6%	\$1,807,527	50%	\$903,764	5.9%	\$784,148	0%	\$0	\$903,764
37	2057 / 2058	\$1,363,696,341	\$13,636,963	13.6%	\$1,854,627	50%	\$927,314	5.9%	\$804,581	0%	\$0	\$927,314
38	2058 / 2059	\$1,399,021,024	\$13,990,210	13.6%	\$1,902,669	50%	\$951,334	5.9%	\$825,422	0%	\$0	\$951,334
39	2059 / 2060	\$1,435,052,200	\$14,350,522	13.6%	\$1,951,671	50%	\$975,835	5.9%	\$846,681	0%	\$0	\$975,835
40	2060 / 2061	\$1,471,804,000	\$14,718,040	13.6%	\$2,001,653	50%	\$1,000,827	5.9%	\$868,364	0%	\$0	\$1,000,827
41	2061 / 2062	\$1,509,290,836	\$15,092,908	13.6%	\$2,052,636	50%	\$1,021,922	5.9%	\$890,482	0%	\$0	\$1,021,922
42	2062 / 2063	\$1,547,527,408	\$15,475,274	13.6%	\$2,104,637	0%	\$0	5.9%	\$913,041	0%	\$0	\$0
43	2063 / 2064	\$1,586,528,713	\$15,865,287	13.6%	\$2,157,679	0%	\$0	5.9%	\$936,052	0%	\$0	\$0
Total			\$384,346,383		\$52,271,108	46%	\$24,000,000		\$22,676,437	16%	\$3,547,000	\$27,547,000
Present Value			\$173,789,329		\$23,635,349	48%	\$11,227,338		\$10,253,570	22%	\$2,295,175	\$13,522,513

Note: It is assumed in these projections that the maximum District revenue allocation of \$27,547,000 is reached in Fiscal Year 2061-2062. Present value at 3% discount rate.



The analyses, projections, assumptions, rates of return, and any examples presented herein are for illustrative purposes and are not a guarantee of actual and/or future results. Project pro forma and tax analyses are projections only. Actual results may differ from those expressed in this analysis.

These projections are based on research and analysis of available data at the time of IFP preparation for purposes of illustration. Actual results may differ from those expressed in this document. Appendix C provides additional detail for the projected revenue analysis.

5.3 Plan for Financing Public Facilities

The PFA intends to utilize numerous funding sources and financing mechanisms to implement the improvements identified in Section 3.2, including District tax increment, City lease revenue financing, and potentially grant sources, impact fees, private sector investment incentivized by the Federal Opportunity Zones tax program, and/or other sources. Separate from its participation in the District, the City intends to implement a CFD to assist with ongoing maintenance of public improvements installed in the District.

As it pertains to the use of District tax increment, the PFA intends to incur debt only when it is financially prudent to do so. It is estimated at this time that approximately \$10 million of loan proceeds (in current 2023 dollars) will be secured over the District lifetime. It is assumed in the financial projections that the acquisition of a loan will occur in Fiscal Year 2023-2024. The financing strategy consistent with Government Code Section 53398.87 is a loan by the City to the Placentia EIFD, which may be repaid at an interest rate that does not exceed the Local Agency Investment Fund (LAIF) rate that is in effect on the date that such a loan is approved by the PFA.

The District will inform County Finance staff in writing of the terms and conditions of the loan, and provide any requested documents, before the loan is approved by the PFA. The loan will not be approved by the PFA if the County Executive Officer objects to the terms and conditions of the loan. The County shall not unreasonably withhold approval of such terms.

If the City issues debt in connection with the loan given by the City to the Placentia EIFD, and the City and County's committed tax increment described in Sections 5.1 to 5.4 of this IFP is insufficient for the required debt payments, the City will pay the remaining amount of the debt payment.

If the Placentia EIFD issues debt at a future date, the debt will only be issued with the purpose of repaying the loan made by the City to the Placentia EIFD. The issuance of any such future debt will not increase the County's Allocation Period or the County's total dollar maximum allocation or postpone the District's Termination Date as described in Sections 5.1-5.5 of this IFP. The District will inform County Finance Department staff in writing of the terms and conditions of any such debt issuance, and provide any requested documents, before the debt issuance is approved by the PFA. The debt issuance will not be approved by the PFA if the County Chief Executive Officer objects to the terms and conditions of the loan. The County shall not unreasonably withhold approval of such terms.

5.4 Limit on Total Dollars Allocated to the District

The total number of dollars or taxes that may be allocated to the District shall not exceed \$27,547,000. This translates into a maximum allocation of \$24,000,000 million from the City and \$3,547,000 from the County over the District lifetime. This maximum has been set based on

preliminary underwriting of various debt issuance alternatives evaluated to fund approximately \$10 million in required infrastructure improvements.

5.5 District Termination Date

The District will cease to exist the earliest of: (i) 40 years from the date on which the acquisition of a loan is approved by the PFA, (ii) upon full repayment of all outstanding obligations pertaining to the approved infrastructure projects outlined in this IFP, or (iii) June 30, 2044. This IFP assumes a District base year of Fiscal Year 2020-2021 and the first year of tax increment revenue flow in Fiscal Year 2021-2022. It is assumed in the financial projections that the approval for the acquisition of a loan will occur in Fiscal Year 2023-2024.

5.6 Analysis of Costs to Provide Facilities and Services

Appendix D to this IFP includes, as part of the Fiscal Impact Analysis, an analysis of the costs to the City and County for providing facilities and services to the area of the District. It is estimated that, at Year 20 of the District lifetime, annual costs to the City will be approximately \$2,233,100, and annual costs to the County will be approximately \$547,300 to service the area of the District.

5.7 Fiscal Impact Analysis

Appendix D to this IFP includes an analysis of the projected fiscal impact of the District and the associated development upon both the City and the County, as the only two affected taxing entities that are allocating tax increment revenues to the District. Table 3 presents an overview of fiscal impacts to the City and County.

Table 3: Overview of Fiscal Impacts to City and County

	Annual (Stablized Year 20)	Year 0-50 Nominal Total	Year 0-50 Present Value @ 3.0%
City of Placentia			
Estimated Fiscal Revenues (Net of Allocation to EIFD)	\$3,199,600	\$195,253,700	\$78,307,400
Estimated Fiscal Expenditures	\$2,233,100	\$136,336,500	\$53,812,300
Estimated Net Fiscal Impact to City	\$966,500	\$58,917,200	\$24,495,100
County of Orange			
Estimated Fiscal Revenues (Net of Allocation to EIFD)	\$1,351,600	\$83,191,000	\$33,503,900
Estimated Fiscal Expenditures	\$547,300	\$33,408,800	\$13,184,500
Estimated Net Fiscal Impact to County	\$804,300	\$49,782,200	\$20,319,400

It is estimated that, at Year 20 of the District lifetime, the District area will generate an annual net fiscal surplus of \$966,500 to the City and an annual net fiscal surplus of \$804,300 to the County. Over 50 years, District activity will generate a positive net fiscal impact of approximately \$24 million for the City and \$20 million for the County on a present-value basis. This is in addition to

the Community economic benefits outlined in Section 4 of this IFP (e.g. jobs, housing, transit to educational facilities, GHG and VMT reduction).

5.8 Developer Reimbursement for Transit Priority Project

The PFA does not intend to finance any potential costs that may be incurred by reimbursing a developer of a project that is both located entirely within the boundaries of the District and qualifies for the Transit Priority Project Program, pursuant to Section 65470. To the extent that a developer is willing to fund Transit Priority Project infrastructure expenditures beyond and in advance of said developer's fair share (not contemplated at this time), the PFA may consider and evaluate such reimbursement at the appropriate time.

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6.0 Removal of Dwelling Units and Replacement Housing Plan

The PFA does not anticipate that any housing units will be removed as a result of any project identified in this IFP. However, if any relocation of dwelling units is deemed to be required in the future for a project financed by the District, the PFA will comply with the requirements of Government Code Section 53398.56.

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7.0 Goals of the District

The goals of the District's implementation of the public facilities outlined in Section 3.2 is to support the City's General Plan, promote essential regional transportation connectivity via the Metrolink station, and implement the County's Comprehensive Economic Development Strategy. Furthermore, the District supports the SCAG Regional Transportation Plan and Sustainable Communities Strategy ("RTP/SCS") and Statewide policy goals of housing supply, sustainable infrastructure investment, and reduction of greenhouse gas emissions and vehicle miles travelled.

The underlying objectives include economic development in the form of fiscal revenue generation for the City and County, job creation, provision of new housing supply, improvement of quality of life, and promotion of environmental sustainability. The District will be utilized to address a critical infrastructure funding shortfall of approximately \$10 million (in current 2023 dollars), which is needed to catalyze private sector investment and development and further improve the region's competitiveness for state and federal grant programs.

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8.0 Appendices

Appendix A: Map of Boundaries of the Placentia EIFD

Appendix B: Legal Description of the Placentia EIFD

Appendix C: Projected Tax Increment Revenue Analysis

Appendix D: Fiscal Impact Analysis

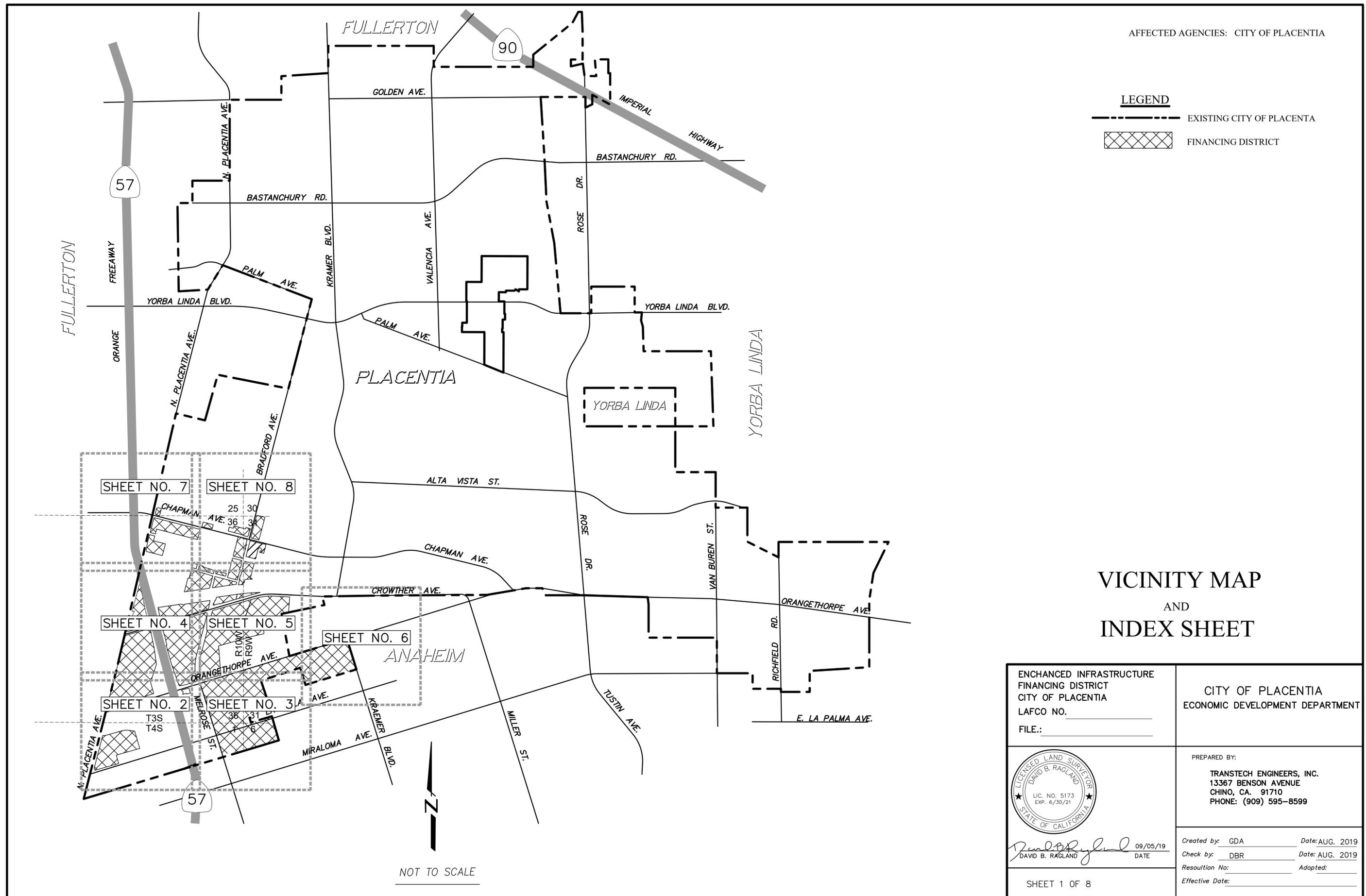
Appendix E: Old Town Placentia Revitalization Streetscape Master Plan

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AFFECTED AGENCIES: CITY OF PLACENTIA

LEGEND

-  EXISTING CITY OF PLACENTIA
-  FINANCING DISTRICT



**VICINITY MAP
AND
INDEX SHEET**

ENHANCED INFRASTRUCTURE FINANCING DISTRICT CITY OF PLACENTIA LAFCO NO. _____ FILE.: _____	CITY OF PLACENTIA ECONOMIC DEVELOPMENT DEPARTMENT
 09/05/19 DAVID B. RAGLAND DATE	PREPARED BY: TRANSTECH ENGINEERS, INC. 13367 BENSON AVENUE CHINO, CA. 91710 PHONE: (909) 595-8599
SHEET 1 OF 8	Created by: GDA Date: AUG. 2019 Check by: DBR Date: AUG. 2019 Resolution No: _____ Adopted: _____ Effective Date: _____

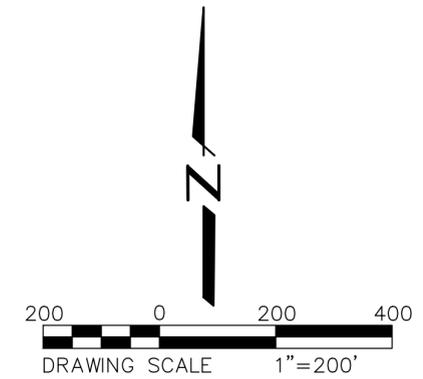
SEE SHEET NO. 4

ENHANCED INFRASTRUCTURE FINANCING DISTRICT
CITY OF PLACENTIA

- AREA 1
- AREA 2
- AREA 3
- AREA 4
- AREA 5
- AREA 6
- AREA 7

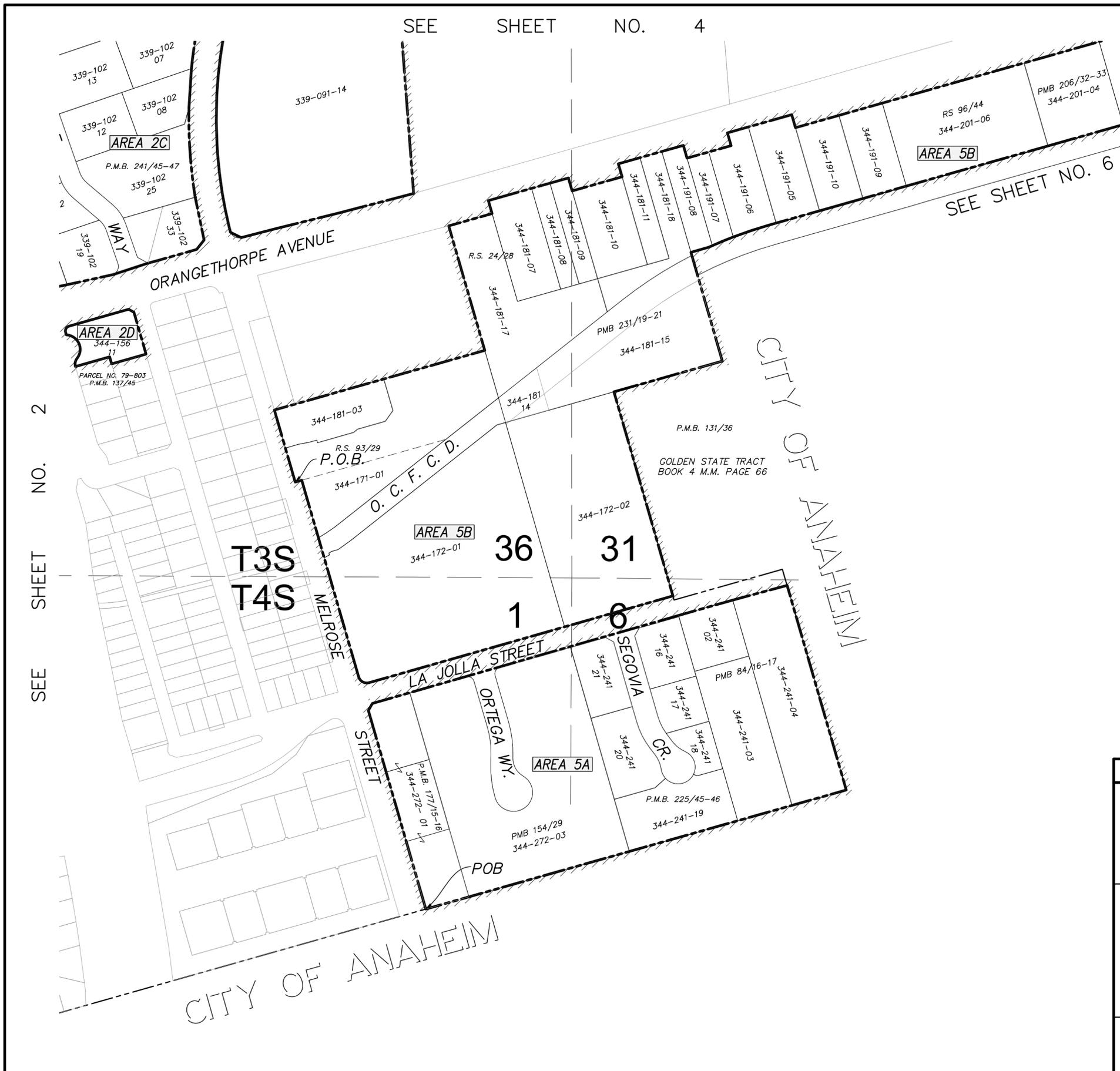
LEGEND

 INDICATES ENHANCED INFRASTRUCTURE FINANCING DISTRICT SUB AREA BOUNDARY.



SEE SHEET NO. 2

SEE SHEET NO. 6



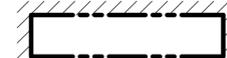
CITY OF PLACENTIA	
ENHANCED INFRASTRUCTURE FINANCING DISTRICT CITY OF PLACENTIA	
LAFCO NO. _____	
FILE: _____	
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SHEET 3 OF 8	Created by: GDA Date: AUG. 2019 Check by: DBR Date: AUG. 2019 Resolution No: _____ Adopted: _____ Effective Date: _____

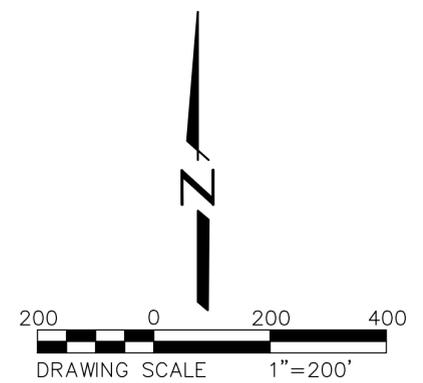
SEE SHEET NO. 7

ENHANCED INFRASTRUCTURE FINANCING DISTRICT
CITY OF PLACENTIA

- AREA 1
- AREA 2
- AREA 3
- AREA 4
- AREA 5
- AREA 6
- AREA 7

LEGEND

 INDICATES ENHANCED INFRASTRUCTURE FINANCING DISTRICT SUB AREA BOUNDARY.



SEE SHEET NO. 2

SEE SHEET NO. 3

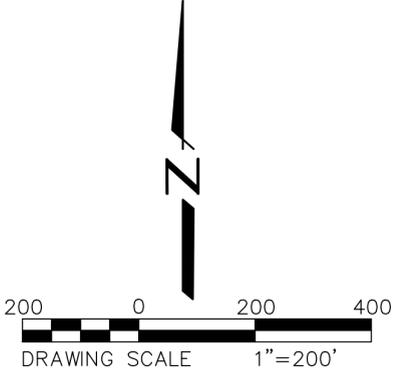
CITY OF PLACENTIA	
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LAFCO NO. _____	
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SHEET 4 OF 8	Created by: GDA Date: AUG. 2019 Check by: DBR Date: AUG. 2019 Resolution No: _____ Adopted: _____ Effective Date: _____

ENHANCED INFRASTRUCTURE FINANCING DISTRICT
CITY OF PLACENTIA

- AREA 1
- AREA 2
- AREA 3
- AREA 4
- AREA 5
- AREA 6
- AREA 7

LEGEND

 INDICATES ENHANCED INFRASTRUCTURE FINANCING DISTRICT SUB AREA BOUNDARY.



SEE SHEET NO. 6

CITY OF PLACENTIA	
ENHANCED INFRASTRUCTURE FINANCING DISTRICT CITY OF PLACENTIA	
LAFCO NO. _____	
FILE: _____	
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SHEET 5 OF 8	Created by: GDA Date: AUG. 2019 Check by: DBR Date: AUG. 2019 Resolution No: _____ Adopted: _____ Effective Date: _____

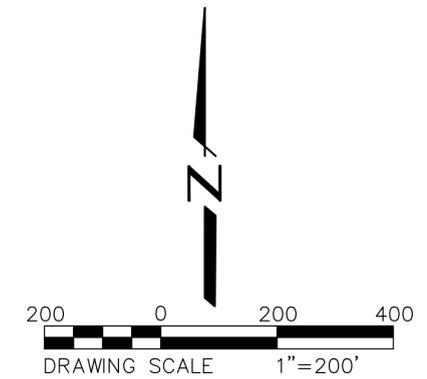
ENHANCED INFRASTRUCTURE FINANCING DISTRICT
CITY OF PLACENTIA

- AREA 1
- AREA 2
- AREA 3
- AREA 4
- AREA 5
- AREA 6
- AREA 7

LEGEND



INDICATES ENHANCED INFRASTRUCTURE FINANCING DISTRICT SUB AREA BOUNDARY.

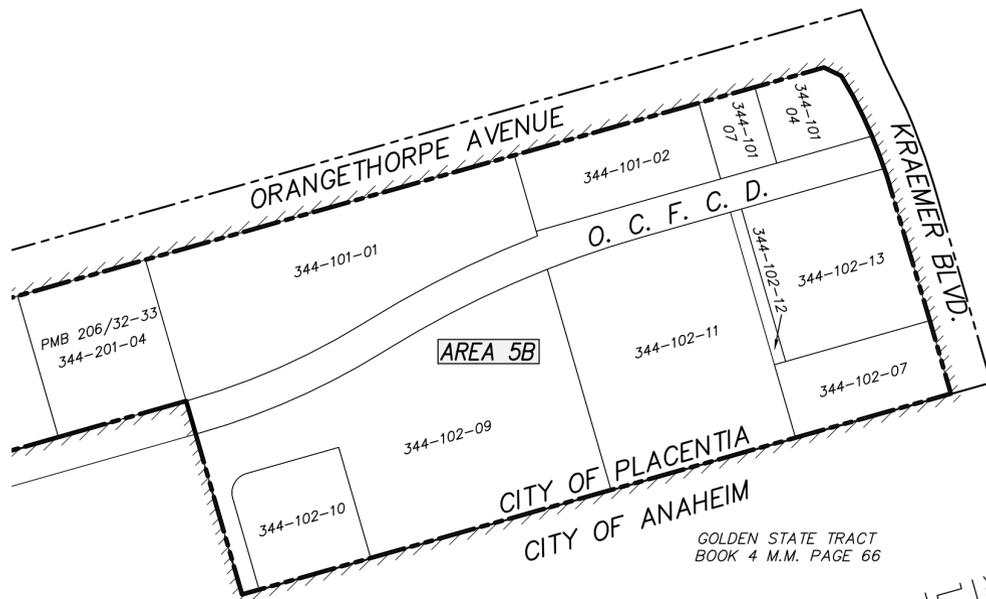


SEE SHEET NO. 5

SEE SHEET NO. 6



CITY OF ANAHEIM



GOLDEN STATE TRACT
BOOK 4 M.M. PAGE 66

CITY OF ANAHEIM

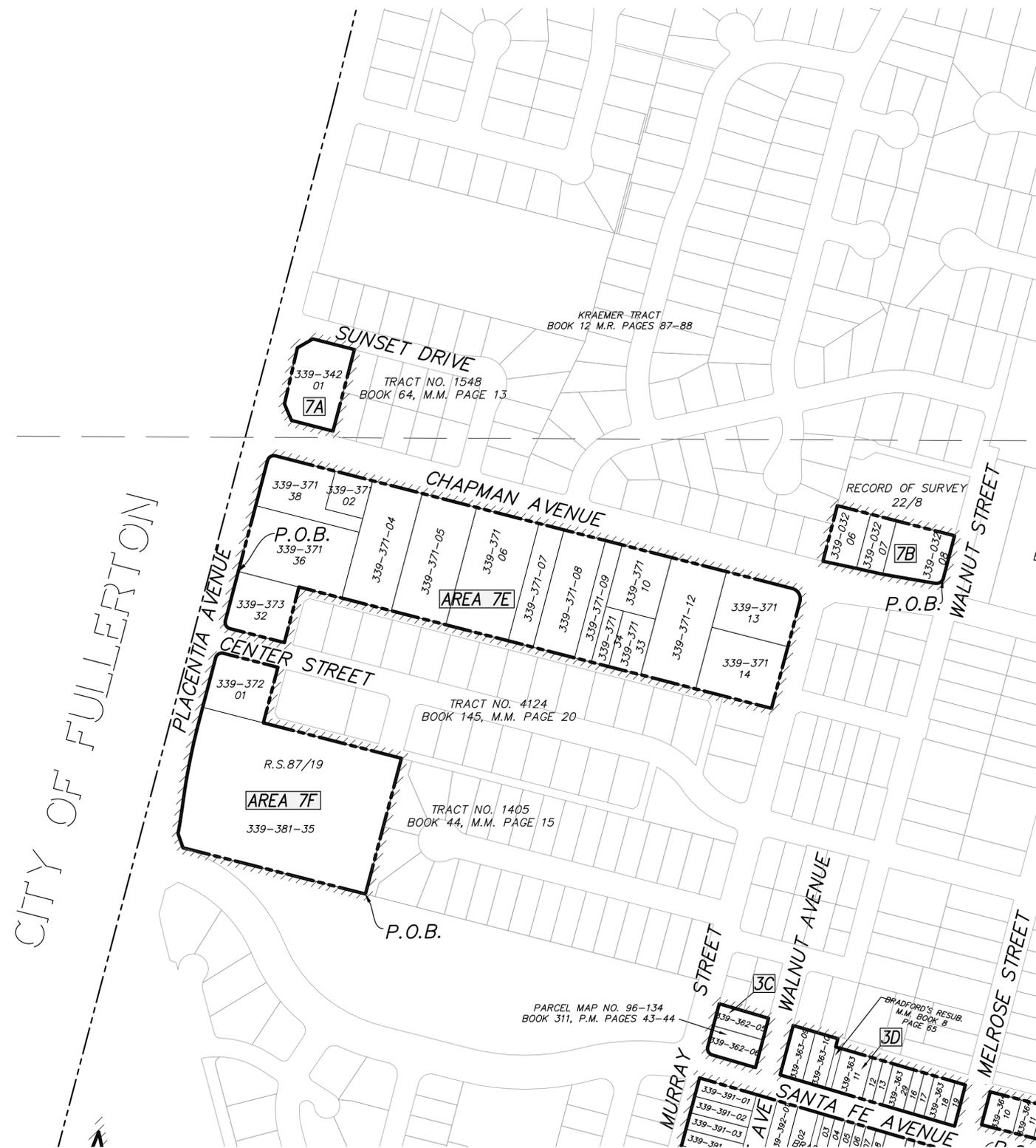
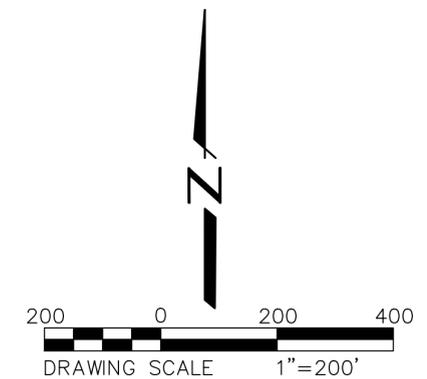
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SHEET 6 OF 8	Created by: GDA Date: AUG. 2019 Check by: DBR Date: AUG. 2019 Resolution No: _____ Adopted: _____ Effective Date: _____

ENHANCED INFRASTRUCTURE FINANCING DISTRICT
CITY OF PLACENTIA

- AREA 1
- AREA 2
- AREA 3
- AREA 4
- AREA 5
- AREA 6
- AREA 7

LEGEND

 INDICATES ENHANCED INFRASTRUCTURE FINANCING DISTRICT SUB AREA BOUNDARY.



SEE SHEET NO. 8

SEE SHEET NO. 4

SEE SHEET NO. 5

CITY OF PLACENTIA	
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SHEET 7 OF 8	Created by: GDA Date: AUG. 2019 Check by: DBR Date: AUG. 2019 Resolution No: _____ Adopted: _____ Effective Date: _____

SEE SHEET NO. 7



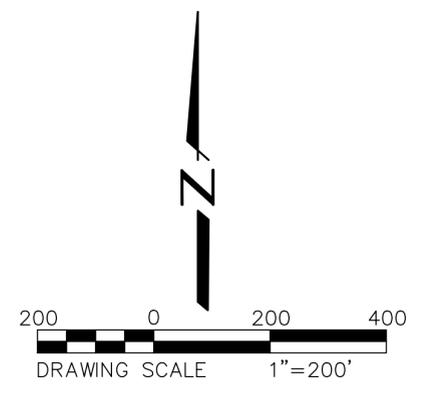
SEE SHEET NO. 5

ENHANCED INFRASTRUCTURE FINANCING DISTRICT
CITY OF PLACENTIA

- AREA 1
- AREA 2
- AREA 3
- AREA 4
- AREA 5
- AREA 6
- AREA 7

LEGEND

 INDICATES ENHANCED INFRASTRUCTURE FINANCING DISTRICT SUB AREA BOUNDARY.



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SHEET 8 OF 8	<p>Created by: GDA Date: AUG. 2019 Check by: DBR Date: AUG. 2019 Resolution No: _____ Adopted: _____ Effective Date: _____</p>

Appendix B

CITY OF PLACENTIA Enhanced Infrastructure Financing District (EIFD) Geographic Description

All that certain real property, situate in the City of Placentia incorporated territory, located in Section 31, Township 3 South, Range 9 West, Sections 25 and 36, Township 3 South, Range 10 West, Section 1, Township 4 South, Range 10 West and Section 6, Township 4 South, Range 9 West, San Bernardino Meridian, in the County of Orange, State of California, described as follows:

AREA 1A

BEGINNING at the point of intersection of the westerly Right of Way line of Melrose Street and the southerly Right of Way line of the Atchison Topeka and Santa Fe Railway as shown on Record of Survey recorded in Book 42, Page 37 of Records of Surveys in the office of the County Recorder of Orange County, State of California;

- 1) Thence, South 81°02'00" West along said southerly Right of Way line 690.32 feet to the northwest corner of Lot 10 of Tract 35, as per Map recorded in Book 9, Page 32 of Miscellaneous Maps in the office of the County Recorder of said County;
- 2) Thence, South 14°09'30" West along the west line of said Lot 10 and said southerly Right of Way line, a distance of 46.25 feet to the northeast corner of Lot 7, Block C of Kraemer Tract, as per Map recorded in Book 12, Page 87 of Miscellaneous Maps, in the office of the County Recorder of said County;
- 3) Thence, continuing along said southerly Right of Way line, North 76°00'30" West 109.00 feet;
- 4) Thence, continuing along said southerly Right of Way line South 14°09'30" West 7.53 feet;
- 5) Thence, continuing along said southerly Right of Way line, South 81°01'30" West 626.15 feet, more or less to the east Right of Way line of California State Route 57;
- 6) Thence, South 11°04'33" East along said east Right of Way line, 406.71 feet to the north Right of Way line of Crowther Avenue;
- 7) Thence, North 74°04'31" East along said north Right of Way line 51.83 feet to an angle point;
- 8) Thence, continuing along said north Right of Way line South 14°42'36" West 28.89 feet to an angle point;
- 9) Thence, continuing along said north Right of Way line through its various courses and in a generally easterly and northeasterly direction to the westerly Right of Way line of Melrose Street;
- 10) Thence, continuing northeasterly along said westerly right of Way line of Melrose Street to the **POINT OF BEGINNING**.

AREA 1B

BEGINNING at the point of intersection of the easterly Right of Way line of Melrose Street and the southerly Right of Way line of the Atchison Topeka and Santa Fe Railway as shown on Record of Survey recorded in Book 63, Page 18 of Records of Surveys in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North $81^{\circ}02'00''$ East along said southerly Right of Way line 688.41 feet, more or less, to a point on the northeasterly Right of Way line of Bradford Avenue, 40-foot wide as shown on Plat of Townsite of Placentia as per Map recorded in Book 6, Page 38 of Miscellaneous Maps in the office of the County Recorder of said County;
- 2) Thence, South $13^{\circ}59'07''$ West along said northeasterly Right of Way line 139.30 feet to a point on a line parallel with and 5.00 feet northerly, measured at right angles to the easterly prolongation of the southerly line of Lot 1 of Block G of said Plat of Townsite of Placentia;
- 3) Thence, South $73^{\circ}30'24''$ West 479.22 feet to the southwest corner of Lot 6 as shown on Record of Survey recorded in Book 5, Page 40 of Records of Surveys in the office of the County Recorder of said County;
- 4) Thence North $8^{\circ}58'00''$ West along the west line of said Lot 6, a distance 9.07 feet to a point on a line parallel with and 34.00 feet northerly of the centerline of Crowther Avenue and being a point on the northerly Right of Way line of Crowther Avenue;
- 5) Thence, South $73^{\circ}29'26''$ West along said northerly Right of Way line 189.05 feet;
- 6) Thence continuing along said northerly right of Way line North $61^{\circ}30'34''$ West 36.92 feet to a point on the easterly Right of Way line of Melrose Street, 40-foot half width as shown on Record of Survey recorded in Book 63 Page 18 of Records of Surveys in the office of the County Recorder of said County;
- 7) Thence, North $7^{\circ}33'46''$ East along said easterly Right of Way line 167.62 feet to an angle point;
- 8) Thence, continuing along said easterly Right of Way line North $13^{\circ}58'10''$ East 25.70 feet to the **POINT OF BEGINNING**.

AREA 1C

BEGINNING at the point of intersection of the southerly line of Record of Survey recorded in Book 77, Page 24 of Records of Surveys, in the office of the County Recorder of Orange County and the easterly Right of Way line of Melrose Street as shown on Parcel Map recorded in Book 34, Page 26 of Parcel Maps in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North $14^{\circ}04'15''$ East along said easterly Right of Way line, 437.78 feet, more or less, to the beginning of a tangent curve, concave southeasterly, having a radius of 27.00 feet;
- 2) Thence, northeasterly along said curve and Right of Way line, through a central angle of $59^{\circ}25'45''$ a distance of 28.00 feet to a point on the southeasterly Right of Way line of Crowther Avenue;
- 3) Thence, North $73^{\circ}30'00''$ East along the said southeasterly Right of Way line of Crowther Avenue as shown on Parcel Map recorded in Book 34, Page 26 of Parcel Maps in the office

of the County Recorder of said County, 1067.39 feet, more or less to the east line of that certain parcel of land described in Book 6471, Page 471, Official Records of said County, and as shown on Record of Survey recorded in Book 75, Page 41, Records of Surveys in the office of the County Recorder of said County;

- 4) Thence, South 17°41'22" West 452.86 feet along said east line to a point on the southerly line of Record of Survey recorded in Book 77, Page 24 of Records of Surveys, in the office of the County Recorder of said County;
- 5) Thence, South 72°39'10" West along said southerly line, 1058.94 feet, more or less to the **POINT OF BEGINNING**.

AREA 2A

BEGINNING at the intersection of the easterly line of Bradford Avenue and the northeasterly extension of a line parallel with and 5.00 feet northerly, measured at right angles to the southerly line of Lot 1 of Block G as shown on Plat of Townsite of Placentia, as per Map recorded in Book 6, Page 38 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North 13°59'07" East along said easterly line of Bradford Avenue to a point on the southerly line of the Atchison Topeka and Santa Fe Railway Right of Way;
- 2) Thence, southeasterly along said southerly line to a point on the northeasterly extension of said parallel line;
- 3) Thence, southwesterly along the said parallel line to the **POINT OF BEGINNING**.

AREA 2B

BEGINNING at the northwest corner of Parcel 1 of Parcel Map No. 85-310, recorded in Book 209, Pages 25 and 26 of Parcel Maps in the office of the County Recorder of Orange County, State of California, said point being a point on the easterly Right of Way line of Melrose Street, and a point on the south line of Record of Survey recorded in Book 77, Page 24 of Records of Surveys in the office of the County Recorder of said County;

- 1) Thence, North 72°39'10" East along the north line of said Parcel 1 and the south line of said Record of Survey 1058.94 feet more or less to the southeast corner of that certain parcel of land described in Book 6471, Page 471 of Official Records, and as shown on Record of Survey recorded in Book 75, Page 41 of Records of Surveys in the office of the County Recorder of said County;
- 2) Thence, North 17°41'22" East along the east line of said Record of Survey 452.86 feet to a point on the southerly Right of Way line of Crowther Avenue as shown on Tract No. 13059 as per Plat recorded in Book 587, Pages 9 and 10 of Miscellaneous Maps in the office of the County Recorder of said County;
- 3) Thence, along the southerly Right of Way line of Crowther Avenue through its various courses, in a generally northeasterly direction to a point on the easterly line of Lot 8, of said Tract No. 13059, and being a point on the westerly line of Parcel Map No. 81-802, as per Parcel Map recorded in Book 171, Pages 34 through 36 of Parcel Maps in the office of the County Recorder of said County;

- 4) Thence, continuing along the southerly Right of Way line of Crowther Avenue through its various courses, in a generally easterly direction to the northeast corner of Parcel 1 of said Parcel Map No. 81-802;
- 5) Thence, South 02°41'00" West along the east lines of Lot 1 and Lot 9 of said Parcel Map No. 81-802, a distance of 415.05 feet to the southeast corner of said Lot 9, and being a point on the City of Placentia Corporate Limit Line;
- 6) Thence, South 75°20'25" West along the south line of said Parcel Map No. 81-802 and following the Corporate City Limit Line 196.78 feet to the northeast corner of Parcel 2 of Parcel Map recorded in Book 106, Pages 37 through 41 of Parcel Maps in the office of the County Recorder of said County;
- 7) Thence, South 06°54'12" East along the east line of said Parcel 2, a distance of 195.00 feet to the southeast corner of said Parcel 2;
- 8) Thence, South 72°02'51" West along the south line of said Parcel 2, a distance of 187.98 feet to the southwest corner of said Parcel 2, and being an angle point on the north line of Parcel 1 of Parcel Map recorded in Book 106, Pages 37 through 41 of Parcel Maps in the office of the County Recorder of said County;
- 9) Thence along the north line of said Parcel 1 the following courses and distances;
- 10) South 04°55'42" East 23.70 feet;
- 11) Thence, South 50°20'15" West 209.70 feet;
- 12) Thence, North 04°57'07" West 183.00 feet;
- 13) Thence, South 73°35'23" West 171.37 feet;
- 14) Thence, South 04°57'07" East 271.86 feet;
- 15) Thence, South 76°43'00" West 310.62 feet to the most westerly corner of said Parcel 1, and being the southeast corner of Parcel 3 of Parcel Map No. 83-803, recorded in Book 187, Pages 10 through 12 of Parcel Maps in the office of the County Recorder of said County;
- 16) Thence, South 73°32'00" West along the south line of said Parcel Map No. 83-803 a distance of 957.14 feet to a point on the easterly line of Parcel 2 of Parcel Map recorded in Book 65, Page 9 of Parcel Maps in the office of the County Recorder of said County;
- 17) Thence, South 04°39'24" East along the easterly line of said Parcel 2, a distance of 797.97 feet, more or less, to a point on the north Right of Way line of Orangethorpe Avenue, and being a point of beginning of a non-tangent curve, concave southeasterly, having a radius of 9489.34 feet, a radial to said point bears North 16°03'24" West;
- 18) Thence, southwesterly along said curve and north Right of Way line, through a central angle of 01°51'39" a distance of 308.19 feet to the beginning of a reverse curve, having a radius of 9609.34 feet; thence along said reverse curve and north Right of Way line, through a central angle of 01°16'19", a distance of 213.32 feet to the beginning of a tangent curve, concave northeasterly, having a radius of 27.00 feet;
- 19) Thence, along said curve and Right of Way line, through a central angle of 91°10'20", a distance of 42.96 feet to the beginning of a tangent curve, concave southeasterly, having a radius of 1393.79 feet, and being a point on the easterly Right of Way line of Melrose Street;
- 20) Thence, along said curve and easterly Right of Way line, through a central angle of 28°26'04", a distance of 691.70 feet;
- 21) Thence, continuing along said easterly Right of Way line, North 14°08'20" East 100.54 feet to a point on the north line of Parcel 1 of Parcel Map recorded in Book 65, Page 9 of

Parcel Maps in the office of the County Recorder of said County, and being the southwest corner of Parcel 2 of Parcel Map No. 85-310 recorded in Book 209, Pages 25 and 26 of Parcel Maps in the office of the County Recorder of said County;

- 22) Thence, continuing along said easterly Right of Way line North $14^{\circ}09'01''$ East 675.32 feet to the **POINT OF BEGINNING**.

AREA 2C

BEGINNING at the intersection of the easterly Right of Way line of State Highway 57 and the southerly Right of Way line of Crowther Avenue as shown on Record of Survey No. 2010-1021, recorded in Book 248, Pages 1 through 14 inclusive, Records of Surveys in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North $73^{\circ}06'40''$ East along the southerly Right of Way line of said Crowther Avenue 1260 feet, more or less to an angle point in the southerly Right of Way line of Crowther Avenue and a point on the northerly line of Parcel 2 of Parcel Map No. 84-805 as per Map recorded in Book 193, Pages 42 through 44 of Parcel Maps in the office of the County Recorder of said County;
- 2) Thence, South $46^{\circ}36'13''$ East 46.90 feet to a point on the westerly Right of Way line of Melrose Street;
- 3) Thence, South $13^{\circ}41'40''$ West along said westerly Right of Way 1132.00 feet more or less to the beginning of a tangent curve, concave southeasterly, having a radius of 1471.75 feet;
- 4) Thence, continuing along said westerly Right of Way line and along said curve, through a central angle of $28^{\circ}26'45''$ a distance of 730.68 feet more or less to an angle point in said Right of Way line;
- 5) Thence, continuing along said westerly Right of Way line South $30^{\circ}44'40''$ West 36.89 feet to a point on the north Right of Way line of Orangethorpe Avenue, said point being the beginning of a non-tangent curve, concave southerly, having a radius of 9609.34 feet, a radial to said point bears North $16^{\circ}15'54''$ West;
- 6) Thence, westerly along said curve and north Right of Way line, through a central angle of $00^{\circ}12'06''$ a distance of 33.82 feet;
- 7) Thence, continuing along said north Right of Way line South $73^{\circ}32'00''$ West 110.67 feet;
- 8) Thence, continuing along said north Right of Way line South $14^{\circ}08'42''$ West 5.81 feet;
- 9) Thence, continuing along said north Right of Way line South $74^{\circ}01'47''$ West 99.43 feet;
- 10) Thence, continuing along said north Right of Way line South $77^{\circ}50'39''$ West 188.22 feet;
- 11) Thence, continuing along said north Right of Way line North $63^{\circ}58'58''$ West 36.59 feet to a point on the easterly Right of Way line of State Highway 57 and as shown on said Record of Survey No. 2010-1021;
- 12) Thence, North $19^{\circ}07'23''$ West along said easterly Right of Way line 682.38 feet;
- 13) Thence, continuing along said easterly State Highway 57 Right of Way line northerly the following courses and distances,
- 14) North $15^{\circ}23'15''$ West 129.84 feet;
- 15) North $15^{\circ}32'00''$ West 187.48 feet;

- 16) North 14°25'34" West 109.33 feet;
- 17) North 14°26'33" West 14.00 feet;
- 18) South 74°04'41" West 43.30 feet;
- 19) North 14°18'17" West 20.00 feet;
- 20) North 74°04'41" East 63.70 feet;
- 21) North 13°06'02" West 238.67 feet;
- 22) North 17°43'30" West 328.75 feet to the **POINT OF BEGINNING**.

AREA 2D

Parcel 1 of Parcel Map No. 79-803 as per Parcel Map recorded in Book 137, Page 45 of Parcel Maps, in the office of the County Recorder of Orange County, State of California.

AREA 3A

BEGINNING at the southwest corner of Parcel 1 of Parcel Map No. 86-297, as per Parcel Map recorded in Book 218, Pages 20 and 21 of Parcel Maps, in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North 14°08'20" East along the west line of said Parcel Map No. 86-297, a distance of 384.69 feet;
- 2) Thence, South 74°05'20" East 30.02 feet;
- 3) Thence, North 14°08'20" East 250.24 feet to a point on the southerly Right of Way line of Santa Fe Avenue, 30-foot half width;
- 4) Thence, South 74°01'56" East along said southerly Right of Way line 603.73 feet to a point on the westerly Right of Way line of Melrose Street, 30-foot half width;
- 5) Thence, South 13°59'31" West along said westerly Right of Way line 344.31 feet to a point on the northerly Right of Way line of the Atchison Topeka and Santa Fe Railway Right of Way;
- 6) Thence, South 81°03'02" West along said northerly Right of Way line 689.53 feet to the **POINT OF BEGINNING**.

AREA 3B

BEGINNING at the northwest corner of Lot 10, Block F of Plat of Townsite of Placentia, as per Plat recorded in Book 6, Page 38 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California;

- 1) Thence, South 76°00'43" East 608.01 feet to the northeast corner of Lot 10, Block E of said Plat of Townsite of Placentia;
- 2) Thence, South 13°59'07" West 61.10 feet to the southeast corner of said Lot 10, Block E;
- 3) Thence, South 81°02'00" West 660.25 feet to the southwest corner of Lot 17 of said Block F of Plat of Townsite of Placentia;
- 4) Thence, North 13°58'18" East 317.36 feet to the **POINT OF BEGINNING**.

EXCEPTING THEREFROM the northwesterly 10.00 feet of Lots 11 through 17, Block F of Plat of Townsite of Placentia, as per Plat recorded in Book 6, Page 38 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California.

ALSO EXCEPTING THEREFROM any portion lying within Main Street.

AREA 3C

Parcel 1 and Parcel 2 of Parcel Map No. 96-134, as per Parcel Map recorded in Book 311, Pages 43 and 44 of Parcel Maps, in the office of the County Recorder of Orange County, State of California.

AREA 3D

Lots 1 through 12 and Lots 78 and 79 of Plat of Bradford's Resubdivision of Blocks H and I Townsite of Placentia, as per Plat recorded in Book 8, Page 65 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California.

AREA 3E

Lots 10 through 21, Block D of Plat of Townsite of Placentia, as per Plat recorded in Book 6, Page 38 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California.

EXCEPTING THEREFROM the south 20.00 feet of said Lots 10 through 21.

AREA 3F

Block C of Plat of Townsite of Placentia, as per Plat recorded in Book 6, Page 38 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California.

AREA 3G

Block A of Plat of Townsite of Placentia, as per Plat recorded in Book 6, Page 38 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California.

EXCEPTING THEREFROM any portion lying within Chapman Avenue and Bradford Avenue.

AREA 3H

BEGINNING at the intersection of the easterly Right of Way line of Bradford Avenue with the northerly Right of Way line of Center Street, as shown on Map of Tract No. 708, as per Map recorded in Book 22, Page 8 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North 13°59'25" East along said easterly Right of Way line 493.07 feet;

- 2) Thence, continuing along said easterly Right of Way line North 58°58'33" East 38.17 feet to a point on the southerly Right of Way line of Chapman Avenue;
- 3) Thence, Southeasterly along said southerly Right of Way line and its various courses to the northeast corner of Parcel 2 of Parcel Map No. 81-803, as per Parcel Map recorded in Book 168, Pages 8 and 9 of Parcel Maps, in the office of the County Recorder of Orange County, State of California;
- 4) Thence, along the east and south lines of said Parcel 2 the following courses and distances;
- 5) South 13°57'35" West 249.35 feet;
- 6) Thence, North 75°55'09" West 119.88 feet to the beginning of a non-tangent curve, concave southeasterly, having a radius of 94.00 feet, a radial to said point bears North 59°15'19" West;
- 7) Thence, northeasterly along said curve, through a central angle of 27°38'34" a distance of 45.35 feet to the beginning of a reverse curve, having a radius of 46.00 feet, thence northerly, westerly and southwesterly along said reverse curve, through a central angle of 218°40'11" a distance of 175.56 feet;
- 8) Thence, North 76°02'19" West 4.24 feet to a point of the westerly Right of Way line of Alta Street;
- 9) Thence, leaving said south line of said Parcel 2, South 13°58'25" West along said westerly Right of Way line of Alta Street 350 feet, more or less, to a point on the northerly Right of Way line of Center Street;
- 10) Thence, North 76°00'53" West along said northerly Right of Way line 267.50 feet to the **POINT OF BEGINNING.**

AREA 3I

BEGINNING at the southwest corner of Lot 10, Tract No. 16855, as per Map recorded in Book 883, Pages 39 through 43 of Miscellaneous Maps in the office of the County Recorder of Orange County, State of California, and being a point on the easterly Right of Way line of Bradford Avenue;

- 1) Thence, northeasterly along said easterly Right of Way line of Bradford Avenue and its various courses to the northwest corner of Lot 1 of Map of Kraemers Addition No. 1 to Placentia Townsite, as per Map recorded in Book 8, Page 59 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California, and being a point on the southerly Right of Way line of Center Street;
- 2) Thence, South 76°00'00" East along said southerly Right of Way line of Center Street 267.5 feet, more or less, to the northeast corner of Lot 19 of said Map of Kraemers Addition No. 1, and being a point on the westerly Right of Way line of Alta Street;
- 3) Thence, South 13°58'20" West along said westerly Right of Way line of Alta Street 374 feet more or less, to the beginning of a tangent curve, concave northeasterly, having a radius of 40.00 feet;
- 4) Thence, southeasterly and continuing along said Right of Way line and curve, through a central angle of 119°59'58" a distance of 83.77 feet to a point on the west line of Lot 1, Tract No. 9747, as per Map recorded in Book 425, Pages 23 through 26 of Miscellaneous Maps in the office of the County Recorder of said County;

- 5) Thence, South 13°58'20" West 11.44 feet to a point on the north line of Tract No. 16855, as per Map recorded in Book 883, Pages 39 through 43 of Miscellaneous Maps and being a point on a non-tangent curve, concave southwesterly, having a radius of 5886.77 feet, a radial to said point bears North 03°42'05" West;
- 6) Thence, westerly along said curve and north line of Tract No. 16855 to the northwest corner of Lot 1 of said Tract No. 16855, and being a point on a non-tangent curve, concave northwesterly, having a radius of 85.50 feet, a radial to said point bears South 73°10'29" East;
- 7) Thence, southwesterly along said curve, through a central angle of 31°04'13" a distance of 46.36 feet to the beginning of a non-tangent curve, concave southwesterly, having a radius of 79.00 feet, a radial to said point bears North 46°50'14" East;
- 8) Thence, southeasterly along said curve, through a central angle of 16°42'44" a distance of 23.04 feet;
- 9) Thence, South 85°57'33" West 5.61 feet to the beginning of a non-tangent curve, concave northeasterly, having a radius of 29.50 feet, a radial to said point bears North 72°47'45" East;
- 10) Thence, southeasterly along said curve, through a central angle of 23°34'13" a distance of 12.14 feet;
- 11) Thence, South 49°13'32" West 61.72 feet;
- 12) Thence, South 03°43'01" East 22.58 feet to a point of the south line of said Tract No. 16855;
- 13) Thence, South 86°16'59" West along said south line 123.16 feet to the **POINT OF BEGINNING.**

AREA 4A

BEGINNING at the northwest corner of Lot 6 of Tract No. 5836, as per Map recorded in Book 217, Pages 22 and 23 of Miscellaneous Maps in the office of the County Recorder of Orange County, State of California, said point being the intersection of the easterly Right of Way line of Placentia Avenue, 40-foot half width, with the southerly Right of Way line of the Atchison Topeka and Santa Fe Railway Right of Way;

- 1) Thence, North 14°04'00" East 54.33 feet to the northerly Right of Way line of said Atchison Topeka and Santa Fe Right of Way;
- 2) Thence, North 81°01'30" East along said northerly Right of Way line 10.87 feet to a point on a line parallel with and 50.00 feet easterly of the centerline of Placentia Avenue, and being the easterly Right of Way line of Placentia Avenue;
- 3) Thence northeasterly along said easterly Right of Way line of Placentia Avenue following its various courses, 738 feet, more or less, to the intersection with the northeasterly line of the Orange County Flood Control District Channel (Placentia Channel) Right of Way;
- 4) Thence, southeasterly along said northeasterly Right of Way line of said Orange County Flood Control District Channel Right of Way and following its various courses, 1185 feet, more or less, to the intersection with the northerly Right of Way line of Crowther Avenue;

- 5) Thence, southwesterly along said northerly Right of Way line of Crowther Avenue and following its various courses, 648 feet, more or less, to a point on the easterly Right of Way line of Placentia Avenue;
- 6) Thence, North 14°04'00" East along said easterly Right of Way line and following its various courses, 585 feet, more or less, to the **POINT OF BEGINNING**.

EXCEPTING THEREFROM, any portion lying within Placentia Avenue and Crowther Avenue.

AREA 4B

BEGINNING at the point of intersection of the southerly Right of Way line of Crowther Avenue with the easterly Right of Way line of the Orange County Flood Control District Channel (Placentia Channel);

- 1) Thence, southeasterly along said easterly Right of Way line of said Orange County Flood Control District Channel and following its various courses, 1208 feet, more or less, to an angle point on the easterly line of Parcel 4 of Parcel Map 86-310, as per Parcel Map recorded in Book 219, Pages 5 through 7 of Parcel Maps in the office of the County Recorder of Orange County, State of California, said point being on the westerly Right of Way line of State Highway 57;
- 2) Thence, South 17°09'53" West along said easterly line of Parcel 4 and said westerly line of State Highway 57, a distance of 65.07 feet to the southeast corner of said Parcel 4;
- 3) Thence, continuing along said westerly Right of Way line of State Highway 57, South 17°10'36" West 245.73 feet;
- 4) Thence, continuing along said westerly Right of Way line of State Highway 57, South 16°04'49" East 322.63 feet to a point on the northerly Right of Way line of Orangethorpe Avenue, said point being the southeast corner of Parcel 1 of Parcel Map recorded in Book 16, Page 28 of Parcel Maps, in the office of the County Recorder of Orange County;
- 5) Thence, leaving said westerly Right of Way line of State Highway 57, southwesterly along said northerly Right of Way line of Orangethorpe Avenue, following its various courses to the southwest corner of Parcel 3 of Parcel Map recorded in Book 16, Page 28 of Parcel Maps, in the office of the County Recorder of Orange County;
- 6) Thence, continuing along said northerly line of Orangethorpe Avenue and along the southerly line of Lots 1 through 3 of Parcel Map recorded in Book 55, Page 48 of Parcel Maps, in the office of the County Recorder of Orange County, South 73°03'55" West 632.17 feet to the beginning of a tangent curve, concave northeasterly, having a radius of 22.00 feet;
- 7) Thence, continuing along said northerly Right of Way line, through a central angle of 120°30'00", a distance of 46.27 feet to a point on the easterly Right of Way line of Placentia Avenue;
- 8) Thence, northeasterly along said easterly Right of Way line of Placentia Avenue and its various courses, 2001 feet, more or less, to a point on the southerly right of Way line of Crowther Avenue;
- 9) Thence, northeasterly along said southerly Right of Way line of Crowther Avenue and its various courses, 680 feet, more or less, to the **POINT OF BEGINNING**.

AREA 5A

BEGINNING at a point on the east Right of Way line of Melrose Street, 40-foot half width and the south line of Lot 6, Block 7 of Golden State Tract as shown on Map recorded in Book 4, Page 66 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North 16°17'00" West along said east Right of Way line 610.60 feet to an angle point;
- 2) Thence, continuing along said Right of Way line, North 28°42'36" East 24.04 feet to a point on the south Right of Way line of La Jolla Street, 32-foot half width as shown on Parcel Map No. 82-801, recorded in Book 117, Pages 15 and 16 of Parcel Maps, in the office of the County Recorder of said County;
- 3) Thence, North 73°42'28" East along said south Right of Way line of La Jolla Street 603.00 feet, more or less, to a point on the westerly line of Lot 5, Block 7 of said Golden State Tract;
- 4) Thence, continuing along said south Right of Way North 73°42'15" East 329.93 feet to the east line of Parcel 1 of Parcel Map 86-353, recorded in Book 225, Pages 45 and 46 of Parcel Maps, in the office of the County Recorder of said County;
- 5) Thence, North 16°15'57" West along the northerly prolongation of the east line of said Parcel 1, a distance of 2.00 feet to a point on the south Right of Way line of La Jolla Street, 30-foot wide;
- 6) Thence, North 73°42'15" East along said south Right of Way line 330.00 feet, more or less, to the easterly line of Lot 5, Block 7 of said Golden State Tract;
- 7) Thence, South 16°16'00" East along said easterly line of Lot 5, a distance of 660.00 feet, to the southeast corner of said Lot 5;
- 8) Thence, South 75°43'27" West along the south line of said Lot 5, a distance of 660.00 feet to the southwest corner of said Lot 5;
- 9) Thence, South 73°43'27" West along the south line of Lot 6, Block 7 of said Golden State Tract, 620.00 feet, more or less, to the **POINT OF BEGINNING**.

AREA 5B

BEGINNING at the southwest corner of Lot 2, Block 7 of Golden State Tract as shown on Map recorded in Book 4, Page 66 of Miscellaneous Maps, in the office of the County Recorder of said County, and being a point on the east Right of Way line of Melrose Street;

- 1) Thence, North 16°17'00" West along said east Right of Way line of Melrose Street, 221.71 feet to a point on the north line of the land dedicated to the City of Placentia per Book 7545, Page 680, Official Records of said County;
- 2) Thence, North 73°43'00" East along the north line of said land dedicated to the City of Placentia, 639.93 feet to a point on the westerly line of Lot 1, Block 7 of said Golden State Tract;
- 3) Thence, North 16°17'00" West along the westerly line of said Lot 1, a distance of 383.00 feet to the south Right of Way line of Orangethorpe Avenue (Formally Yorba Street);

- 4) Thence, in a northeasterly direction, along said south Right of Way line of Orangethorpe Avenue, and following its various courses, as established by street dedications to the City of Placentia, to the westerly Right of Way line of Kraemer Boulevard;
- 5) Thence, in a southeasterly direction, along said westerly Right of Way line of Kraemer Boulevard. 585 feet, more or less, to a point on the southerly line of Lot 1, Block 5 of said Golden State Tract, and being a point of the City of Placentia Corporate City Limit Line;
- 6) Thence, along said Corporate City Limit Line South 73°43'00" West 1269.00 feet, more or less, to the southeast corner of Lot 1, Block 6 of said Golden State Tract;
- 7) Thence, continuing along said Corporate City Limit Line, through its various courses, in a generally northerly and westerly direction to a point on the easterly line of Lot 1, Block 7 of said Golden State Tract;
- 8) Thence, continuing along said Corporate City Limit Line South 16°16'33" East and along the easterly line of said Lot 1, a distance of 334.78 feet, more or less, to the southeast corner of said Lot 1;
- 9) Thence, continuing along said Corporate City Limit Line South 73°43'00" West and along the northerly line of Lot 3, Block 7 of said Golden State Tract 329.96 feet to the northwest corner of Parcel 1 as shown on Parcel Map recorded in Book 131, Page 36 of Parcel Maps in the office of the County Recorder of said County;
- 10) Thence, continuing along said Corporate City Limit Line and along the westerly line of said Parcel 1 South 16°16'16" East 628 feet, more or less, to a point in the north Right of Way line of La Jolla Street, as shown on Parcel Map recorded in Book 131, Page 36 of Parcel Maps in the office of the County Recorder of said County;
- 11) Thence, South 73°43'00" West along the north Right of Way line of La Jolla Street 330.00 feet to a point on the easterly line of Lot 4, Block 7 of said Golden State Tract;
- 12) Thence, continuing along said Right of Way line, southerly and perpendicular to the centerline of La Jolla Street 2.00 feet;
- 13) Thence, continuing along said Right of Way line South 73°43'00" West 595.00 feet to the beginning of a tangent curve, concave northeasterly, having a radius of 25.00 feet;
- 14) Thence, continuing along said Right of Way line northwesterly along said curve, through a central angle of 90°00'00" a distance of 39.27 feet to a point of tangency with the easterly Right of Way line of Melrose Street;
- 15) Thence, North 16°17'00" West along said easterly Right of Way line 605.00 feet, more or less, to the southerly line of said land dedicated to the City of Placentia;
- 16) Thence, North 73°43'00" West 20.00 feet **POINT OF BEGINNING**.

AREA 6

BEGINNING at the point of intersection of the easterly Right of Way line of Placentia Avenue, 45-foot half width, and the southerly Right of Way line of the Orange County Flood Control District Right of Way as set forth by Orange County Flood Control District Map No. 801-14A and Orange County Flood Control Field Book 81, Page 826, and as shown on Map of Parcel Map No. 84-816 recorded in Book 208, Pages 38 through 41 of Parcel Maps in the office of the County Recorder of Orange County, State of California, said point being on a non-tangent curve, concave northerly, having a radius of 462.00 feet, a radial to said point bears South 00°16'47" East;

- 1) Thence, easterly along said curve and southerly Right of Way line, through a central angle of 16°01'38", a distance of 129.23 feet;
- 2) Thence, continuing along said southerly Right of Way line North 73°41'35" East 395.76 feet to the beginning of a tangent curve, concave southerly, having a radius of 563.00 feet;
- 3) Thence, continuing along said southerly Right of Way line, through a central angle of 16°30'09", a distance of 162.16 feet;
- 4) Thence continuing along said southerly Right of Way line South 82°09'46" East 198.56 feet to a point on the easterly line of Lot 2, Block 9 of Golden State Tract, per map recorded in Book 4, Page 66 of Miscellaneous Maps, in the office of the County Recorder of said County;
- 5) Thence, South 16°21'30" East along said easterly line 96.29 feet to the southeast corner of said Lot 2, and being the northeast corner of Lot 7 of Tract No. 558, as per Map recorded in Book 19, Page 20 of Miscellaneous Maps, in the office of the County Recorder of said County;
- 6) Thence, South 16°52'20" East along the easterly line of said Tract No. 558, a distance of 395.00 feet to the southeast corner of Lot 5 of said Tract No. 558;
- 7) Thence, South 73°07'40" West 660.28 feet to the southwest corner of Lot 10 of said Tract No. 558;
- 8) Thence, South 16°52'20" East along the westerly line of Lot 1 of said Tract No. 558, a distance of 234.00 feet to a point on the northerly Right of Way line of La Jolla Street, 30-foot half width;
- 9) Thence, South 73°07'40" West along said northerly Right of Way line 662.99 feet to an angle point;
- 10) Thence, continuing along said northerly Right of Way line North 53°44'55" West 37.79 feet to a point on the easterly Right of Way line of Placentia Avenue, 45-foot half width;
- 11) Thence North 14°13'30" East along said easterly Right of Way line 948.28 feet, more or less, to the **POINT OF BEGINNING**.

AREA 7A

All that portion of Lot 10, Block B of Kraemer Tract, as per Map recorded in Book 12, Pages 87 and 88 of Miscellaneous Records, in the office of the County Recorder of the County of Los Angeles, State of California, bounded as follows:

On the north, east and south by Sunset Drive and Lots 64 and 65 and Chapman Avenue as shown on Tract No. 1548 as per Map recorded in Book 64, Page 13 of Miscellaneous Maps, in the office of the County Recorder of the County of Orange, State of California and bounded on the west by the easterly Right of Way line of Placentia Avenue.

AREA 7B

All that portion of Lot 9, Block B of Kraemer Tract, as per Map recorded in Book 12, Pages 87 and 88 of Miscellaneous Records, in the office of the County Recorder of the County of Los Angeles, State of California, described as follows:

BEGINNING at the point of intersection of the westerly Right of Way line of Walnut Avenue and the northerly Right of Way line of Chapman Avenue as shown on Record of Survey recorded in Book 22, Page 8 of Records of Surveys, in the office of the County Recorder of the County of Orange, State of California;

- 1) Thence, North 76°02'08" West 281.62 feet to the southwest corner of said Lot 9;
- 2) Thence, North 13°51'37" East along the westerly line of said Lot 9, a distance of 170.00 feet;
- 3) Thence, South 76°02'08" East 282.02 feet to a point on the westerly Right of Way line of Walnut Avenue;
- 4) Thence, South 13°58'07" West along said westerly Right of Way line 170.00 feet to the **POINT OF BEGINNING**.

EXCEPTING THEREFROM any portion lying within Chapman Avenue and Walnut Avenue.

AREA 7C

All those portions of Block A and Block B of Tract No. 22, Johnston and Wickett Subdivision, as per Map recorded in Book 10, Page 2 of Miscellaneous Maps, in the office of the County Recorder of the County of Orange, State of California, described as follows:

BEGINNING at a point on the northerly Right of Way line of Chapman Avenue, said point being the most southerly corner of Lot 4, Tract No. 485, per Map recorded in Book 32, Pages 31 and 32 of Miscellaneous Maps, in the office of the County Recorder of said County:

- 1) Thence, North 13°58'07" East along the easterly line of said Lot 4 and being along the easterly line of Lot 1 of Tract No. 1514 as per Map recorded in Book 49, Page 41 of Miscellaneous Maps in the office of the County Recorder of said County 160.00 feet;
- 2) Thence, continuing along the east and south lines of said Lot 1 the following courses and distances;
- 3) Thence, South 76°02'08" East 115.00 feet;
- 4) Thence, North 13°58'07" East 50.00 feet;
- 5) Thence, South 76°02'08" East 135.00 feet;
- 6) Thence, North 13°58'07" East 5.00 feet;
- 7) Thence, South 76°02'08" East 174.00 feet;
- 8) Thence, North 13°58'07" East 35.00 feet;
- 9) Thence, South 76°02'08" East 149.00 feet to a point on the westerly Right of Way line of Bradford Avenue;
- 10) Thence, South 13°58'07" West along said westerly Right of Way line 244.00 feet to the beginning of a tangent curve, concave northwesterly, having a radius of 6.00 feet;
- 11) Thence, along said curve and said Right of Way line, through a central angle of 90°00'15", a distance of 9.42 feet to a point on the northerly Right of Way line of Chapman Avenue;
- 12) Thence, North 76°02'08" West along said northerly Right of Way line 567.00 feet to the **POINT OF BEGINNING**.

EXCEPTING THEREFROM any portion lying within Main Street, Chapman Avenue and Bradford Avenue.

AREA 7D

Lot 25 and Lot 26 of Tract No. 1118 as per Map recorded in Book 35, Pages 37 and 38 of Miscellaneous Maps, in the office of the County Recorder of the County of Orange, State of California.

AREA 7E

BEGINNING at the northwest corner of Lot 18 of Tract No. 4124, as per Map recorded in Book 145, Page 20 of Miscellaneous Maps, in the office of the County Recorder of the County of Orange, State of California, said point being a point on the easterly Right of Way line of Placentia Avenue, 40-foot half width;

- 1) Thence, North 13°42'55" East along said easterly Right of Way line 255.53 feet to an angle point;
- 2) Thence, continuing along said easterly Right of Way line North 58°40'36" East 41.70 feet to a point on the southerly Right of Way line of Chapman Avenue, 45-foot half width;
- 3) Thence, South 76°21'42" East along said southerly Right of Way line 1226.70 feet, more or less, to the beginning of a tangent curve, concave southwesterly, having a radius of 25.00 feet;
- 4) Thence continuing along said southerly Right of Way line, through a central angle of 90°09'15", a distance of 39.34 feet to a point on the westerly Right of Way line of Murray Street, 30-foot half width;
- 5) Thence, South 13°47'33" West along said westerly Right of Way line 259.85 feet to a point on the north line of said Tract No. 4124;
- 6) Thence, North 76°21'42" West along the north line of said Tract No. 4124 a distance of 1125.06 feet to the northeast corner of said Lot 18;
- 7) Thence, South 13°38'29" West 134.93 feet to the southeast corner of said Lot 18;
- 8) Thence, North 76°21'31" West 130.94 feet to the beginning of a tangent curve, concave northeasterly, having a radius of 15.00 feet;
- 9) Thence, along said curve, through a central angle of 90°04'44", a distance of 23.58 feet to a point on the easterly Right of Way line of Placentia Avenue;
- 10) Thence, North 13°43'13" East 119.90 feet to the **POINT OF BEGINNING**.

AREA 7F

BEGINNING at the southwest corner of Lot 16 of Tract No. 1405, as per Map recorded in Book 44, Page 15 of Miscellaneous Maps, in the office of the County Recorder of Orange County, State of California;

- 1) Thence, North 14°09'30" East along the west line of said Tract No. 1405, a distance of 330.00 feet to the northwest corner of Lot 15 of said Tract No. 1405, and being a point on the south line of Tract No. 4124, as per Map recorded in Book 145, Page 20 of Miscellaneous Maps, in the office of the County Recorder of said County;
- 2) Thence, North 76°21'31" West along said south line of Tract No. 4124, a distance of 332.20 feet to the southeast corner of Lot 19 of said Tract No. 4124;
- 3) Thence, North 13°38'29" East 135.00 feet;
- 4) Thence, North 76°21'31" West 131.06 feet to the beginning of a tangent curve, concave southeasterly, having a radius of 15.00 feet;
- 5) Thence, along said curve, through a central angle of 89°55'16", a distance of 23.54 feet to a point on the easterly Right of Way line of Placentia Avenue;
- 6) Thence, South 13°43'13" West along said easterly Right of Way line 120.02 feet to the southwest corner of said Lot 19, and being the northwest corner of Record of Survey recorded in Book 87, Page 19 of Records of Surveys, in the office of the County Recorder of said County;
- 7) Thence, South 14°05'40" West 15.69 feet to the beginning of a tangent curve, concave easterly, having a radius of 1890.00 feet;
- 8) Thence, along said curve, through a central angle of 6°26'36", a distance of 212.54 feet to the beginning of a reverse curve, having a radius of 1910.00 feet;
- 9) Thence, along said reverse curve, through a central angle of 2°18'22", a distance of 76.87 feet;
- 10) Thence South 31°48'42" East 41.83 feet to a point on the south line of said Record of Survey;
- 11) Thence, South 75°59'10" East along the south line of said Record of Survey 432.20 feet to the **POINT OF BEGINNING**.

This description of land is for assessment purposes only. This description is not to be considered a survey of land or used for the establishment of property lines. This description of land is not a legal property description as defined in the Subdivision Map Act and may not be used as the basis for an offer for sale or the land described.

Prepared by:
TRANSTECH ENGINEERS, INC.



David B. Ragland, L.S. 5173

9/9/2019
Date



Appendix C: Placentia EIFD Projected Tax Increment Revenue Analysis

DRAFT

Value / Unit	Total	BASE	1	2	3	4	5	6	7	8	9
		2020 2021	2021 2022	2022 2023	2023 2024	2024 2025	2025 2026	2026 2027	2027 2028	2028 2029	2029 2030
Construction inflator		1.020	1.040	1.061	1.082	1.104	1.126	1.149	1.172	1.195	1.219
New Development											
1,600 Res Units \$400,000,000 \$250,000 per unit	1,600 \$462,700,424			215 \$57,039,930	418 \$113,114,161		189 \$53,211,174	248 \$71,218,511			150 \$45,712,291
9,203 Commercial SF \$2,300,750 \$250 PSF	9,203 \$2,768,911						1,500 \$422,311	2,703 \$776,224			2,500 \$761,872
41,875 Industrial SF \$6,281,250 \$150 PSF	41,875 \$7,139,653				7,600 \$1,233,973			34,275 \$5,905,680			
116 Hotel Rooms \$29,000,000 \$250,000 per unit	116 \$30,775,032			116 \$30,775,032							
Subtotal Value Add	\$503,384,020		\$0	\$87,814,962	\$114,348,133	\$0	\$53,633,485	\$77,900,416	\$0	\$0	\$46,474,162
Total Assessed value		\$402,537,793	\$410,588,549	\$506,615,282	\$631,095,721	\$643,717,635	\$710,225,473	\$802,330,398	\$818,377,006	\$834,744,546	\$897,913,600
Incremental AV			\$8,050,756	\$104,077,489	\$228,557,928	\$241,179,842	\$307,687,680	\$399,792,606	\$415,839,214	\$432,206,754	\$495,375,807
Total tax increment			\$80,508	\$1,040,775	\$2,285,579	\$2,411,798	\$3,076,877	\$3,997,926	\$4,158,392	\$4,322,068	\$4,953,758
City Share Available	13.6%	\$52,271,108	\$10,949	\$141,545	\$310,839	\$328,005	\$418,455	\$543,718	\$565,541	\$587,801	\$673,711
Percent Allocated*	50.0%	\$24,000,000	\$5,475	\$70,773	\$155,419	\$164,002	\$209,228	\$271,859	\$282,771	\$293,901	\$336,856
County Share Available	5.9%	\$22,676,437	\$4,750	\$61,406	\$134,849	\$142,296	\$181,536	\$235,878	\$245,345	\$255,002	\$292,272
Percent Allocated**	50.0%	\$3,547,000	\$2,375	\$30,703	\$67,425	\$71,148	\$90,768	\$117,939	\$122,673	\$127,501	\$146,136
Total EIFD Funds Available***		\$27,547,000	\$7,849	\$101,476	\$222,844	\$235,150	\$299,995	\$389,798	\$405,443	\$421,402	\$482,991

Appendix C: Placentia EIFD Projected Tax Increment Revenue Analysis

DRAFT

Value / Unit	Total	10	11	12	13	14	15	16	17	18	19	
		2030 2031	2031 2032	2032 2033	2033 2034	2034 2035	2035 2036	2036 2037	2037 2038	2038 2039	2039 2040	
Construction inflator		1.243	1.268	1.294	1.319	1.346	1.373	1.400	1.428	1.457	1.486	
New Development												
1,600 Res Units \$400,000,000 \$250,000 per unit	1,600 \$462,700,424		230 \$72,923,903		150 \$49,480,454							
9,203 Commercial SF \$2,300,750 \$250 PSF	9,203 \$2,768,911			2,500 \$808,504								
41,875 Industrial SF \$6,281,250 \$150 PSF	41,875 \$7,139,653											
116 Hotel Rooms \$29,000,000 \$250,000 per unit	116 \$30,775,032											
Subtotal Value Add	\$503,384,020	\$0	\$72,923,903	\$808,504	\$49,480,454	\$0	\$0	\$0	\$0	\$0	\$0	
Total Assessed value		\$915,871,872	\$1,007,113,212	\$1,028,063,981	\$1,098,105,714	\$1,120,067,828	\$1,142,469,185	\$1,165,318,568	\$1,188,624,940	\$1,212,397,438	\$1,236,645,387	
Incremental AV		\$513,334,079	\$604,575,419	\$625,526,188	\$695,567,921	\$717,530,035	\$739,931,392	\$762,780,776	\$786,087,147	\$809,859,646	\$834,107,595	
Total tax increment		\$5,133,341	\$6,045,754	\$6,255,262	\$6,955,679	\$7,175,300	\$7,399,314	\$7,627,808	\$7,860,871	\$8,098,596	\$8,341,076	
City Share Available	13.6%	\$52,271,108	\$698,134	\$822,223	\$850,716	\$945,972	\$975,841	\$1,006,307	\$1,037,382	\$1,069,079	\$1,101,409	\$1,134,386
Percent Allocated*	50.0%	\$24,000,000	\$349,067	\$411,111	\$425,358	\$472,986	\$487,920	\$503,153	\$518,691	\$534,539	\$550,705	\$567,193
County Share Available	5.9%	\$22,676,437	\$302,867	\$356,699	\$369,060	\$410,385	\$423,343	\$436,560	\$450,041	\$463,791	\$477,817	\$492,123
Percent Allocated**	50.0%	\$3,547,000	\$151,434	\$178,350	\$184,530	\$205,193	\$211,671	\$218,280	\$225,020	\$231,896	\$238,909	\$246,062
Total EIFD Funds Available***		\$27,547,000	\$500,501	\$589,461	\$609,888	\$678,179	\$699,592	\$721,433	\$743,711	\$766,435	\$789,613	\$813,255

Appendix C: Placentia EIFD Projected Tax Increment Revenue Analysis

DRAFT

Value / Unit	Total	20	21	22	23	24	25	26	27	28	29
		2040	2041	2042	2043	2044	2045	2046	2047	2048	2049
Construction inflator		1.516	1.546	1.577	1.608	1.641	1.673	1.707	1.741	1.776	1.811
New Development											
1,600 Res Units \$400,000,000 \$250,000 per unit	1,600 \$462,700,424										
9,203 Commercial SF \$2,300,750 \$250 PSF	9,203 \$2,768,911										
41,875 Industrial SF \$6,281,250 \$150 PSF	41,875 \$7,139,653										
116 Hotel Rooms \$29,000,000 \$250,000 per unit	116 \$30,775,032										
Subtotal Value Add	\$503,384,020	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total Assessed value		\$1,261,378,295	\$1,286,605,861	\$1,312,337,978	\$1,338,584,738	\$1,365,356,432	\$1,392,663,561	\$1,420,516,832	\$1,448,927,169	\$1,477,905,712	\$1,507,463,827
Incremental AV		\$858,840,502	\$884,068,068	\$909,800,185	\$936,046,945	\$962,818,640	\$990,125,768	\$1,017,979,040	\$1,046,389,376	\$1,075,367,920	\$1,104,926,034
Total tax increment		\$8,588,405	\$8,840,681	\$9,098,002	\$9,360,469	\$9,628,186	\$9,901,258	\$10,179,790	\$10,463,894	\$10,753,679	\$11,049,260
City Share Available	13.6%	\$52,271,108	\$1,168,023	\$1,202,333	\$1,237,328	\$1,273,024	\$1,309,433	\$1,346,571	\$1,384,451	\$1,423,090	\$1,462,500
Percent Allocated*	50.0%	\$24,000,000	\$584,012	\$601,166	\$618,664	\$636,512	\$654,717	\$673,286	\$692,226	\$711,545	\$731,250
County Share Available	5.9%	\$22,676,437	\$506,716	\$521,600	\$536,782	\$552,268	\$568,063	\$584,174	\$600,608	\$617,370	\$634,467
Percent Allocated**	50.0%	\$3,547,000	\$253,358	\$260,800	\$164,832						
Total EIFD Funds Available***		\$27,547,000	\$837,369	\$861,966	\$783,496	\$636,512	\$654,717	\$673,286	\$692,226	\$711,545	\$731,250

Appendix C: Placentia EIFD Projected Tax Increment Revenue Analysis

DRAFT

Value / Unit	Total	30	31	32	33	34	35	36	37	38	39
		2050	2051	2052	2053	2054	2055	2056	2057	2058	2059
Construction inflator		1.848	1.885	1.922	1.961	2.000	2.040	2.081	2.122	2.165	2.208
New Development											
1,600 Res Units	1,600										
\$400,000,000 \$250,000 per unit	\$462,700,424										
9,203 Commercial SF	9,203										
\$2,300,750 \$250 PSF	\$2,768,911										
41,875 Industrial SF	41,875										
\$6,281,250 \$150 PSF	\$7,139,653										
116 Hotel Rooms	116										
\$29,000,000 \$250,000 per unit	\$30,775,032										
Subtotal Value Add	\$503,384,020	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total Assessed value		\$1,537,613,103	\$1,568,365,365	\$1,599,732,672	\$1,631,727,326	\$1,664,361,872	\$1,697,649,110	\$1,731,602,092	\$1,766,234,134	\$1,801,558,817	\$1,837,589,993
Incremental AV		\$1,135,075,310	\$1,165,827,572	\$1,197,194,880	\$1,229,189,533	\$1,261,824,080	\$1,295,111,317	\$1,329,064,299	\$1,363,696,341	\$1,399,021,024	\$1,435,052,200
Total tax increment		\$11,350,753	\$11,658,276	\$11,971,949	\$12,291,895	\$12,618,241	\$12,951,113	\$13,290,643	\$13,636,963	\$13,990,210	\$14,350,522
City Share Available	13.6%	\$52,271,108	\$1,543,702	\$1,585,525	\$1,628,185	\$1,671,698	\$1,716,081	\$1,761,351	\$1,807,527	\$1,854,627	\$1,902,669
Percent Allocated*	50.0%	\$24,000,000	\$771,851	\$792,763	\$814,093	\$835,849	\$858,040	\$880,676	\$903,764	\$927,314	\$951,334
County Share Available	5.9%	\$22,676,437	\$669,694	\$687,838	\$706,345	\$725,222	\$744,476	\$764,116	\$784,148	\$804,581	\$825,422
Percent Allocated**	50.0%	\$3,547,000									
Total EIFD Funds Available***	\$27,547,000	\$771,851	\$792,763	\$814,093	\$835,849	\$858,040	\$880,676	\$903,764	\$927,314	\$951,334	\$975,835

Appendix C: Placentia EIFD Projected Tax Increment Revenue Analysis

Value / Unit	Total	40	41	42	43
		2060	2061	2062	2063
		2061	2062	2063	2064
Construction inflator		2.252	2.297	2.343	2.390
New Development					
1,600 Res Units	1,600				
\$400,000,000 \$250,000 per unit	\$462,700,424				
9,203 Commercial SF	9,203				
\$2,300,750 \$250 PSF	\$2,768,911				
41,875 Industrial SF	41,875				
\$6,281,250 \$150 PSF	\$7,139,653				
116 Hotel Rooms	116				
\$29,000,000 \$250,000 per unit	\$30,775,032				
<hr/>					
Subtotal Value Add	\$503,384,020	\$0	\$0	\$0	\$0
Total Assessed value		\$1,874,341,793	\$1,911,828,629	\$1,950,065,201	\$1,989,066,505
Incremental AV		\$1,471,804,000	\$1,509,290,836	\$1,547,527,408	\$1,586,528,713
Total tax increment		\$14,718,040	\$15,092,908	\$15,475,274	\$15,865,287
City Share Available	13.6%	\$52,271,108	\$2,001,653	\$2,052,636	\$2,104,637
Percent Allocated*	50.0%	\$24,000,000	\$1,000,827	\$1,021,922	
County Share Available	5.9%	\$22,676,437	\$868,364	\$890,482	\$913,041
Percent Allocated**	50.0%	\$3,547,000			\$936,052
Total EIFD Funds Available***	\$27,547,000	\$1,000,827	\$1,021,922	\$0	\$0

Overview of Fiscal Impacts

	Annual (Stablized Year 20)	Year 0-50 Nominal Total	Year 0-50 Present Value @ 3.0%
City of Placentia			
Estimated Fiscal Revenues (Net of Allocation to EIFD)	\$3,199,600	\$195,253,700	\$78,307,400
Estimated Fiscal Expenditures	\$2,233,100	\$136,336,500	\$53,812,300
Estimated Net Fiscal Impact to City	\$966,500	\$58,917,200	\$24,495,100
County of Orange			
Estimated Fiscal Revenues (Net of Allocation to EIFD)	\$1,351,600	\$83,191,000	\$33,503,900
Estimated Fiscal Expenditures	\$547,300	\$33,408,800	\$13,184,500
Estimated Net Fiscal Impact to County	\$804,300	\$49,782,200	\$20,319,400

Key Land Use Assumptions (Stabilized Year 20)

Project Component	
Commercial / Retail	125,000 SF
Hotel	116 rooms
Residential	1,600 DU
Industrial	41,875 SF

Notes:

Assumes installation of necessary public infrastructure
 Values in 2023 dollars



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Summary of Estimated Fiscal Impacts to City

Stabilized

	Year 5	Year 10	Year 20	Year 30	Year 40	Year 50	Stabilized Escalation Rate	Year 0-50 Nominal Total	Year 0-50 Present Value @ 3.0%
	2026	2031	2041	2051	2061	2071			
City of Placentia Revenues									
Property Tax	\$504,200	\$804,700	\$1,252,600	\$1,526,912	\$1,861,298	\$2,268,912	2.0%	\$68,202,600	\$28,369,900
Property Tax Allocation to EIFD	(\$179,500)	(\$286,500)	(\$445,900)	(\$543,550)	(\$662,584)	\$0	2.0%	(\$17,555,100)	(\$8,425,200)
Property Tax In-Lieu of MVLFF	\$185,100	\$296,000	\$461,800	\$562,932	\$686,211	\$836,487	2.0%	\$25,135,100	\$10,451,600
Property Transfer Tax	\$7,200	\$11,500	\$17,900	\$21,820	\$26,598	\$32,423	2.0%	\$974,200	\$405,100
Sales and Use Tax - Direct / On-Site	\$5,900	\$30,500	\$56,400	\$75,797	\$101,865	\$136,898	3.0%	\$3,366,000	\$1,294,900
Sales and Use Tax - Indirect / Off-Site	\$153,800	\$263,000	\$461,300	\$619,949	\$833,159	\$1,119,696	3.0%	\$28,167,200	\$11,119,500
Measure U Transactions and Use Tax	\$141,300	\$259,800	\$458,100	\$615,648	\$827,380	\$1,111,929	3.0%	\$27,902,700	\$10,985,000
Transient Occupancy Tax	\$429,500	\$497,900	\$669,100	\$899,214	\$1,208,469	\$1,624,081	3.0%	\$42,659,500	\$17,624,200
Fines and Forfeitures	\$12,800	\$22,000	\$38,600	\$51,875	\$69,716	\$93,692	3.0%	\$2,356,700	\$930,200
Franchise Fees	\$69,700	\$120,100	\$210,500	\$282,894	\$380,186	\$510,939	3.0%	\$12,851,300	\$5,072,400
Business Licenses	\$7,300	\$13,100	\$19,200	\$25,803	\$34,677	\$46,603	3.0%	\$1,193,500	\$479,800
Estimated Total Revenues	\$1,337,300	\$2,032,100	\$3,199,600	\$4,139,295	\$5,366,975	\$7,781,660		\$195,253,700	\$78,307,400
City of Placentia Expenditures									
Public Safety - Police	\$258,600	\$445,600	\$780,900	\$1,049,464	\$1,410,392	\$1,895,449	3.0%	\$47,677,100	\$18,818,800
Public Safety - Fire	\$147,700	\$254,500	\$446,000	\$599,387	\$805,526	\$1,082,559	3.0%	\$27,229,900	\$10,747,900
Public Safety - Animal Control	\$8,300	\$14,300	\$25,100	\$33,732	\$45,333	\$60,924	3.0%	\$1,532,100	\$604,600
Community Services	\$38,100	\$65,600	\$115,700	\$155,491	\$208,967	\$280,834	3.0%	\$7,060,000	\$2,785,100
Legislative	\$20,900	\$36,100	\$63,200	\$84,936	\$114,146	\$153,403	3.0%	\$3,858,800	\$1,523,100
Administration	\$47,300	\$81,500	\$142,800	\$191,911	\$257,913	\$346,613	3.0%	\$8,718,800	\$3,441,500
Finance	\$28,600	\$49,200	\$86,300	\$115,980	\$155,867	\$209,473	3.0%	\$5,269,000	\$2,079,800
Development Services	\$24,000	\$41,400	\$72,500	\$97,434	\$130,943	\$175,977	3.0%	\$4,426,300	\$1,747,100
Public Works	\$72,100	\$124,200	\$217,600	\$292,436	\$393,010	\$528,172	3.0%	\$13,285,900	\$5,244,300
General Government	\$93,700	\$161,500	\$283,000	\$380,328	\$511,129	\$686,915	3.0%	\$17,278,600	\$6,820,100
Estimated Total Expenditures	\$739,300	\$1,273,900	\$2,233,100	\$3,001,100	\$4,033,227	\$5,420,320		\$136,336,500	\$53,812,300
Estimated Annual Net Fiscal Impact	\$598,000	\$758,200	\$966,500	\$1,138,196	\$1,333,748	\$2,361,340		\$58,917,200	\$24,495,100
<i>Revenue / Cost Ratio</i>	<i>1.81</i>	<i>1.60</i>	<i>1.43</i>	<i>1.38</i>	<i>1.33</i>	<i>1.44</i>		<i>1.43</i>	<i>1.46</i>

Notes:
 Assumes installation of necessary public infrastructure
 Values in 2023 dollars
 Select years shown for illustration



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Summary of Estimated Fiscal Impacts to County

Stabilized

	Year 5	Year 10	Year 20	Year 30	Year 40	Year 50	Stabilized Escalation Rate	Year 0-50 Nominal Total	Year 0-50 Present Value @ 3.0%
	2026	2031	2041	2051	2061	2071			
County of Orange Revenues									
Property Tax - County General	\$155,700	\$248,600	\$386,900	\$471,629	\$574,913	\$700,816	2.0%	\$21,066,500	\$8,763,000
Property Tax - County Sanitation	\$81,800	\$130,600	\$203,300	\$247,822	\$302,093	\$368,250	2.0%	\$11,069,400	\$4,604,500
Property Tax - County Flood Control	\$50,200	\$80,100	\$124,600	\$151,887	\$185,149	\$225,696	2.0%	\$6,784,500	\$2,822,100
Property Tax - County Parks	\$39,600	\$63,200	\$98,400	\$119,949	\$146,217	\$178,238	2.0%	\$5,357,500	\$2,228,500
Property Tax - County Allocation to EIFD	(\$77,900)	(\$124,300)	(\$193,500)	\$0	\$0	\$0	2.0%	(\$2,927,300)	(\$1,895,200)
Property Tax in Lieu of MVLF	\$162,200	\$259,400	\$404,700	\$493,327	\$601,363	\$733,058	2.0%	\$22,027,300	\$9,159,300
Property Transfer Tax	\$7,200	\$11,500	\$17,900	\$21,820	\$26,598	\$32,423	2.0%	\$974,200	\$405,100
Sales Tax (County Transportation) - Direct / On-Site	\$3,500	\$18,300	\$33,700	\$45,290	\$60,866	\$81,799	3.0%	\$2,011,300	\$773,800
Sales Tax (County Transportation) - Indirect / Off-Site	\$91,900	\$157,100	\$275,600	\$370,383	\$497,764	\$668,954	3.0%	\$16,827,600	\$6,642,800
Estimated County Revenues	\$514,200	\$844,500	\$1,351,600	\$1,922,107	\$2,394,964	\$2,989,233		\$83,191,000	\$33,503,900
County of Orange Expenditures									
Public Protection [1]	\$85,000	\$146,500	\$256,800	\$345,118	\$463,809	\$623,321	3.0%	\$15,678,700	\$6,188,600
Community Services	\$54,600	\$93,900	\$165,500	\$222,418	\$298,911	\$401,712	3.0%	\$10,098,800	\$3,983,900
General Government Services	\$41,400	\$71,300	\$125,000	\$167,990	\$225,764	\$303,408	3.0%	\$7,631,300	\$3,012,000
Estimated County Expenditures	\$181,000	\$311,700	\$547,300	\$735,525	\$988,485	\$1,328,441		\$33,408,800	\$13,184,500
Estimated County Net Fiscal Impact	\$333,200	\$532,800	\$804,300	\$1,186,581	\$1,406,479	\$1,660,792		\$49,782,200	\$20,319,400

Notes:

Assumes installation of necessary public infrastructure
 [1] Public Protection cost basis includes probation, district attorney, and public defender services to incorporated areas.
 Additional potential County revenues (e.g. court fines, penalties, interest and costs on delinquent taxes) not included
 Values in 2023 dollars
 Select years shown for illustration



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Project Description

Project Component		Year 5 2026	Year 10 2031	Year 20 2041
Total Residential - Units		822 DU	1,220 DU	1,600 DU
Total Hotel - Rooms		116 rooms	116 rooms	116 rooms
Total Commercial / Retail - SF		1,500 SF	6,703 SF	9,203 SF
Total Industrial - SF		7,600 SF	41,875 SF	41,875 SF
<i>Annual Escalation Factor</i>				
	2.0%	1.10	1.22	1.49
Estimated A/V - Residential	\$250K Per Unit	\$226,888,605	\$371,793,298	\$594,378,958
Estimated A/V - Hotel	\$250K Per Room	\$32,018,343	\$35,350,838	\$43,092,474
Estimated A/V - Commercial / Retail	\$250 PSF	\$414,030	\$2,042,730	\$3,418,793
Total Estimated Assessed Value		\$260,579,631	\$416,843,675	\$650,223,833

Notes:

Adjusted for value appreciation assuming 2% annual escalation rate (statutory maximum).

Conservatively assuming no mark-to-market valuations above 2% growth to account for property transfers

Select years shown for illustration

Values in 2023 dollars



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Project Employment and Occupants

Project Component	Year 5	Year 10	Year 20	
	2026	2031	2041	
Commercial / Retail - SF	1,500 SF	6,703 SF	9,203 SF	
Industrial - SF	7,600 SF	41,875 SF	41,875 SF	
Hotel - Rooms	116 Rooms	116 Rooms	116 Rooms	
Apartments - Units	822 DU	1,220 DU	1,600 DU	
<u>Estimated # Employees (FTE)</u>				
Retail	333 SF / emp	5	20	28
Industrial	1,000 SF / emp	8	42	42
Hotel	1.5 room / emp	77	77	77
Apartments	50 DU / emp	16	24	32
Total Estimated # Employees (FTE)	106	164	179	
Occupied Dwelling Units	95%	781 DU	1,159 DU	1,520 DU
Residents	2.0 per DU	1,562	2,318	3,040
Employees Weighted at 50%	50%	53	82	89
Total Service Population (Residents + Empl.)		1,615	2,400	3,129
Occupied Hotel Rooms	75%	87 rooms	87 rooms	87 rooms
Hotel Guests	1.5 per room	131	131	131

Notes:

- Average household size reflects City average household size and mix of single family and multifamily units
- Select years shown for illustration
- Values in 2023 dollars



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Property Tax

		Year 5 2026	Year 10 2031	Year 20 2041
Estimated Assessed Value - Residential		\$226,888,605	\$371,793,298	\$594,378,958
Estimated Assessed Value - Non-Residential		\$33,691,026	\$45,050,377	\$55,844,875
Total Estimated Assessed Value		\$260,579,631	\$416,843,675	\$650,223,833
Total Secured Property Tax General Levy	1.00%	\$2,605,796	\$4,168,437	\$6,502,238
Estimated Unsecured Property Tax as % of Secured Non-Residential Value	10.00%	\$33,691	\$45,050	\$55,845
Total Estimated Secured + Unsecured Property Tax		\$2,639,487	\$4,213,487	\$6,558,083
<i>Distributions to Taxing Entities</i>				
City of Placentia General Fund	13.60%	\$359,000	\$573,000	\$891,900
Placentia Library District	3.80%	\$100,300	\$160,100	\$249,200
Placentia Lighting District	1.70%	\$44,900	\$71,600	\$111,500
City Allocation to EIFD	(6.80%)	(\$179,500)	(\$286,500)	(\$445,900)
Net Property Tax to City	12.30%	\$324,700	\$518,200	\$806,700
Orange County General	5.90%	\$155,700	\$248,600	\$386,900
Orange County Sanitation	3.10%	\$81,800	\$130,600	\$203,300
Orange County Flood Control	1.90%	\$50,200	\$80,100	\$124,600
Orange County Parks	1.50%	\$39,600	\$63,200	\$98,400
County Allocation to EIFD	(2.95%)	(\$77,900)	(\$124,300)	(\$193,500)
Net Orange County Distributions	9.45%	\$249,400	\$398,200	\$619,700

Notes:

Does not include property tax overrides above 1% general levy

Select years shown for illustration

Values in 2023 dollars

Source: Orange County Auditor-Controller (2023)



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Property Tax In-Lieu of Motor Vehicle License Fees (MVLFF)

Total AV within CITY (FY 2017-18)	\$6,778,268,541			
Current Property Tax In-Lieu of MVLFF (2017-2018)	\$4,813,706			
Prop Tax In-Lieu of MVLFF per \$1M of AV	\$710			
	<i>Year 1</i>	<i>Year 5</i>	<i>Year 10</i>	<i>Year 20</i>
	2022	2026	2031	2041
Estimated Project Assessed Value	\$0	\$260,579,631	\$416,843,675	\$650,223,833
Incremental Property Tax In-Lieu of MVLFF to City	\$0	\$185,100	\$296,000	\$461,800
Net Incremental Property Tax In-Lieu of MVLFF to City	\$0	\$185,100	\$296,000	\$461,800
Total AV within COUNTY (FY 2017-18)	\$598,901,015,542			
Current Property Tax In-Lieu of MVLFF (2017-2018)	\$372,727,800			
Prop Tax In-Lieu of MVLFF per \$1M of AV	\$622			
	<i>Year 1</i>	<i>Year 5</i>	<i>Year 10</i>	<i>Year 20</i>
	2022	2026	2031	2041
Estimated Project Assessed Value	\$0	\$260,579,631	\$416,843,675	\$650,223,833
Incremental Property Tax In-Lieu of MVLFF to County	\$0	\$162,200	\$259,400	\$404,700

Notes:
 Although property tax in lieu of MVLFF revenues are available for allocation to the EIFD by both the City and the County, no property tax in lieu of MVLFF revenues are being pledged to the EIFD.
 Select years shown for illustration
 Values in 2023 dollars

Source: Orange County Auditor-Controller (2023)



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Property Transfer Tax

		Year 5 2026	Year 10 2031	Year 20 2041
Estimated Assessed Value		\$260,579,631	\$416,843,675	\$650,223,833
Estimated Property Turnover Rate		5.0%	5.0%	5.0%
Estimated Value of Property Transferred		\$13,028,982	\$20,842,184	\$32,511,192
Total Transfer Tax	\$1.10 per \$1,000	\$14,300	\$22,900	\$35,800
Transfer Tax to City	\$0.55 per \$1,000	\$7,200	\$11,500	\$17,900
Transfer Tax to County	\$0.55 per \$1,000	\$7,200	\$11,500	\$17,900

Notes:
 Select years shown for illustration
 Values in 2023 dollars

Source: Orange County Auditor-Controller (2023)



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Sales Tax - Direct / On-Site

Project Component		Year 5	Year 10	Year 20
		2026	2031	2041
Retail SF		1,500 SF	6,703 SF	9,203 SF
Total Sales-Generating SF		1,500 SF	6,703 SF	9,203 SF
Estimated Taxable Sales	\$300 PSF	\$521,673	\$2,702,481	\$4,986,493
Sales Tax to City	1.00%	\$5,217	\$27,025	\$49,865
Use Tax as % of Sales Tax	13.01%	\$678	\$3,515	\$6,485
Sales and Use Tax to City - Direct		\$5,900	\$30,500	\$56,400
Measure U Transactions and Use Tax	1.00%	\$5,200	\$27,000	\$49,900
Sales Tax to County (Transportation)	0.75%	\$3,900	\$20,300	\$37,400
Net of Sales Transfer within County	(10%)	(\$390)	(\$2,030)	(\$3,740)
Sales Tax to County (Transportation)		\$3,500	\$18,300	\$33,700

Notes:

County sales tax for transportation per OC Go / Measure M (0.5%), Revenue and Taxation Code Section 7203.1 (0.25%)
 Does not include additional sales tax allocation for public safety from Proposition 172 (collected by State BOE and apportioned to counties based on proportionate share of taxable sales)
 Taxable sales PSF factor escalated 3% annually
 Select years shown for illustration.
 Values in 2023 dollars.



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Sales Tax - Indirect / Off-Site

		Year 5 2026	Year 10 2031	Year 20 2041
Estimated # Employees		106	164	179
Estimated Annual Taxable Retail Spending / Empl.		\$5,602	\$6,494	\$8,727
Estimated Employee Taxable Retail Spending		\$593,087	\$1,063,279	\$1,560,803
Estimated Capture within City	25.0%	\$148,272	\$265,820	\$390,201
Estimated # Occupied Dwelling Units		781 DU	1,159 DU	1,520 DU
Estimated Annual Taxable Retail Spending / HH		\$35,598	\$41,268	\$55,460
Estimated Resident Taxable Retail Spending		\$27,798,251	\$47,829,033	\$84,299,306
Estimated Capture within City	50.0%	\$13,899,125	\$23,914,517	\$42,149,653
Estimated # Occupied Hotel Rooms		87 rooms	87 rooms	87 rooms
Estimated Annual Taxable Retail Spending / Room		\$21,157	\$24,526	\$32,962
Estimated Resident Taxable Retail Spending		\$1,840,637	\$2,133,803	\$2,867,653
Estimated Capture within City	15.0%	\$276,096	\$320,070	\$430,148
Total Estimated Indirect Taxable Sales		\$14,323,493	\$24,500,407	\$42,970,002
Less Estimated Capture Within District Retail	(5.0%)	(\$716,175)	(\$1,225,020)	(\$2,148,500)
Net Indirect Taxable Sales		\$13,607,318	\$23,275,386	\$40,821,502
Sales Tax to City	1.00%	\$136,073	\$232,754	\$408,215
Use Tax as % of Sales Tax	13.01%	\$17,697	\$30,271	\$53,091
Sales and Use Tax to City - Indirect		\$153,800	\$263,000	\$461,300
Measure U Transactions and Use Tax	1.00%	\$136,100	\$232,800	\$408,200
Sales Tax to County (Transportation)	0.75%	\$102,100	\$174,600	\$306,200
Net of Sales Transfer within County	(10%)	(\$10,210)	(\$17,460)	(\$30,620)
Sales Tax to County (Transportation)		\$91,900	\$157,100	\$275,600

Notes:

County sales tax for transportation per OC Go / Measure M (0.5%), Revenue and Taxation Code Section 7203.1 (0.25%)

Does not include additional sales tax allocation for public safety from Proposition 172 (collected by State BOE and apportioned to counties based on proportionate share of taxable sales)

Employee spending estimates based on "Office Worker Retail Spending Patterns: A Downtown and Suburban Area Study," ICSC (2004).

Household spending based on average household income within City.

Hotel guest spending estimated based on American Hotel and Lodging Association (AHLA) data.

Adjusted for inflation assuming 3% annual inflation rate.

Select years shown for illustration.

Values in 2023 dollars.



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Transient Occupancy Tax ("TOT") to City

	<i>Year 5</i> 2026	<i>Year 10</i> 2031	<i>Year 20</i> 2041
Estimated # Hotel Rooms	116 rooms	116 rooms	116 rooms
Average Daily Room Rate (ADR)	\$145	\$168	\$226
Average Occupancy Rate	70%	70%	70%
Annual Hotel Room Receipts	\$4,294,821	\$4,978,874	\$6,691,191
TOT to City	10.0%	\$429,500	\$669,100

Notes:

Adjusted for inflation assuming 3% annual inflation rate.

Select years shown for illustration.

Values in 2023 dollars.



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Use Tax as Percentage of Sales Tax Calculation (City of Placentia)

City of Placentia	2017
County Pool	\$757,044
State Pool	\$2,721
Use Tax Total	\$759,765
Point-of-Sale	\$5,841,840
Use Tax as % of Sales Tax	13.01%

Source: HdL Companies (2018)



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City Service Population

City Population	52,755
City Employee Population	16,579
Employee Weighting for Service Population	0.5
Weighted # Employees	8,290
Total City Service Population	61,045

Source: CA Department of Finance, CA Employment Development Department (2018)



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City Multiplier Revenue and Expenditure Factors

Budget Category	Adopted City Budget	Allocation Basis	Relevant City Population	Per Capita Factor	Annual Escalation	Year 5	Year 10	Year 20
						2026	2031	2041
<i>Revenues</i>								
Fines and Forfeitures	\$417,000	Service Population	61,045	\$6.83	3.0%	\$7.92	\$9.18	\$12.34
Franchise Fees	\$2,273,000	Service Population	61,045	\$37.24	3.0%	\$43.17	\$50.04	\$67.25
Business Licenses	\$987,000	Per Employee	16,579	\$59.53	3.0%	\$69.02	\$80.01	\$107.52
Total Selected Revenues	\$3,677,000							
<i>Expenditures</i>								
Public Safety - Police	\$11,245,134	Service Population	61,045	\$138.16	3.0%	\$160.16	\$185.67	\$249.53
Public Safety - Fire	\$6,421,986	Service Population	61,045	\$78.90	3.0%	\$91.47	\$106.04	\$142.50
Public Safety - Animal Control	\$360,970	Service Population	61,045	\$4.43	3.0%	\$5.14	\$5.96	\$8.01
Community Services	\$1,481,995	Per Resident	52,755	\$21.07	3.0%	\$24.42	\$28.32	\$38.05
Legislative	\$910,216	Service Population	61,045	\$11.18	3.0%	\$12.96	\$15.03	\$20.20
Administration	\$2,056,935	Service Population	61,045	\$25.27	3.0%	\$29.30	\$33.96	\$45.64
Finance	\$1,242,742	Service Population	61,045	\$15.27	3.0%	\$17.70	\$20.52	\$27.58
Development Services	\$1,043,733	Service Population	61,045	\$12.82	3.0%	\$14.87	\$17.23	\$23.16
Public Works	\$3,133,850	Service Population	61,045	\$38.50	3.0%	\$44.64	\$51.74	\$69.54
General Government	\$4,075,540	Service Population	61,045	\$50.07	3.0%	\$58.05	\$67.29	\$90.44
Total Selected Expenditures	\$31,973,101							

Notes:

Major case study revenues not shown include property tax, sales tax, transient occupancy tax
 Adjusted for inflation assuming 3% annual inflation rate.
 Select years shown for illustration.
 Values in 2023 dollars.

Source: City of Placentia 2018-2019 Adopted Budget



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City Multiplier Revenues and Expenditures

	Year 5 2026	Year 10 2031	Year 20 2041
Estimated # Residents	1,562	2,318	3,040
Estimated # Employees	106	164	179
Total Project Service Population	1,615	2,400	3,129
Budget Category	2026	2031	2041
<i>Revenues</i>			
Fines and Forfeitures	\$12,800	\$22,000	\$38,600
Franchise Fees	\$69,700	\$120,100	\$210,500
Business Licenses	\$7,300	\$13,100	\$19,200
Total Multiplier Revenues	\$89,800	\$155,200	\$268,300
<i>Expenditures</i>			
Public Safety - Police	\$258,600	\$445,600	\$780,900
Public Safety - Fire	\$147,700	\$254,500	\$446,000
Public Safety - Animal Control	\$8,300	\$14,300	\$25,100
Community Services	\$38,100	\$65,600	\$115,700
Legislative	\$20,900	\$36,100	\$63,200
Administration	\$47,300	\$81,500	\$142,800
Finance	\$28,600	\$49,200	\$86,300
Development Services	\$24,000	\$41,400	\$72,500
Public Works	\$72,100	\$124,200	\$217,600
General Government	\$93,700	\$161,500	\$283,000
Total Multiplier Expenditures	\$739,300	\$1,273,900	\$2,233,100

Notes:

Major case study revenues not shown include property tax, sales tax, transient occupancy tax

Adjusted for inflation assuming 3% annual inflation rate.

Select years shown for illustration.

Values in 2023 dollars.

Source: City of Placentia 2018-2019 Adopted Budget



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County Service Population

County Population	3,221,103
County Employee Population	1,443,968
Employee Weighting for Service Population	0.5
Weighted # Employees	721,984
Total County Service Population	3,943,087

Source: CA Department of Finance, CA Employment Development Department (2018)



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County Multiplier Revenue and Expenditure Factors

Budget Category	Adopted County Budget	Allocation Basis	Relevant County Population	Discount for Operational Efficiency	Per Capita Factor	Annual Escalation	Year 5	Year 10	Year 20
							2026	2031	2041
<i>Primary Expenditures - Net County Cost</i>									
Public Protection [1]	\$238,861,139	Service Population	3,943,087	25%	\$45.43	3.0%	\$52.67	\$61.06	\$82.06
Community Services	\$129,428,329	Resident Population	3,221,103	25%	\$30.14	3.0%	\$34.94	\$40.50	\$54.43
General Government Services	\$116,247,148	Service Population	3,943,087	25%	\$22.11	3.0%	\$25.63	\$29.72	\$39.93
Infrastructure & Environmental	\$37,104,879	N/A							
Capital Improvements	\$22,933,197	N/A							
Debt Service	\$236,347	N/A							
Insurance, Reserves & Miscellaneous	(\$747,617,162)	N/A							
Total Net County Cost	(\$202,806,123)								

Notes:

[1] Public Protection cost basis includes probation, district attorney, and public defender services to incorporated areas.
 Infrastructure & Environmental county costs omitted as these are services provided only to unincorporated areas.
 Adjusted for inflation assuming 3% annual inflation rate.
 Select years shown for illustration.
 Values in 2023 dollars.

Source: County of Orange 2018-2019 Adopted Budget



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County Multiplier Revenues and Expenditures

	Year 5 2026	Year 10 2031	Year 20 2041
Estimated # Residents	1,562	2,318	3,040
Estimated # Employees	106	164	179
Total Project Service Population	1,615	2,400	3,129
Budget Category	2026	2031	2041
<i>Primary Expenditures - Net County Cost</i>			
Public Protection [1]	\$85,000	\$146,500	\$256,800
Community Services	\$54,600	\$93,900	\$165,500
General Government Services	\$41,400	\$71,300	\$125,000
Total Primary Expenditures	\$181,000	\$311,700	\$547,300

Notes:

[1] Public Protection cost basis includes probation, district attorney, and public defender services to incorporated areas. Adjusted for inflation assuming 3% annual inflation rate. Select years shown for illustration. Values in 2023 dollars.

Source: County of Orange 2018-2019 Recommended Budget



Appendix E

Old Town Placentia Revitalization Streetscape Master Plan

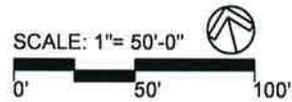
*Prepared by NUVIS Landscape Architecture
for the City of Placentia*



City of Placentia ♦ 401 E. Chapman Avenue ♦ Placentia, CA 92870 ♦ (714) 993-8117



- Site Amenities Legend**
- Tree Grates
 - Backed Benches
 - Trash/Recycle Receptacles
 - Bike Rack
 - Bollards
 - Removable Bollards
 - Street/Pedestrian Lights with Banners
 - Decorative Traffic Signals
 - Mosaic Art Pieces
 - Cantilever Gateway Signage



Santa Fe - Walnut Ave. to Melrose St.
 Old Town Placentia
 Placentia, CA



NUVIS
 LANDSCAPE
 ARCHITECTURE

ATTACHMENT 2
EXHIBIT A

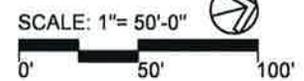
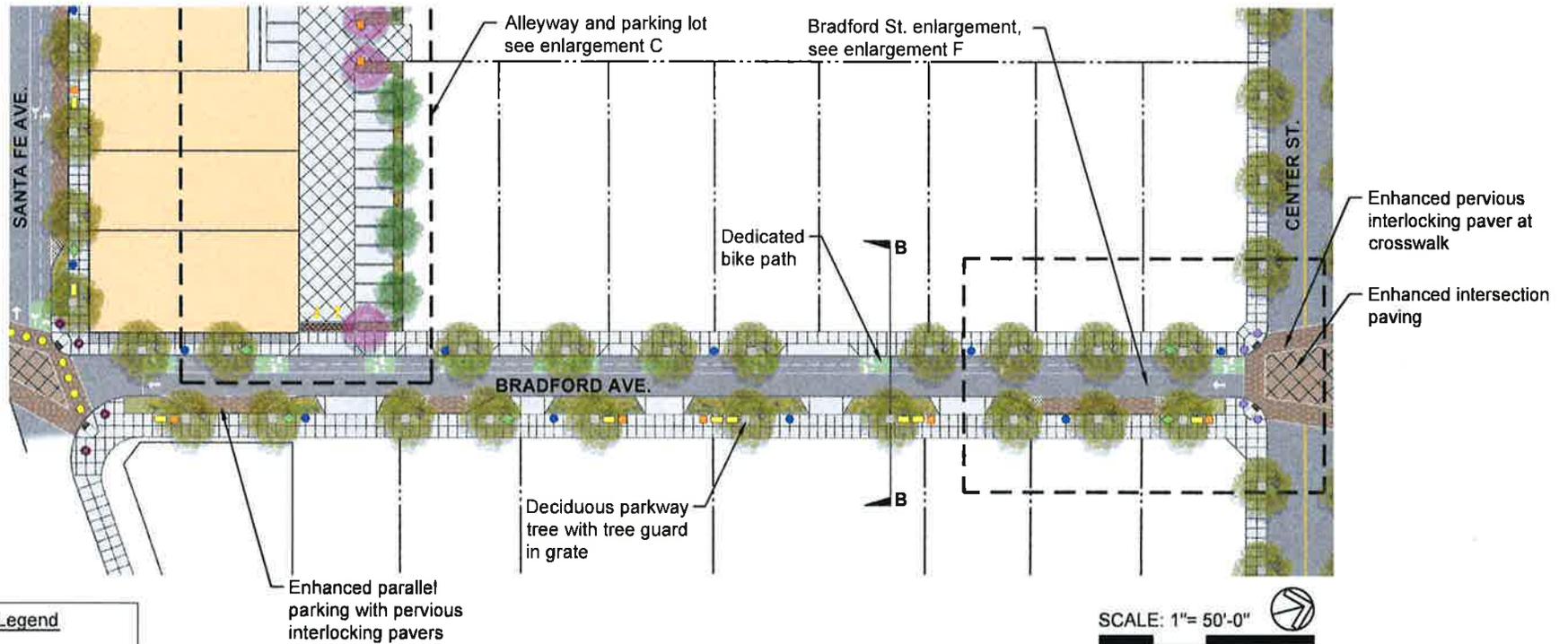


Santa Fe - Melrose St. to Bradford Ave.
Old Town Placentia
Placentia, CA

KEY MAP

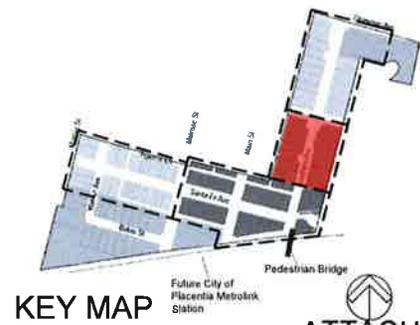
ATTACHMENT 2
FXHIRIT A





- Site Amenities Legend**
-  Tree Grates
 -  Backed Benches
 -  Trash/Recycle Receptacles
 -  Bike Rack
 -  Bollards
 -  Removable Bollards
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 -  Decorative Traffic Signals
 -  Mosaic Art Pieces
 -  Cantilever Gateway Signage

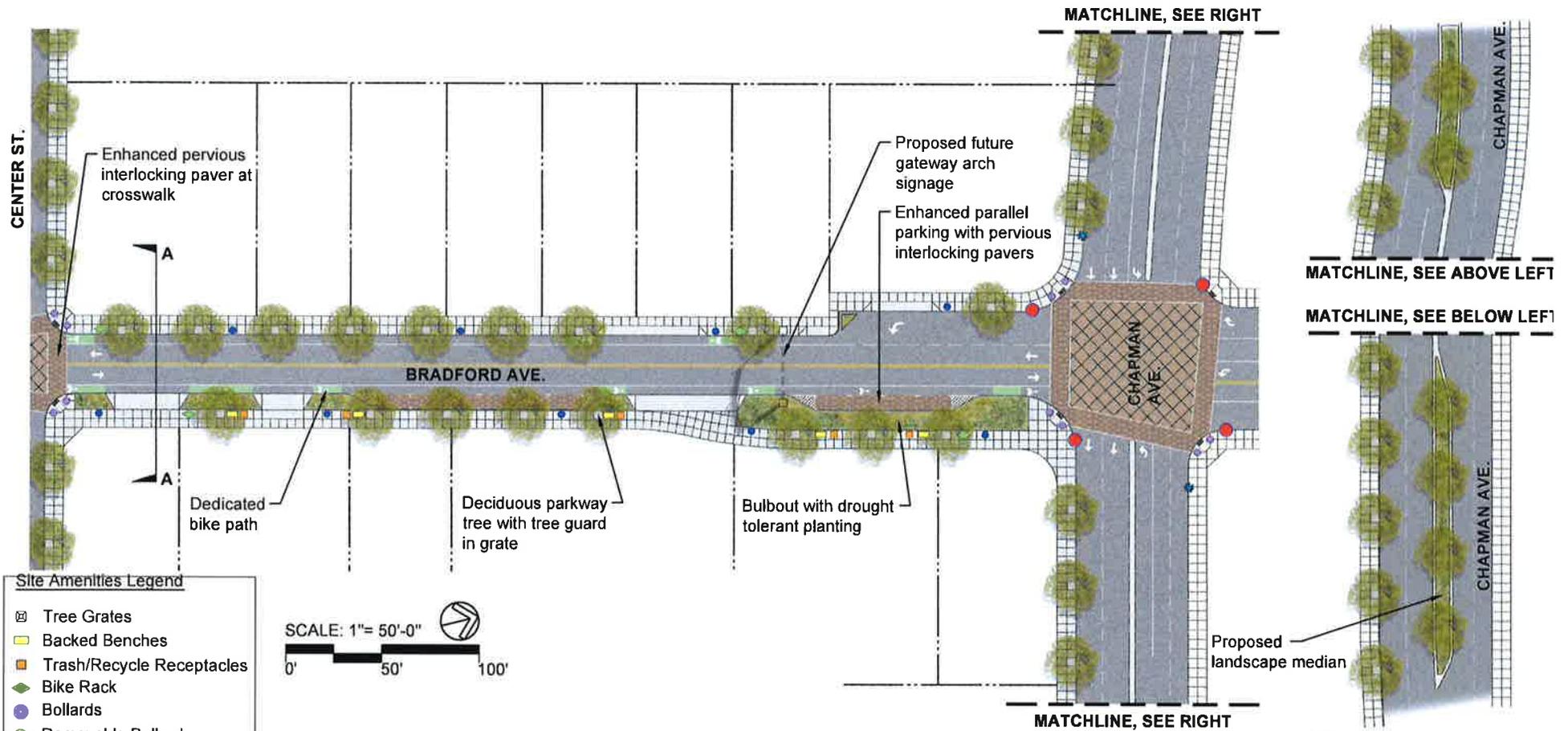
Bradford Avenue - Santa Fe to Center St.
Old Town Placentia
 Placentia, CA



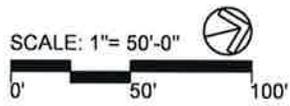
KEY MAP

ATTACHMENT 2
 EXHIBIT A





- Site Amenities Legend**
- Tree Grates
 - Backed Benches
 - Trash/Recycle Receptacles
 - Bike Rack
 - Bollards
 - Removable Bollards
 - Street/Pedestrian Lights with Banners
 - Decorative Traffic Signals
 - Mosaic Art Pieces
 - Cantilever Gateway Signage



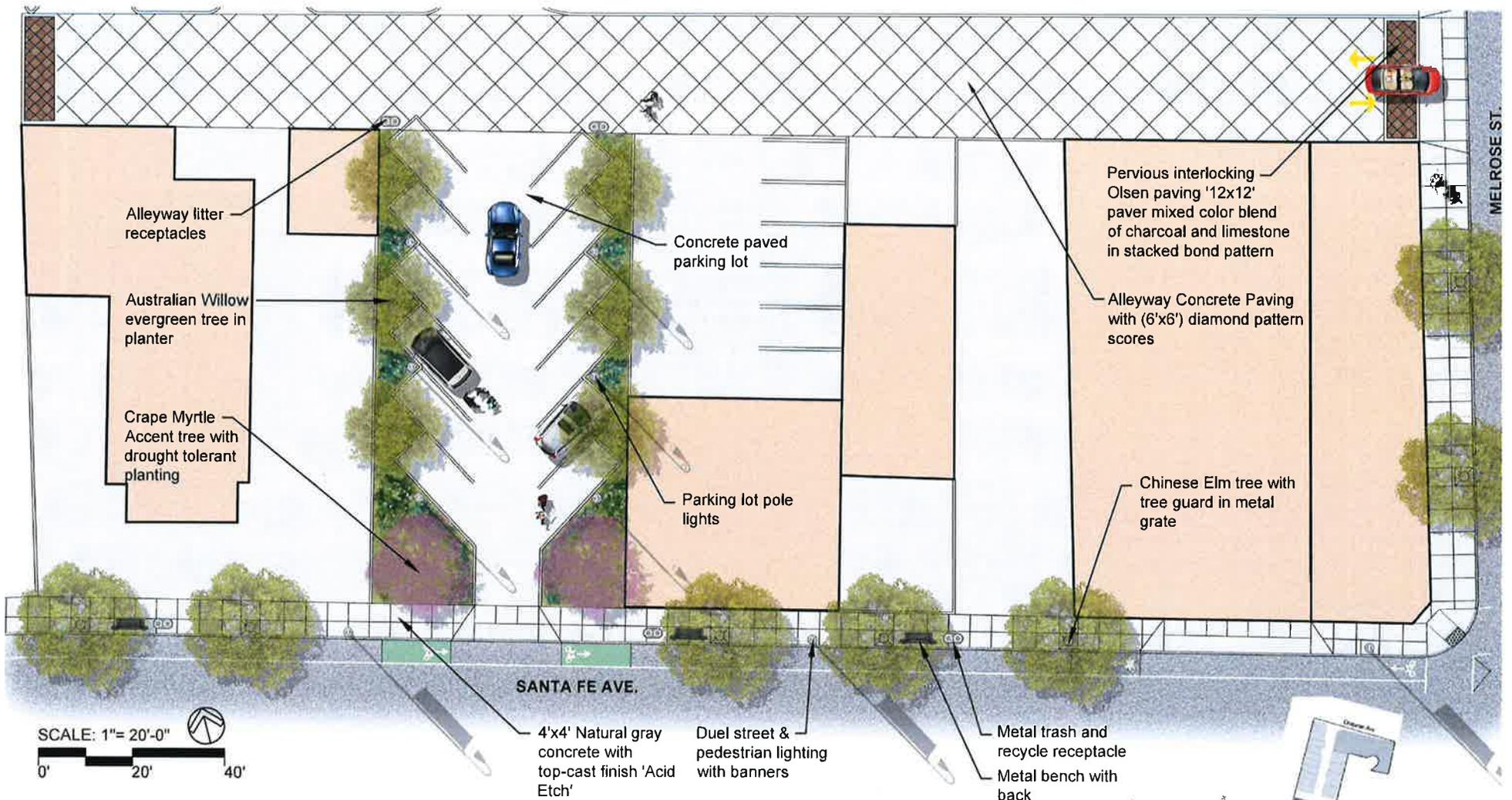
Bradford Ave. - Center St. to Chapman Avenue
Old Town Placentia
 Placentia, CA



KEY MAP



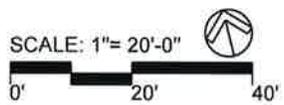
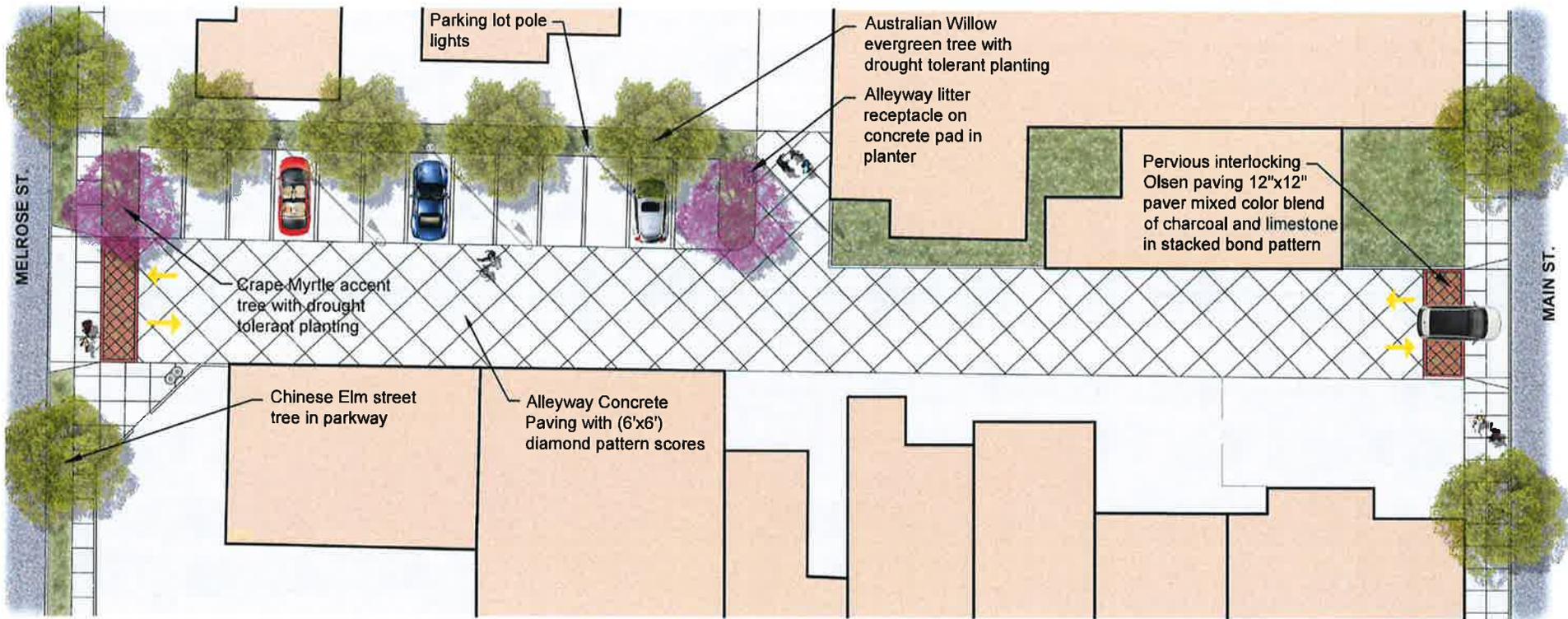
ATTACHMENT 2
 EXHIBIT A



Enlargement A - Alleyway & Parking Lot
 Old Town Placentia
 Placentia, CA

KEY MAP

ATTACHMENT 2
 FXHIRIT A



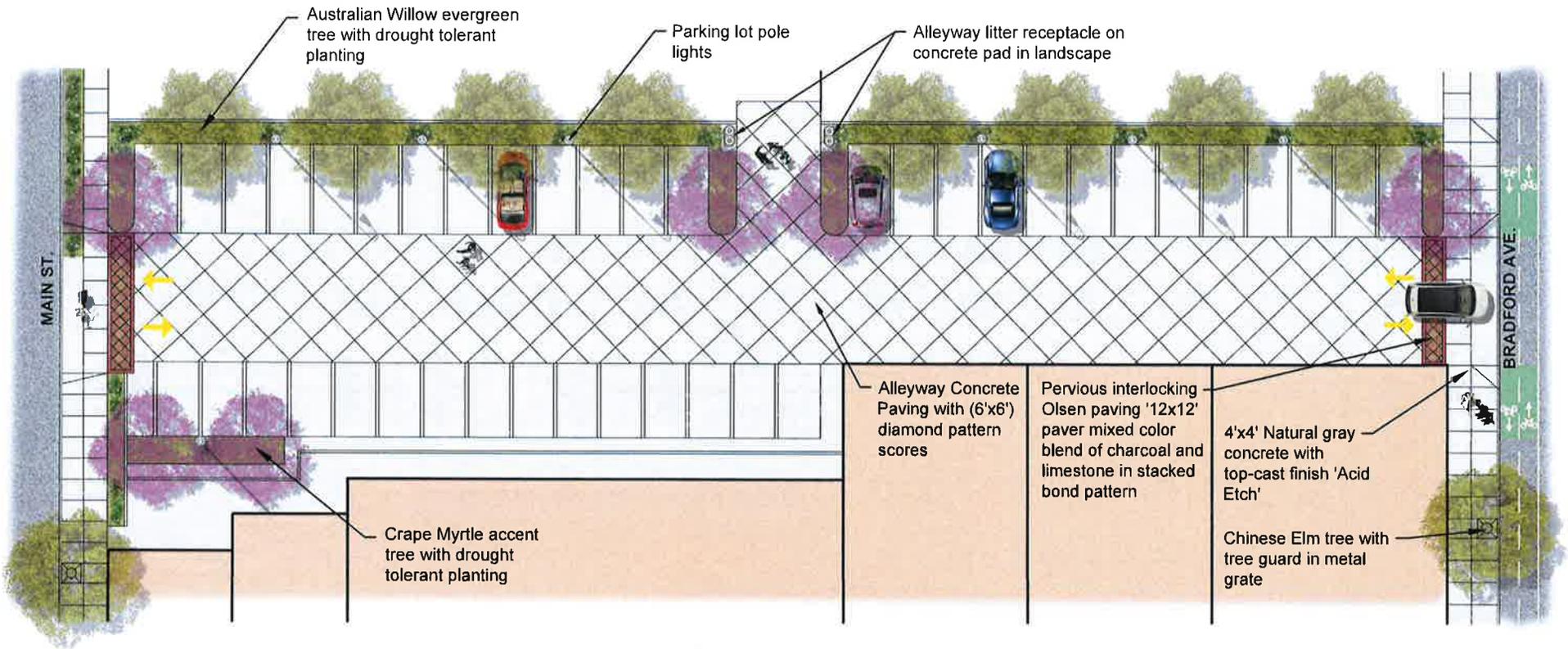
Enlargement B - Alleyway and Parking Lot
 Old Town Placentia
 Placentia, CA



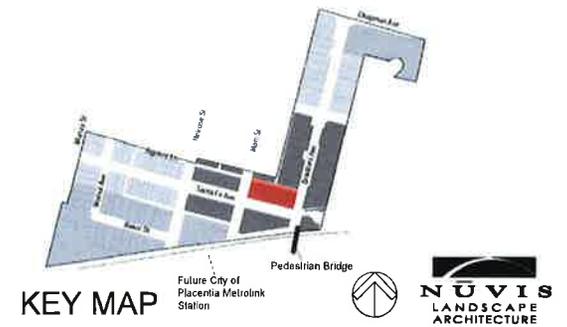
KEY MAP

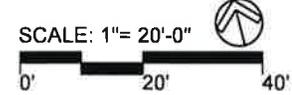
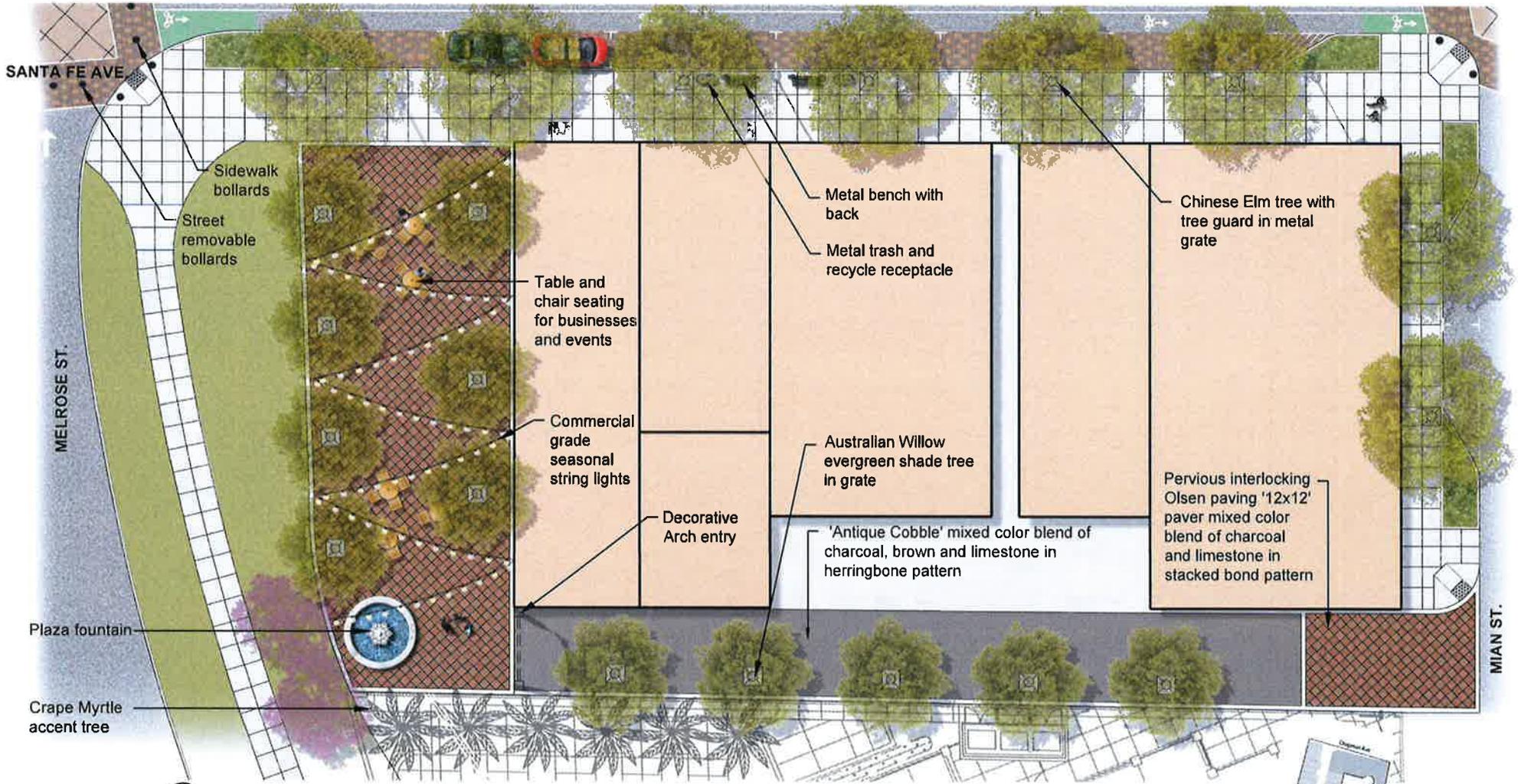


ATTACHMENT 2
 EXHIBIT A



Enlargement C - Alleyway and Parking Lot
 Old Town Placentia
 Placentia, CA





PROPOSED PARKING STRUCTURE

Enlargement D - Plaza Space and Alleyway
Old Town Placentia
 Placentia, CA

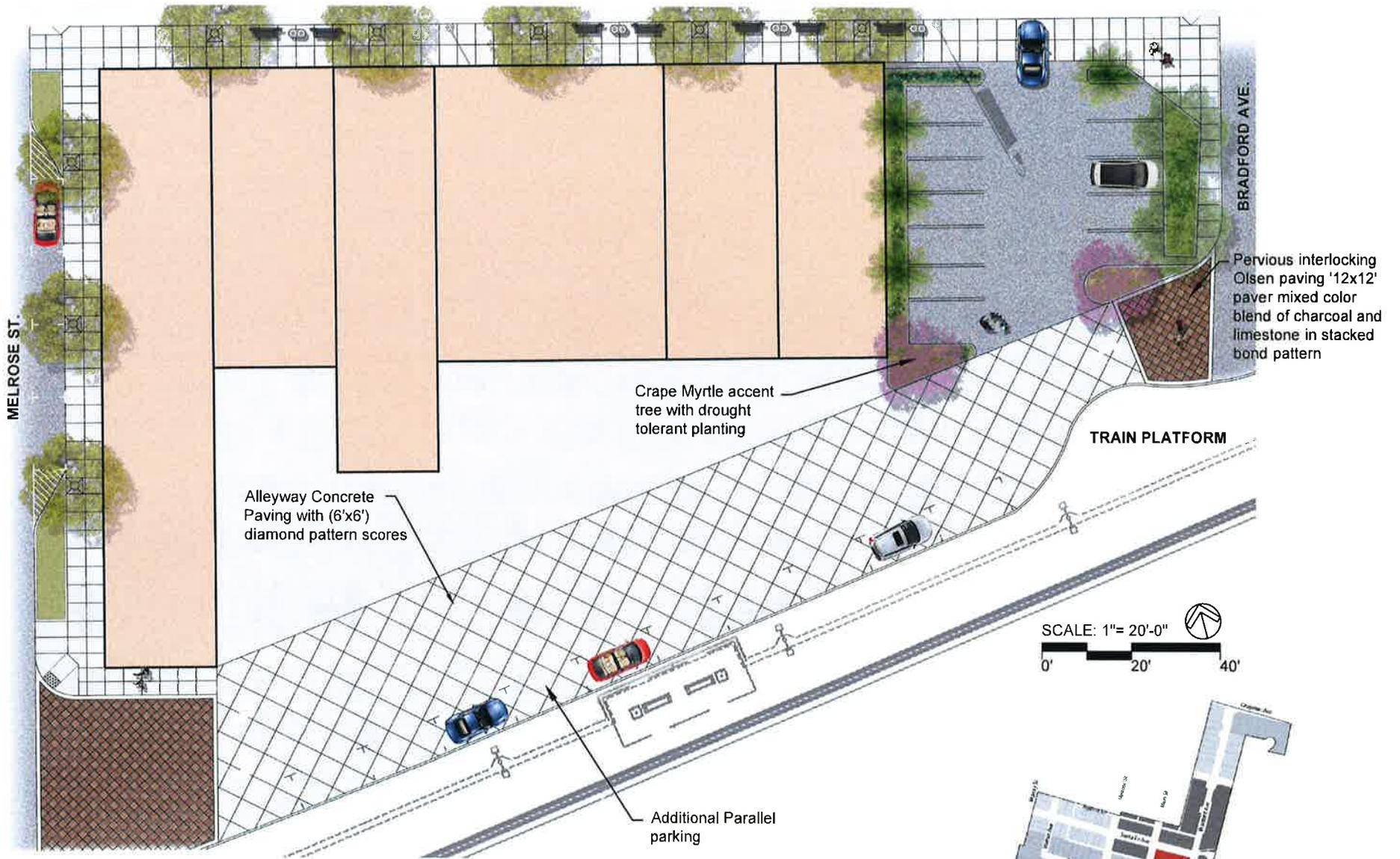
KEY MAP

Future City of Placentia Metrolink Station

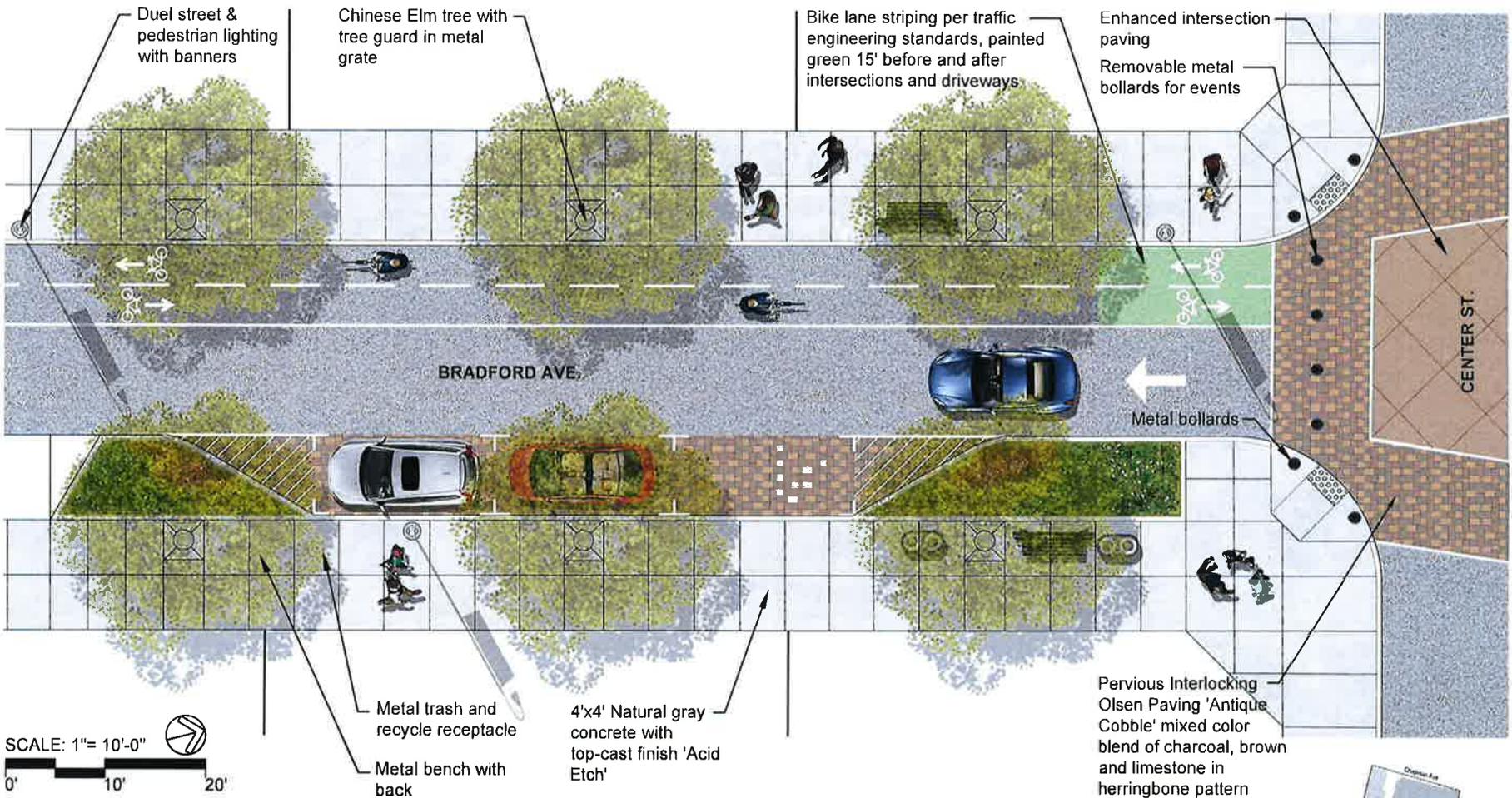
Pedestrian Bridge

NUVIS
 LANDSCAPE
 ARCHITECTURE

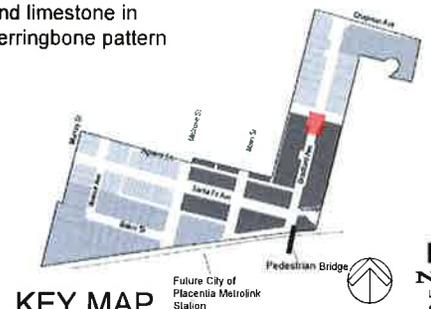
ATTACHMENT 2
EXHIBIT A



Enlargement E - One way street and Alleyway
 Old Town Placentia
 Placentia, CA



Enlargement F - Bradford Avenue
 Old Town Placentia
 Placentia, CA





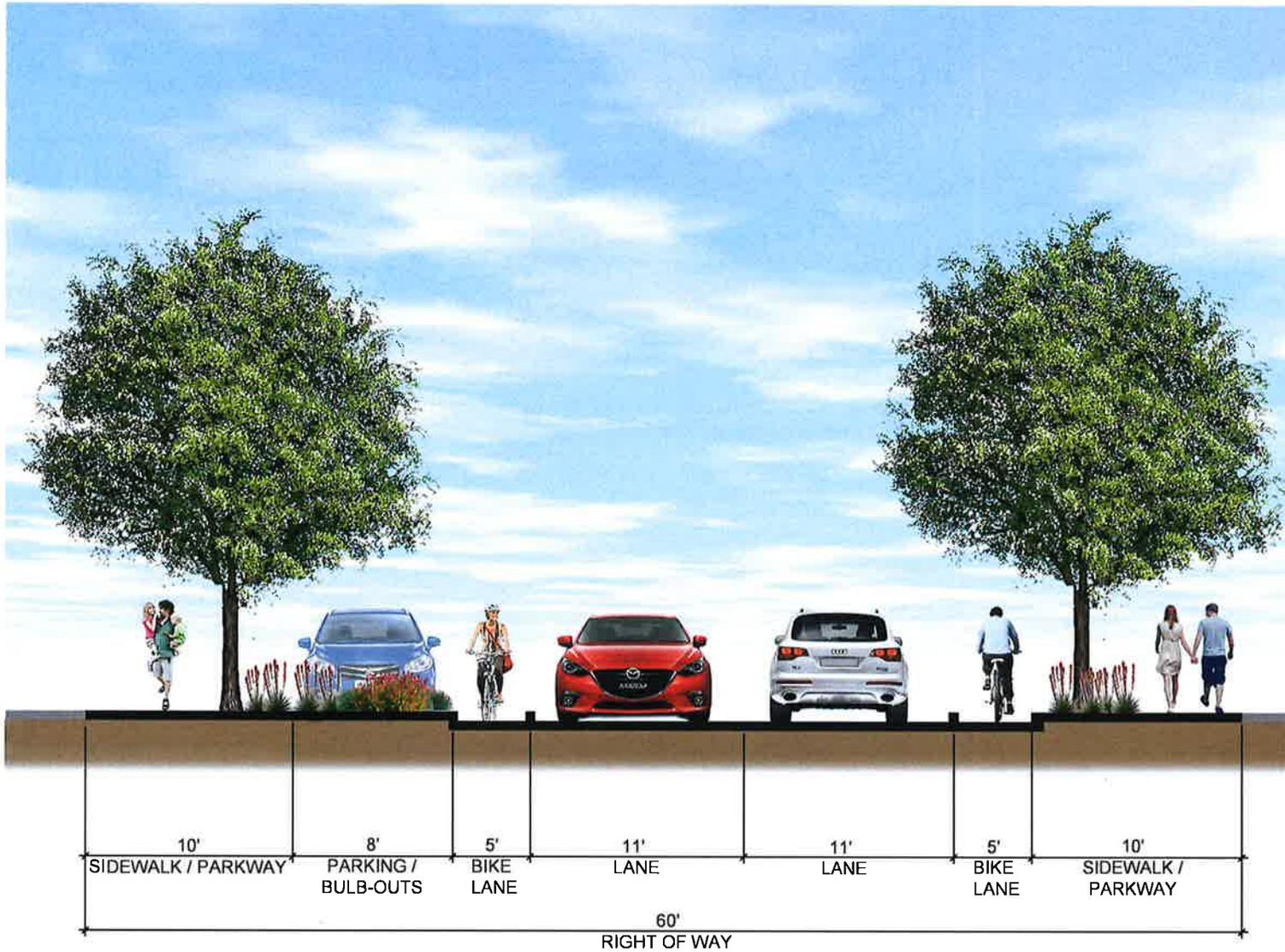
Simulation 1 - Bradford Avenue (Southbound)
OLD TOWN PLACENTIA
Placentia, CA



Simulation 2 - Bradford mid-way (Southbound)
OLD TOWN PLACENTIA
Placentia, CA

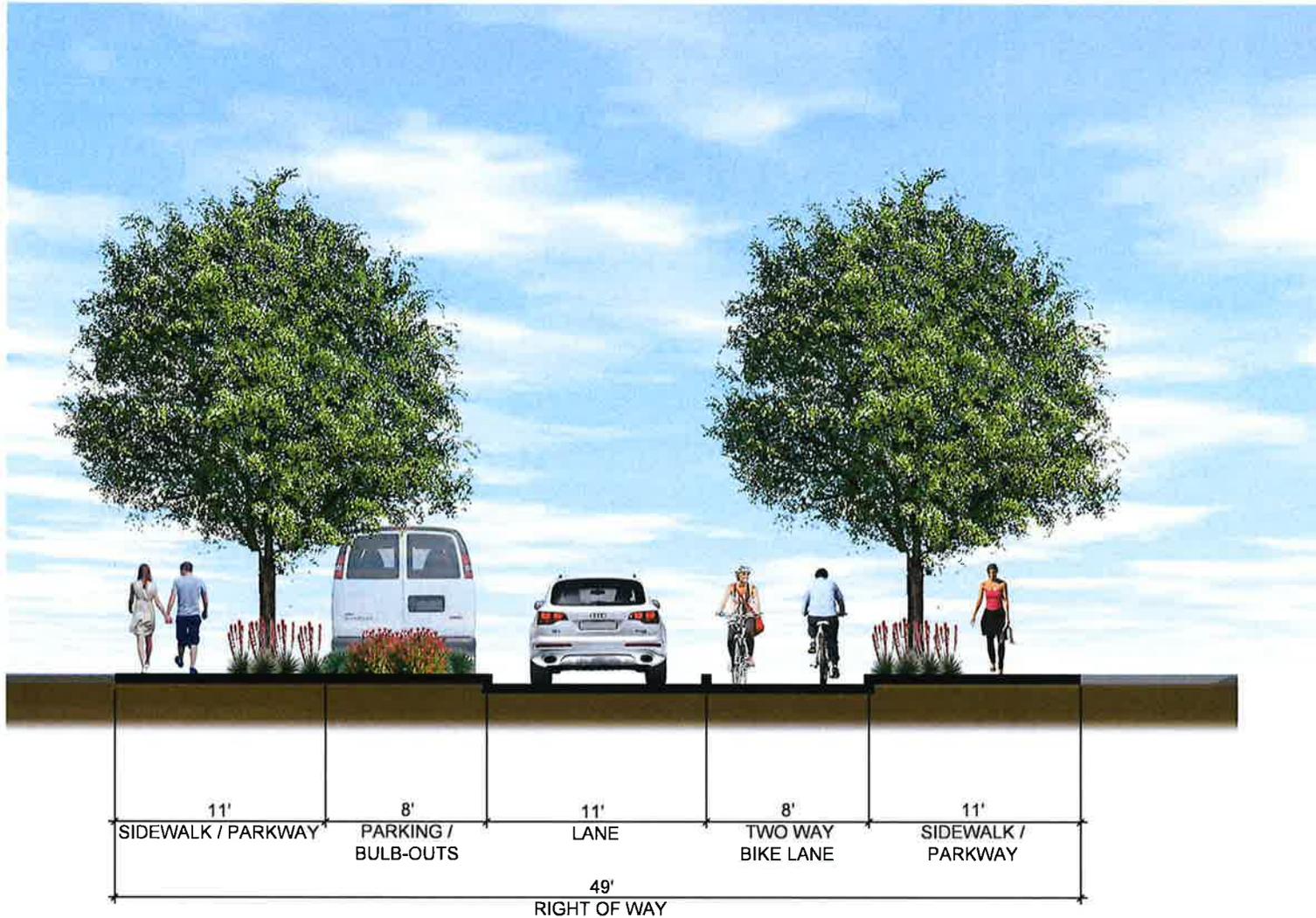


Simulation 3 (Alternative) - Santa Fe looking west
OLD TOWN PLACENTIA
Placentia, CA



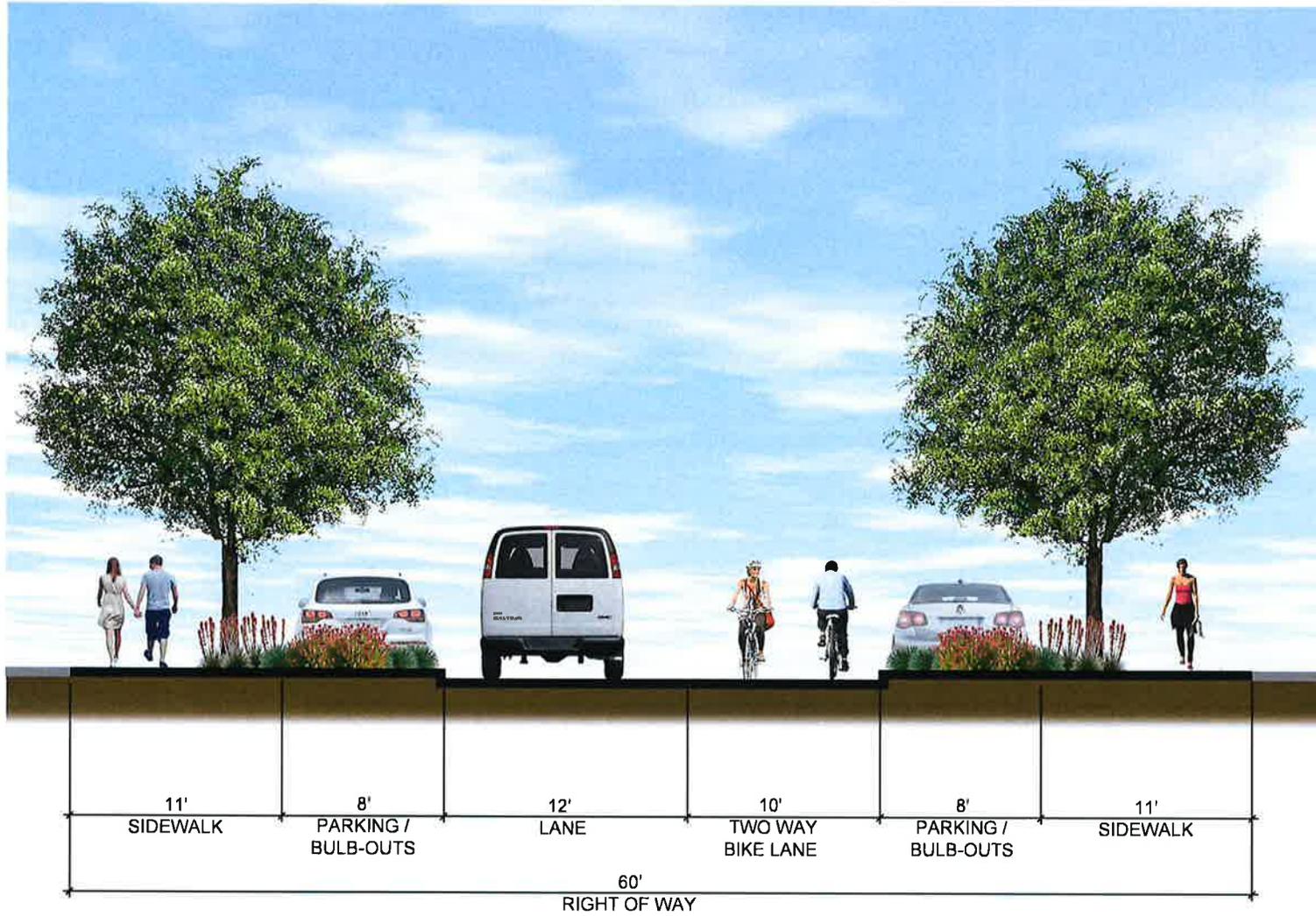
Section A - Bradford Avenue
OLD TOWN PLACENTIA
 Placentia, CA

BRADFORD AVENUE
 CHAPMAN AVE. TO CENTER ST. (SOUTHBOUND)



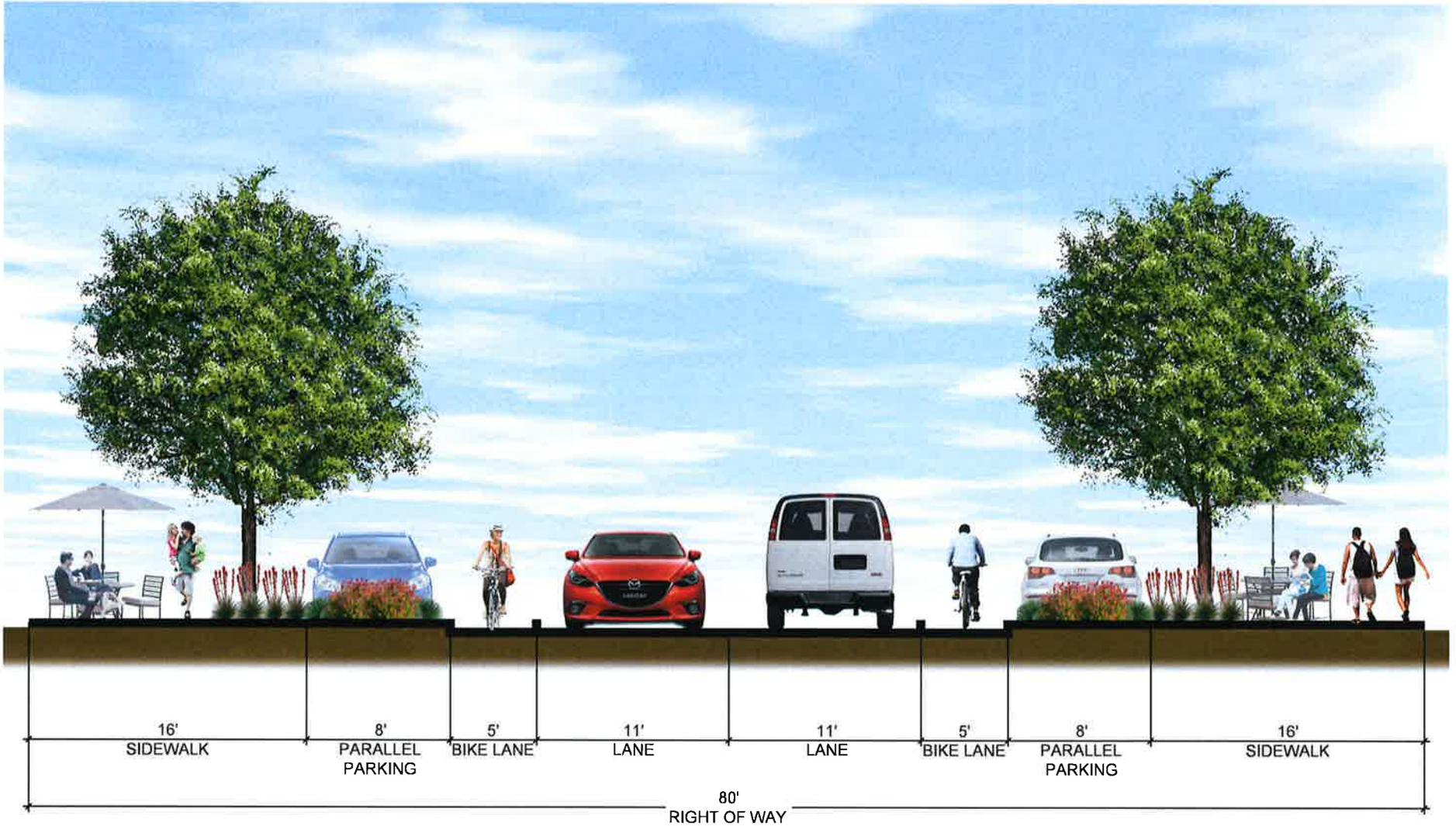
**BRADFORD AVENUE
CENTER ST. TO SANTA FE AVE. (SOUTHBOUND)**

Section B- Bradford Avenue
 OLD TOWN PLACENTIA
 Placentia, CA



**SANTA FE AVENUE
BRADFORD AVE. TO TO MAIN ST. (WESTBOUND)**

Section C - Santa Fe Avenue
OLD TOWN PLACENTIA
 Placentia, CA



**SANTA FE AVENUE
MAIN ST. TO MELROSE AVE. (WESTBOUND)**

Section D - Santa Fe Avenue
OLD TOWN PLACENTIA
Placentia, CA



CBF-10
DUCTILE-IRON CASTING
RECYCLED SOLID STEEL BAR

4' LENGTHS - STANDARD
 6' AND 8' LENGTHS WITH INTERMEDIATE ARMREST

COLOR BLACK

VICTOR STANLEY, INC.
 Manufacturers of Quality for Benchmark since 1848.

P.O. BOXED 308 - DUNSMY, MD 20754 USA
 TOLL FREE: (800) 563-2573 (USA & CANADA)
 TEL: (201) 435-4300 - FAX: (410) 281-7519
 WEB SITE: [HTTP://WWW.VICTORSTANLEY.COM](http://www.victorst Stanley.com)

* ALL DIMENSIONS ARE IN INCHES *

24 7/8"

25 1/2"

19 7/8"

SEAT HEIGHT

1/4" x 1-1/2" HORIZONTAL SOLID STEEL SLATS

CLEARANCE FOR 3/8" ANCHOR BOLTS

INTERNAL WELDED CROSS MEMBERS OF 1-1/2" TUBULAR STEEL

3/4" x 1" SOLID STEEL BRACING

1 5/16" TUBULAR STEEL RING USED FOR ADDITIONAL SUPPORT

36 7/8" CENTER-TO-CENTER

CENTER-TO-CENTER DISTANCES ARE APPROXIMATE (VARIATIONS IN CASTINGS MAY BE DUE TO DIFFERENT RATES OF COOLING)

AVAILABLE OPTIONS:
 POWDER COATING
 10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS,
 CUSTOM COLORS (INCLUDING THE RAL RANGE)

LENGTHS:
 STANDARD 4'
 STANDARD 6'
 STANDARD 8' LENGTH SHOWN

NOTES:
 1. DUCTILE IRON CASTINGS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE.
 2. DIMENSIONS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 3. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, EPOXY, PHOSPHATIZED, PRIMERED, AND ELECTROSTATICALLY POWDER COATED WITH T.B.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PRIMERED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILLS. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVOIDS 8-10 MILS (200-250 MICRONS).
 4. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL RESIN IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 5. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 6. FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
 7. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 8. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

CBF-10
 CLASSIC SERIES

BENCH WITH DUCTILE IRON END FRAMES
 SHOWN: 6' STANDARD 2-FOOT LENGTH

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 REV. 3/15/10 DRAWN 3/15/10 02

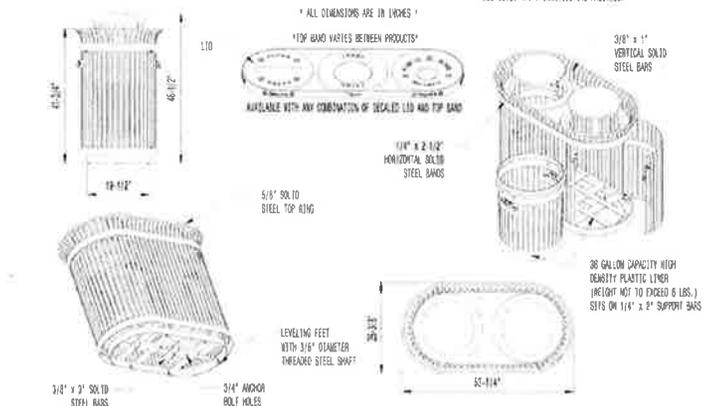
BENCHES
OLD TOWN PLACENTIA
 City of Placentia, CA



SD-242
 SIDE DOOR OPENING
 RECYCLED SOLID STEEL BAR
 'RECYCLE' TOP STEEL BAND
 TWO 36 GAL LINERS
 DOME LIDS
 COLOR BLACK

Victor Stanley, Inc.
 4145 Corporate Dr. Quincy, MA 01906-1000

P.O. BOX 255 - QUINCY, MA 01914 USA
 TOLL FREE: (800) 368-2573 (USA & CANADA)
 TEL: (508) 858-8300 - FAX: (410) 257-7319
 WEB SITE: [HTTP://WWW.VICTORSTANLEY.COM](http://www.victorst Stanley.com)



AVAILABLE OPTIONS:

- POWDER COATING**
 (2) STANDARD COLORS, (2) OPTIONAL METALLIC COLORS,
 CUSTOM COLORS (INCLUDING THE RAL RANGE)
SECURITY
 STANDARD WITH LOCKABLE LATCH (AS SHOWN), AVAILABLE WITH OPTIONAL KEYS
 LOCK KEY: LID BOLTED IN PLACE, AVAILABLE WITH OPTIONAL MOUNT WITH
 3 IN-LINE ANCHOR HOLES AND OPTIONAL BOTTOM PLATE COVER.

- LIDS**
 STANDARD WITH TAPERED FORMED LID, AVAILABLE WITH OPTIONAL DOME LID (AS SHOWN),
 DOME LID WITH ASHTRAY, RAIN BUCKET LID, RAIN BUCKET LID WITH ASHTRAY, CONE LID,
 CONE LID WITH SELF-CLOSING COVER, ENCLOSED DOME LID WITH ASHTRAY, CONE LID WITH
 STAINLESS STEEL ASHTRAY, AND RECYCLE LIDS. ASHTRAYS AVAILABLE WITH
 OPTIONAL ASHTRAY COVER.
CUSTOM PLAKES & DECALS
 AVAILABLE WITH STEEL PLAKES IN VARIOUS SIZES AND PRESSURE SENSITIVE
 VINYL OUTDOOR DECALS.

- NOTES:**
 1. DRAWINGS NOT TO SCALE, DO NOT SCALE DRAWINGS.
 2. ALL FABRICATED METAL COMPONENTS ARE: STEEL, SHEETMETAL, STAINLESS, PHOSPHATIZED, PRE-PAINTED, AND ELECTROSTATICALLY POWDER-COATED WITH P.O.D.E. POLYESTER POWDER
 COATING. PRODUCTS ARE FULLY CLEANED AND PREPARED, PRIMED AND COATED INSIDE - NOT TO FULL SPECIFICATIONS AND BUILT FROM CRITICAL CONTROL POINTS ARE THEN FULLY COATED
 TO MEET MANUFACTURER'S SPECIFICATIONS. THE FINISHES OF THE RECYCLING FINISH AVERAGE 8-10 MILS (200-250 MICRONS).
 3. OUR IMPROVED BRONZE SUSPENDING AND STAINLESS STEEL PIVOT PINS FOR DOOR MOUNTING, STANDARD 3/16" SOLID STEEL LATCH ASSEMBLY OR OPTIONAL
 PATENTED STAINLESS STEEL KEYS LOCK ASSEMBLY.
 4. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY APPLIED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 5. VICTOR STANLEY, INC., PLASTIC LINER LINERS ARE MOLDED ON TOOLING DESIGNED FOR AND OWNED BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH
 LIGHTWEIGHT CONSTRUCTION USING CRITICAL WOLDED AIDS, INTERNAL HANDHOLES, AND HIGH-STRENGTH MATERIALS. THIS MINIMIZES HANDLING DIFFICULTY AND FACILITATES EASY
 EMPTYING AND STORAGE WHILE AFFORDING LONG SERVICE LIFE.
 6. ANCHOR BOLT NOT PROVIDED BY VICTOR STANLEY, INC.
 7. FOR HIGH SALINITY/ABRASIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN
 ESTABLISHED QUALIFIED FIRM TO MEET PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN ABRASIVE PRE-TREATMENT AND IMMERSION IN A TANK
 OF CHARGED LIQUID ZINC AT APPROX 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC
 TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH IS NORMAL FOR GALVANIZED SURFACE MAY EXHIBIT BUMPS, UNEVENNESS, AND MAY NOT BE
 AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZED SURFACE. CONTACT MANUFACTURER FOR DETAILS.
 8. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 9. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

SD-242

IRONSTAYS SERIES

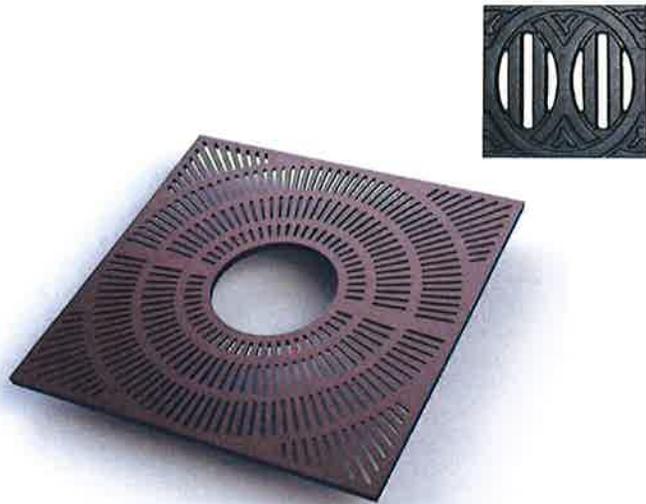
SIDE-DOOR RECYCLING STATION
 SHOWN: (2) OPTIONAL DOME LID

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 REV. 12/15/15 DRAWING C.O.B. 2015-1078

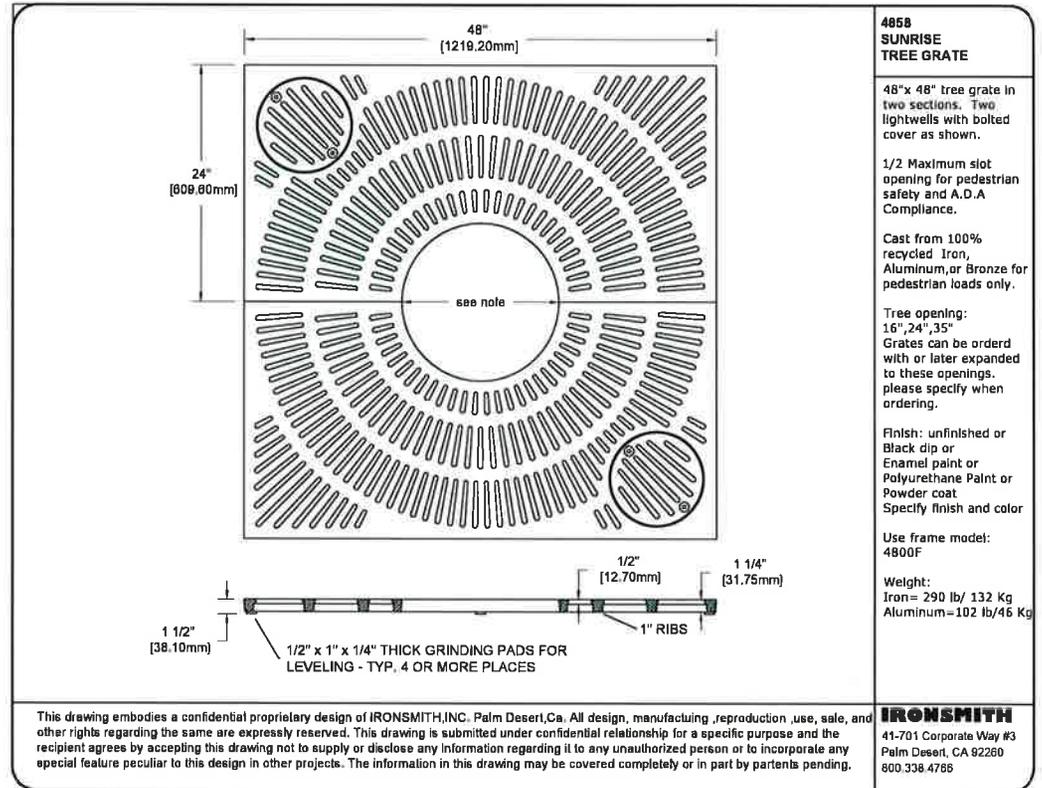
LITTER RECEPTACLES
 OLD TOWN PLACENTIA
 City of Placentia, CA



ATTACHMENT 2
EXHIBIT A



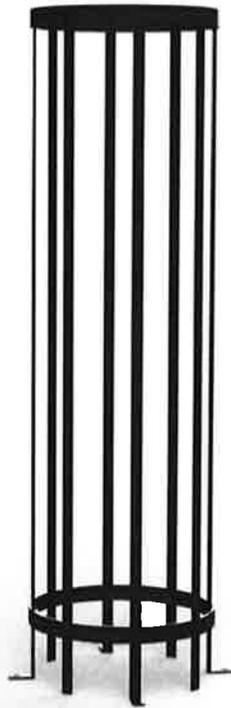
SUNRISE MODEL 48" SQUARE TREE GRATES
 TREE OPENINGS TO BE 24" WITH OPTION FOR EXPANSION TO 35"
 2 UP-LIGHTWELLS FLUSH OR BELOW GRADE
 PLUMBED WITH CONDUIT TO ACCOMODATE APPROX. 4 PLUGS
 COLOR TO BLACK POWDERED



TREE GRATE
 OLD TOWN PLACENTIA
 City of Placentia, CA



ATTACHMENT 2
 EXHIBIT A



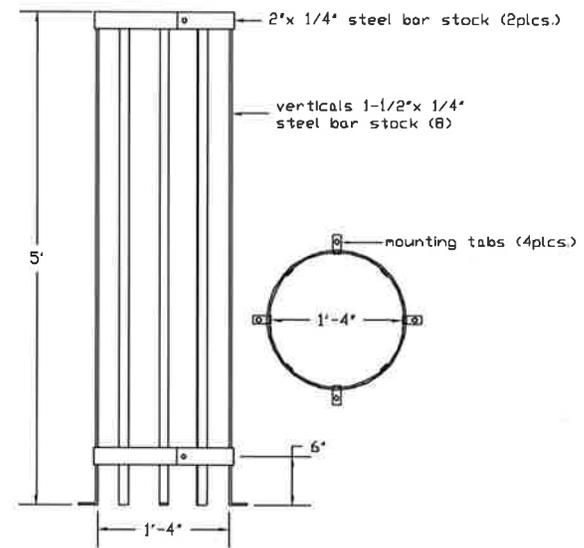
M6 TREE GUARD

BLACK POWDER
COAT FINISH

TREE GUARD
OLD TOWN PLACENTIA
City of Placentia, CA

TREE GUARD

M-6



- Jig welded from hot rolled steel.
- Guards are constructed in halves and bolt together
- 60" height and 16" tree opening standard
other dimensions available for additional cost
- Alternate attachment methods available
- All hardware provided by IRONSMITH
- Black powder coat standard finish
other finish options available

IRONSMITH TREE GUARDS
FOR LANDSCAPE ARCHITECTURE

(800) 338-4766

IRONSMITH
ATTACHMENT 2
EXHIBIT A



SALEM - 9023
35" HIGH / 15" BASE
FIXED OR REMOVABLE

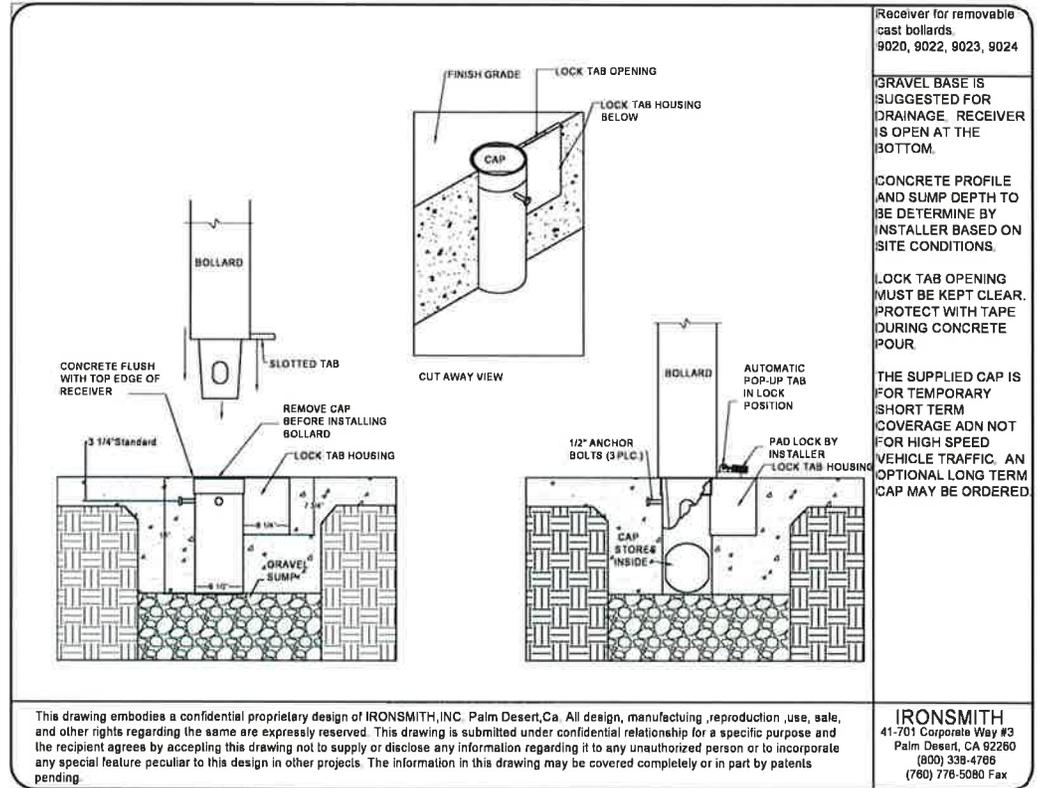
BLACK POWDER
COAT FINISH



FIXED INSTALL



REMOVABLE INSTALL



Receiver for removable cast bollards 9020, 9022, 9023, 9024

GRAVEL BASE IS SUGGESTED FOR DRAINAGE. RECEIVER IS OPEN AT THE BOTTOM.

CONCRETE PROFILE AND SUMP DEPTH TO BE DETERMINE BY INSTALLER BASED ON SITE CONDITIONS.

LOCK TAB OPENING MUST BE KEPT CLEAR. PROTECT WITH TAPE DURING CONCRETE POUR

THE SUPPLIED CAP IS FOR TEMPORARY SHORT TERM COVERAGE ADN NOT FOR HIGH SPEED VEHICLE TRAFFIC. AN OPTIONAL LONG TERM CAP MAY BE ORDERED

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IRONSMITH
41-701 Corporate Way #3
Palm Desert, CA 92260
(800) 338-4766
(760) 776-5080 Fax

BOLLARDS
OLD TOWN PLACENTIA
City of Placentia, CA

IRONSMITH
ATTACHMENT 2
EXHIBIT A

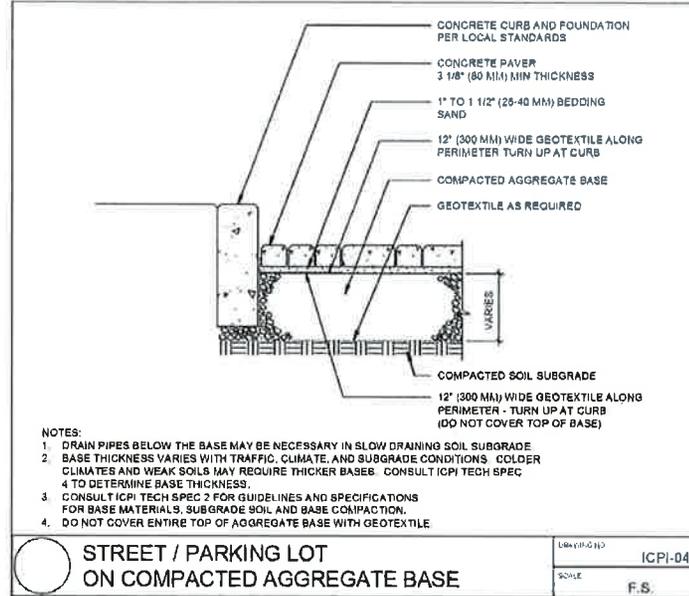


OLSEN PAVINGSTONE
ANTIQUE COBBLE (FLAT TOP) PAVERS

80 MM THICKNESS
RECTANGLES ONLY 8.25" X 5.5" SIZE
HERRINGBONE PATTERN
SET ON COMPACTED AGGREGATE BASE
NO GROUT FOR PERMEABILITY



COLOR MIX:
20% LIMESTONE
30% CHARCOAL
50% BROWN

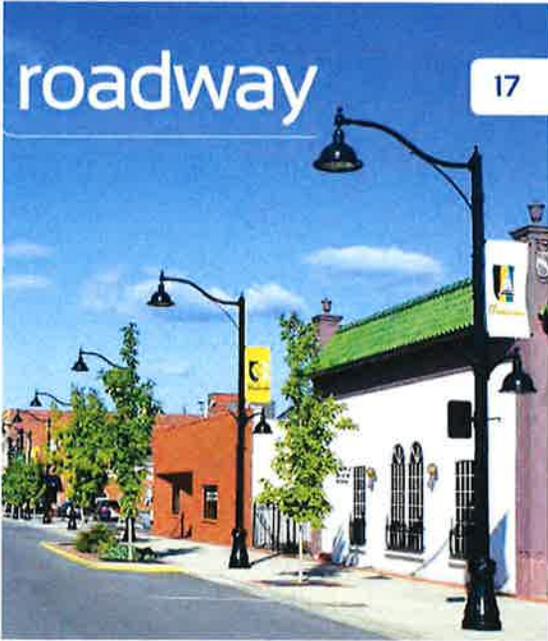


STANDARD GREY CONCRETE PAVING
FINISH TO BE GRACE TOP CAST ACID ETCH 03

(SEE PLANS FOR SCORE LINES & EXPANSION
JOINT PATTERNS)

GRACE

INTERLOCKING PERVIOUS PAVERS & CONCRETE PAVING OLD TOWN PLACENTIA City of Placentia, CA



roadway

17



OMEGA
LED LUMINAIRE FAMILY



BANNER ARMS
BUILDING SIDE OF POLE



WREATH HOOKS
BOTH SIDES OF POLE



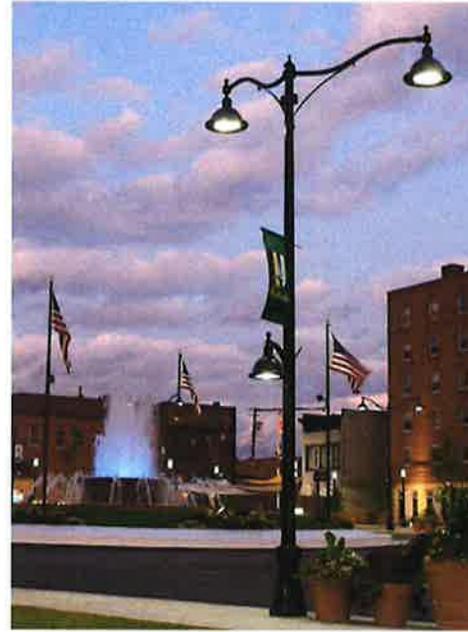
FLAG MOUNTS
STREET SIDE OF POLE



RECEPTACLES
GFI IN BASE WITH COVER



SPEAKER HUBS
AUDIO CAPABILITY



omega®

Omega® is a timeless but modern luminaire with a wide choice of luminaire options. From the standard pole mounting, the one of the most versatile form factors in the industry, Omega® offers a wide range of luminaire options, from the standard pole mounting to the one of the most versatile form factors in the industry, from the standard pole mounting to the one of the most versatile form factors in the industry.



Omega

Omega

Omega

roadway

Roadway® is a timeless but modern luminaire with a wide choice of luminaire options. From the standard pole mounting, the one of the most versatile form factors in the industry, Roadway® offers a wide range of luminaire options, from the standard pole mounting to the one of the most versatile form factors in the industry.

DETAILS

- All luminaire and pole options are available in black or white.
- All luminaire and pole options are available in black or white.
- All luminaire and pole options are available in black or white.
- All luminaire and pole options are available in black or white.
- All luminaire and pole options are available in black or white.



Omega



Omega

Omega

STREET LIGHTING
OLD TOWN PLACENTIA
City of Placentia, CA



Sternberg
Lighting

ATTACHMENT 2
EXHIBIT A

153LED OMEGA SERIES



Optics

The luminaire shall be provided with individual refractor type optics applied to each LED. The luminaire shall provide Type _____ (2, 3, 3K, 4 or 5) light distribution per the IESNA classification. Testing shall be done in accordance with IESNA LM-79.

Electronic Drivers

The LED driver shall be UL recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload as well as short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be dimmable using a 0-10V signal.

For sources over 50W, The driver shall have a minimum efficiency of 90%. The driver shall be rated at full load with THD < 20% and a power factor of greater than 0.90. The driver shall contain over heat protection which reduces output to less than half rating if the case temperature reaches 85°C.

For sources under 50W, The driver shall have a minimum efficiency of 94%.

Photocontrols

Button Style: On a single assembly the photocontrol shall be mounted on the fixture and pre-wired to driver. On multiple head assembly's the photocontrol shall be mounted in the pole shaft on an access plate. The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 15 footcandles with a turn off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years.

Twist Lock Style: The photocontrol shall be mounted externally on the fixture and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 15 footcandles with a turn off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years.

Warranty

Seven year limited warranty. See product and finish warranty guide for details.

Finish

Refer to website for details.

Fixtures



153LED-R
31"W x 21-1/2"H

153LED-F
31"W x 21-1/2"H

153LEDSM-R
31"W x 21-1/2"H



CAT-153LED-R
31"W x 21-1/2"H



153LED-EZ
31"W x 21-1/2"H

Options

R-PE



Twist lock
receptacle
with photoctrl

PEC



Electronic
button
photoctrl

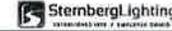


FHD
Fuse holder



555 Lawrence Ave., Roselle, IL 60172
info@sternberglighting.com
www.sternberglighting.com

STREET LIGHTING
OLD TOWN PLACENTIA
City of Placentia, CA



LED Ornamental Bollards

12-653A

770LED BIRMINGHAM LIGHTED BOLLARD SPECIFICATIONS

GENERAL

The Model 770LED decorative lighted bollard shall be cast aluminum, one-piece construction. The 16" diameter cast aluminum base shall be constructed with a 7 1/4" diameter smooth fluted cast aluminum shaft. The bollard shall be Sternberg Lighting #770LED lighted bollard or #770LED-QR quick release lighted bollard. The bollard shall be U.L. or E.T.L. listed in U.S. and Canada.

CONSTRUCTION

The base shall be designed with a tall and smoothly curved pedestal bottom section and transition to a tall twelve flute vertical base section and be made of heavy wall, alloy cast aluminum. It shall have a 1" thick floor cast as an integral part of the base. The bollard cap shall be welded in place. The overall height of the bollard shall be 51".

ELECTRICAL/LED

The optical assembly shall be constructed of twelve (12) fluted openings with a white acrylic lens. The LED light source shall have an IP65 rated assembly. The assembly shall consist of highly efficient, four (4) optional three (3) LED sealed extended aluminum heat sink, four (4) optional three (3) LED boards with 6 each high brightness LEDs and a sealed acrylic tube. The bollard shall be supplied with electrical surge protection in accord with IEEE/ANSI C62.41.2 and shall be U.L. or E.T.L. listed in U.S. and Canada. The LED lighted bollard shall have an L70 expected life of 70,000 hours with the LED life ratings determined in accordance with IESNA LM-80. The electronic LED driver shall be a U.L. Recognized, constant current design with THD < 20%.

QUICK RELEASE MOUNTING (Optional)

The Model 770LED-QR shall have a quick release option which allows quick removal of the bollard for convenience or emergency access. The basal portion shall be made of aluminum extrusion and shall have a keyway and flexible connection system for securing to bollard. The bollard shall have a molded extension and anti-tamper key and padlock slot. The quick release system shall allow for a flush post-mount installation after temporary bollard removal.

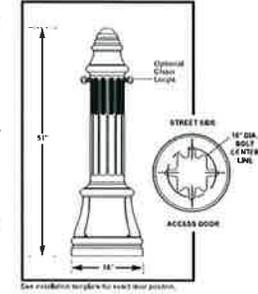
FINISH

Prior to coating, each assembly shall be chemically cleaned and etched in a 3-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse osmosis water rinsing, and non-fluorocarbon scaling to ensure maximum resistance and excellent adhesion for the finish coating. The finish coating shall be electrostatically applied semi-gloss, super durable poly ester powder baked at 400 degrees for a durable and superior, color retentive finish. Our optional antique Venetian Bronze finish and Swedish Iron finish are hand finished using a 3-step process. The total assembly shall be wrapped in shockproof wrapping or fully enclosed in corrugated cartons.

INSTALLATION

Four hot dipped galvanized "L" type anchor bolts shall be provided with the post for non-quick release bollard installation. Quick release anchorage requires no anchor bolts. A door shall be provided for wiring and anchor bolt access. It shall be secured with tamper-proof, stainless steel hardware. Bollard will be provided with a mounting stud mounted on the base. (Not opposite the access door)

WARRANTY: Seven (7) year limited warranty. See product and finish warranty guide for details.



BUILDING A PART NUMBER PART NUMBER SELECTIONS

BOLLARD MODEL	OPTIONAL CHAIN LOOP	LIGHT SOURCE	DRIVER	OPTIONS	FINISH	MODELS	LIGHT SOURCES	STANDARD FINISHES*	RT	WBK	CD	TT	STERNBERG SELECT FINISHES	
770LED	CL1	3545TLC/A	ML	PT10	VU	770LED 770LED-QR	3580TLC 30W 4500K Type V 4545TLC 30W 4500K Type V 4535TLC 30W 3500K Type V	• BK Black Textured • WH White Textured • PG1 Park Green Textured • AR21 Architectural Medium Bronze Textured • DBT Dark Bronze Textured *Each finish is available upon request	• RT Rust • WBR Weathered Brown • CD Cedar • WBK Weathered Black • TT Two Tone	• V6 Venetian Green • SI Swedish Iron • DWGT Old World Gray Textured	• BK Black Textured • WH White Textured • PG1 Park Green Textured • AR21 Architectural Medium Bronze Textured • DBT Dark Bronze Textured	• V6 Venetian Green • SI Swedish Iron • DWGT Old World Gray Textured	• PE1C1 PhotoCell-Bornel 120 Volt Flicker • PE1C2 PhotoCell-Bornel 208-277 Volt Flicker • PE1E1 PhotoCell-Electronic 120 Volt • PE1E2 PhotoCell-Electronic 208-277 Volt • LP Low Power/Reduced Output 11W (35 TLC only)	• PE1C1 PhotoCell-Bornel 120 Volt Flicker • PE1C2 PhotoCell-Bornel 208-277 Volt Flicker • PE1E1 PhotoCell-Electronic 120 Volt • PE1E2 PhotoCell-Electronic 208-277 Volt • LP Low Power/Reduced Output 11W (35 TLC only)



*NOTES
1. All finishes are only listed in U.S. or E.T.L. listed with a standard finish.
2. TO ORDER CHAIN LOOP, specify length of chain required for use.

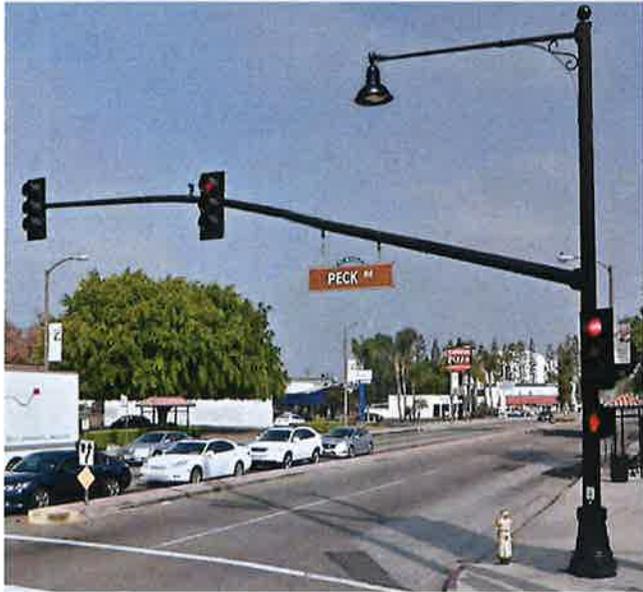


555 Lawrence Ave., Roselle, IL 60172 • 847-588-3400 • Fax 847-588-3440
www.sternberglighting.com Email: info@sternberglighting.com



Sternberg Lighting

ATTACHMENT 2
EXHIBIT A



REPRESENTATIVE ABOVE INSTALLATION AT PECK ROAD & VALLEY BLVD



TRAFFIC SIGNAL ELEMENTS TO INCLUDE:

- POLES
- MAST ARMS
- PUSH BUTTON
- SIGN
- PEDESTRIAN COUNT DOWN MODULE
- LUMINAIRE
- COLOR TO BE BLACK

REFLECTORIZED STREET NAME SIGN

TRAFFIC SIGNAL POLES
OLD TOWN PLACENTIA
 City of Placentia, CA

valmont STRUCTURES

ROUND TAPERED STEEL Fluted FL30

Job Name _____	City _____	State _____	Country _____
Job Location _____	City _____	State _____	Country _____
Project No./ABC _____	City _____	State _____	Country _____

SPECIFICATIONS:

Fluted - The pole shaft conforms to ASTM A596 Grade A or A572 Grade 55 with a constant linear taper of 0.14 inch.

Fluting Process - The tapered shafts are cold rolled over a precision hardened steel mandrel to form the desired flute shape. The flutes are uniform and equally spaced throughout the process. The termination of the flutes is no greater than 1/8" true transition into the round section of the shaft. The results of the fluting process are flutes with architecturally pleasing reduced terminations and chip uniform flutes.

Linear Flute Layout - Flutes start and stop to ensure decorative nut covers and anchor base connection fit a smooth round diameter. Flute start and stop locations should be specified.

Fluted - A decorative spear fluted with hardware is provided.

Luminaire Arm - Luminaire arms are made from 2" schedule 40 pipe (2.375" OD) with a minimum yield strength of 28,000 psi. Double luminaire arms are oriented 180° apart. For other orientations and scoll options please consult factory.

Luminaire Arm Attachment - Connection allows arm to be erected and held in place by gravity and secured by a single bolt.

Handhole - A covered handhole and grounding provision with hardware is provided.

Nut Covers - Decorative anchor bolt nut covers with hardware are provided.

Base Covers - Optional decorative base covers available as special order.

Anchor Base - The anchor base (base plate) conforms to ASTM A36.

Anchor Bolts - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized or zinc plated carbon steel or stainless steel.

Hardware - All structural fasteners are galvanized high strength carbon steel. All non structural fasteners are galvanized or zinc plated carbon steel or stainless steel.

Finish - Standard finishes are galvanized, prepainted or any of Valmont's VPRO™ Protection Systems. Additional finish options available upon request.

Design Criteria - Please reference Design Criteria Specification for appropriate design conditions.

Fluted Tapered Steel

Fluted

Fluted Tapered Steel

VALMONT INDUSTRIES, INC. 1881 N. 28TH STREET, PO BOX 228, WILLET, NC 28698 USA 800 878 3888 VALMONTSTRUCTURES.COM

valmont STRUCTURES

WASHINGTON Fluted Tapered/Non-Tapered Aluminum

Job Name _____	City _____	State _____	Country _____
Job Location _____	City _____	State _____	Country _____
Project No./ABC _____	City _____	State _____	Country _____

SPECIFICATIONS:

Pole - The pole shaft is either spun or extruded from 6063 alloy aluminum.

Pole Top - A pole top plate and lumen are provided for top mount luminaire and/or bracket. A removable fin is available for poles receiving drilling patterns for side mount luminaire arm assemblies.

Structural Base - The structural base is cast from 305 alloy aluminum and provided with a 4.00" wide x 5.57" tall access door. A grounding provision with hardware is provided. The pole is inserted and welded into the structural base casting. The completed assembly is heat-treated to a T6 temper after the structural welding is complete.

Anchor Bolts - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

Finish - The standard finish for the pole assembly and components is a polyester powder applied coating in accordance with Valmont's Specifications. Additional finish options available upon request.

Design Criteria - Please reference Design Criteria Specification for appropriate design conditions.

Fluted Tapered Steel

Fluted Tapered Steel

Fluted Tapered Steel

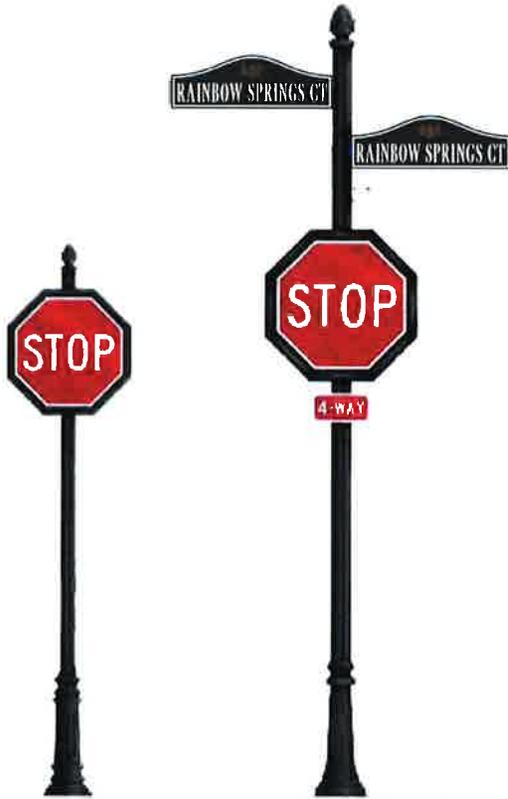
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WASHINGTON 8'16" ALUMINUM

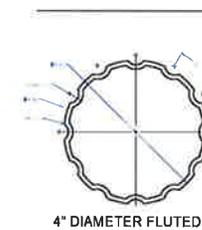


14 FT
13 FT
12 FT
11 FT
10 FT
9 FT
8 FT
7 FT
6 FT
5 FT
4 FT
3 FT
2 FT
1 FT



Part Name: Acorn Finial

Identification Number: FN-0103
Height: 6 1/2"
Width: 4 1/4"
Application: Fits 3" diameter post
Finish: Powder coat finish (standard gloss black)
Hardware Requirements: 3) 1/4-20 x 1/4" stainless set screws



Specifications

Material:
Extruded Aluminum

Alloy:
6063

Tolerance:
+/-0.020"

Wall Thickness:
0.128" +/-0.010"

Symmetry:
Shape is symmetrical about center lines

Estimated Weight:
3" Diameter: 1.34 lbs/ft
4" Diameter: 1.91 lbs/ft

Finish:
Black Powder Coat (Custom and Mill Finish Available)

Warranty:
1 Year Limited Manufacturer Warranty From Date of Purchase

Part Name: Classic Base

Identification Number: BS-04D
Height: 35"
Width/Footprint: 11"
Application: Fits 4" diameter post
Weight: - lb.
Finish: Powder coat finish (standard gloss black)
Hardware Requirements: 3) 1/4-20 x 1/4" stainless set screws



4" Fluted

COLOR

POLES, BRACKETS, SCROLLS, ARMS, AND BASES
TO BE POWDER COATED GLOSS BLACK

STREET SIGNS
OLD TOWN PLACENTIA
City of Placentia, CA



ATTACHMENT 2
FXHIRT A



PRIMARY CANOPY STREET TREE

Ulmus parvifolia 'Drake'
Drake Chinese Elm

35'-45' Height
35'-50' Spread
Moderate Water Use



MEDIUM EVERGREEN SHADE TREE

Geijera parviflora
Australian Willow

30' Height
20' Spread
Low Water Use



COLORFUL FLOWERING ACCENT TREE

Lagerstroemia indica
Crape Myrtle

25' Height
15' Spread
Moderate Water Use

TREES

OLD TOWN PLACENTIA
Placentia, CA



LANDSCAPE
ARCHITECTURE

ATTACHMENT 2
EXHIBIT A

SHRUBS, GROUNDCOVERS & ACCENTS

The plant palette was developed using tools such as UC Davis' Water Use Classification of Landscape Species (*WUCOLS IV) <http://ucanr.edu/sites/WUCOLS/> to select plants that have low or very low water use for the City of Placentia bioregion and are durable, longer-lived, and require low levels of maintenance. For example, Callistemon, Hesperaloe, Lantana, Myoporum, and Rosmarinus all have low or very low water use and are evergreen, durable, commercially available, low-maintenance shrub species which are appropriate for street medians and right-of-ways. Alternatively, Agave, Dasyliirion, Sedum, Senecio, and Yucca hybrids are low and very low water use succulents and accents which can create bold striking landscapes when paired with cobble and rock blankets.

Efficient and minimal water use for public landscapes is now a State-wide requirement due to multiple years of low annual rainfall levels in California. Successful landscape solutions are those which combine low and very low water use plants with non-living landscape materials like stabilized decomposed granite, rock and cobble blanket (both loose and stabilized with concrete), wood mulch, concrete pavers, permeable concrete, and other innovative sustainable materials.

This palette was specifically selected for medians and right-of-ways to create water-efficient landscape solutions which provide visual interest for both pedestrian and motorists.

Although not illustrated in this Streetscape Master Plan, landscape lighting features will be constructed with the streetscape improvements. Lighting improvements would include up-lighting landscape or other streetscape features. In addition, floor-mounted electrical outlets will be installed with the streetscape improvements as well. The final locations and quantities of these outlets will be determined during the final engineering design phase.

<i>Botanical Name</i>	<i>Common Name</i>	<i>Water Use*</i>	<i>Spacing</i>
SHRUBS			
Bougainvillea 'Rosenka'	Dwarf Bougainvillea	Low	36"
Callistemon 'Little John'	Dwarf Bottlebrush	Low	24"
Leucophyllum frutescens 'Green Cloud'	Green Cloud Texas Ranger	Low	30"
Nandina domestica 'Nana'	Dwarf Heavenly Bamboo	Low	12"
Punica granatum 'Nana'	Dwarf Pomegranate	Low	24"
Rhaphiolepis indica 'Ballerina'	Dwarf Indian Hawthorne	Low	30"
Teucrium chamaedrys	Germander	Low	18"
Westringia frutescens	Coast Rosemary	Low	36"
Xylosma congestum	Shiny Xylosma	Low	48"
GROUNDCOVERS			
Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	Low	36"
Carissa macrocarpa 'Tomlinson'	Dwarf Natal Plum	Low	36"
Ceanothus 'Diamond Heights'	Diamond Heights Ceanothus	Low	30"
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster	Low	48"
Gazania rigens 'Sun Gold'	Sun Gold Gazania	Low	18"
Myoporum parvifolium	Myoporum	Low	48"
Rosmarinus o. 'Huntington Carpet'	Rosemary	Low	42"
SUCCULENT ACCENTS			
Agave desmettiana	Variiegated Smooth Agave	Very Low	42"
Agave amer. v. medio-picta 'Alba'	White-Striped Century Plant	Very Low	48"
Agave 'Blue Glow'	Blue Glow Agave	Very Low	42"
Aloe 'Blue Elf'	Blue Elf Aloe	Low	12"
Crassula argentea 'Crosby's Compact'	Compact Jade	Low	30"
Dasyliirion wheeleri	Spoon Yucca	Very Low	30"
Hesperaloe parviflora	Red/Yellow Yucca	Very Low	18"
Portulacaria afra 'Prostrate Form'	Dwarf Elephant's Food	Very Low	36"
Sedum 'Verde Yellow'	Verde Yellow Sedum	Low	24"
Sedum adolphii 'Firestorm'	Golden Sedum	Low	18"
Senecio mandraliscae	Blue Dicks	Low	18"
Senecio serpens	Blue Chalksticks	Low	12"
Yucca filamentosa 'Bright Star'	Adam's Needle	Very Low	24"

*Water use information was determined by consulting UC Davis' Water Use Classification of Landscape Services Species (WUCOLS IV) <http://ucanr.edu/sites/WUCOLS/>

SHRUB PALETTE

OLD TOWN PLACENTIA

Placentia, CA



ATTACHMENT 2
EXHIBIT A

SHRUBS



Bougainvillea 'Rosenka'
Dwarf Bougainvillea



Callistemon 'Little John'
Dwarf Bottlebrush



Leucophyllum frutescens
Texas Ranger



Nandina domestica 'Nana'
Dwarf Heavenly Bamboo



Punica granatum 'Nana'
Dwarf Pomegranate



Raphiolepis i. 'Ballerina'
Dwarf Indian Hawthorne



Teucrium chamaedrys
Germander



Westringia frutescens
Coast Rosemary



Xylosma congestum
Shiny Xylosma

GROUNDCOVERS



Arctostaphylos 'Pacific Mist'
Pacific Mist Manzanita



Ceanothus 'Diamond Heights'
Diamond Heights Lilac



Gazania lin. 'Colorado Gold'
Sun Gold Gazania



Myoporum parvifolium
Myoporum



Rosmarinus off. 'Hunt, Carpet'
Trailing Rosemary

SUCCULENTS



Agave desmettiana
Variegated Smooth Agave



Aloe rudikoppe 'Little Gem'
Little Gem Aloe



Dasylirion wheeleri
Spoon Yucca



Sedum adolphii 'Firestorm'
Golden Sedum



Senecio serpens
Punk Pickle

SHRUB PALETTE IMAGERY

OLD TOWN PLACENTIA

Placentia, CA



ATTACHMENT 2
EXHIBIT A



Placentia City Council

AGENDA REPORT

TO: CITY COUNCIL

VIA: CITY ADMINISTRATOR

FROM: DEPUTY CITY ADMINISTRATOR / PUBLIC SERVICES & INFRASTRUCTURE

DATE: MARCH 5, 2024

SUBJECT: **COOPERATIVE AGREEMENT FOR THE YORBA LINDA BOULEVARD/WEIR CANYON ROAD CORRIDOR REGIONAL TRAFFIC SIGNAL SYNCHRONIZATION PROJECT**

FISCAL IMPACT: EXPENSE: \$160,134.98 CITY'S SHARE OF PROJECT COSTS
BUDGET: \$160,134.98 TO BE INCLUDED IN FY 24-25 CIP BUDGET

SUMMARY:

The Measure M2 Regional Traffic Signal Synchronization Program ("RTSSP") has identified over 2,000 signalized intersections across Orange County as critical to providing coordinated traffic signal synchronization to improve regional traffic flow and congestion relief. The Yorba Linda/Weir Canyon corridor is identified as a candidate project in the City's Local Signal Synchronization Plan. The Yorba Linda/Weir Canyon Corridor Project includes 48 traffic signals along this corridor between State College Boulevard in the City of Fullerton and Oak Canyon Drive in the City of Anaheim.

On May 9, 2022, the Orange County Transportation Authority (OCTA) approved funding for the Yorba Linda/Weir Canyon Corridor Project (the "Project"), which is a multi-jurisdictional Traffic Signal Synchronization Project between the City of Yorba Linda, acting as the lead agency for the Project, and the Cities of Anaheim, Fullerton, Placentia, and Caltrans. The budget for the Project is \$4,621,816.00, of which a total of \$3,697,452.80 is funded by OCTA. There is a project funding match for each of the participating Cities. The City of Placentia's contribution amounts to \$160,134.98.

RECOMMENDATION:

It is recommended that the City Council take the following actions:

1. Approve Cooperative Agreement for the Yorba Linda Boulevard/Weir Canyon Road Corridor Project Regional Traffic Signal Synchronization Program between the Cities of Yorba Linda, Anaheim, Fullerton, Placentia, and Caltrans; and
2. Authorize the City Administrator and/or his designee to execute the necessary documents, in a form approved by the City Attorney.

1.d.
March 5, 2024

STRATEGIC PLAN STATEMENT:

There is no specific strategic planning goal or objective associated with this agenda item.

DISCUSSION:

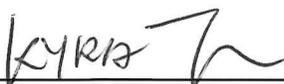
As part of the Measure M2 RTSSP, over 2,000 signalized intersections across Orange County are proposed to be improved in order to maintain traffic signal synchronization to improve traffic flow and provide congestion relief throughout the region. This project will improve traffic signal synchronization for 48 signalized intersections along Yorba Linda Boulevard and Weir Canyon Road between State College Boulevard in the City of Fullerton and Oak Canyon Drive in the City of Anaheim. In Placentia, the corridor starts at Bradford Avenue and it includes nine (9) signals.

The City of Yorba Linda has agreed to act as the lead agency for design, construction, and management of the project, under the proposed Cooperative Agreement. The scope of work includes procurement, installation of fiber optic cables, ADA-compliant pedestrian push buttons, controller cabinet upgrades, and traffic monitoring cameras at selected locations within the City of Placentia. The scope of work will also develop, implement, and fine tune coordinated signal timing plans for various peak traffic periods along the entire corridor with the ongoing monitoring and maintenance of the coordinated signal system's operation, including signal timing coordination and system communication maintenance for two (2) years. The budget for the project is \$4,621,816.00, of which a total of \$3,697,452.80 is funded by the OCTA's Project P/Regional Traffic Signal Synchronization Program.

FISCAL IMPACT:

The City's share of matching project funds amounts to \$160,134.98 and will be included in the Fiscal Year 2024-25 Capital Improvement Program Budget. The City has typically funded these projects with a combination of Citywide Traffic Development Impact Fees, AQMD Subvention Funds and General Fund Dollars. The City's cost share is not due to the City of Yorba Linda for at least four (4) years which is when the project and monitoring period is expected to be completed. Construction is not expected to begin on this project for at least two (2) years.

Prepared by:



Kyra Tao
Transportation Manager

Reviewed and approved:



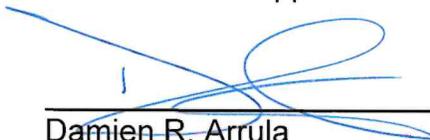
Jennifer Lampman
Director of Finance

Reviewed and approved:



Luis Estevez
Deputy City Administrator

Reviewed and approved:



Damien R. Arrula
City Administrator

Attachment:

Cooperative Agreement for the Yorba Linda Boulevard/Weir Canyon Road Corridor Project

**COOPERATIVE AGREEMENT
AMONG THE CITIES OF YORBA LINDA, ANAHEIM, PLACENTIA, AND FULLERTON
FOR THE YORBA LINDA BOULEVARD / WEIR CANYON ROAD CORRIDOR
TRAFFIC SIGNAL SYNCHRONIZATION PROJECT**

THIS COOPERATIVE AGREEMENT ("AGREEMENT") is made and entered into this _____ day of _____, 2024 ("Effective Date"), by and among the CITY OF YORBA LINDA, a municipal corporation ("YORBA LINDA"), the CITY OF ANAHEIM, a municipal corporation ("ANAHEIM"), the CITY OF PLACENTIA, a municipal corporation ("PLACENTIA"), and the CITY OF FULLERTON, a municipal corporation ("FULLERTON"). YORBA LINDA, ANAHEIM, PLACENTIA, and FULLERTON are collectively referred to herein as "CITIES" or individually as "CITY".

RECITALS

Whereas, YORBA LINDA applied for a grant from the Orange County Transportation Authority ("OCTA") as part of the Renewed Measure M (M2) Regional Traffic Signal Synchronization Program ("RTSSP") (Project P), aimed to coordinate traffic signals across multiple jurisdictions to enhance countywide traffic flow and reduce congestion (the "APPLICATION").

Whereas, the Yorba Linda Boulevard/Weir Canyon Road Traffic Signal Synchronization Project (the "PROJECT") was selected by OCTA as one of the RTSSP projects to be funded in Fiscal Year 2022-2023, based on the APPLICATION submitted by YORBA LINDA on behalf of CITIES.

Whereas, OCTA and YORBA LINDA entered into a Master Funding Agreement, effective August 1, 2022 (Agreement No. C-1-2789), defining the terms and conditions for approved Measure M2 projects.

Whereas, CITIES desire to initiate and implement the PROJECT, with YORBA LINDA as the lead agency.

Whereas, CITIES desire to enter into this AGREEMENT to demonstrate their commitment to improving traffic signal synchronization opportunities for Orange County and to develop and implement the PROJECT.

Whereas, CITIES desire to set specific terms, conditions, and funding responsibilities among the CITIES for the implementation of the PROJECT.

Whereas, CITIES acknowledge that other RTSSP corridor projects are currently underway or completed which intersect the PROJECT, and that these other RTSSP corridor timing operations must be incorporated into the design and completion of this PROJECT.

NOW, THEREFORE, it is mutually understood and agreed by the CITIES as follows:

1. TERM

This AGREEMENT shall commence on the Effective Date and continue in full force and effect until December 31, 2030.

2. SCOPE OF PROJECT

- A. The PROJECT includes improvements at forty-seven (47) traffic signals along Yorba Linda Boulevard and Weir Canyon Road as described in and at an estimated cost as set forth in the PROJECT APPLICATION attached as Exhibit "A" and incorporated herein by this reference.
- B. The PROJECT includes elements identified in the APPLICATION, including certain hardware and software upgrades to traffic controllers, traffic telecommunications, master controllers and associated systems (collectively referred to as "Traffic Control Elements"), and these Traffic Control Elements will be constructed and/or installed and implemented as part of the PROJECT as identified in the APPLICATION, attached as Exhibit "A."
- C. The PROJECT includes the development, implementation and fine-tuning of coordination signal timing for various peak periods for the forty-seven (47) traffic signals along Yorba Linda Boulevard and Weir Canyon Road, and the ongoing monitoring and maintenance of the coordinated signal system operation including timing coordination and system communication/detection upkeep for two years for the forty-seven (47) traffic signals along the PROJECT corridor.
- D. The PROJECT includes the review, implementation and maintenance of signal timing at forty (40) offset traffic signals, defined as signalized intersections situated within 2700' along the side streets of the PROJECT corridor signals.

3. SHARED RESPONSIBILITIES

- A. CITIES agree to coordinate the inclusion of other Traffic Control Elements and in-kind services to be integrated during the construction of the PROJECT that are not included in the PROJECT APPLICATION and that the applicable CITY will have the responsibility for verifying and coordinating during the course of the PROJECT. All costs associated with the inclusion of other Traffic Control Elements, if any, are the sole responsibility of the CITY owning each and any of those other elements during the PROJECT.
- B. CITIES agree to implement the PROJECT based on Exhibit "A," including a combined cash match of approximately Nine Hundred Twenty-Four Thousand, Three Hundred and Sixty-Three Dollars and Twenty Cents (\$924,363.20), which equals twenty percent (20%) of the PROJECT cost of Four Million, Six Hundred Twenty-One Thousand, Eight Hundred and Sixteen Dollars (\$4,621,816) split with the following cost contribution of cash and in-kind services as summarized in "Table 1" below.

TABLE 1

Yorba Linda Blvd/Weir Canyon Rd Corridor Project Cost Summary						
Agency	Project Cost			Local Agency In-Kind Match (@ 20%)		
	PI	O&M	PI + O&M	PI	O&M	PI + O&M
Fullerton	\$665,584.60	\$32,400.00	\$697,984.60	\$133,116.92	\$6,480.00	\$139,596.92
Placentia	\$761,074.90	\$39,600.00	\$800,674.90	\$152,214.98	\$7,920.00	\$160,134.98
Yorba Linda	\$2,213,367.03	\$104,400.00	\$2,317,767.03	\$442,673.41	\$20,880.00	\$463,553.41
Anaheim	\$760,389.48	\$45,000.00	\$805,389.48	\$152,077.90	\$9,000.00	\$161,077.90
Total:	\$4,400,416.00	\$221,400.00	\$4,621,816.00	\$880,083.20	\$44,280.00	\$924,363.20

OCTA 80% share: \$3,697,452.80

Notes: PI - Primary Implementation Phase

O&M - Operations and Maintenance Phase

CITIES agree the final PROJECT cost amounts and the corresponding local agency matches may vary and will be based on 20% of the actual PROJECT cost of implementing all timing, improvements, and maintenance, as identified in the PROJECT application. OCTA will fund the remaining 80% of the PROJECT cost estimated at Three Million, Six Hundred Ninety-Seven Thousand, Four Hundred and Fifty-Two Dollars and Eighty Cents (\$3,697,452.80).

- C. CITIES agree that unused PROJECT funds from one CITY may be used by another CITY (with matching fund responsibility) upon mutual written agreement of CITIES.
- D. In the event the cost of the PROJECT exceeds the estimates as submitted in the APPLICATION, YORBA LINDA shall meet with the affected CITY to determine revisions to the PROJECT. Any revisions necessitating an increase to the budget(s) or revised funding proposal(s) are subject to advanced written approval by the affected CITY. Any cost overruns shall be the financial responsibility of the jurisdiction where the work improvement occurs, or, causes the required improvement.
- E. CITIES agree to:
 - 1) Designate a technical lead person to act as the liaison for the PROJECT. The liaison and any other required personnel shall attend and participate in all PROJECT-related meetings and participate in the OCTA Traffic Forum.
 - 2) Participate, cooperate and coordinate with contractors, consultants, vendors and staff in good faith using reasonable efforts to resolve any unforeseen issues and disputes arising out of the PROJECT to the extent practicable with respect to the performance of the PROJECT.

- 3) Participate and support the PROJECT implementation within the timeframe outlined in the APPLICATION and consistent with OCTA's Comprehensive Transportation Funding Programs ("CTFP") Guidelines.
- 4) Provide YORBA LINDA with all current intersection, local field master, and/or central control system timing plans and related data upon request.
- 5) Identify and verify the upgrades to Traffic Control Elements to be constructed and installed as part of the PROJECT and as identified in the project application for each city.
- 6) Coordinate the inclusion of other Traffic Control Elements and in-kind services, where necessary, that CITIES require for the implementation of the PROJECT but are not included in the project application. Each CITY shall be responsible for the inclusion of such elements within reason.
- 7) Maintain PROJECT-related signals and telecommunications equipment with high priority during the PROJECT and be responsible for repair of the signal control systems in CITIES' own jurisdiction.
- 8) Provide on-site support for signal control systems, timing plans, detection systems and related equipment during construction, installation and integration, and be available to change or make adjustments to timing plans at a central or field location when necessitated by the PROJECT.
- 9) Waive all fees associated with any local agency permits that may be required of the consultant, sub-consultants, contractors and/or service or equipment providers in the performance of the PROJECT.
- 10) Document in-kind match or dollar match funding as identified in the project application and provide verification of such expenditures as part of any required review or audit process, which may include payroll records, contracts and purchase orders.

Documentation of CITIES' in-kind services, such as administrative services, design and construction-related services including equipment procurement of City-furnished PROJECT equipment and inspection, shall meet OCTA CTFP Guidelines.

- 11) Maintain and operate the forty-seven (47) traffic signals along Yorba Linda Boulevard/Weir Canyon Road and their respective improvements for a period of two (2) years following the completion of the Primary Implementation Phase of the PROJECT.

Review, implement and maintain signal timing at the forty (40) offset traffic signals for a period of two (2) years following the completion of the Primary Implementation Phase of the PROJECT.

4. RESPONSIBILITIES OF ANAHEIM, PLACENTIA, AND FULLERTON

A. ANAHEIM, PLACENTIA, and FULLERTON agree to the following responsibilities for implementation and funding of the PROJECT:

- 1) To designate YORBA LINDA as the Administering Agency for the PROJECT, authorizing YORBA LINDA to manage, procure and implement all aspects of the PROJECT.
- 2) To authorize YORBA LINDA to enter into a Cooperative Agreement on CITIES' behalf with the State of California Department of Transportation ("CALTRANS") to coordinate the implementation of Intelligent Transportation System (ITS) equipment and coordinated signal synchronization at intersections between city streets and State Highway System Off-Ramps (CALTRANS Improvements). Such Cooperative Agreement for General Traffic Signal Synchronization is required by CALTRANS. (This Section is not applicable to PLACENTIA.)
- 3) To reimburse YORBA LINDA for the costs of improvements and coordination attributable to CALTRANS Improvements in each ' CITY's jurisdiction. Payment shall be within thirty (30) days of receipt of invoice from YORBA LINDA. (This Section is not applicable to PLACENTIA.)
- 4) To authorize OCTA to distribute its grant allocation of approximately Three Million, Four Hundred Fifty-Eight Thousand, Six Hundred Forty-Nine Dollars and Sixty Cents (\$3,458,649.60) to YORBA LINDA in order to pool the CITIES' grant funds to effect completion of a more thorough PROJECT than could be accomplished by each CITY individually.
- 5) To contribute CITIES' match share of cash and in-kind services as set forth in Table 1, within Section 3.B, above. Payment shall be within thirty (30) days of receipt of invoice from YORBA LINDA.
- 6) To provide detailed documentation supporting any in-kind match set forth in Table 1, within Section 3.B, above, to the reasonable satisfaction of YORBA LINDA.

Documentation of CITIES' in-kind services, such as administrative services, design and construction-related services including equipment procurement of City-furnished PROJECT equipment and inspection, shall meet OCTA CTFP Guidelines.

- 7) To help develop the PROJECT scope, attend team meetings, and review all consultant and administrative reports pertaining to the scope of work in their individual jurisdictions.
- 8) To provide required updates as requested by OCTA as part of the semi-annual review process until the completion of the grant period. Documents to be provided include but

are not limited to payroll records, contracts, and purchase orders related to the PROJECT.

B. ANAHEIM may request to implement, within its own jurisdiction, Tasks 3 as listed in the Primary Implementation Phase as specified in Exhibit "A", in coordination with and the written approval of YORBA LINDA as follows:

- 1) Prior to YORBA LINDA granting approval of ANAHEIM's request, ANAHEIM shall initiate discussions with and obtain concurrence from OCTA.
- 2) ANAHEIM shall assume responsibility for the coordination, design, construction and integration of all field and Traffic Management Center elements in the assigned Tasks and according to the timeline as set forth in the APPLICATION.
- 3) ANAHEIM shall ensure its PROJECT Tasks are performed in accordance with OCTA's Comprehensive Transportation Funding Program Guidelines.
- 4) Any change in scope from Exhibit "A" or change in budget as outlined in Task 3.B as it pertains to any Tasks undertaken by ANAHEIM shall require prior written approval from YORBA LINDA.
- 5) ANAHEIM's responsibilities and the required timeline shall be set forth in a separate writing, signed by the designated project managers for ANAHEIM and YORBA LINDA.
- 6) Failure of ANAHEIM to perform Tasks 3 within the approved timeline and according to the approved scope may result in a loss of funding or costs deemed ineligible for reimbursement. Costs incurred by ANAHEIM that are deemed ineligible shall be the sole responsibility of ANAHEIM.
- 7) ANAHEIM shall fund the approved Tasks as the costs are incurred. ANAHEIM shall receive reimbursement for said Tasks after OCTA approves such expenses.

5. RESPONSIBILITIES OF YORBA LINDA

YORBA LINDA agrees to the following responsibilities for implementation and funding of the PROJECT:

- A. To manage the PROJECT for CITIES. YORBA LINDA shall act as the Administering Agency for the work for all CITIES. Within ten (10) days after this Agreement has been executed, YORBA LINDA will provide an executed copy of this Agreement to OCTA, pursuant to the terms and conditions set forth herein.
- B. To contribute its match share of cash as set forth in Table 1, within Section 3.B, above.

- C. To enter into any required Cooperative Agreement with CALTRANS regarding CALTRANS Improvements in CITIES; to comply with all the terms and conditions of said Cooperative Agreement; to pay invoices for such CALTRANS Improvements as required by CALTRANS; and to invoice CITIES in a timely manner with detailed documentation of said CALTRANS Improvements.
- D. To work cooperatively with CITIES; to ensure that CITIES have the opportunity to provide meaningful input into all phases of the PROJECT; to ensure that CITIES' staff has adequate time to review all draft reports, contracts, the proposed scope of work, and any other pertinent information; and to convene regular meetings of staff representatives from CITIES to provide a regular process of input from CITIES to the consultant team.
- E. To enter into an agreement with a qualified consultant and contractor to assist in the completion and monitoring of the PROJECT.
- F. To coordinate the work effort of the PROJECT, provide the day to-day management of the PROJECT, and manage all consultant and contractor administration and contracting. YORBA LINDA shall review and pay all consultant and contractor invoices accordingly after ensuring that the work has been satisfactorily performed.
- G. To provide ongoing maintenance and operation of optimized signal timing after the Primary Implementation phase of the PROJECT is completed and to continue such maintenance until the end of the grant period and provide verification of such activities as required by Measure M2 program funding.
- H. To comply with all of the terms and conditions of its Master Funding Agreement with OCTA, including the project reporting and auditing requirements contained therein.

6. MUTUAL INDEMNIFICATION

YORBA LINDA and the participating CITIES agree to indemnify, defend and hold harmless all PROJECT CITIES, their elected officials, officers, agents and employees from and against all claims (including attorney's fees and reasonable expenses for litigation and settlement) for any loss or damages, bodily injuries, damage to, or loss of property caused by negligent acts, omission or willful misconduct of the CITIES, their officers, agents and employees in connection with or arising out of the performance of this Agreement.

7. INSURANCE

- A. CITIES shall each maintain and keep in full force and effect during the term of this Agreement insurance or a program of self-insurance against claims for injuries to persons or damages to property which may arise in connection with CITIES' performance of their obligations hereunder.
- B. CITIES shall require their consultants and contractors performing work in connection with this Agreement to obtain and maintain the following minimum amount of insurance during the term of this Agreement as described below:

- 1) General liability insurance in the amount of \$1,000,000 per occurrence. Such insurance shall: (a) cover bodily injury, death and property damage; (b) name CITIES, and their elected officials, officers, employees, agents, volunteers and representatives as additional insured(s); and (c) be primary and not contributory with respect to insurance or self-insurance programs maintained by the CITY.
 - 2) Business automobile liability with a combined single limit of \$1,000,000. Said insurance shall cover bodily injury, death and property damage for all owned, non-owned and hired vehicles and be written on an occurrence basis.
 - 3) Workers' compensation insurance as required by law with any required employer's liability insurance with limits not less than \$1,000,000 per accident.
 - 4) Professional liability insurance covering errors and omissions arising out of the performance of this Agreement with a minimum limit of \$1,000,000 per claim. Contractor shall agree to keep such policy in force and effect for PROJECT duration.
- C. The insurance policies maintained by a consultant or contractor shall be primary insurance and no insurance held or owned by CITIES shall be called upon to cover any loss under the policy. A consultant or contractor will determine its own needs in procurement of insurance to cover liabilities other than as stated above.
- D. Before a consultant or contractor performs any work or prepares or delivers any materials, it shall furnish certificates of required insurance and endorsements to CITIES, evidencing the aforementioned minimum insurance coverages on forms acceptable to YORBA LINDA, which shall provide that the insurance in force will not be canceled or allowed to lapse without at least ten (10) days' prior written notice to CITIES.
- E. If a consultant or contractor maintains broader coverage and/or higher limits than the minimums described above, the CITIES shall require and shall be entitled to the broader coverage and/or higher limits maintained by the consultant or contractor.

8. **GENERAL PROVISIONS**

- A. Completed Agreement. This Agreement, including any attachments incorporated herein and made applicable by reference, constitutes the complete and exclusive statement of the terms and conditions of the agreement among CITIES and it supersedes all prior representations, understandings and communications among the parties.
- B. Representatives. YORBA LINDA, PLACENTIA and FULLERTON each designate their respective City Manager or his/her designee to be the representative of YORBA LINDA, PLACENTIA and FULLERTON respectively for purposes of this Agreement. ANAHEIM designates their Director of Public Works or his/her designee to be the representative of ANAHEIM for the purposes of this Agreement. The City Manager and Director of Public

Works respectively may issue all consents, approvals, directives, and agreements called for by this Agreement, except as otherwise expressly provided in this Agreement.

- C. Waiver. The delay or failure of any CITY at any time to require performance or compliance by the other of any of its obligations or agreements shall in no way be deemed a waiver of those rights to require such performance or compliance. No waiver of any provision of this Agreement shall be effective unless in writing and signed by a duly authorized representative of the CITY against whom enforcement of a waiver is sought. The waiver of any right or remedy in respect to any occurrence or event shall not be deemed a waiver of any right or remedy in respect to any other occurrence or event, nor shall any waiver constitute a continuing waiver.
- D. Severability. If any term, provision, covenant or condition of this Agreement is held to be invalid, void or otherwise unenforceable, to any extent, by any court of competent jurisdiction, the remainder of this Agreement shall not be affected thereby, and each term, provision, covenant or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law.
- E. Compliance with All Laws. CITIES shall comply with all applicable federal, state and local laws, statutes, ordinances and regulations of any governmental agency having jurisdiction over the PROJECT.
- F. Force Majeure. CITIES shall not be responsible for delays or lack of performance resulting from acts beyond their reasonable control. Such acts include, but are not limited to, any incidence of fire, flood, acts of God, commandeering of material, products, plants or facilities by the federal, state or local government, national fuel shortage, pandemic, and any other conditions beyond the reasonable control of any CITY.
- G. Assignment. Neither this Agreement, nor any of the CITIES' rights, obligations, or duties hereunder may be assigned in whole or in part by any CITY without the prior written consent of the other CITIES in their sole and absolute discretion. Any attempted assignment shall be deemed void and of no force and effect. Consent to one assignment shall not be deemed consent to any subsequent assignment, nor the waiver of any right to consent to such subsequent assignment.
- H. Governing Law. This Agreement shall be governed by and construed under the laws of the State of California and applicable local and federal laws, regulations and guidelines. In the event of any legal action to enforce or interpret this Agreement, the CITIES agree that the sole and exclusive venue shall be a court of competent jurisdiction located in Orange County, California.
- I. Attorneys' Fees. If litigation is brought by any CITY(IES) in connection with this Agreement, the prevailing CITY(IES) shall be entitled to recover from the opposing CITY(IES) all costs and expenses, including reasonable attorneys' fees, incurred by the prevailing CITY(IES) in the exercise of its rights and remedies hereunder or the enforcement of any of the terms, conditions, or provisions hereof.

- J. Notices. Any notices, requests, or demands made among the CITIES pursuant to this Agreement are to be directed as follows:

To YORBA LINDA:

City Clerk
City of Yorba Linda
4845 Casa Loma Ave
Yorba Linda, CA 92886

To ANAHEIM:

City Clerk
City of Anaheim
200 S. Anaheim Blvd.
2nd Floor, Room 217
Anaheim, CA 92805

To PLACENTIA:

City Clerk
City of Placentia
401 E. Chapman Ave.
Placentia, CA 92870

To FULLERTON:

City Clerk
City of Fullerton
303 W. Commonwealth Ave.
Fullerton, CA, 92832

- K. Order of Precedence. In the event of an inconsistency between this Agreement and the attached Exhibit, the terms set forth in this Agreement shall prevail. If, and to the extent this Agreement incorporates by reference any provision of any document, such provision shall be deemed a part of this Agreement. Nevertheless, if there is any conflict among the terms and conditions of this Agreement and those of any such provision or provisions so incorporated by reference, this Agreement shall govern over the document referenced.
- L. Headings. Paragraphs and subparagraph headings contained in this Agreement are included solely for convenience and are not intended to modify, explain or to be a full or accurate description of the content thereof and shall not in any way affect the meaning or interpretation of this Agreement.
- M. Construction. The CITIES have participated jointly in the negotiation and drafting of this Agreement. In the event an ambiguity or question of intent or interpretation arises with respect to this Agreement, this Agreement shall be construed as if drafted jointly by the CITIES and in accordance with its fair meaning. There shall be no presumption or burden of proof favoring or disfavoring any CITY by virtue of the authorship of any of the provisions of this Agreement.
- N. Amendments. Only a writing executed by the CITIES hereto or their respective successors and assigns may amend this Agreement.
- O. Counterparts of Agreement. This Agreement may be executed and delivered in any number of counterparts, each of which, when executed and delivered shall be deemed an original and all of which together shall constitute one agreement.
- P. Corporate Authority. The persons executing this Agreement on behalf of the CITIES hereto warrant that they are duly authorized to execute this Agreement on behalf of said

CITIES and that by doing so the CITIES hereto are formally bound to the provisions of this Agreement.

IN WITNESS WHEREOF, CITIES have caused this Agreement to be executed by and through their respective authorized officers, as of the date first above written.

[SIGNATURES ON FOLLOWING PAGE]

CITY OF YORBA LINDA,
a California municipal corporation

Mark A. Pulone
City Manager

ATTEST:

Marcia Brown
City Clerk

APPROVED AS TO FORM:

Todd O. Litfin
City Attorney

RECOMMENDED FOR APPROVAL:

Jamie Lai
Director of Public Works/City Engineer

CITY OF ANAHEIM,
a California municipal corporation

Ashleigh Aitken
Mayor

ATTEST:

Theresa Bass
City Clerk

APPROVED AS TO FORM:

Bryn M. Morley
Deputy City Attorney

CITY OF PLACENTIA,
a California municipal corporation

Damien R. Arrula
City Administrator

ATTEST:

Robert S. McKinnell
City Clerk

APPROVED AS TO FORM:

Christian L. Bettenhausen
City Attorney

CITY OF FULLERTON,
a California municipal corporation

Eric Levitt
City Manager

ATTEST:

Lucinda Williams
City Clerk

APPROVED AS TO FORM:

Richard D. Jones
City Attorney

LIST OF CONTACTS

City of Yorba Linda – Lead Agency

4845 Casa Loma Avenue
Yorba Linda, CA 92886
Tony Wang, PE, TE, PTOE
Traffic Engineering Manager
twang@yorbalinda.gov
(714) 961-7184

City of Anaheim

200 South Anaheim Boulevard
Anaheim, CA 92805
John Thai, EE
Principal Traffic Engineer
jthai@anaheim.net
(714) 765-5202

City of Placentia

401 E. Chapman Avenue
Placentia, CA 92870
Luis Estevez
Director of Public Works
lestevezc@placentia.org
(714) 993-8120

City of Fullerton

303 W. Commonwealth Avenue
Fullerton, CA 92838
Stephen Bise
City Engineer/Asst. Public Works Director
stephen.bise@cityoffullerton.com
(714) 738-6852

Caltrans District 12

6681 Marine Way
Irvine, CA 92618
Shivinderjit Singh
Branch Chief – Electrical
shivinderjit.singh@dot.ca.gov
(949) 936-3464

EXHIBIT A

City of Fullerton

Number of Signals: 12

Project Tasks (Fullerton)	Cost / Int	Total Cost	Match	
			Cash	In-Kind
Task 1: Project Management - PI Phase	\$ 1,000.00	\$ 7,000.00	\$ 1,400.00	
Task 2: Data Collection	\$4,000.00	\$ 28,000.00	\$ 5,600.00	
Task 3: System Design and Construction	-	\$ 584,784.60	\$ 116,956.92	\$ -
Task 4: Signal Timing Optimization and Implementation	\$5,000.00	\$ 39,500.00	\$ 7,900.00	
Task 5: Project Report	\$ 900.00	\$ 6,300.00	\$ 1,260.00	
Task 6: Project Management - O&M Phase	\$ 300.00	\$ 2,100.00	\$ 420.00	
Task 7: Continuing Support	\$3,600.00	\$ 28,200.00	\$ 5,640.00	
Task 8: Final Technical Memorandum	\$ 300.00	\$ 2,100.00	\$ 420.00	
PI M2 Request:	\$ 532,467.68	Total Project Cost:	\$ 697,984.60	\$ 139,596.92
O&M M2 Request:	\$ 25,920.00	Total M2 Request:	\$ 558,387.68	Total Match: \$ 139,596.92

City of Placentia

Number of Signals: 18

Project Tasks (Placentia)	Cost / Int	Total Cost	Match	
			Cash	In-Kind
Task 1: Project Management - PI Phase	\$ 1,000.00	\$ 8,000.00	\$ 1,600.00	
Task 2: Data Collection	\$4,000.00	\$ 32,000.00	\$ 6,400.00	
Task 3: System Design and Construction	-	\$ 664,874.90	\$ 132,974.98	\$ -
Task 4: Signal Timing Optimization and Implementation	\$5,000.00	\$ 49,000.00	\$ 9,800.00	
Task 5: Project Report	\$ 900.00	\$ 7,200.00	\$ 1,440.00	
Task 6: Project Management - O&M Phase	\$ 300.00	\$ 2,400.00	\$ 480.00	
Task 7: Continuing Support	\$3,600.00	\$ 34,800.00	\$ 6,960.00	
Task 8: Final Technical Memorandum	\$ 300.00	\$ 2,400.00	\$ 480.00	
PI M2 Request:	\$ 608,859.92	Total Project Cost:	\$ 800,674.90	\$ 160,134.98
O&M M2 Request:	\$ 31,680.00	Total M2 Request:	\$ 640,539.92	Total Match: \$ 160,134.98

City of Yorba Linda

Number of Signals: 36

Project Tasks (Yorba Linda)	Cost / Int	Total Cost	Match	
			Cash	In-Kind
Task 1: Project Management - PI Phase	\$ 1,000.00	\$ 23,000.00	\$ 4,600.00	
Task 2: Data Collection	\$4,000.00	\$ 92,000.00	\$ 18,400.00	
Task 3: System Design and Construction	-	\$1,950,967.03	\$ 390,193.41	\$ -
Task 4: Signal Timing Optimization and Implementation	\$5,000.00	\$ 126,700.00	\$ 25,340.00	
Task 5: Project Report	\$ 900.00	\$ 20,700.00	\$ 4,140.00	
Task 6: Project Management - O&M Phase	\$ 300.00	\$ 6,900.00	\$ 1,380.00	
Task 7: Continuing Support	\$3,600.00	\$ 90,600.00	\$ 18,120.00	
Task 8: Final Technical Memorandum	\$ 300.00	\$ 6,900.00	\$ 1,380.00	
PI M2 Request:	\$ 1,770,693.62	Total Project Cost:	\$2,317,767.03	\$ 463,553.41
O&M M2 Request:	\$ 83,520.00	Total M2 Request:	\$1,854,213.62	Total Match: \$ 463,553.41

City of Anaheim

Number of Signals: 21

Project Tasks (Anaheim)	Cost / Int	Total Cost	Match	
			Cash	In-Kind
Task 1: Project Management - PI Phase	\$ 1,000.00	\$ 9,000.00	\$ 1,800.00	
Task 2: Data Collection	\$4,000.00	\$ 36,000.00	\$ 7,200.00	
Task 3: System Design and Construction	-	\$ 652,989.48	\$ 130,597.90	\$ -
Task 4: Signal Timing Optimization and Implementation	\$5,000.00	\$ 54,900.00	\$ 10,980.00	
Task 5: Project Report	\$ 900.00	\$ 8,100.00	\$ 1,620.00	
Task 6: Project Management - O&M Phase	\$ 300.00	\$ 2,700.00	\$ 540.00	
Task 7: Continuing Support	\$3,600.00	\$ 39,000.00	\$ 7,800.00	
Task 8: Final Technical Memorandum	\$ 300.00	\$ 2,700.00	\$ 540.00	
PI M2 Request:	\$ 608,791.58	Total Project Cost:	\$ 805,389.48	\$ 161,077.90
O&M M2 Request:	\$ 35,520.00	Total M2 Request:	\$ 644,311.58	Total Match: \$ 161,077.90



Placentia City Council

AGENDA REPORT

TO: CITY COUNCIL

VIA: CITY ADMINISTRATOR

FROM: DEPUTY CITY ADMINISTRATOR / ADMINISTRATION

DATE: MARCH 5, 2024

SUBJECT: **REVIEW AND ADOPT PROPOSED UPDATES TO THE COMMITTEE, COMMISSION AND ADVISORY BOARD MANUAL FOR CALENDAR YEAR 2024**

FISCAL IMPACT: NONE

SUMMARY:

Based on the approved Five-Year Strategic Plan adopted by the City Council on May 10, 2022, the goals and objectives included Goal 8: to Improve City Governance by updating the Administrative Policy Manual for Ad Hoc Committees. Per this direction, the City retained the services of Kelly Associates Management Group to assist with updating the Committee, Commission and Advisory Board Manual to reflect Council's direction for improved communications as well as better defined roles and responsibilities for board and commission members. The Committee, Commission and Advisory Board Manual was initially adopted by the City Council in 1982 and has subsequently received six amendments, with the latest adoption occurring in 2009. On November 21, 2023, the City Council held a Study Session to review the updated Manual and provided recommendations and changes to the Manual. On February 20, 2024 the City Council reviewed the updates to the Committee, Commission and Advisory Board Manual for the 2024 calendar year. The City Council requested Staff to review the Placentia Community Foundation and its composition. Based on the Bylaws of the Placentia Community Foundation, the Committee, Commission and Advisory Board Manual has been revised to reflect the current composition of the Placentia Community Foundation. This action approves the revised Committee, Commission and Advisory Board Manual for the 2024 calendar year.

RECOMMENDATION:

It is recommended that the City Council take the following action:

1. Adopt Resolution No. R-2024-08, "A Resolution of the City Council of the City of Placentia Adopting the Updated Committee, Commission and Advisory Board Manual for Calendar Year 2024 and Eliminating Various Disbanded Advisory Boards."

1.e.
March 5, 2024

STRATEGIC PLAN STATEMENT:

This item is consistent with the City Council approved 5-Year Strategic Goal to:

Improve City Governance, as Objective Number 8.4 to update the Administrative Policy Manual for Ad-Hoc Committees. This agenda item will specifically result in updating the Committee, Commission and Advisory Board Manual in line with best practices for public involvement under state and local laws.

DISCUSSION:

Based upon the approved Five-Year Strategic Plan adopted by the City Council on May 10, 2022, the goals and objectives included Goal 8: to Improve City Governance by updating the Administrative Policy Manual for Ad-Hoc Committees. Per this direction, the City retained the services of Kelly Associates Management Group to assist with updating the manual to reflect Council's direction for improved communications as well as better defined roles and responsibilities for board and commission members.

On February 20, 2024 the City Council reviewed the updates to the Committee, Commission and Advisory Board Manual for the 2024 calendar year. The City Council requested Staff to review the Placentia Community Foundation and its composition. The Placentia Community Foundation was established on October 22, 2009 by the State of California as a California Nonprofit Public Benefit Corporation. In 2017, the Bylaws of the Placentia Community Foundation were updated. Article VIII, Board of Directors, describes the composition of the Board which includes the following statement:

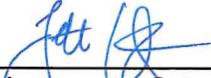
- The Placentia Community Foundation Board of Directors (Board of Directors) shall consist of eight (8) individuals, who shall be appointed At-Large by the Board of Directors. In addition to the eight (8) At-Large board members, the Mayor of the City of Placentia, or his/her designee, shall serve as a non-voting ex-officio member of the Board of Directors, representing the interests of the Placentia City Council. The Placentia City Treasurer shall also serve as a non-voting ex-officio member of the Board of Directors.

In addition, the Placentia Community Foundation meets regularly at 8:30 a.m. on the fourth Monday of every month. The Placentia Community Foundation's purpose is to undertake fundraising activities and provide grants and other aid to charitable endeavors on behalf of and in the City of Placentia. The Placentia Community Foundation shall accomplish its purpose by seeking to improve cultural, educational, and recreational programs offered by the City, and also by seeking to preserve, protect and enhance the quality of life for residents through helping to support, establish and fund other local non-profit organizations that will directly benefit the Placentia community.

The Bylaws also state, "Until the Foundation is financially able to provide this function on its own, the City shall assign a City Staff member to serve as the Executive Secretary to the Board of Directors, with no voting privileges. The Executive Secretary shall assist with administrative functions of the Board of Directors, keep minutes, and maintain all original documents. The Foundation shall assign these duties to its own staff member, once it is financially able to do so." The Director of Community Services and/or designated staff member(s) is currently assigned as the Executive Secretary.

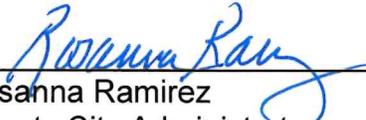
This information has been included in the revised Committee, Commission and Advisory Board Manual for the 2024 calendar year. Annual reviews of the Manual will be conducted by City Staff should the need arise to make Council amendments.

Prepared by:



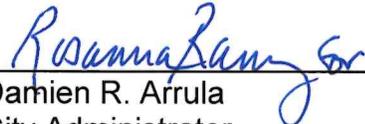
Jeannette Ortega
Deputy Director of Administrative Services

Reviewed and approved:



Rosanna Ramirez
Deputy City Administrator

Reviewed and approved:



Damien R. Arrula
City Administrator

Attachments:

1. Resolution No. R-2024-08
2. Bylaws of the Placentia Community Foundation

RESOLUTION NO. R-2024-08

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, ADOPTING THE UPDATED COMMITTEE COMMISSION AND ADVISORY BOARD MANUAL FOR CALENDAR YEAR 2024 AND ELIMINATING VARIOUS DISBANDED ADVISORY BODIES.

A. Recitals.

(i). Local government works best when community members and government make decisions collaboratively. Robust public engagement is essential to sustaining this partnership.

(ii). The City of Placentia depends on many boards, commissions, and advisory committees to gather information, weigh public opinion, and examine issues in depth in order to render a sound recommendation to the Council.

(ii). The City of Placentia has a variety of advisory bodies (boards, commissions and committees) that provide valuable guidance to the City Council on a wide variety of topics.

(iii). The City has updated its Committee Commission and Advisory Board Manual for the establishment and dissolution of advisory bodies, including updating its existing list of advisory bodies.

(iv). Council-approved guidelines advance meaningful public involvement, provide consistency and clarity on the role of advisory bodies and give community members greater confidence in the value of their service.

(v). The City Council of the City of Placentia previously adopted Ordinance No. O-2009-0, which authorizes the approval of adopting resolutions for policies, rules and regulations pertaining to advisory bodies.

(vi). The updated Committee Commission and Advisory Board Manual for calendar year 2024 is applicable to all advisory bodies established by the City Council.

(vii). The City Council desires to clarify the authority of the various advisory bodies as set forth in an updated Advisory Board Manual, eliminate certain disbanded advisory bodies, and rescind all previous resolutions and minute orders regarding the establishment or operation of all advisory bodies, commissions, boards and committees to the extent they are inconsistent with the updated Committee Commission and Advisory Board Manual.

B. Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

1. In all respects as set forth in the Recitals, Part A., of this Resolution.
2. This legislative body declares that the City has taken affirmative steps to update the Committee Commission and Advisory Board Manual in line with best practices for public involvement under state and local laws and hereby adopts the updated Committee Commission and Advisory Board Manual attached as Exhibit A.
3. The following advisory bodies are hereby eliminated:
 - a. ADVISORY COMMITTEE ON THE DISABLED
 - b. CIVIC CENTER AUTHORITY
 - c. CITIZENS FISCAL SUSTAINABILITY TASK FORCE
 - d. GENERAL PLAN STEERING COMMITTEE
 - e. PUBLIC SAFETY FACILITY AD-HOC COMMITTEE
 - f. RECREATIONAL VEHICLE PARKING AD-HOC COMMITTEE
 - g. YORBA LINDA WATER/GOLDEN STATE WATER DISTRICT
 - h. CITYWIDE FIBER OPTIC AND SMART CITY COMMITTEE
4. All previous resolutions and minute orders regarding the establishment or operation of all advisory bodies, commissions, boards and committees are hereby rescinded to the extent they are inconsistent with the provisions of Exhibit A.
5. The Mayor shall sign this resolution, and the City Clerk shall attest and certify to the passage and adoption thereof.

PASSED, ADOPTED AND APPROVED this 5th day of March 2024.

Jeremy Yamaguchi, Mayor

Attest:

Robert S. McKinnell, City Clerk

STATE OF CALIFORNIA
COUNTY OF ORANGE

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing resolution was adopted at a regular meeting of the City Council of the City of Placentia held on the 5th day of March 2024 by the following vote:

AYES:	Councilmembers:
NOES:	Councilmembers:
ABSENT:	Councilmembers:
ABSTAIN:	Councilmembers:

Robert S. McKinnell, City Clerk

Approved as to Form:

Christian L. Bettenhausen, City Attorney

Exhibit A: Committee Commission and Advisory Board Manual for the 2024 Calendar Year

CITY OF PLACENTIA

COMMITTEE COMMISSION & ADVISORY BOARD

MANUAL



City of Placentia
401 E. Chapman Avenue
Placentia, CA 92870
www.placentia.org





MISSION STATEMENT

The City Council is committed to keeping Placentia a pleasant place by providing a safe family atmosphere, superior public services and policies that promote the highest standards of community life.

VISION STATEMENT

The City of Placentia will maintain an open, honest, responsive and innovative government that delivers quality services in a fair and equitable manner while optimizing available resources.

CITY FACTS

Incorporated in 1926, Placentia has grown to over 51,000 residents. Operating as a Charter City since 1965, the City is governed by a five-member City Council which is elected by the people from five districts for four-year terms. The City Council establishes policies, makes laws and ordinances, and generally carries out the powers given to them in the Charter. The City Council appoints a City Administrator that functions as a Chief Executive Officer for the City of Placentia.

Placentia's size is 6.6 square miles

Compiled by the Office of the City Clerk
of the
City of Placentia

ADOPTED BY THE CITY COUNCIL

6/1982

REVISIONS

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I. INTRODUCTION

This Committee Commission and Advisory Board Manual has been prepared in order to provide initial orientation for new members of advisory bodies to the City Council. The obligations of these positions are great, and it is hoped that this Manual will ease the assumption of these responsibilities.

For convenience and brevity, all references to commissions hereafter include all advisory bodies, whether officially designated as a board, commission, committee or Ad-Hoc committee. In all instances, appointment to such a body, regardless of its formal designation, is both an honor and a heavy responsibility. Not only does it signify the confidence of the City Council in the member's wisdom and judgment, but places upon the member the attendant duties of regular attendance at meetings and consistent working and voting towards an implementation of the general public interest. Such a change is, at times, not easily borne and necessary decisions not easily made.

Notwithstanding the self-discipline required in public service, each advisory body member may take considerable pride in being an integral part of the process which contributes to the sound government of this City, and for this service the City Council is most appreciative. Both the challenges and rewards before you are great. The following pages of this Manual are an introduction to the circumstances within which an appointed commissioner must meet these challenges.

As stated in the Code of Ethics and Conduct Policy adopted by the City Council on November 15, 2023, the citizens served by the City of Placentia are entitled to elected City Council Members, appointed officials, City employees, and members of commissions, boards and committees who are fair, ethical, and accountable. Such Council Members and related parties are required to pledge to this Code and shall constantly seek to reflect the following qualities:

- They comply with both the letter and the spirit of the laws and policies affecting operations of the City of Placentia;
- They are independent, impartial, and fair in their judgment and actions;
- They use their public office for the public good, not for personal gain; and
- They conduct public deliberations and processes openly, unless legally confidential, in an atmosphere of respect, civility and transparency.

II. THE STRUCTURE OF GOVERNMENT

A. FORM OF GOVERNMENT

Generally, there are two sources of power by which California cities govern themselves. One of these is to adopt, through the election process, a Charter or Constitution which sets forth the basis and authority for all future actions not in contradiction with preemptive State law. The other of these is to adhere to the provisions and requirements established as general law by the State for cities. Placentia falls within the first category and is classified as a Charter City. The Placentia Charter was adopted by the voters in 1965. Copies of the Placentia Charter are available from the City Clerk's Office or on the City's website.

The citizens have chosen a Council-Manager form of government. Under this form of government, the City Council develops a long-range vision for the City's future and establishes policies that affect the overall operation of the community. To ensure that these policies are carried out and that the community is equitably served, the City Council appoints a nonpartisan City Administrator to run the organization.

B. CITY COUNCIL

There are five elected members of the City Council. They are elected to serve four-year overlapping terms. The City Council elects the Mayor and Mayor Pro Tem to serve one-year terms. The Mayor is the presiding officer of the Council.

The City Council is the governing body of the City. It is vested with broad powers in areas of legislative policy, budgetary adoption and establishment of service levels. The City Council, elected from five districts established by Ordinance, represents the entire community, and serves as the Placentia City Council, Placentia City Council as Successor to the Placentia Redevelopment Agency, Placentia Industrial Commercial Development Authority and Placentia Public Financing Authority.

It is not possible for each Councilmember to know all pertinent factors of every given situation or to devote sufficient time to gather them. For counsel and advice on the practical application of established policy, reliance is placed on the service of interested citizens appointed to the various commissions. For technical and administrative assistance, both the Council and the commissions refer to a paid City staff and the City Attorney.

C. COMMISSIONS, BOARDS AND COMMITTEES

There are two types of advisory bodies. One is established by the City Charter or by ordinance and is of a permanent nature. The duties, responsibilities, and scope of authority are as set forth in the enabling document. The other is created by a resolution or minute order of the Council to serve a particular function and may be established for a specified time.

In both instances the primary purpose of these bodies is to gather information, weigh public opinion, and examine issues in depth in order to render a recommendation to the Council. From time to time, it is possible for such body to take independent action. These situations, however, are subject to prescriptions of the City Charter, Municipal Code, or State law and limited to specific actions set forth therein.

An Ad-Hoc Committee may be created for a limited duration to address or help resolve an issue, develop ideas and make recommendations to the City Council. The Ad-Hoc Committee is a temporary group of people who are brought together to perform a specific task. When an Ad-Hoc Committee is created, its members are assigned specific roles and responsibilities. The members should provide a diverse set of perspectives when gathering information, researching the information and making a clear and sound recommendation to the City Council. Once the Ad-Hoc Committee provides a final report to the City Council, the Ad Committee is dissolved.

A brief description of commissions, boards and committees, and their primary functions, are contained in the appendix. Additional information is available from the City Clerk's Office.

D. OFFICERS, DEPARTMENTS, AND STAFF

City Administrator: Responsibility and authority for the administration of the City's government rests with the City Administrator. He/she is appointed by, and serves at the pleasure of the Council. He/she appoints department heads and employees necessary to assist them in the conduct of their duties.

City Attorney: In addition to the City Administrator, the City Council appoints the City Attorney. The City Attorney is retained to advise the Council on questions of law in those matters coming before them and to represent the City in other actions to which it is a party or as otherwise may be requested.

City Clerk: The position of the City Clerk is an elected office established by the City Charter. The City Clerk attends all meetings of the City Council, unless excused, and records and maintains a full and true record of all proceedings of the City Council. The Clerk maintains ordinance and resolution books, is the custodian of the seal of the City, administers oaths or affirmations, takes affidavits and depositions pertaining to the affairs and business of the City, and certifies copies of official records.

City Treasurer: The position of City Treasurer is an elected office established by the City Charter. The City Treasurer is the custodian of all public funds belonging to or under the control of the City.

Departments: The administrative branch of Placentia's government consists of functions and activities within the following departments: Administration, Finance, Public Works/Engineering, Police, Fire and Life Safety, Community Services, and Development Services.

Department Directors, under the direction of the City Administrator, are responsible for the efficient and effective operation of the functions assigned to them. By virtue of their technical training and experience, they are assigned to provide staff assistance as needed to the advisory bodies. Advisory bodies have no authority to supervise or direct the work of a department. This is done only through the City Administrator.

III. MEMBERSHIP

A. APPOINTMENTS

1. To Commissions

After application and interview, commission appointments are made by a majority vote of the Council for a specified term. Memberships and terms are set by Ordinance or Resolution and is usually four years.

Each member must be administered the oath of office by the City Clerk, City Attorney, Commission secretary, or a member of the commission. Each commission member is required to complete a Statement of Economic Interest form, AB1234 Ethics Training, payroll forms required by Human Resources, attend the mandatory annual orientation and training and adhere to the Code of Ethics and Conduct adopted by the City Council on November 15, 2022.

2. To Boards, Committees and Ad-Hoc Committees

Appointment to boards and committees varies based on Council established guidelines. Requirements for each board and committee varies dependent upon responsibilities and duties.

B. RESIGNATIONS AND REMOVALS

In the event a member is unable to continue serving because of health, business requirements or personal reasons, a formal letter of resignation should be submitted to the City Council by way of the City Clerk's office or the respective Department.

The position of any member is automatically vacated under the following circumstances:

1. A member ceases to meet the qualifications for office.
2. A member's resignation is accepted by the City Council.
3. A majority of the City Council removes the member from a commission, board or committee.
4. A member is absent from three (3) consecutive meetings of the commission, board or committee except when excused for illness or being out of the City.

C. VACANCIES

Commission and Advisory Board vacancies are filled by appointment of the City Council. Appointments made during a term shall be for the unexpired portion of the term of the vacant position.

IV. OFFICERS AND STAFF

A. OFFICERS

In July of each year, each commission, board and committee will elect from among its membership a chairperson and a vice-chairperson. The term is for one year. It is the duty of the chairperson to preside over meetings and to act as the formal representative to the Council. The vice-chairperson assumes chairperson responsibilities in the absence of the chairperson.

C. STAFF AND SECRETARIAL SERVICES AND RECORDS

A staff liaison or secretary may be assigned by the City Administrator to provide assistance to the commission, board or committee, if appropriation for this is made by the City Council. The minutes and other official records of a commission are public records and must be filed with the City Clerk.

D. EXPENSES

Necessary meeting space and equipment will be made available to the commission, board or committee. Additional work areas may be arranged through the commission secretary or other assigned City Staff, when special projects so require. If a budget is provided, the commission, board or committee is required to operate within budgetary limitations, with all expenditures requiring prior approval and documentation.

E. TRAVEL & MEETING ALLOWANCES - COMMISSIONERS

Attendance by commissioners at pertinent meetings, seminars or conferences is subject to prior City Council approval. The chairperson, vice-chairperson, and one additional commissioner are permitted to attend conferences. For the third attendee, the commissioner with the highest seniority has the first opportunity to attend a conference; and the commissioner with the second highest seniority may attend the second conference; and so on until all commissioners have attended a conference. The process then starts over again with the person with the highest seniority. In the event any of the three members should be unable to attend a conference, another commissioner shall be afforded the opportunity, again based on seniority. (City Policy No. 344)

Notwithstanding the above, a commissioner must have attended 75% of the regular commission meetings during the six months prior to the conference in order to attend. Conferences are limited to those held within the State of California. Travel expenses are provided per City policy on the same basis as provided for management staff subject to budget approval.

V. MEETINGS, AGENDAS, MINUTES AND PROCEDURE

A. REGULAR MEETINGS

Commissions, boards and committees should establish meetings as required for the purpose of the body. Meetings shall be open to the public. All such meetings are generally held in City Hall, but may be adjourned from time to time to meet elsewhere within the City for specific purposes.

Agendas and minutes shall be prepared, posted and maintained in accordance with all laws and policies of the State of California and the City.

B. ADJOURNED MEETINGS

If for any reason, the business to be considered at a regular meeting cannot be completed, the commission, board or committee then may designate a time and date for an adjourned meeting. Any matter to have been considered at the regular meeting may be processed at an adjourned meeting. But in order to so adjourn, it is necessary that this be announced to the public present at the time of adjournment and so recorded in the minutes. A notice of an adjourned meeting shall be prepared and posted as required by law.

C. SPECIAL MEETINGS

A special meeting may be called by the chairperson or a majority of the members. Care must always be taken when this is done so that adequate advance notice is given. Such notice requires that all interested parties be notified and a notice be posted at least 24 hours in advance of the special meeting. Interested parties include the City Council, the City Clerk, all members of the commission, board or committee and those news media who have filed a written request. The notice must contain the time and place for such a meeting and the specific subject matter(s) to be considered. Introduction of other items at a special meeting is prohibited.

D. SUBCOMMITTEES

The chairperson may appoint special subcommittees of less than a quorum of the commission who then may meet at the convenience of the subcommittee members to carry out the purpose of the subcommittee. Subcommittees may meet without public

notice or input. However, any recommendation of a subcommittee shall be presented for discussion and vote at a public meeting of the commission, board or committee.

E. QUORUM

A quorum consists of a majority of the members of any one body. A quorum is required for the conduct of business at any meeting whether it is a regular, adjourned or special meeting. Members are expected to be present at all meetings, however, should a member know in advance that attendance would be impossible, the member should notify the commission secretary or chairperson as soon as possible.

In the event a majority of the commissioners scheduled to meet will not be present to establish a quorum, the City Administrator's office, City Councilmembers and representatives of the news media who have filed written requests for same should be notified by telephone or e-mail. A notice should be posted indicating the meeting cancellation or adjournment due to a lack of a quorum. The date and time of the adjourned meeting should be included on the posted notice.

F. AGENDAS

Each commission, board or committee has an assigned staff liaison serving as secretary. The secretary is responsible for the preparation and distribution of an agenda and supporting documents prior to each meeting. Agendas must be posted 72 hours before a regular meeting.

Materials for an agenda are submitted to the secretary no later than five (5) days prior to the meeting. Agendas, with supporting documents, are available for pick up by members at least three (3) days prior to the actual day of the meeting. Supporting documents include, but are not limited to, reports, memoranda, maps, photographs and correspondence.

Commission, board and committee members, the Council and the news media should be kept well informed of all matters to be discussed at a public meeting. While it is recognized that there may be exceptions to the rule, the persons responsible for preparing an agenda should make every effort to see that items to be discussed are carried on the agenda. Only those items appearing on the agenda should be considered at each meeting. However, on two-thirds vote of those members present or unanimous vote if less than two-thirds of the members are present, may allow other items to be introduced and action taken, if urgency exists and delay would be harmful to the public interest.

G. MINUTES

Minutes are taken of all commission, board and committee meetings, transcribed and usually mailed out or e-mailed with the next agenda to the members, Councilmembers, and representatives of the news media who file written requests for same.

The approved minutes are the vehicle through which the commission, board or committee as a whole or its individual members express their interest or opinion. The minutes are submitted to the City Council and placed on file with the City Clerk for public access. While other avenues exist for communication of interest or opinion, the meeting minutes remain the official document of record.

H. PROCEDURE

Robert's Rules of Order

Each commission, board or committee may adopt such rules and procedures as it feels necessary to accomplish its duties. Such rules are subject to City Council approval before becoming effective. In the absence of such rules, the guidelines on parliamentary procedure contained in Robert's Rules of Order Newly Revised (RRONR) will be followed. The RRONR provides a useful set of rules of conduct of meetings. The goal of the rules is to permit each member of the body an opportunity to be heard and to provide an orderly process for decision-making. A brief description of the parliamentary process used by RRONR follows.

A MOTION is a proposal that the body take a certain action or "go on the record" as having taken a certain stand on an issue. Motions need to be concise and should be stated positively (e.g., "I move to deny..." rather than "I move to not approve..."). The motion needn't contain its rationale. Sometimes makers of motions give their reasons for the proposal as if it were part of the motion. The integration of debate into the motion tends to confuse the proceedings.

Once a motion is made, it must be SECONDED. If it is not seconded, it dies without any debate. If seconded, the motion may be DEBATED, unless there is no debate or it is a type of motion, which is not subject to debate. Finally, following debate (if any), the motion is subjected to a VOTE.

A motion must be in ORDER for the body to entertain it. That means that the motion must relate to the business at hand and be presented at the appropriate time. In addition, the practice of "friendly amendments," which are offered to the maker of the motion, and which, if accepted by the maker and the seconded, effectively amend the motion without the formality of a separate motion.

The most important element in the RRONR may be that everyone know and understand the rules in advance. After all, rules of procedure are intended to facilitate, not complicate, the transaction of business.

VI. IMPOSED RESTRAINTS

Certain limitations have been placed upon the powers of the City Council and its appointed commissions, boards and committees by statutory and case law. In certain instances, application of these restraints may be crucial in the government process. In instances of doubt, the opinion of the City Attorney should be sought.

A. CONFLICT OF INTEREST - COMMISSIONERS

Generally, it is unlawful for a commission member to have an interest in any City contract, sale, purchase, finding or transaction in which the member is involved in a business or personal capacity. Conflict of interest may disqualify the commission member and may result in additional penalties. Any specific concerns should be directed to the Office of the City Attorney.

B. PUBLIC RECORDS LAWS

The Government Code of the State of California provides that all official records of the City are generally open to inspection to any interested person at reasonable times. Exceptions to this law are limited to those records specified in the California Public Records Act relating to private matters including litigation, personnel, and other topics where disclosure of such records would not be in the public interest. All minutes and supporting documents are public records and must be available for public review.

C. SECRECY - THE BROWN ACT

The Ralph M. Brown Act is the law which provides that any "legislative body", whether City Council, commission or official committee thereof, shall hold any meeting at which action is taken other than at a duly called and regularly held meeting, notice of which is provided by either resolution or ordinance or by adjournment of a prior meeting. A "meeting" takes place whenever a quorum is present and official business is considered or discussed.

Caution should be exercised, if it happens that a quorum of members gathers at a public or private place, so that such will not be interpreted as a meeting. Official business of the commission should not be discussed. The Brown Act does not apply to obvious social gatherings where no official discussion or action is made relative to the affairs of the City.

D. DISCRIMINATION AND EQUAL PROTECTION

All rules, regulations, laws, services and facilities must apply equally to all persons and favor shall not be given to any segment of the community. Similarly, all laws and ordinances of the City must afford equal protection to all facets of the community, unless the purpose of a City action requires special classification of the community.

E. DUE PROCESS

All governmental procedures and processes must allow any affected party a right to be heard, and an opportunity to offer testimony on the question at issue in the matter involved. Unfair determinations based on bias, or refusal to permit an opportunity to be heard, etc. may invalidate actions.

F. REASONABLENESS

Every action of municipal government must be reasonable; or, otherwise stated, not capricious, extreme, arbitrary or abusive. Simply stated, actions must be justified by a rational basis.

G. USE OF PUBLIC PROPERTY

Public property, equipment and facilities may not be used for private or personal purposes. Facilities, equipment and supplies provided by the City are to be used for official functions only.

H. TICKET DISTRIBUTION POLICY

In December 2008, the Fair Political Practices Commission ("FPPC") amended Section 18944.1 of the California Code of Regulations relating to tickets or passes to events distributed to, or at the behest of, public officials.

The City of Placentia City Council at the March 3, 2009 meeting approved Resolution No. R-2009-19, adopting a ticket distribution policy to conform with California Code of Regulations, Section 18944.1, as amended by the FPPC. A full copy of the City of Placentia's Ticket Distribution Policy is included with this Manual as Exhibit A.

I. CODE OF ETHICS AND CONDUCT

In November 2022 the City Council adopted the Code of Ethics and Conduct which states that the City of Placentia will operate and do business with the highest level of integrity, professional and personal responsibility. The purpose of the code is to encourage high standards of behavior by public elected and appointed officials to assist with decision-making and to increase public confidence in the institutions and officials that serve them.

J. AB1234 ETHICS TRAINING

State law requires local agency officials – including many commissioners, committee members and board members – to receive at least two hours of training in general ethics principles and ethics laws relevant to their public service every two years (AB1234). Additional trainings may be required on a periodic basis.

VII. RELATIONSHIPS WITH COUNCIL, CITY STAFF AND OTHERS

A. COUNCIL RELATIONS

Commission, board or committee members should avoid discussing the recommendations of the body with individual Councilmembers once a vote is taken when such is for the purpose of exerting influence. Written communications from the commission, board or committee to the City Council in sufficient time to be placed on the agenda is the preferred method for making recommendations to the Council.

The final authority and responsibility for public policy decisions rests with the City Council. The Council has appointed commissioners, board and committee members as advisors to them. This underlying philosophy makes it improper for an individual member of an advisory board to try to persuade the Council into the acceptance of a recommendation other than that voted by the majority. The role of an advisory board is to assist the Council in the formation of policy because the board is created only for the specific purpose of advising, being a guide to public opinion, and promoting specific projects in the community at large.

The Council has adopted a Code of Ethics and Conduct Policy on November 15, 2022, which states that “in keeping with their role as stewards of the public interest, members of Council shall not appear on behalf of the private interests of third parties before the Council or any board, committee, or commission or proceeding of the City, nor shall members of boards, commission or commissions appear before their own bodies or before the Council on behalf of the private interests of third parties on matters related to the subject matter jurisdiction of their bodies.”

B. STAFF RELATIONS

Staff personnel are assigned by the City Administrator to assist and act in a technical capacity to commissions, boards or committees. It is not expected that every staff recommendation will be followed; however, because of staff's technical knowledge, full consideration should be given to their recommendations. Just as any advisory board is held accountable to the City Council, so is staff to the City Administrator.

After staff makes a report or recommendation to a commission, board or committee (which recommendation may or may not be followed), they are at liberty to make the same recommendation to the City Council through the City Administrator, even though the advisory board may have taken a different position. City Staff may be a part of the advisory board; however, they do not hold any voting authority within the advisory board. Staff has been employed by the City Administrator to provide technical guidance. Staff members are obligated to make objective recommendations.

Failure of a staff member to provide expected or promised service to an advisory board is a basis for complaint to be brought to the attention of the City Administrator. Since

staff personnel are directly responsible to the City Administrator, it is his/her responsibility alone to allocate their time and efforts in the best interest of the total City government, to investigate staff, and take appropriate personnel action when necessary.

C. RELATIONS WITH OTHER COMMISSIONS, BOARDS, AND COMMITTEES

In the areas where there is overlap of jurisdiction between various bodies, it is important that coordination occur to ensure proper consideration of different viewpoints that may occur, and to minimize duplications or conflicts. Further, joint meetings with the City Council and other commissions, boards and committees may be mutually beneficial whenever two bodies are simultaneously addressing the same topics.

III. CONCLUSION

There is no desire on the part of the City Council or City staff to control any commission, board or committee member's independent thought or judgment. Appointments are made to these bodies by the Council based on judgment that those persons appointed have the knowledge, ability and interest and that their contributions will be of valuable assistance. All suggestions and ideas are most welcome, whether presented as an individual citizen, a member or a majority vote of an advisory board. However, membership on a commission, board or committee limits to a degree the freedom of advocacy before the City Council or other bodies on those issues that are to be considered by the member's commission, board or committee. The collective recommendation of the commission, board or committee to the City Council may include the positions of all members.

A commission, board or committee is created as an advisory arm of the Council as the result of a policy decision. Each has been charged with certain responsibilities in specified areas and it is within these that the body should act. It may be that a member or minority of members of an advisory board may disagree with an established policy. This is part of the democratic process. In spite of conflicting viewpoints, this is the accepted process for addressing the issues and forwarding the majority opinion to Council or to accomplish the tasks assigned.

The City is proud of its citizen participation and extends a hearty welcome and thanks to all commission, board and committee appointees.

APPENDIX

**PLACENTIA COMMISSIONS, BOARDS & COMMITTEES
DUTIES, MEETING DATES, AND TIMES**

BLUE RIBBON COMMITTEE SENIOR/ COMMUNITY CENTER COMMITTEE

MEMBERSHIP

The Senior/Community Center Blue Ribbon Committee consists of eleven (11) regular members who serve until removed or resign. All members are appointed by the City Council and serve at the discretion of the Council. The Committee is to be comprised of eleven (11) members: one (1) appointed from within each of the five (5) city Council districts; one (1) from the Parks, Arts, and Recreation Commission; one (1) from the Senior Advisory Committee and two (2) City Council members, and two (2) Members-At-Large.

MEETINGS

Regular meetings of the Senior/Community Center Blue Ribbon Committee are held at 6:30 p.m. on the third Wednesday of each month.

POWERS AND DUTIES

- Serves in an advisory capacity to the City Council on identifying the community needs for the proposed Senior/Community Center.
- Serves in an advisory capacity to the City Council on identifying the recommended design components for the proposed construction of a Senior/Community Center.
- Solicit input from the community on the proposed Senior/Community Center.
- Considers matters related to the needs and design of the proposed Senior/Community Center submitted by the City Council, staff or public and recommends courses of action where appropriate.

STAFF LIAISON

Director of Community Services and/or designated staff member(s).

CIVIC CENTER JOINT USE COMMITTEE

MEMBERSHIP

The Civic Center Joint Use Committee consists of five (5) members, two (2) of which are appointed by the Board of Trustees of the Library District and three (3) of which are appointed by the City Council. The term of office is for four (4) years.

MEETINGS

Meetings of the Civic Center Joint Use Committee are held quarterly.

POWERS AND DUTIES

- The Civic Center Joint Use Committee serves as an Advisory Board to the City Council and the Library Board of Trustees on matters relating to the Civic Center.

STAFF LIAISON

City Administrator and Deputy City Administrator and/or designated staff member(s).

**CITY COUNCIL
DOG PARK AD-HOC COMMITTEE**

MEMBERSHIP

The City Council Dog Park Ad-Hoc Committee consists of three (3) regular members. All members are appointed by the City Council and serve at the discretion of the Council. The Ad-Hoc Committee is to be comprised of two (2) City Council members and one (1) member of the Parks, Arts, and Recreation Commission.

MEETINGS

Regular meetings of the City Council Dog Park Ad-Hoc Committee are held as needed.

POWERS AND DUTIES

- Serves in an advisory capacity to the City Council on identifying locations for a potential dog park in Placentia.
- Serves in an advisory capacity to the City Council on identifying the recommended design components for the proposed dog park.
- Solicit input from the community on the proposed dog park.
- Considers matters related to the needs, design, and City liability of a proposed dog park and presents findings to the City Council.

STAFF LIAISON

Director of Community Services and/or designated staff member(s).

FINANCE AND INVESTMENT COMMITTEE

MEMBERSHIP

The Finance and Investment Committee consists of three (3) members, the Mayor, Mayor Pro Tem, and City Treasurer.

MEETINGS

Regular meetings of the Finance and Investment Committee are held at 5:30 p.m. quarterly on the fourth Thursday of the month in City Hall.

POWERS AND DUTIES

- Reviews the City's Investment Policy annually, review quarterly investment performance, and to consult with the City Treasurer regarding current investments and future investment opportunities.
- Assist in the development of five-year capital budgets and revenue projections.
- Review the annual budget and make recommendations to the City Council.
- Studies all fiscal issues and recommends possible improvements and economies.
- Issue reports to the City Council on the City's investment and financial conditions.

STAFF LIAISON

City Administrator, Finance Director and/or designated staff member(s).

FINANCIAL AUDIT OVERSIGHT COMMITTEE

MEMBERSHIP

The Financial Audit Oversight Committee consists of five (5) members who serve for a period of three (3) years. Members are chosen from residents (18 years or over) of the City (residency requirement can be waived by City Council) who have knowledge of accounting/financial principles and it is desirable that they have experience in government accounting. All members are appointed by the City Council and serve at the discretion of the Council.

MEETINGS

Regular meetings of the Financial Oversight Committee are held at 7:00 p.m. quarterly the second Monday in City Hall.

POWERS AND DUTIES

- Serves in an advisory capacity to the City Council and City Administrator with their primary role being to provide an internal audit function.
- Assist with the development and issuance of a Request for Proposals from qualified audit firms to perform an internal review of selected financial activities and internal control procedures; to interview qualified proposers; to negotiate cost; and to report to the City Council with a recommendation for audit firm selection.
- Return to the City Council with recommendations for administrative policies and procedures.

STAFF LIAISON

Director of Finance and/or designated staff member(s).

HERITAGE FESTIVAL COMMITTEE

MEMBERSHIP

The Heritage Committee, consisting of nine (9) members to be known as the Executive Board, has been established by the City Council, and shall have as its responsibility and purpose the planning and execution of the City's annual Heritage Celebration and related Heritage activities within the Community. The Committee may enlist the help and support of a variety of other volunteers to assist in carrying out its purpose. The City Council shall approve the parade route, theme, budget, and addition or removal of an Executive Board member.

APPOINTMENTS AND VACANCIES

The nine members of the Heritage Committee Executive Board shall be appointed by the Mayor of Placentia, with consensus of the Placentia City Council. The nine (9) member Executive Board shall consist of a majority of Placentia residents at all times (i.e. five or more members must be Placentia residents). Additional volunteers interested in assisting with subcommittee work must be added to the subcommittees by majority vote of the Executive Board.

CHAIRPERSON

In January of each year, the Committee shall select a Chairperson from the Executive Board members, by majority vote. The Chairperson shall be a resident of Placentia or have been a member of the Executive Board for a minimum of three years. The chairperson's responsibilities are to preside over meetings and to act as the formal Committee representative to the City Council.

OFFICERS

In addition to the office of Chairperson, each January the officers of 1st Vice Chairperson, 2nd Vice Chairperson, Treasurer, and Secretary, shall be selected from among the Executive Board by majority vote.

MEETINGS

The Committee shall hold a public monthly meeting at least once per month in a City facility. Meetings shall be posted and conducted in accordance with the California Ralph M. Brown Act. The attendance of a majority of the Committee's Executive Board.

STAFF LIAISON

Director of Community Services and/or designated staff member(s).

HISTORICAL COMMITTEE

MEMBERSHIP

The Historical Committee consists of nine (9) regular members who are appointed by the City Council. Committee members typically are familiar with historic preservation principles and practices and have gained knowledge of Placentia history from either long-term residence and/or study and research.

MEETINGS

The Committee meets regularly at 6:00 p.m. on the fourth Tuesday of every month. Special meetings may be scheduled as needed.

POWERS AND DUTIES

- Serves in an advisory capacity to City Council on matters related to historical structures and/or sites located in Placentia.
- Nominates buildings, sites or districts within the City for designation as local landmarks per Policy No. 703.

STAFF LIAISON

Director of Development Services and/or designated staff member(s).

**CITY COUNCIL
HISTORIC PRESERVATION COMMITTEE**

MEMBERSHIP

The City Council Historical Preservation Committee consists of two (2) regular members of the City Council. Committee members typically are familiar with historic preservation principles, land use, and have gained knowledge of Placentia history.

MEETINGS

The Historic Preservation Committee meets as needed.

POWERS AND DUTIES

- Serves in an advisory capacity to City Council on matters related to historical preservation in Placentia.

STAFF LIAISON

Director of Development Services and/or designated staff member(s).

**CITY COUNCIL
HOUSING, COMMUNITY AND ECONOMIC DEVELOPMENT
COMMITTEE**

MEMBERSHIP

The City Council Housing, Community and Economic Development Committee consists of two (2) regular members of the City Council.

MEETINGS

The City Council Housing, Community and Economic Development Committee meets as needed.

POWERS AND DUTIES

- Serves in an advisory capacity to the City Council on matters related to significant developments as it relates to land use regulations, urban design and building standards.
- The Committee may receive presentations or project submittals from private development entities and may review economic/financial documents or proposals. If private development entities attend and present to the Committee, a City Attorney representative must attend the Committee meeting.
- Members review issues related to the City's general plans and zoning, housing, land use regulations, development, building standards and economic development policy.

STAFF LIAISON

City Administrator, Director of Development Services and/or designated staff member(s).

MEASURE U COMMITTEE

MEMBERSHIP

The Measure U Committee consists of two (2) residents and the City Treasurer.

MEETINGS

Regular meetings of the Measure U Committee are held at 5:30 p.m. quarterly on the fourth Thursday of the month in City Hall.

POWERS AND DUTIES

- Reviews the City's Measure U revenues and expenditures.
- Studies all fiscal issues related to Measure U funding.
- Issue reports to the City Council on the City's Measure U conditions.

STAFF LIAISON

City Administrator, Director of Finance and/or designated staff member(s).

NAVIGATION CENTER ADVISORY BOARD

MEMBERSHIP

The Navigation Center Advisory Board consists of two (2) regular members of the City Council and the following members:

- Representative(s) appointed by the Orange County Board of Supervisors
- Representative(s) appointed by the local City Council
- Representative(s) appointed by the local Chief of Police
- Representative(s) appointed by the local Neighborhood Association (if applicable)
- Representative(s) appointed from the local business association or Chamber of Commerce
- Representative(s) appointed by the local school district
- Representative(s) appointed from local homeless outreach agencies

MEETINGS

The Navigation Center Advisory Board meets every other month.

POWERS AND DUTIES

- Serves in an advisory capacity to the City Council on matters related to the Placentia Navigation Center.
- Provide ongoing review of the operations of the Placentia Navigation Center.
- Enhance community relations.
- Bring forth information of any strengths and successes of the Placentia Navigation Center.
- Bring forth any concerns from the neighborhood, local businesses, City, County, service provider partners, and shelter clients about the operation of the Placentia Navigation Center.
- Oversee the accountability and grievance process and policies of the Placentia Navigation Center.

STAFF LIAISON

Director of Community Services and/or designated staff member(s).

**CITY COUNCIL
OLD TOWN PLACENTIA PARKING
COMMITTEE**

MEMBERSHIP

The City Council Old Town Placentia Parking Committee consists of two (2) regular members of the City Council

MEETINGS

The City Council Old Town Placentia Parking Committee meets as needed.

POWERS AND DUTIES

- Serves in an advisory capacity to City Council on matters related to parking in Old Town Placentia.

- Initiates parking studies and impacts as needed in Old Town and presents findings and recommendations to the Placentia City Council.

STAFF LIAISON

City Administrator, Deputy City Administrator and/or designated staff member(s).

PARKS ARTS AND RECREATION COMMISSION

MEMBERSHIP

The Recreation and Parks Commission consists of five (5) regular members serving a term of office for four (4) years each. All members are appointed by the City Council.

MEETINGS

Regular meetings of the Recreation and Parks Commission are held at 6:30 p.m. on the second Tuesday of each month in City Hall.

POWERS AND DUTIES

- Acts in an advisory capacity to the City Council and the City Administrator on all policy matters pertaining to all parks presently established by the City Council and all future parks to be established by the City Council and on all recreational programs, cultural arts programs, health/wellness programs and special events for the community.
- Assists in the development of plans for seasonal and year-round recreation, arts, special events, and health and wellness activities and programs.
- Establishes rules and regulations, subject to the approval of the City Council, for the use of City parks and recreation facilities.
- Adopts a master plan for the development of each City park, subject to the approval of the City Council and reviews subsequent precise plans for conformance to the master plan.

STAFF LIAISON

Director of Community Services and/or designated staff member(s).

PLACENTIA COMMUNITY FOUNDATION

MEMBERSHIP

The Placentia Community Foundation Board of Directors (Board of Directors) shall consist of eight (8) individuals, who shall be appointed At-Large by the Board of Directors. In addition to the eight (8) At-Large board members, the Mayor of the City of Placentia, or his/her designee, shall serve as a non-voting ex-officio member of the Board of Directors, representing the interests of the Placentia City Council. The Placentia City Treasurer shall also serve as a non-voting ex-officio member of the Board of Directors.

MEETINGS

Regular meetings of the Placentia Community Foundation are held at 8:30 a.m. on the fourth Monday of every month.

POWERS AND DUTIES

- The Placentia Community Foundation is a 501(c)(3) California non-profit public benefit corporation formed on October 22, 2009.
- The Placentia Community Foundation's purpose is to undertake fundraising activities and provide grants and other aid to charitable endeavors on behalf of and in the City of Placentia.
- The Placentia Community Foundation shall accomplish its purpose by seeking to improve cultural, educational, and recreational programs offered by the City, and also by seeking to preserve, protect and enhance the quality of life for residents through helping to support, establish and fund other local non-profit organizations that will directly benefit the Placentia community.
- In 2017, the Placentia Community Foundation updated their Bylaws. These Bylaws may be amended in any manner consistent with the articles of incorporation and the California Nonprofit Public Benefit Corporation Law by a majority of the Board of Directors.

STAFF LIAISON

Until the Foundation is financially able to provide this function on its own, the City shall assign a City Staff member to serve as the Executive Secretary to the Board of Directors, with no voting privileges. The Executive Secretary shall assist with administrative functions of the Board of Directors, keep minutes, and maintain all original documents. The Foundation shall assign these duties to its own staff member, once it is financially able to do so.

Director of Community Services and/or designated staff member(s) is currently assigned as the Executive Secretary.

PLACENTIA DISASTER COUNCIL

MEMBERSHIP

The Placentia Disaster Council consists of five (5) regular members who serve a term of office for four (4) years. All members are appointed by the City Council and serve at the discretion of the Council.

MEETINGS

Regular meetings of the Placentia Disaster Council are held as needed at Placentia City Hall.

POWERS AND DUTIES

- Title 11- Emergency Organization of the City of Placentia Municipal Code creates the Placentia Disaster Council (PDC) and designates the Mayor to serve as the Chair of the Disaster Council.
- Assist with updating the City's Emergency Operations Plan, Hazardous Mitigation Plan.
- Assist with disaster related table-top exercises and other work plan items associated with emergency management.

STAFF LIAISON

Emergency and Health Services Manager.

PLANNING COMMISSION

MEMBERSHIP

The Planning Commission consists of seven (7) members (per City Charter) appointed by the City Council. The term of office is for four (4) years.

MEETINGS

Regular meetings of the Planning Commission are held at 6:30 p.m. on the second Tuesday of each month in the City Council Chambers.

POWERS AND DUTIES

- After a public hearing thereon, recommends to the City Council the adoption, amendment or repeal of the General Plan, or any part thereof, for the physical development of the City.
- Exercises such control over land subdivisions as is granted to it by the City Council and by the laws of the State of California.
- Makes recommendations concerning proposed public works and for the clearance and rebuilding of blighted or substandard areas within the City.
- Exercises such functions with respect to zoning as may be prescribed by ordinance not inconsistent with the City Charter.

STAFF LIAISON

Director of Development Services and/or designated staff member(s).

PUBLIC FINANCING AUTHORITY OF THE PLACENTIA ENHANCED INFRASTRUCTURE FINANCING DISTRICT

MEMBERSHIP

The Public Financing Authority of the Placentia Enhanced Infrastructure Financing District consists of five (5) regular members consisting of two (2) members of the City Council, one (1) member of the County Board of Supervisors, and two (2) members of the community.

MEETINGS

Regular meetings of the Placentia Enhanced Infrastructure Financing District Public Financing Authority are held as needed.

POWERS AND DUTIES

- The Placentia Enhanced Infrastructure Financing District ("Placentia EIFD") was formed as a partnership between the City of Placentia and the County of Orange.
- The Placentia EIFD was established as a means to fund critical infrastructure of communitywide and regional significance with a focus on the Old Town Placentia Revitalization Plan area, by providing a means to capture property tax increment revenue ("T1") generated by new development within the district.
- The City and County formed the Public Financing Authority of the Placentia Enhanced Infrastructure Financing District ("PFA") to act as the governing body of the Placentia EIFD in accordance with EIFD statutes.

STAFF LIAISON

Director of Development Services and/or designated staff member(s).

SENIOR ADVISORY COMMITTEE

MEMBERSHIP

The Senior Advisory Committee consists of seven (7) members. The members will be appointed by the City Council with two (2) members being representatives from the Placentia Senior Center and five (5) at-large seniors. All members shall be 55 years of age or older.

MEETINGS

The Senior Advisory Committee meets quarterly on the third Wednesday of the month at 6:15 p.m. at City Hall.

POWERS AND DUTIES

- Act as liaison for all seniors in the City and advise on ways to enrich and enhance the health and quality of life of seniors in the community.
- Solicit input and act as a public forum for issues that affect seniors in the City.
- Provide advice based on input received to improve the programs, policies, and services provided to seniors. Identify barriers to access by seniors to City services and programs. Form partnerships in the community to educate, inform, and improve the quality of life for seniors.
- Assist with volunteer recruitment.
- Assist with the marketing of the Senior Center services, programs, and events.

STAFF LIAISON

Director of Community Services and/or designated staff member(s).

**CITY COUNCIL
SEWER, UTILITY, RECYCLING AND REFUSE COMMITTEE**

MEMBERSHIP

The City Council Sewer, Utility, Recycling and Refuse Committee consists of consists of two (2) regular members of the City Council.

MEETINGS

Regular meetings of the City Council Sewer, Utility, Recycling and Refuse Committee are held as needed.

POWERS AND DUTIES

- Serves in an advisory capacity to City Council on matters related to utilities, sewer, recycling and refuse matters.

- Reviews proposed rate adjustments, participate in ongoing negotiations and rates studies related to the various utility service providers.

STAFF LIAISON

City Administrator, Deputy City Administrator and/or designated staff members(s).

STREETSCAPE AND TRANSPORTATION ADVISORY COMMISSION

MEMBERSHIP

The Streetscape and Transportation Advisory Commission consists of five (5) regular members who serve a term of office for four (4) years. All members are appointed by the City Council and serve at the discretion of the Council.

MEETINGS

Regular meetings of the Streetscape and Transportation Advisory Commission are held at 6:00 p.m. on the third Monday of every other month (odd months).

POWERS AND DUTIES

- Traffic safety issues, active transportation programs and projects; transportation management including neighborhood traffic and parking management programs, review and consideration of permit parking districts and speed hump installation requests and the overall regulation of vehicle, bicycle, and pedestrian traffic within the City as described in Title 13 of the Placentia Municipal Code.
- The Commission shall review recommendations regarding appeals of tree removal requests made by individual property owners, neighborhood associations, or developers denied by City Staff.
- The Commission may make recommendations on designated tree species for specific streets and neighborhoods and shall be incorporated by reference into a future street tree master plan.

STAFF LIAISON

City Engineer/Traffic Engineer and/or designated staff member(s).

CITY COUNCIL TECHNOLOGY AND INNOVATION COMMITTEE

MEMBERSHIP

The City Council Technology and Innovation Committee consists of two (2) regular members of the City Council.

MEETINGS

Regular meetings of the City Council Technology and Innovation Committee meets as needed.

POWERS AND DUTIES

- Review technology and innovation systems for City operations and applications.
- Review the Citywide Fiber Optic System and discuss matters with service providers.
- Reviews Smart Cities systems and meets with vendors to review their products.
- Serves in an advisory capacity to City Council on matters related to citywide fiber optic, technology, and smart cities systems and applications.

STAFF LIAISON

City Administrator, Deputy City Administrator, IT Manager and/or designated staff member(s).

VETERANS ADVISORY COMMITTEE

MEMBERSHIP

The Veterans Advisory Committee consists of nine (9) regular members who serve until removed or resign. All members are appointed by the City Council and serve at the discretion of the Council.

MEETINGS

Regular meetings of the Veterans Advisory Committee are held at 4:00 p.m. on the first Monday of each between April and November.

COMPENSATION

None

POWERS AND DUTIES

- Serves in an advisory capacity to the City Council on veterans' affairs matters within the community.
- Considers veterans' matters submitted by the City Council, staff or public and recommends courses of action where appropriate.
- Matters considered by the committee's scope include all activities within the purview of the City Council relating to the annual Veterans Day Observance Ceremony and activities.
- Committee members are to familiarize themselves with veterans' activities through attendance at local/state/federal veterans' organizations.
- Committee members need not be veterans to serve on this committee.

STAFF LIAISON

Police Chief and/or designated staff member(s).

LIST OF DISBANDED COMMITTEES/COMMISSIONS

ADVISORY COMMITTEE ON THE DISABLED

CIVIC CENTER AUTHORITY

CULTURAL ARTS COMMISSION
Ordinance No. O-2019-11 to disband

ECONOMIC DEVELOPMENT COMMITTEE
Resolution No. R-2019-48 to disband

RECREATION AND PARKS COMMISSION
Ordinance No. O-2019-11 to disband

TRAFFIC SAFETY COMMISSION
Ordinance No. O-2019-11 to disband

OVERSIGHT BOARD TO SUCCESSOR AGENCY
Consolidated to Countywide Oversight Board

TRI CITY PARK AUTHORITY
Resolution No. 2016-51 to disband

CITIZENS FISCAL SUSTAINABILITY TASK FORCE

GENERAL PLAN STEERING COMMITTEE

PUBLIC SAFETY FACILITY AD-HOC COMMITTEE

RECREATIONAL VEHICLE PARKING AD-HOC COMMITTEE

YORBA LINDA WATER/GOLDEN STATE WATER DISTRICT

CITYWIDE FIBER OPTIC AND SMART CITY COMMITTEE

**BYLAWS OF
THE PLACENTIA COMMUNITY FOUNDATION**

A California Nonprofit Public Benefit Corporation

**ARTICLE I
NAME**

The name of this corporation is the Placentia Community Foundation.

**ARTICLE II
PRINCIPAL OFFICE**

The principal office for the transaction of the business of the corporation is 401 E. Chapman Avenue, Placentia, California. The Board of Directors may, from time to time, change the location of the principal office from one location to another in said City.

**ARTICLE III
PURPOSE**

Section 1. This corporation is a nonprofit public benefit corporation and is not organized for the private gain of any person. It is organized under the Nonprofit Public Benefit Corporation Law for public and charitable purposes.

Section 2.

A The specific purpose of this corporation is to undertake fundraising activities and provide grants and other aid to charitable endeavors on behalf of and in the City of Placentia ("City").

B. The corporation shall accomplish its purpose by seeking to improve cultural, educational, and recreational programs offered by the City, and also by seeking to preserve, protect and enhance the quality of life for residents through helping to support, establish and fund other local non-profit organizations that will directly benefit the Placentia community.

Section 3. The primary responsibility of the Board of Directors will be to help raise financial or in-kind resources, and to ensure their efficient use to serve the purposes of this corporation.

Section 4. In carrying out its purpose, the Foundation shall not be utilized to discharge the obligations of the City. The support, promotion and advancement of the cultural, educational and recreational services afforded by the Foundation shall be in addition and supplementary to any budgeted

program already being sponsored by the City. Foundation funds shall not be used as the primary source of funding for any routine operations of the City.

Section 5. This corporation is organized exclusively for charitable purposes within the meaning of Internal Revenue Code section 501(c)(3) or the

corresponding provision of any future United States internal revenue law, more specifically, to solicit, receive, invest and make grants of funds, property and other resources and to provide direct charitable services to aid, sponsor, promote, advance and assist worthy activities, programs and services in the City of Placentia; and to establish and maintain a permanent collection of named funds that carry out the diverse charitable purposes specified by the governing body and donors.

Section 6. Despite any other provision in these Bylaws, the corporation shall not, except to an insubstantial degree, engage in any activities or exercise any powers that do not further the purposes of this corporation, and the corporation shall not carry on any other activities not permitted to be carried on by (a) a corporation exempt from feral income tax under Internal Revenue Code section 501 (c)(3) or the corresponding provision of any future United States internal revenue law, or (b) a corporation, contributions to which are deductible under Internal Revenue Code section 170(c)(2) or the corresponding provision of any future United States internal revenue law.

ARTICLE IV NONPARTISAN ACTIVITIES

No part of the activities of the corporation shall consist of lobbying or propaganda, or otherwise attempting to influence legislation, and the corporation shall not participate in, or intervene in (including the publishing or distribution of statements) any political campaign on behalf of or in opposition to any candidate for public office.

ARTICLE V DEDICATION OF ASSETS

All corporate property is irrevocably dedicated to the purposes set forth in Article II. No part of the net earnings, property or assets of the corporation shall inure to the benefit of, or be distributable to its members, trustees, officers, or other private persons, except that the corporation shall be authorized and empowered to pay reasonable compensation for services rendered and to make payments and distributions in furtherance of the purposes set forth in Article II hereof.

ARTICLE VI MEMBERSHIP

The corporation shall have no voting members and all matters otherwise required by law to be approved by the membership shall require only approval of the Board pursuant to section 5310 of the California Corporations Code.

ARTICLE VII PARTICIPANTS, ASSOCIATES, SPONSORS AND BOOSTERS

The Board of Directors may, from time to time, adopt a policy or policies providing for the designation of associates, sponsors, boosters or other similarly interested individuals, companies or groups to serve as supporting individuals, groups, organizations or advisory board participants. In adopting the policy or policies, the Board shall define the purpose served, the nature of activity, the title to be given to the participant and the cost of participant and the cost of participation. Such participants shall have no membership or voting rights in the corporation nor shall they participate in the management of the corporation.

ARTICLE VIII BOARD OF DIRECTORS

1. Number and Requirements

The Board of Directors (Board of Directors) shall consist of eight (8) individuals, who shall be appointed At-Large by the Board of Directors.

In addition to the eight (8) At-Large board members, the Mayor of the City of Placentia, or his/her designee, shall serve as a non-voting ex-officio member of the Board of Directors, representing the interests of the Placentia City Council. The Placentia City Treasurer shall also serve as a non-voting ex-officio member of the Board of Directors.

Until the Foundation is financially able to provide this function on its own, the City shall assign a City staff member to serve as the Executive Secretary to the Board of Directors, with no voting privileges. The Executive Secretary shall assist with administrative functions of the Board of Directors, keep minutes, and maintain all original documents. The Foundation shall assign these duties to its own staff member, once it is financially able to do so.

2. Expectations

Members of the Board of Directors must adhere to both of the following:

- (i) Placentia Foundation Expectations
- (ii) Conflict of Interest Policy

The Conflict of Interest Policy should be signed and initialed by each Board member upon appointment, and whenever the policy is updated from time to time. Each individual will have a copy of the Conflict of Interest Policy.

3. Powers

a. General corporate powers

Subject to the provisions of the California Nonprofit Corporation law and any limitations in the Articles of Incorporation and these Bylaws relating to action required to be approved by the directors, the business and affairs of the corporation shall be managed, and all corporate powers shall be exercised, by or under the direction of the Board of Directors.

b. Specific Powers

Without prejudice to these general powers, and subject to the same limitations, the directors shall have the power to:

- (i) Select and remove all agents and employees of the corporation; prescribe any powers and duties for them that are consistent with law, with the articles of incorporation, and with these Bylaws; and fix their compensation.
- (ii) Change the principal executive office or the principal business office in the State of California from one location to another; cause the corporation to be qualified to do business in any other state, territory, dependency, or country and conduct business within or outside the State of California and designate any place within or outside the State of California for the holding of any meeting or meetings, including annual meetings.
- (iii) Adopt, make and use a corporate seal.
- (iv) Borrow money and incur indebtedness on behalf of the corporation and cause to be executed and delivered for the corporation's purposes, in the corporate name, promissory notes, bonds, debentures, deeds of trust, mortgages, pledges, hypothecations, and other evidences of debt and securities.
- (v) Ability to add additional Board of Directors members with a 3/4 majority vote of the Board.

4. Appointment of Board of Directors

a. Appointment

Community At-Large Directors shall be appointed annually on a staggered basis by the Placentia Community Foundation Board of Directors to hold office until the expiration of his/her term; however, if any annual meeting is not held or the directors are not appointed at any annual meeting, they may be appointed at any Placentia Community Foundation Board of Directors meeting held for that

purpose. Each director, including a director appointed to fill a vacancy, shall hold office until expiration of the term for which appointed and until a successor has been appointed and qualified. Said annual appointment shall be in July.

The City Treasurer shall be considered appointed to their ex-officio position upon being sworn in for the office of Treasurer. The Placentia Mayor or his/her designee shall be considered appointed when the appointment is officially made by the City Council.

b. Applications

The Placentia Community Foundation Board of Directors will receive applications on an ongoing or advertised basis from volunteers who would like to serve on the Placentia Community Foundation Board. Applications are available on-line or the Placentia Community Foundation Board of Directors office located at 401 E. Chapman Avenue, Placentia. The Foundation Board of Directors makes appointments annually.

5. Term

Each Community At-Large Director shall serve for a term of two years. At all times, the terms of the appointed Community At-Large Directors shall be staggered so that approximately two (2) of the Directors shall be appointed each year. In order to accomplish this at the inception of the Corporation, two (2) of the initial four (4) Community At-Large Directors will be appointed to serve a three (3) year term during their first term in office.

The term of the ex-officio position held by the City Treasurer shall coincide with the term of that office. The ex-officio position held by the Mayor or his/her appointee shall be for the duration of the City Council appointment.

6. Vacancies

a. Events causing vacancy.

A vacancy or vacancies in the Board of Directors shall be deemed to exist on the occurrence of the following;

- (i) The death, resignation, or removal by the Placentia Community Foundation Board of Directors of any director,
- (ii) The declaration by resolution of the Board of Directors of a vacancy of the office of a director who has been declared of unsound mind by an order of court or convicted of a felony or has been found by final order or judgment of any court to have breached a legally imposed duty under the California Nonprofit Public Benefit Corporation Law, or
- (iii) The increase of the authorized number of directors.

b. Premature Vacancies

Whenever there is a vacancy in the office of one of the at-large

Directors, whether by reason of resignation, leave of absence, removal or death, the vacancy shall be filled by the Placentia Community Foundation Board of Directors at any special or regular Placentia Community Foundation Board of Directors meeting called for that purpose.

c. Leave of Absence

Any officer may take a leave of absence at any time by giving written notice to the corporation. Any leave of absence shall take effect on the date of the receipt of that notice or at any later time specified in that notice. The Board may recognize a leave of absence of up to one year provided that the member has served 50% of their term as an officer. The Board of Directors may encourage a resignation if the leave of absence requested is longer than one year. There are no restrictions for the officer to reapply to the Board of Directors. The Board of Directors is free to fill the vacancy on the Board through the absence period.

d. Resignations

Except as provided in this paragraph, any director may resign, which resignation shall be effective on giving written notice to the Chair of the board, the president, the secretary, or the Board of

Directors, unless the notice specifies for the resignation to become effective at a future time. The Placentia Community Foundation Board of Directors may appoint a successor to take office when the resignation becomes effective. No director may resign when the corporation would then be left without a duly appointed director in charge of its affairs.

e. Removal of Directors

Any director may be removed, with or without cause, by the Board of Directors at any regular or special meeting of the Board or, except in the case of an officer chosen by the Board of Directors, by an officer on whom such power of removal may be conferred by the Board of Directors. The removed director may not reapply for the Board no earlier than one calendar year after removal. The Chair may initiate the process of removal. The process is as follows:

- (i) Written notification of discussion for removal given to the officer two weeks prior to the special or regular meeting.
- (ii) The director can present a formal statement, written or verbal.
- (iii) Board of Directors will vote, with a 2/3 majority needed for removal of directors.

ARTICLE IX OFFICERS

1. Officers

The officers of the corporation shall be Chair, Vice Chair, Secretary, and Treasurer and such other officers as the Board of Directors may elect. Those officers shall serve without compensation. All officers except the Secretary shall be members of the Board of Directors. Any number of offices may be held by the same person, except that neither the Secretary nor the Treasurer may serve concurrently as the Chair of the Board

2. Election of Officers

The officers of the corporation, except those appointed in accordance with the provisions of Section 3 of this Article XI, shall be chosen by the Board of Directors, and each shall serve at the pleasure of the Board.

3. Removal of Officers

Any officer may be removed, with or without cause, by the Board of Directors at any regular or special meeting of the Board or, except in the case of an officer chosen by the Board of Directors, by an officer on whom such power of removal may be conferred by the Board of Directors. The removed officer may not reapply for the Board no earlier than one calendar year after removal. The Chair may initiate the process of removal. The process is as follows:

- (i) Written notification of discussion for removal given to the officer two weeks prior to the special or regular meeting.
- (ii) The officer can present a formal statement, written or verbal.
- (iii) Board of Directors will vote, with a 2/3 majority needed for removal of officer.

4. Resignation of Officers

Any officer may resign at any time by giving written notice to the corporation. Any resignation shall take effect on the date of the receipt of that notice or at any later time specified in that notice; and, unless otherwise specified in that notice, the acceptance of the resignation shall not be necessary to make it effective. Any officer that resigns is free to reapply for the Board at any time. Any resignation is without prejudice to the rights, if any, of the corporation under any contract to which the officer is a party.

5. Leave of Absence

Any officer may take a leave of absence at any time by giving written notice to the corporation. Any leave of absence shall take effect on the date of the receipt of that notice or at any later time specified in that notice. The Board may recognize a leave of absence of up to one year provided that the member has served 50% of their term as an officer. The Board of Directors may encourage a resignation if the leave of absence requested is longer than one year. There are no restrictions for the officer to reapply to the Board of Directors. The Board of

Directors is free to fill the vacancy on the Board through the absence period.

6. Vacancies in Offices

A vacancy in any office because of death, resignation, removal, disqualification, or any other cause shall be filled only in the manner prescribed in these Bylaws for regular appointments to that office.

7. Responsibilities of Officers

(a) Chair of the Board

The Chair of the Board shall preside at meetings of the Board of Directors and exercise and perform such other powers and duties as may be from time to time assigned to him by the Board of Directors or prescribed by the Bylaws. The Chair shall act as the chief executive officer and Executive Director of the Foundation and shall exercise general supervision and control over all affairs of the Foundation. He or she may sign, with the secretary or other officer duly authorized by the Foundation Board of Directors, any contract or other instrument the execution of which has been authorized by the Foundation Board of Directors, except in cases where the signing and execution thereof shall have been expressly delegated by the Foundation Board of Directors, by these Bylaws, or Articles of Incorporation to some other officer or agent of the Foundation; and in general he shall perform all duties incident to the office of president and such other duties as may be prescribed by the Board of Directors.

(b) Vice Chair

In the absence or disability of the chair, the vice chair shall perform all the duties of the chair, and when so acting shall have all the powers of, and be subject to all the restrictions upon, the chair. The vice chair will also serve as a liaison for committee leads. The vice chair shall have such other powers and perform such other duties as from time to time may be prescribed for him/her respectively by the Board of Directors or the Chair of the Board.

(c) Executive Secretary

The Executive Secretary who shall manage the day to day activities of the corporation. The Secretary may be either of the following: A compensated employee of the Foundation and not a member of the board or an employee, officer or elected official of the City of Placentia; or, an employee of the City of Placentia so designated by the City Council and Board of Directors, not compensated by the Foundation and acting in addition to their normal City responsibilities as the Secretary. The Secretary shall attend to the following:

(i) Book of minutes

The secretary shall keep or cause to be kept, at the principal executive office or such other place as the Board of Directors may direct, a book of minutes of all meetings and actions of directors and committees of

directors, with the time and place of holding, whether regular or special, and, if special, how authorized, the names of those present at such meetings and the proceedings of such meetings.

(ii) Notices, seal and other duties.

The secretary shall give, or cause to be given, notice of all meetings of the Board of Directors required by the Bylaws to be given. He/She shall keep the seal of the corporation in safe custody. He/She shall have such other powers and perform such other duties as may be prescribed by the Board of Directors or the Bylaws:

(d) Treasurer

The Treasurer shall attend to the following:

(i) Books of Account

The Treasurer shall keep and maintain, or cause to be kept and maintained, adequate and correct books and records of accounts of the properties and business transactions of the corporation, including accounts of its assets, liabilities, receipts, disbursements, gains, losses, capital, retained earnings, and other matters customarily included in financial statements. The Treasurer will also be responsible for the annual audit of the books. The books of account shall be open to inspection by any director at all reasonable times. The Treasurer shall also be responsible for developing the Foundation's budget and, when approved by the Board of Directors making it available for review by the public.

(ii) Deposit and Disbursement of Money and Valuables

The Treasurer shall deposit all money and other valuables in the name and to the credit of the corporation with such depositories as may be designated by the Board of Directors; shall disburse the funds of the corporation as may be ordered by the Board of Directors; shall render to the chair and directors, whenever they request it, an account of all of his/her transactions as treasurer and of the financial condition of the corporation; and shall have other powers and perform such other duties as may be prescribed by the Board of Directors or the Bylaws.

(iii) Bond

If required by the Board of Directors and absent an acceptable alternative measure, the treasurer shall give the corporation a bond in the amount and with the surety or sureties specified

by the Board for faithful performance of the duties of his/her office and for restoration to the corporation of all its books, papers, vouchers, money, and other property of every kind in his possession

ARTICLE X COMMITTEES

1. The Board of Directors may, by resolution adopted by a majority of the directors then in office, designate one or more committees, each consisting of two or more directors, to serve at the pleasure of the Board. Any committee, to the extent provided in the resolution of the Board, shall have all the authority of the Board, except that no committee, regardless of Board resolution, may;
 - a. Fill vacancies on the Board of Directors or in any committee;
 - b. Amend or repeal Bylaws or adopt new Bylaws;
 - c. Amend or repeal any resolution of the Board of Directors which by its express terms is not so amendable or repealable;
 - d. Appoint any other committees of the Board of Directors or the members of these committees;
 - e. Approve any transaction (1) to which the corporation is a party and one or more directors have a material financial interest; or (2) between the corporation and one or more of its directors between the corporation or any person in which one or more of its directors have a material financial interest.

2. Subordinate Officers

The Board of Directors may appoint, and may authorize the Chair of the board or another officer to appoint, any other officers that the business of the corporation may require, each of whom shall have the title, hold office for the period, have the authority, and perform the duties specified in the Bylaws or determined from time to time by the Board of Directors.

ARTICLE XI MEETINGS

1. Meetings

Meetings of the Board of Directors shall comply with the Roberts Rules of Order.

2. Place of meetings; Meetings by telephone

Regular meetings of the Board of Directors may be held at any place within the City of Placentia that has been designated, from time to time, by resolution of the board. Special meetings of the Board shall be held at any place within the City of Placentia that has been designated in the notice of the meeting. Any meeting, regular or special, may be held by conference telephone or similar communication equipment so long as all directors participating in the meeting can hear one another.

3. Meeting Attendance

Officers must not accrue more than 3 absences for general meetings of the Board of Directors. Excessive absenteeism is grounds for removal. Committee meeting attendance policy is subject to the committee and lead and his/her guidelines.

4. Annual Meeting

The Board of Directors shall hold a meeting for the purpose of organization, election of officers, and the transaction of other business. The Board shall, by resolution, adopt a time and place for the annual meeting; proper notice thereby shall be given to the Board members by the Executive Secretary.

4. Other Regular Meetings

Other regular meetings of the Board of Directors shall be held without call at such time as shall, from time to time, be fixed by the Board of Directors.

5. Special Meetings

a. Authority to call

Special meetings of the Board of Directors for any purpose may be called at any time by the Chair of the Board, or Vice Chair, or any three Directors.

b. Notice

(i) Manner of giving

Notice of the time and place of special meetings shall be given to each director by one of the following methods: (a) by personal delivery or written notice; (b) by first-class mail, postage paid; (c) by telephone communication, either directly to the director or to a person at the director's office who would reasonably be expected to communicate such notice promptly to the director; or (d) by electronic mail. All such notices shall be given or sent to the director's address or telephone number as shown on the records of the corporation.

(ii) Time Requirements

Notices sent by first class mail shall be deposited into a United States mail box at least four days before the time set for the meeting. Notices given by personal delivery or telephone shall be delivered or telephoned at least 72 hours before the time set for the meeting unless an emergency

meeting must be called as provided in the Roberts Rules of Order.

(ii) Notice

Notice shall also be provided in compliance with the Roberts Rules of Order.

6. Quorum

A majority of the authorized number of Directors shall constitute a quorum for the transaction of business. Every act or decision done or made by a majority of the directors present at a meeting duly held at which a quorum is present shall be regarded as the act of the Board of Directors, subject to the provisions of the Nonprofit Public Benefit Corporation Law, especially those provisions relating to (i) approval of contracts or transactions in which a director has a direct or indirect material financial interest, (ii) appointment of committees, and (iii) indemnification of directors. A meeting at which a quorum is initially present may continue to transact business, notwithstanding the withdrawal of directors, if any action taken is approved by at least a majority of the required quorum for that meeting.

ARTICLE XII

INDEMNIFICATION OF DIRECTORS AND OFFICERS

1. To the fullest extent permitted by law, the corporation shall indemnify, defend and hold harmless all directors and officers for all claims and liability arising from their conduct that satisfies the standards set forth in California Corporations Code section 5238.
2. The Board of Directors may adopt a policy of reimbursement of expenses to directors, officers and employees for all out of pocket expenses expended directly on behalf of the corporation.
3. To the fullest extent permitted by law, the Board of Directors may arrange for, or purchase and maintain, insurance on behalf of its directors, officers and employees to cover any liability asserted against or incurred by them in such capacity or arising from such capacity.

ARTICLE XIII

RECORDS AND REPORTS

1. MAINTENANCE AND INSPECTION OF ARTICLES AND BYLAWS

The corporation shall keep at its principal executive office, the original or a copy of the Articles and Bylaws as amended to date, which shall be made available to each Board Member.

2. MAINTENANCE AND INSPECTION OF OTHER CORPORATE RECORDS

The accounting books, records, and minutes of proceedings of the Board of Directors and any committee(s) of the Board of Directors shall be kept at such place or places designated by the Board of Directors or, in the absence of

such designation, at the principal executive office of the corporation. The minutes shall be kept in written or typed form, and the accounting books and records shall be kept either in written or typed form or in any other form capable of being converted into written, typed or printed form. The minute and accounting books and records shall be open to inspection upon the written demand of any Board Member at any reasonable time during usual business hours, for a purpose reasonably related to the Director's interest as a Director. The inspection may be made in person or by an agent or attorney, and shall include the right to copy and make extracts. These rights of inspection shall extend to the records of each subsidiary corporation of the corporation.

3. INSPECTION BY DIRECTORS

Every director shall have the absolute right at any reasonable time to inspect all books, records and documents of every kind and the physical properties of the corporation and each of its subsidiary corporation. This inspection by a director may be made in person or by an agent or attorney, and the right of inspection includes the right to copy and make extracts of documents.

4. ANNUAL REPORT

The annual report referred to in the Nonprofit Public Benefit Corporation Law is expressly dispensed with, but nothing in these Bylaws shall be interpreted as prohibiting the Board of Directors from issuing annual or other periodic reports to the corporation, City Council or public as they consider appropriate. However, the corporation shall provide to the Directors, within 120 days of the close of its fiscal year, a report containing the following information in reasonable detail:

1. The assets and liabilities, including the trust funds, of the corporation as of the end of the fiscal year.
2. The principal changes in assets and liabilities, including trust funds, during the fiscal year.
3. The revenue or receipts of the corporation both unrestricted and restricted to particular purposes, for the fiscal year.
4. The expenses or disbursements of the corporation, for both general and restricted purposes, during the fiscal year.
5. Any information required by California Corporations Code Section 6322.

ARTICLE XIV
CONSTRUCTION AND DEFINITIONS

Unless the context requires otherwise, the general provisions, rules of construction and definitions in the California Nonprofit Corporation Law shall govern the construction of these Bylaws. Without limiting the generality of the above, the singular number includes the plural, the plural number includes the singular, and the term "person" includes both the corporation and a natural person.

ARTICLE XV
AMENDMENTS

These Bylaws may be amended in any manner consistent with the articles of incorporation and the California Nonprofit Public Benefit Corporation Law by a majority of the directors.

ARTICLE XVI
ACCOUNTING POLICY

Section 1. Signature Authority. Except as otherwise provided by law, checks, drafts, orders for the payment of money and contracts shall be signed by two of the Chairperson, Vice Chair and Treasurer. Treasurer or any two officers of the Foundation as determined by resolution of the Board. Such signature authority may be general or specific.

Section 2. Board Approval. Any non-budgeted expenditures over one thousand dollars (\$1,000) shall be approved by the Board.

Section 3. Deposits. All funds of this Foundation shall be promptly deposited to the credit of this Foundation in such bank, trust companies or other depositories as the Board may designate.

Section 4. Gifts and Contributions. Board Members and the Executive Director may accept on behalf of the Corporation any contribution, gift, bequest, or device as may be consistent with the established purposes of the Corporation and as may be permitted by any applicable local, state, or federal law.

Section 5. Distribution of Grant Funds. Distribution of Grant Funds will be carried out in accordance with the Foundation's grants and scholarships policies and procedures.

Section 6. Construction and Definitions. Unless the context otherwise requires, the general provisions, rules of construction and definitions contained in the General Provisions of the California Nonprofit Corporation Law and Nonprofit Public Benefit Corporation Law shall govern the construction of these Bylaws.

Section 7. Dissolution. Upon the dissolution or winding up of the Foundation, its assets remaining after payment, or provision for payment, of all debts and liabilities of this Foundation, shall be distributed to such organization(s) organized and operated exclusively for charitable purposes which has established its tax exempt status under Section 501(c)(3) of the Internal Revenue Code or successor provision or which is otherwise tax exempt by virtue of its being a municipal corporation.

ARTICLE XVII
COMPENSATION POLICY

Directors and officers of the Board shall serve without compensation, but may be reimbursed for reasonable expenses incurred in conducting the business of the Board, including lodging, food and vehicle use.

CERTIFICATE OF SECRETARY

I, the undersigned, certify that I am the presently elected and acting Executive Secretary of the Placentia Community Foundation, a California Public Benefit corporation, and the above Bylaws, consisting of _____pages, are the Bylaws of this corporation as adopted at a meeting of the Board of Directors held on _____, in the City of Placentia, State of California.

EXECUTIVE SECRETARY – Veronica Ortiz

Chairperson: Vivian M. Perez
Vice Chairperson: Brenda Emrick
Danya Rafiqi
Kathy Baldwin
Kevin A. Larson
Dwayne De Rose



Placentia City Council

AGENDA REPORT

TO: CITY COUNCIL

VIA: CITY ADMINISTRATOR

FROM: DIRECTOR OF DEVELOPMENT SERVICES

DATE: MARCH 5, 2024

SUBJECT: **PUBLIC HEARING AND CONSIDERATION OF PROPOSED PROGRAMS AND ACTIVITIES TO BE SUBMITTED TO THE COUNTY OF ORANGE FOR COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) FUNDING FOR FISCAL YEAR 2024-25**

FISCAL

IMPACT: CDBG FUNDS IN THE AMOUNT OF \$358,886 FOR FISCAL YEAR 2024-25

SUMMARY:

The Federal Housing and Community Development Act of 1974 provides Community Development Block Grant (CDBG) funds for projects that promote the development of viable urban communities by providing suitable living environments for persons of low and moderate income. As a Metropolitan City, the City of Placentia does not compete with 11 other County cities to apply and receive CDBG funds through the County of Orange ("County"). The amount of CDBG funding received by the City is established and provided directly by the U.S. Department of Housing and Urban Development (HUD) via the County. The funding allocation varies from year to year; therefore, the funding allocation will be presented to the City Council on an annual basis.

For Fiscal Year ("FY") 2024-25, the anticipated funding amount is \$358,886 of which the City will receive \$322,998 directly. Eligible funding programs and activities must adhere to National Objectives established by HUD and the County's Consolidated Plan. The program and projects must achieve a specified performance outcome such as improving accessibility through removal of physical barriers or promoting livable and viable neighborhoods by providing a benefit to low to moderate income residents. This action will conduct a public hearing on the proposed programs and activities and authorize the City Administrator, or his designee, to submit the application to the County to receive CDBG funds for the programs and activities described herein.

STRATEGIC PLAN STATEMENT:

This item is consistent with the City Council approved 5-Year Strategic Goal to Ensure Long-Term Fiscal Sustainability, under Objective #1.4, which is to protect and preserve existing economic development/property nodes throughout the City to maximize revenue opportunities. This item is also consistent with the Goal to Improve City Beautification, under Objective #6.5, which is to examine beautification opportunities in disadvantaged areas per the General Plan.

2.a.

March 5, 2024

RECOMMENDATION:

It is recommended that the City Council take the following actions:

1. Open the Public Hearing to consider proposed programs and activities for the Community Development Block Grant Funding for Fiscal Year 2024-25; and
2. Receive the Staff report, consider all public testimony, ask any questions of Staff; and
3. Close the Public Hearing; and
4. Authorize the City Administrator to submit an application to the County of Orange to receive CDBG Funds to support public service programs, public facilities improvements, housing rehabilitation needs, and administrative expenses for Fiscal Year 2024-25; and
5. Authorize the City Administrator to execute all necessary documents, in a form approved by the City Attorney.

DISCUSSION:

The Federal Housing and Community Development Act of 1974 provides CDBG funds for projects that promote the development of viable urban communities by providing suitable living environments for persons of low and moderate income. As a Metropolitan City, the City does not compete with 11 other County cities to apply and receive CDBG funds through the County. The City's funding allocation will be established annually by HUD.

Eligible programs and activities must adhere to the established performance objectives established by HUD and conform to the priority levels set by the County. This includes creating a suitable living environment that benefits communities, families, or individuals that are from designated low to moderate income areas of the City. Projects must also achieve specified performance outcomes such as improving accessibility through removal of physical barriers or promoting livable and viable neighborhoods by providing a benefit to low to moderate income residents.

As indicated in the chart below, the CDBG amount of \$322,998 will be allocated to the City and will serve as a direct offset and/or supplement to the General Fund for specific programs and activities that support viable urban communities. The remaining \$35,888 will be provided to the County to cover costs related to preparation of the Annual Action Plan (AAP), Consolidated Annual Performance and Evaluation Report (CAPER), and other administrative costs.

CDBG ALLOCATION TO THE CITY OF PLACENTIA		
Activity	Program	Allocation
Housing Needs	Housing Rehabilitation Program	\$52,500
	Façade Improvement Program	\$180,778
Public Services (Mandated 15% of CDBG Funds)	Senior Services Salaries (Lunch Program)	\$21,000
	Public Services Salaries (Neighborhood Services)	\$32,832
Administration - City	Senior Management Analyst - Economic Development Salary for Administering CDBG Programs	\$35,888
Total CDBG Allocation to the City		\$322,998

CDBG ALLOCATION TO THE COUNTY OF ORANGE		
Activity	Program	Allocation
Administration - County	County Staff - Maximum HUD Allocation	\$35,888
Total CDBG Allocation to the County		\$35,888
TOTAL CDBG FUNDING ALLOCATION		\$358,886

Program Activities

Housing Needs: The goal is to preserve and rehabilitate existing ownership housing stock. Due to the large percentage of the City's housing stock exceeding 50 years of age, measures must be taken to preserve the quality and livability of existing residential units. Many of these housing units are owned by low-moderate income persons, often elderly or disabled residents, who are unable to adequately care for their homes. Minor exterior rehabilitation efforts are often necessary to provide exterior repairs, weatherization, or clean-up improvements to maintain the quality of living conditions or for health and safety issues.

In addition, the Façade Improvement Program will be implemented in an effort to remove blight and provide for the expansion of the City's tax base through the use of CDBG funds for eligible façade improvements to local businesses. The funds can be used for exterior improvements among the aging commercial buildings in the Old Town Placentia area. The program will be designed to promote Placentia as a positive venue for quality business, incentivize business improvements and attraction to enhance local economic growth, and ensure that government regulations promote a favorable business climate.

Public Services: HUD requires 15% of the total CDBG funding allocation to be designated to public services. Based upon the community need and HUD requirements, there is a high priority need to continue to support public services for senior and youth populations. The City's continuing Senior Lunch Program provides a local community benefit to the senior and disabled population by providing daily nutritional meals supplemented by much-needed social interaction. The program serves an average of 450 lunches a month to senior and disabled residents in Placentia

and the surrounding communities. The majority of attendees are over the age of 65, live alone, and are considered low-income. The City also provides several Neighborhood Services programs including free food distribution and human services referrals in areas designated as low-to-moderate income. These Neighborhood Services programs ensure that comprehensive and coordinated resources are available to support family needs.

Administrative Costs: HUD approves the allocation of 20% of the total CDBG funding for administrative costs. Per the current agreement with the County of Orange, the 20% will be equally divided between the City and the County. The County will file on behalf of the City, several HUD mandated reports including the AAP, CAPER, Analysis of Impediments (AI), Citizen Participation Plan (CPP), and the Integrated Disbursement and Information System (IDIS) management. The City's administrative costs will be for the monitoring and reporting of the programs and activities. Administrative costs will specifically be for the submittal of quarterly expenditure reports, financial activity, contracts, and summary of accomplishments for each of the programs and activities.

FISCAL IMPACT:

Submittal of the proposed CDBG program and activities to the County will have a positive financial impact. The City will receive approximately \$322,998 of the anticipated total amount of \$358,886 in CDBG allocated funds for FY 2024-25 for the implementation of specific programs and activities that will have a positive impact upon our community.

Prepared by:



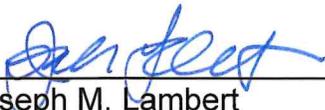
Kiana Louie
Senior Management Analyst - Economic
Development

Reviewed and approved:



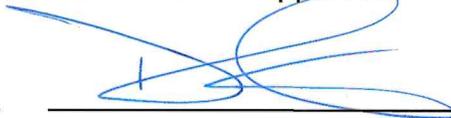
Jeannette Ortega
Deputy Director of Administrative Services

Review and approved:



Joseph M. Lambert
Director of Development Services

Reviewed and approved:



Damien R. Arrula
City Administrator



Placentia City Council

AGENDA REPORT

TO: CITY COUNCIL

VIA: CITY ADMINISTRATOR

FROM: DEPUTY CITY ADMINISTRATOR / PUBLIC SERVICES & INFRASTRUCTURE

DATE: MARCH 5, 2024

SUBJECT: **ADOPT RESOLUTION OF FORMATION TO ESTABLISH CITY OF PLACENTIA COMMUNITY FACILITIES DISTRICT NO. 2024-01 (OLD TOWN MAINTENANCE SERVICES) AND ESTABLISH THE APPROPRIATIONS LIMIT FOR THE PROPOSED COMMUNITY FACILITIES DISTRICT; ADOPT RESOLUTION CALLING A SPECIAL TAX ELECTION; FIRST READING OF AN ORDINANCE TO AUTHORIZE THE LEVY OF SPECIAL TAXES; ADOPT RESOLUTION AUTHORIZING FUTURE ANNEXATIONS TO PLACENTIA COMMUNITY FACILITIES DISTRICT NO. 2024-01; ADOPT RESOLUTION DECLARING THE RESULTS OF THE SPECIAL ELECTION**

FISCAL
IMPACT: PROJECTED ANNUAL EXPENSE: \$187,400
PROJECTED ANNUAL REVENUE: \$187,400

SUMMARY:

On January 23, 2024 the City Council adopted a Resolution of Intention to establish the proposed Community Facilities District No. 2024-01 (Old Town Maintenance Services) ("CFD No. 2024-01"). The recommended actions will complete the formation of a Mello-Roos Community Facilities District ("CFD") for the purposes of partially funding the maintenance of the Old Town Placentia Streetscape Master Plan. The recommended action will also establish the previously approved future annexation area which will allow for future developments to be annexed into the CFD in an expedited fashion. The initial CFD will encompass the Orange County Assessor's Parcels identified as 339-052-27 (2 Guys, LLC, a California Limited Liability Company), at 132 South Bradford Avenue with property owners Walt Lynch and Kenneth Binnings. The future annexation area will encompass the entirety of the boundaries of Old Town Placentia as established by the Old Town Revitalization Plan.

RECOMMENDATION:

It is recommended that the City Council take the following actions:

1. Open a public hearing inviting interested parties to speak for or against the establishment of the CFD, the extent of the CFD, or the furnishing of the specified services; and
2. Adopt Resolution No. R-2024-13, a Resolution of Formation of the City Council of the City of Placentia Establishing Community Facilities District No. 2024-01 (Old Town Maintenance

2.b.
March 5, 2024

Services); Authorizing the Levy of Special Taxes; and Establishing the Appropriations Limit for the proposed Community Facilities District; and

3. Adopt Resolution No. R-2024-14, a Resolution of the City Council of the City of Placentia Calling a Special Tax Election and Submitting to the Qualified Electors the Questions of Levying a Special Tax on the Property located in the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services); and
4. Adopt Resolution No. R-2024-15, a Resolution of the City Council of the City of Placentia setting forth Procedures to Allow for Future Annexation of Territory to the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services); and
5. Accept the Ballot(s) from the landowner(s), tabulate the votes for and against the establishment of the CFD and certify the election results; and
6. Adopt Resolution No. R-2024-16, a Resolution of the City Council of the City of Placentia Declaring the Results of the Special Election, Determining the Validity of Prior Proceedings, and Directing the Recording of Notice of Special Tax Lien; and
7. Introduce for first reading, by title only, further reading waived, Ordinance No. O-2024-03, an Ordinance of the City Council of the City of Placentia, California, Levying Special Taxes within the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services).

STRATEGIC PLAN STATEMENT:

This item is consistent with the City Council approved 5-Year Strategic Goal to:

Promote Community and Economic Development, as Objective Number 3.7 to continue to establish Old Town Historic District/Business Improvement District. This agenda item will specifically result in the funding mechanism needed to preserve and maintain the future reconstruction of the public infrastructure in Old Town Placentia.

DISCUSSION:

The Mello-Roos Community Facilities Act of 1982 ("Act") provides for the establishment of a community facilities district to finance infrastructure, development impact fees, and public services. The Act specifically provides for approval of the special tax by vote of the landowners pursuant to § 53326(b) of the California Government Code. Further, the Act specifically provides for the initiation of the establishment of community facilities districts upon receipt by the City of a petition requesting the institution of proceedings by the owners of not less than 10% of the area of land proposed to be included within the district.

Section 53326 (b) provides that, if there are less than twelve (12) registered voters currently within the boundaries of the proposed district, the vote to form the district and levy a special tax shall be

by the landowners of property in the proposed district, and each landowner shall have one (1) vote for each acre or portion of an acre of land owned within the proposed district.

On July 11, 2017, the Placentia City Council approved the adoption of the Old Town Revitalization Plan. The Old Town Revitalization Plan includes a comprehensive Streetscape Master Plan. The Streetscape Master Plan dictates the specific amenities for the Old Town area, so that these elements will be consistent throughout and give the area a sense of place and a feeling of cohesiveness. These include widened sidewalks, landscape enhancements, new trees, bike racks, lighting, trash receptacles, bollards and seating.

In 2020, the City, in partnership with the County of Orange, established an Enhanced Infrastructure Financing District (EIFD). The purpose of the EIFD is to create a funding mechanism that can facilitate the construction of the Streetscape Master Plan in Old Town Placentia.

The City has discussed the formation of the CFD with property owners in Old Town Placentia, including Walt Lynch and Kenneth Binnings. City Staff discussed the need to create a funding mechanism for the maintenance of the Old Town Placentia Streetscape Master Plan. Mr. Lynch and Mr. Binnings agreed to be the catalyst for the formation of a new CFD, which will set forth the maintenance costs related to the Streetscape Master Plan, and which will be payable by property owners in Old Town through the CFD.

The proposed tax to be levied is based upon a Rate and Method of Apportionment analysis that was prepared by David Taussig and Associates. The analysis indicates that the tax rate needed to maintain the Old Town public infrastructure improvements is \$0.0765 per land area square footage for properties that are undergoing rehabilitation/remodeling per year. Since the area is completely built out and is historic in nature, it is anticipated that most properties in Old Town will be rehabilitated/remodeled vs. new construction/development.

The establishment of Goals and Policies for the use of Community Facilities Districts is required by the Mello-Roos Act and was necessary before the City Council could initiate proceedings to establish a new CFD. The Goals and Policies, approved November 5, 2013, provide general guidance and conditions for the conduct by the City of proceedings for forming CFD's.

The required petition requesting the City Council begin proceedings for the formation of the CFD has been executed by Mr. Walt Lynch and Mr. Kenneth Binnings, owners of 132 South Bradford Avenue, and has been included as Exhibit A.

On January 23, 2024, the City Council adopted Resolution of Intention to establish the proposed City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services) (Resolution No. R-2024-04) which declared the City's intention to form the district, approved the boundary of the CFD, called for the preparation of the Community Facilities District (CFD) Report (Exhibit D to the Resolution of Formation), and set the time and place of the required Public Hearing. The City Council also adopted a Resolution of Intention to allow for Future Annexation of territory to the CFD (Resolution No. R-2024-05). A public hearing was set for March 5, 2024, to discuss the formation of the CFD and future annexation of territory.

The CFD Report provides a description of the Services to be funded by the CFD and an estimate of the fair and reasonable cost of the Services and incidental expenses of the CFD. The CFD Report also shows the boundaries of the proposed CFD and the affected assessor's parcels. The CFD boundary map and future annexation area of CFD No. 2024-01 has been recorded on February 6, 2024, in the Office of the County Recorder of Orange County, California in Book 109, page 40-41 M/M of Maps of Assessment and Community Facilities Districts (Instrument No. 2024000026763).

The Notice of Public Hearing was published on February 22, 2024, in the Placentia News Times, a newspaper of general circulation in the area of the proposed CFD, as required by the Code.

The next step in the formation process is to hold a public hearing whereby if no majority protest exists among the qualified electors (in this instance the landowner) the City Council may proceed to adopt the Resolution of Formation, which establishes the CFD contingent upon approval by the qualified electors. Since the Developer owns 100% of the property within the proposed CFD and has signed and submitted the Consent and Waiver, the election may be conducted immediately following the adoption of the Resolution of Formation. The ballots should be tabulated, and the election results declared.

If the electors approve the CFD, the CFD board may, by Ordinance, levy and collect the special tax and furnish the approved services. The first reading of the Ordinance Authorizing the Levy of the Special Tax may occur immediately following the certification of election results. It is estimated that at full development and prior to any annexations, the proposed CFD could generate around \$187,400 dollars a year in additional revenue to the City for maintenance services in Old Town.

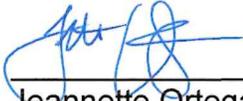
Within 15 days of adopting the Resolution of Formation the Notice of Special Tax Lien (Attachment "6") will need to be recorded with the County.

Approval of the Resolution to allow for future annexation of territory to City of Placentia Community Facilities District No. 2024-01 gives the City the ability to annex future development projects into CFD No. 2024-01 in a streamlined process to help offset the costs of providing ongoing maintenance services to those newly developed areas. Approval will allow an expedited annexation process for future projects and will only require a petition from the property owners within the area to be annexed and a public hearing to count the votes and annex the project into the pre-established district.

FISCAL IMPACT:

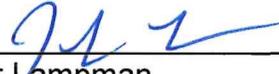
For the CFD tax to be applied to a parcel, either rehabilitation/remodel must be completed or a building permit for the rehabilitation needs to be issued by the City by June 1 of the preceding fiscal year.

Prepared by:



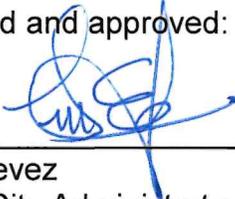
Jeannette Ortega
Deputy Director of Administrative Services

Reviewed and approved:



Jennifer Lampman
Director of Finance

Reviewed and approved:



Luis Estevez
Deputy City Administrator

Reviewed and approved:



Damien R. Arrula
City Administrator

Attachments:

1. Resolution No. R-2024-13 - Resolution of Formation
2. Resolution No. R-2024-14 - Resolution Calling a Special Tax Election
3. Resolution No. R-2024-15 - Resolution of Future Annexation Area
4. Resolution No. R-2024-16 - Resolution of Declaring the Results of the Special Tax Election
5. Ordinance No. O-2024-03 - Authorizing the Levy of the Special Tax
6. Notice of Special Tax Lien

RESOLUTION NO. R-2024-13

RESOLUTION OF FORMATION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA ESTABLISHING COMMUNITY FACILITIES DISTRICT NO. 2024-01 (OLD TOWN MAINTENANCE SERVICES); AUTHORIZING THE LEVY OF SPECIAL TAXES; AND ESTABLISHING THE APPROPRIATIONS LIMIT FOR THE PROPOSED COMMUNITY FACILITIES DISTRICT

A. Recitals.

(i) On January 23, 2024, the City Council ("Council") of the City of Placentia ("City"), adopted Resolution No. R-2024-04, ("Resolution of Intention") (a) declaring its intention to establish Community Facilities District No. 2024-01 (Old Town Maintenance Services) ("CFD No. 2024-01" of "CFD") consisting of the territory described in Exhibit "A" pursuant to the Mello-Roos Community Facilities Act of 1982 ("Act"), commencing with § 53311 of the California Government ("Government Code"), (b) proposing to levy a special tax within CFD No. 2024-01 pursuant to the terms of the Act to fund the cost of providing services ("Services") described in Exhibit "B" hereto, and (c) calling a public hearing ("Public Hearing") on the establishment of CFD No. 2024-01 for March 5, 2024.

(ii) The Resolution of Intention incorporates a map of the proposed boundaries of the CFD, states the services to be provided, the costs of providing such services and the rate and method of apportionment of the special tax to be levied within the CFD, and of which are on file with City Clerk and the provisions thereof are incorporated herein by reference as if fully set forth herein.

(iii) The services to be provided as stated in Exhibit "B" of the Resolution of Intention have been revised to clarify the area the services are being provided to and assessed and are in no way changing those services. The services set forth in Exhibit "B" of this Resolution are the services to be provided.

(iv) Before the time for the Public Hearing, as directed in the Resolution of Intention R-2024-04, the City officers who are or will be responsible for providing one or more of the Services filed with the City Council the report required by California Government Code § 53321.5 ("Hearing Report").

(v) A notice of the Public Hearing was duly published as required by the Act, as evidenced by the affidavit of publication on file with the City Clerk.

(vi) Pursuant to the Act and the Resolution of Intention, the noticed Public Hearing was convened by the City Council on March 5, 2024, at 7:00 p.m. at the Chambers of the City Council located at 401 E. Chapman Avenue, Placentia, California 92870 relative to the establishment of CFD No. 2024-01.

(vii) At the Public Hearing, the testimony of all interested persons desiring to be heard on the establishment of CFD No. 2024-01, the extent thereof, the furnishing of specified types of services, the proposed special tax, the establishment of an appropriations limit for CFD No. 2024-01, or any other matters set forth in the Resolution of Intention was heard and a full and fair hearing was conducted thereon.

(viii) Written protests against the establishment of CFD No. 2024-01, the furnishing of specified types of services in CFD No. 2024-01 as listed in the Hearing Report, or the levying of the special tax have not been filed by 50% or more, or six, the registered voters, whichever is more, residing within the territory proposed to be included in CFD No. 2024-01 or by the owners of one-half or more of the area of land in the territory proposed to be included in CFD No. 2024-01 and not exempt from this special tax.

(ix) On the basis of all of the foregoing, the City Council has determined at this time to establish CFD No. 2024-01 and to submit to the qualified electors of CFD No. 2024-01 the levy of the special tax therein (as such tax is more particularly described in the Rate and Method of Apportionment of Special Tax attached as Exhibit "C" hereto) and the establishment of an appropriations limit for CFD No. 2024-01.

B. Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

1. In all respects the foregoing recitals are true and correct and are incorporated herein.

2. The City Council finds and determines (which finding and determination is final and conclusive in accordance with Government Code § 53325.1) that all proceedings up to and including the adoption of this Resolution taken with respect to the formation of CFD No. 2024-01 were and are valid and in conformity with the requirements of the Act, including, without limitation, the following:

a) Adoption of the Resolution of Intention to establish CFD No. 2024-01.

b) Publication of notices of the Public Hearing on the establishment of CFD No. 2024-01.

c) Conducting of the Public Hearing on the establishment of CFD No. 2024-01, the proposed public facilities and services and the incurring of the proposed debt, at which time all interested persons were permitted to protest orally or in writing against the establishment of CFD No. 2024-01, were permitted to file written protests to the regularity or sufficiency of the proceedings, and any person interested, including persons owning property within CFD No. 2024-01, were permitted to appear and present any matters

material to the questions set forth in the Resolution of Intention

3. The City Council hereby approves the Community Facilities District ("CFD") Report attached as Exhibit "D" hereto, and makes the CFD Report a part of the record of the Public Hearing, and it is ordered that the CFD Report be kept on file with the transcript of these proceedings and open for public inspection.

4. The formation of CFD No. 2024-01 and the levy of the proposed special tax within CFD No. 2024-01 has not been precluded by majority protest pursuant to § 53324 of the Act.

5. As proposed in the Resolution of Intention, a community facilities district is hereby established pursuant to the Act, designated "Community Facilities District No. 2024-01 (Old Town Maintenance Services). "

6. The description and map of the boundaries of CFD No. 2024-01 on file in the City Clerk's office and as described in the Resolution of Intention and incorporated herein by reference, shall be the boundaries of CFD No. 2024-01. The map of the proposed boundaries and future annexation area of CFD No. 2024-01 has been recorded on February 6, 2024, in the Office of the County Recorder of Orange County, California in Book 109, page 40-41 M/M of Maps of Assessment and Community Facilities Districts (Instrument No. 2024000026763).

7. The Services proposed to be financed by CFD No. 2024-01 are described in Exhibit "B" attached hereto. The cost of providing the Services includes "incidental expenses, which include costs associated with the creation of CFD No. 2024-01, determination of the amount of special taxes, collection or payment of special taxes, or costs otherwise incurred in order to carry out the authorized purposes of CFD No. 2024-01. The Services authorized to be financed by CFD No. 2024-01 are in addition to those currently provided in the territory of CFD No. 2024-01 and do not supplant services already available within that territory. Further, the minor changes in the services from the Resolution of Intention do not change the services in any way but merely clarify the services. The City Council hereby waives those minor defects and changes made to Exhibit "B."

8. As stated in the Resolution of Intention, except where funds are otherwise available, subject to the approval of the qualified electors of CFD No. 2024-01, a special tax sufficient to pay the costs of the Services (including Incidental Expenses as described in the Resolution of Intention), secured by recordation of a continuing lien against all nonexempt real property in CFD No. 2024-01, will be levied annually in CFD No. 2024-01. The rate and method of apportionment, and manner of collection of the special tax are specified in Exhibit "C" hereto. The rate and method of apportionment allows each landowner within CFD No. 2024-01 to estimate the maximum amount that may be levied against each parcel. In the first year in which such special taxes are levied, the levy shall include an amount sufficient to repay CFD No. 2024-01 all amounts, if any, transferred to CFD No. 2024-01 pursuant to Section 53314 of the Act and interest thereon.

9. The special tax as apportioned to each parcel is based on the cost of making the Services available to each parcel, or other reasonable basis, and is not based on or upon the ownership of real property.

10. The Office of the City Administrator, 401 E. Chapman Avenue, Placentia, California 92870, (714) 993-8117, or his or her designee, is designated to be responsible for preparing annually a current roll of special tax levy obligations by assessor's parcel number and for estimating future special tax levies pursuant to §53340.2 of the Government Code. The City may contract with private consultants to provide this service in lieu of the Office of the City Administrator.

11. In accordance with the Act, an appropriations limit, as defined by subdivision (h) of § 8 of Article XIII B of the California Constitution, of CFD No. 2024-01 is hereby established at \$1,000,000.00 and said appropriations limit shall be submitted to the voters of CFD No. 2024-01 as hereafter provided. The proposition establishing said appropriations limit shall become effective if approved by the qualified electors voting thereon and shall be adjusted in accordance with the applicable provisions of the Act.

12. Pursuant to § 50075.1 of the California Government Code, the City shall create a separate account into which tax proceeds will be deposited; and the Director of Finance annually shall file a report with the City Council that will state (a) the amount of funds collected and expended and (b) the status of the Services financed in CFD No. 2024-01.

13. Upon recordation of a notice of special tax lien pursuant to § 3114.5 of the Streets and Highways Code, a continuing lien to secure each levy of the Special Taxes shall attach to all nonexempt real property in CFD 2024-01, and this lien shall continue in force and effect until the Special Tax obligation is prepaid or otherwise permanently satisfied and the lien cancelled in accordance with law or until collection of the tax by CFD No. 2024-01 ceases.

14. The Mayor shall sign this Resolution, and the City Clerk shall attest and certify to the passage and adoption thereof.

APPROVED and ADOPTED this 5th day of March, 2024.

JEREMY YAMAGUCHI, MAYOR

ATTEST:

ROBERT S. MCKINNELL, CITY CLERK

I, ROBERT S. MCKINNELL, CITY CLERK of the CITY OF PLACENTIA DO
HEREBY CERTIFY that the foregoing Resolution No. was adopted at a regular meeting
of the City Council held on the 5th day of March 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

Christian Bettenhausen, City Attorney

EXHIBIT A

Map of Proposed Boundaries of City of Placentia
Community Facilities District No. 2024-01
(Old Town Maintenance Services)

109 40

CONFIRMED COPY

**PROPOSED BOUNDARIES OF
CITY OF PLACENTIA
COMMUNITY FACILITIES DISTRICT NO. 2024-1
(OLD TOWN MAINTENANCE SERVICES)
CITY OF PLACENTIA, COUNTY OF ORANGE
STATE OF CALIFORNIA**

Assessor Parcels in the City of Placentia
Community Facilities District No. 2024-1 (Old Town Maintenance Services):

339-052-14	339-355-08	339-365-04	339-392-04
339-052-15	339-355-09	339-365-05	339-392-05
339-052-16	339-355-10	339-365-06	339-392-06
339-052-17	339-355-11	339-365-07	339-392-07
339-052-18	339-355-12	339-365-08	339-392-08
339-052-19	339-355-13	339-365-09	339-392-09
339-052-20	339-355-14	339-365-10	339-392-10
339-052-21	339-355-15	339-365-11	339-392-11
339-052-22	339-355-16	339-365-12	339-392-12
339-052-23	339-355-17	339-365-13	339-392-13
339-052-24	339-355-18	339-365-14	339-392-14
339-052-25	339-355-19	339-365-15	339-392-15
339-052-26	339-355-20	339-365-16	339-392-16
339-052-27	339-355-21	339-365-17	339-392-17
339-052-28	339-355-22	339-365-18	339-392-18
339-052-29	339-355-23	339-365-19	339-392-19
339-061-01	339-362-06	339-365-20	339-392-20
339-061-02	339-363-09	339-365-21	339-392-21
339-061-03	339-363-10	339-365-22	339-392-22
339-061-04	339-363-11	339-365-23	339-393-01
339-061-05	339-363-12	339-365-24	339-393-02
339-061-06	339-363-13	339-365-25	339-393-03
339-061-07	339-363-14	339-365-26	339-393-04
339-061-08	339-363-15	339-365-27	339-393-05
339-061-09	339-363-16	339-391-01	339-393-06
339-061-10	339-363-17	339-391-02	339-393-07
339-061-11	339-363-18	339-391-03	339-393-08
339-061-12	339-363-19	339-391-04	339-393-09
339-061-13	339-363-20	339-391-05	339-393-10
339-061-14	339-363-21	339-391-06	339-394-01
339-061-15	339-363-22	339-391-07	339-394-02
339-061-16	339-364-01	339-391-08	339-394-03
339-061-17	339-364-02	339-391-09	339-394-04
339-355-02	339-364-03	339-391-10	339-394-05
339-355-03	339-364-04	339-391-11	339-394-06
339-355-04	339-364-05	339-391-12	339-392-02
339-355-05	339-364-06	339-391-13	339-392-03
339-355-06	339-364-07	339-391-14	
339-355-07	339-364-08	339-391-15	
	339-364-09	339-391-16	
	339-364-10	339-392-01	
	339-364-11	339-392-02	
	339-364-12	339-392-03	
	339-364-13		
	339-364-14		
	339-364-15		
	339-364-16		
	339-365-01		
	339-365-02		
	339-365-03		
	339-365-04		
	339-365-05		
	339-365-06		
	339-365-07		

Assessor Parcels in the City of Placentia
Community Facilities District No. 2024-1
(Old Town Maintenance Services):
339-052-27

(1) Filed in the office of the City Clerk of the City of Placentia the 25th day of January, 2024.

Robert Brinkman
City Clerk,
City of Placentia

(2) I hereby certify that the within map showing the proposed boundaries of City of Placentia Community Facilities District No. 2024-1 (Old Town Maintenance Services), City of Placentia, County of Orange, State of California, was approved by the City Council of the City of Placentia at a regular meeting thereof, held on the 23rd day of January, 2024, by its Resolution No. R-2475-49.

Robert Brinkman
City Clerk,
City of Placentia

(3) Filed this 6 day of February, 2024, at the hour of 12 o'clock PM, in Book 107 of Maps of Assessment and Community Facilities Districts at Page 40-41 AKA and as Instrument No. 202400022769, in the office of the County Recorder in the County of Orange, State of California, at the request of the City of Placentia.

Hugh Nguyen
Clerk-Recorder, County of Orange
By *[Signature]*
Deputy Recorder

Fee _____
Exempt Recording Requested, per CA Government Code §27383

SHEET 1 OF 2

40

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CONFIRMED COPY

Prepared by DTA

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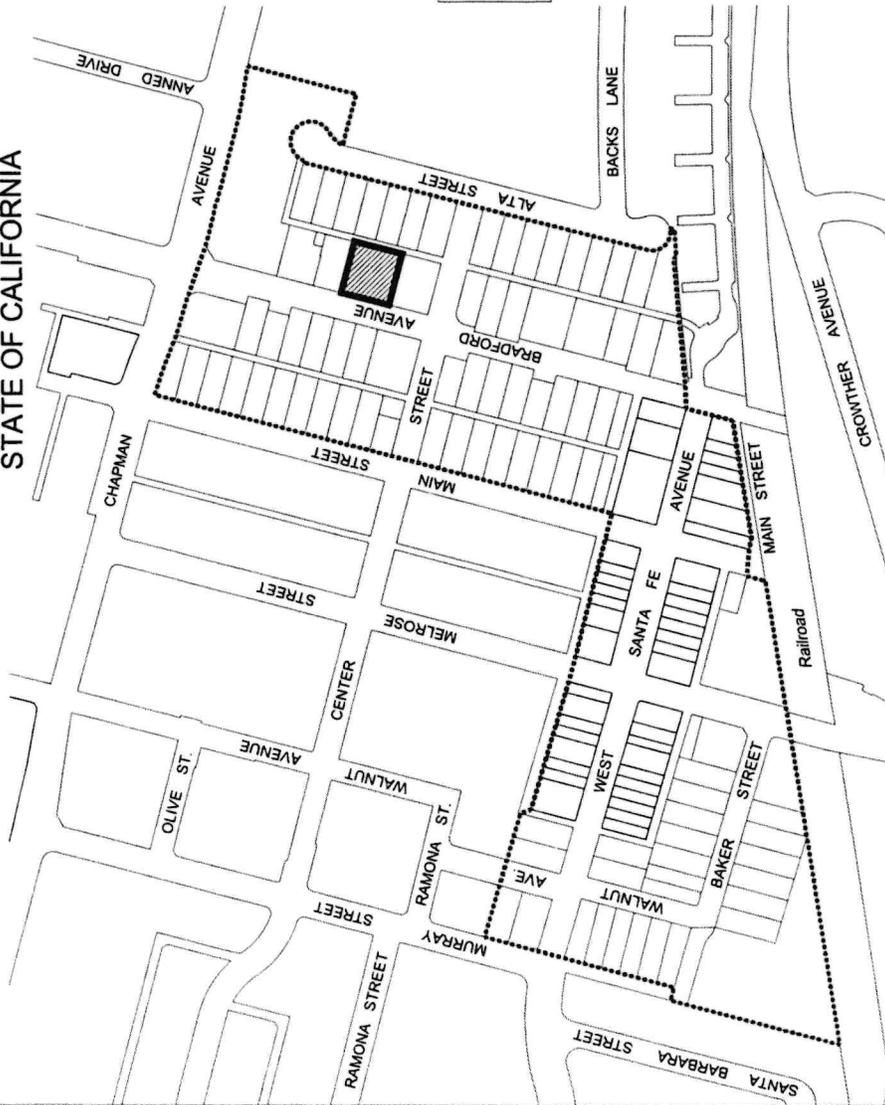
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PROPOSED BOUNDARIES OF
 CITY OF PLACENTIA
 COMMUNITY FACILITIES DISTRICT NO. 2024-1
 (OLD TOWN MAINTENANCE SERVICES)
 CITY OF PLACENTIA, COUNTY OF ORANGE
 STATE OF CALIFORNIA

SHEET 2 OF 2

41

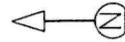
109



Reference is hereby made to the Assessor maps of the County of Orange for a description of the lines and dimensions of these parcels.

LEGEND

-  Proposed Boundaries of City of Placentia Community Facilities District 2024-1 (Old Town Maintenance Services)
-  Future Annexation Area



Prepared by DTA

CONFORMED COPY

EXHIBIT B

DESCRIPTION OF SERVICES

The services which may be funded with proceeds of the special tax of CFD No. 2024-1, as provided by Section 53313 of the Act, will include all costs attributable to maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (and may include reserves for replacement) in public street rights-of-way, utility repairs, public infrastructure/fixtures, street maintenance, signage, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use. These services include the following:

- a) Maintenance and lighting of parkways, streets, roads, public parking lots and open space, which maintenance and lighting services may include, without limitation, furnishing of electrical power to streetlights; repair and replacement of damaged or inoperative light bulbs, fixtures and standards; and
- b) Maintenance (including irrigation and replacement) of landscaping vegetation and trees situated on or adjacent to parkways, streets, roads, public parking lots and open space. Maintenance and repair of irrigation facilities; planting, replanting, mowing, trimming, irrigation and fertilization of grass, trees, shrubs, and other plants and vegetation; and
- c) Maintenance and replacement of public signage and wayfinding signage, directional signage; and
- d) Graffiti removal from and maintenance and repair of public structures situated on parkways, streets, roads, public parking lots and open space; and
- e) Furnishing, maintenance, repair or replacement of equipment, apparatuses, fixtures or facilities; and
- f) Maintenance and operation of water quality improvements which include storm drainage and flood protection facilities, including, without limitation, drainage inlets, catch basin inserts and similar facilities. Maintenance services may include, but are not limited to, the repair, removal or replacement of all or part of any of the water quality improvements within the public right-of-way; clearing of inlets and outlets; erosion repairs; and cleanup to improvements, and other items necessary for the maintenance; and
- g) Public street sweeping and refuse services on the segments of the arterials.

In addition to payment of the cost and expense of the forgoing services, proceeds of the special tax may be expended to pay "Administrative Expenses," as said term is defined in the Rate and Method of Apportionment. The above services shall be limited to those for the benefit of the properties within the boundaries of CFD No. 2024-1, as the boundary is expanded from time to time by anticipated annexations, and said services may be financed by proceeds of the special tax of CFD No. 2024-1. This includes paying the salaries and benefits of personnel necessary or convenient to provide the services; payment of insurance costs and other related expenses; and the provision of reserves for repairs, replacements, and for the future provision of services. It is expected that the services will be provided by the District, either with its own employees or by contract with third parties, or any combination thereof.

EXHIBIT C

Rate and Method of Apportionment

RATE AND METHOD OF APPORTIONMENT FOR CITY OF PLACENTIA COMMUNITY FACILITIES DISTRICT NO. 2024-1 (OLD TOWN MAINTENANCE SERVICES)

A Special Tax as hereinafter defined shall be levied on all Assessor's Parcels in City of Placentia Community Facilities District No. 2024-1 ("CFD No. 2024-1") and collected each Fiscal Year commencing in Fiscal Year 2023-2024, in an amount determined by the City Council of the City of Placentia through the application of the Rate and Method of Apportionment as described below. All of the real property in CFD No. 2024-1, unless exempted by law or by the provisions hereof, shall be taxed for the purposes, to the extent and in the manner herein provided.

A. DEFINITIONS

The terms hereinafter set forth have the following meanings:

"Acre" or "Acreage" means the land area of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Act" means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, Division 2 of Title 5 of the Government Code of the State of California.

"Administrative Expenses" means the following actual or reasonably estimated costs directly related to the administration of CFD No. 2024-1: the costs of computing the Special Taxes and preparing the annual Special Tax collection schedules (whether by the City or designee thereof or both); the costs of collecting the Special Taxes (whether by the County or otherwise); the costs associated with preparing Special Tax disclosure statements and responding to public inquiries regarding the Special Taxes; the costs of the City, CFD No. 2024-1 or any designee thereof related to an appeal of the Special Tax; and the City's annual administration fees and third party expenses. Administrative Expenses shall also include amounts estimated or advanced by the City or CFD No. 2024-1 for any other administrative purposes of CFD No. 2024-1.

"Assessor's Parcel" means a lot or parcel shown in an Assessor's Parcel Map with an assigned Assessor's parcel number.

"Assessor's Parcel Map" means an official map of the Assessor of the County designating parcels by Assessor's parcel number.

"CFD Administrator" means an official of the City, or designee thereof, responsible for determining and providing for the levy and collection of the Special Tax.

"**CFD No. 2024-1**" means the City of Placentia Community Facilities District No. 2024-1 (Old Town Maintenance Services).

"**City**" means the City of Placentia.

"**Consumer Price Index**" means, for each Fiscal Year, the Consumer Price Index published by the U.S. Bureau of Labor Statistics for All Urban Consumers in the Los Angeles-Long Beach-Anaheim region, measured as of the month of December in the calendar year which ends in the previous Fiscal Year. In the event this index ceases to be published, the Consumer Price Index shall be another index as determined by the CFD Administrator that is reasonably comparable to the Consumer Price Index for the Los Angeles-Long Beach-Anaheim region.

"**Council**" means the City Council of the City.

"**County**" means the County of Orange, California.

"**Developed Property**" means, for each Fiscal Year, all Taxable Property, excluding Existing Building/Structure Property, for which a building permit was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year for construction of a new building/structure.

"**Existing Building/Structure Property**" means, for each Fiscal Year, all Taxable Property, for which a building or structure existed on such property prior to March 1, 2023.

"**Fiscal Year**" means the period starting July 1 and ending on the following June 30.

"**Hotel/Motel Property**" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit has been issued for building a non-residential structure that constitutes a place of lodging providing sleeping accommodations and related facilities for travelers. Such related facilities may include, but are not limited to, on-site restaurants, retail establishments, conference rooms/areas, etc.

"**Hotel/Motel Rooms**" means, for each Assessor's Parcel of Hotel/Motel Property, the number of hotel/motel rooms available for rent for the purpose of overnight lodging, as indicated on the building permit issued by the City. If such room data is not included on the building permit for an Assessor's Parcel of Hotel/Motel Property, then the CFD Administrator shall rely on the site plan or other reasonable data sources as determined by the CFD Administrator.

"**Industrial Property**" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: manufacturing, procession, fabricating, assembly, refining, repairing, packaging, or treatment of goods, material or produce; research and development; and/or warehousing and wholesale distribution of goods, material, or produce.

"**Maximum Special Tax**" means the Maximum Special Tax, determined in accordance with Section C below, that can be levied in any Fiscal Year on any Assessor's Parcel of Taxable Property within CFD No. 2024-1.

"Multi-Family Residential Property" means any Assessor's Parcel of Residential Property for which one or more building permits have been issued for attached residential units, all of which are made available for rental, but not purchase, by the general public.

"Non-Residential Floor Area" means, for Non-Residential Property, the total square footage of enclosed area within the perimeter of a non-residential structure located on such property, not including any space devoted to vehicle parking, walkway, overhang, patio, and areas incident thereto for which a building permit for new construction was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year. The determination of Non-Residential Floor Area shall be made by reference to the building permit(s) issued for such Assessor's Parcel, or if square footage is not available from this source, as otherwise determined by the CFD Administrator.

"Non-Residential Property" means, for each Fiscal Year, all Developed Property for which a building permit(s) was issued for the construction of a new building/structure with a non-residential use.

"Non-Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property not considered (i) Hotel/Motel Property, (ii) Industrial Property, (iii) Retail Commercial Property, or (iv) Office Property.

"Office Property" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: general, professional, and/or medical office space.

"Parcel Square Foot" or "Parcel Square Footage" means the land area, or Acreage multiplied by 43,560, of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Parking Lot Property" means, for each Fiscal Year, Assessor's Parcels 339-394-06 and 339-394-07 as designated on the Assessor's Parcel Map at the time of formation of CFD No. 3-1 and any other Assessor's Parcel that is not Public Property and for which a building permit has been issued for the construction of, or on which is located a garage, parking lot, or parking structure, as of March 1 of the prior Fiscal Year, and on which is located no other Developed Property, as determined by the CFD Administrator.

"Property Owner Association Property" means, for each Fiscal Year, any Assessor's Parcel within the boundaries of CFD No. 2024-1 that was owned by a property owner association, including any master or sub-association, as of March 1 of the prior Fiscal Year.

"Proportionately" means, for Developed Property, Rehab/Remodel Property, and Parking Lot Property that the ratio of the actual Special Tax levy to the Maximum Special Tax is equal for all Developed Property, Rehab/Remodel Property, and Parking Lot Property.

"Public Property" means, for each Fiscal Year, any property within the boundaries of CFD No. 2024-1 that is (i) used for rights-of-way or any other purpose and is owned by or irrevocably offered for dedication to the federal government, the State of California, the County, the City or any other public agency as of March 1 of the prior Fiscal Year or (ii) encumbered by an unmanned

utility easement making impractical its utilization for other than the purpose set forth in the easement as of March 1 of the prior Fiscal Year, provided however that any property leased by a public agency to a private entity and subject to taxation under Section 53340.1 of the Act shall be taxed and classified in accordance with its use.

"Rehab/Remodel Property" means all Assessor's Parcels of Existing Building/Structure Property for which a building permit with a construction valuation greater than \$25,000, as determined by the CFD Administrator, was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year to rehabilitate or remodel Existing Building/Structure Property.

"Residential Property" means all Developed Property for which a building permit has been issued for purposes of constructing one or more residential dwelling units.

"Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property for which the building permit was issued for a retail sales tax generating use or which is being used primarily for a retail sales tax generating use, as determined by the CFD Administrator, and not considered (i) Hotel/Motel Property, (ii) Industrial Property, or (iii) Office Property.

"Single Family Residential Property" means any Assessor's Parcel of Residential Property not considered Multi-Family Residential Property.

"Special Tax" means the special tax to be levied in each Fiscal Year on each Assessor's Parcel of Taxable Property to fund the Special Tax Requirement for Services.

"Special Tax Requirement for Services" means that amount required in any Fiscal Year to: (i) pay directly for annual maintenance services that are authorized to be financed by CFD No. 2024-1; (ii) pay Administrative Expenses; less (iii) a credit for funds available to reduce the annual Special Tax levy, as determined by the CFD Administrator.

"State" means the State of California.

"Taxable Property" means all of the Assessor's Parcels within the boundaries of CFD No. 2024-1 which are not exempt from the Special Tax pursuant to law or Section E below.

"Undeveloped Property" means, for each Fiscal Year, all Taxable Property not classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, Taxable Property Owner Association Property or Taxable Public Property.

"Welfare Exemption" means, for each Fiscal Year, any Assessor's Parcel that is used exclusively for charitable, hospital, or religious purposes and that has a property tax welfare exemption as indicated in the County's assessor's roll finalized as of the last preceding January 1.

B. ASSIGNMENT TO LAND USE CATEGORIES

Each Fiscal Year, all Taxable Property within CFD No. 2024-1 shall be classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, or Undeveloped Property and shall be subject to Special Taxes in accordance with the rate and method of apportionment determined pursuant to Sections C and D below.

Developed Property shall be further classified as Residential Property or Non-Residential Property. For Residential Property, the Special Tax will be based on the number of dwelling units as indicated on the building permit. For Non-Residential Property, the Special Tax will be based on the Non-Residential Floor Area or number of Hotel/Motel Rooms. For Rehab/Remodel Property and Parking Lot Property, the Special Tax will be based on the Parcel Square Footage.

C. MAXIMUM SPECIAL TAX

1. Developed Property, Rehab/Remodel Property, and Parking Lot Property

a. Maximum Special Tax

The Maximum Special Tax for Fiscal Year 2023-2024 for each Land Use Class is shown below in Table 1.

TABLE 1
Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property
For Fiscal Year 2023-2024

Land Use Class	Description	Maximum Special Tax
1	Single Family Residential Property	\$318.00 per dwelling unit
2	Multi-Family Residential Property	\$293.00 per dwelling unit
3	Non-Retail Commercial Property	\$0.2996 per square foot of Non-Residential Floor Area
4	Retail Commercial Property	\$0.2074 per square foot of Non-Residential Floor Area
5	Office Property	\$0.2996 per square foot of Non-Residential Floor Area
6	Industrial Property	\$0.2996 per square foot of Non-Residential Floor Area
7	Hotel/Motel Property	\$230.00 per Hotel/Motel Room
8	Rehab/Remodel Property	\$0.0765 per Parcel Square Foot
9	Parking Lot Property	\$0.0665 per Parcel Square Foot

b. Increase in the Maximum Special Tax

On each July 1, commencing on July 1, 2024, the Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property shall be

increased based on the percentage change in the Consumer Price Index with a maximum annual increase of six percent (6%) and a minimum annual increase of two percent (2%) per Fiscal Year.

c. Multiple Land Use Classes

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Class. The Maximum Special Tax for such Assessor's Parcel shall be the sum of the Maximum Special Tax for all Land Use Classes located on that Assessor's Parcel. The CFD Administrator's allocation to each type of property shall be final.

2. Undeveloped Property and Existing Building/Structure Property

The Special Tax shall not be levied on Undeveloped Property and Existing Building/Structure Property not classified as Rehab/Remodel Property or Parking Lot Property.

D. METHOD OF APPORTIONMENT OF THE SPECIAL TAX

Commencing with Fiscal Year 2023-2024 and for each following Fiscal Year, the Council shall determine the Special Tax Requirement for Services and shall levy the Special Tax until the total Special Tax levy equals the Special Tax Requirement for Services. The Special Tax shall be levied each Fiscal Year as follows:

The Special Tax shall be levied Proportionately on each Assessor's Parcel of Developed Property, Rehab/Remodel Property, and Parking Lot Property at up to 100% of the Maximum Special Tax.

E. EXEMPTIONS

No Special Tax shall be levied on Public Property, Property Owner Association Property, or any Assessor's Parcel that has a Welfare Exemption. However, should an Assessor's Parcel no longer be classified as Public Property, Property Owner Association Property, or have a Welfare Exemption, its tax-exempt status will, without the necessity of any action by the Council, terminate.

F. PREPAYMENT OF SPECIAL TAX

Prepayment of the Special Tax is not authorized.

G. APPEALS/INTERPRETATION

Any landowner or resident may file a written appeal of the Special Tax levied on his/her property with the CFD Administrator, provided that the appellant is current in his/her payments of Special Taxes. During the pendency of an appeal, all Special Taxes previously levied must be paid on or before the payment date established when the levy was made. The appeal must specify the reasons why the appellant claims the Special Tax is in error. The CFD Administrator shall review the appeal, meet with the appellant if the CFD Administrator deems necessary, and advise the appellant of its determination.

If the CFD Administrator agrees with the appellant, the CFD Administrator shall eliminate or reduce the Special Tax on the appellant's property and/or provide a refund to the appellant. If the CFD Administrator disagrees with the appellant and the appellant is dissatisfied with the determination, the appellant then has 30 days in which to appeal to the Council by filing a written notice of appeal with the Council, provided that the appellant is current in his/her payments of Special Taxes. The second appeal must specify the reasons for the appellant's disagreement with the CFD Administrator's determination. The CFD Administrator may charge the appellant a reasonable fee for processing the appeal.

Interpretations may be made by the Council by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Rate and Method of Apportionment.

H. MANNER OF COLLECTION

The Special Tax will be collected in the same manner and at the same time as ordinary *ad valorem* property taxes; provided, however, that CFD No. 2024-1 may directly bill the Special Tax, may collect Special Taxes at a different time or in a different manner if necessary to meet its financial obligations, and may covenant to foreclose and may actually foreclose on delinquent Assessor's Parcels as permitted by the Act.

I. TERM OF SPECIAL TAX

The Special Tax shall be levied as long as necessary to meet the Special Tax Requirement for Services.

EXHIBIT D

(SEE ATTACHED CFD REPORT)



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COMMUNITY FACILITIES DISTRICT REPORT

CITY OF PLACENTIA

COMMUNITY FACILITIES DISTRICT NO. 2024-1
(OLD TOWN MAINTENANCE SERVICES)

February 27, 2024

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CITY OF PLACENTIA



COMMUNITY FACILITIES DISTRICT REPORT

Community Facilities District No. 2024-1

(Old Town Maintenance Services)

Prepared for:

City of Placentia

401 East Chapman Avenue

Placentia, CA 92870

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I INTRODUCTION

WHEREAS, the City Council of the City of Placentia (hereinafter referred to as the "Council") did, pursuant to the provision of the "Mello-Roos Community Facilities Act of 1982," being Chapter 2.5, Part 1, Division 2, Title 5 of the Government Code of the State of California (hereinafter referred to as the "Act"), and specifically Section 53321.5 thereof, expressly order the filing of a written "Report" with the legislative body of the proposed community facilities district. This community facilities district being Community Facilities District No. 2024-1 (Old Town Maintenance Services) shall hereinafter be referred to as:

"CFD No. 2024-1"; and,

WHEREAS, a Resolution of Intention of the City Council of the City of Placentia to Establish Community Facilities District No. 2024-1 (Old Town Maintenance Services) and to Authorize the Levy of a Special Tax on Property Within Community Facilities District No. 2024-1 (hereinafter referred to as the "Resolution of Intention") did direct that said Report generally contain the following:

1. A brief description of services by type which will be required to adequately meet the needs of CFD No. 2024-1;
2. An estimate of the cost of providing those services; and
3. An estimate of the fair and reasonable cost of incidental expenses to be incurred.

WHEREAS, each officer of the City of Placentia (hereinafter referred to as the "City") who is or will be responsible for administering the proposed CFD No. 2024-1 has hereby directed DTA to study the proposed CFD No. 2024-1 and, at or before the time of the public hearing on the establishment of CFD No. 2024-1, file the Report with Council pursuant to the provisions of the Resolution of Intention.

NOW, THEREFORE, DTA does hereby submit the Report.



SECTION II PROJECT DESCRIPTION

II PROJECT DESCRIPTION

Currently, CFD No. 2024-1 only includes County Assessor’s Parcel Number¹ 339-082-27. The initial property in CFD No. 2024-1 encompasses approximately 0.31 gross acres of land in the City along Bradford Avenue and Center Street. It is expected that the property will be developed into a 2,000 square foot building for a small restaurant use.

It is anticipated that additional future development projects within the Future Annexation Area will be annexed into CFD No. 2024-1 as a condition of approval.

¹ Please note that all capitalized terms used herein, unless otherwise indicated, shall have the meanings defined in the Rate and Method of Apportionment for CFD No. 2024-1.

III DESCRIPTION AND ESTIMATED COSTS OF PROPOSED SERVICES

The discussion in this section refers to the descriptions and estimated costs of the proposed services that will be funded through Special Taxes levied in CFD No. 2024-1.

A Description of Proposed Services

A.1 Eligible Services Pursuant to the Act

A community facilities district may finance any one or more of the following types of services: police protection services, including, but not limited to, criminal justice services, fire protection and suppression services, and ambulance and paramedic services, recreation program services, library services, and the operation and maintenance of museums and cultural facilities, maintenance of parks, parkways and open space, flood and storm protection services, including, but not limited to, the operation and maintenance of storm drainage systems, and sandstorm protection systems, and services with respect to removal or remedial action for the cleanup of any hazardous substance released or threatened to be released into the environment. The authorized services may be financed only to the extent that such services are in addition to those services provided in the community facilities district prior to creation of the community facilities district.

A.2 Services to be Funded by CFD No. 2024-1

The types of services proposed to be financed by CFD No. 2024-1 are listed below:

- a) Maintenance and lighting of parkways, streets, roads, public parking lots and open space, which maintenance and lighting services may include, without limitation, furnishing of electrical power to streetlights; repair and replacement of damaged or inoperative light bulbs, fixtures and standards;
- b) Maintenance (including irrigation and replacement) of landscaping vegetation and trees situated on or adjacent to parkways, streets, roads, public parking lots and open space. Maintenance and repair of irrigation facilities; planting, replanting, mowing, trimming, irrigation and fertilization of grass, trees, shrubs, and other plants and vegetation;
- c) Maintenance and replacement of public signage and wayfinding signage, directional signage;
- d) Graffiti removal from and maintenance and repair of public structures situated on parkways, streets, roads, public parking lots and open space;
- e) Furnishing, maintenance, repair or replacement of equipment, apparatuses, fixtures or facilities that serve property within the boundaries of the CFD;

- f) Maintenance and operation of water quality improvements which include storm drainage and flood protection facilities, including, without limitation, drainage inlets, catch basin inserts and similar facilities. Maintenance services may include, but are not limited to, the repair, removal or replacement of all or part of any of the water quality improvements within the public right-of-way; clearing of inlets and outlets; erosion repairs; and cleanup to improvements, and other items necessary for the maintenance; and

- g) Public street sweeping and refuse services on the segments of the arterials along Bradford Avenue and Santa Fe Avenue as well as connector streets along Main Street, Melrose Ave, Center Street, Baker Street, and Walnut Avenue.

The services described in this Report are all services which the legislative body creating CFD No. 2024-1 is authorized to provide, and which are required, in part, to adequately meet the needs of CFD No. 2024-1 as currently proposed.

B Estimated Costs of Proposed Services

The intent of CFD No. 2024-1 is to fund a portion of the anticipated shortfall in services costs as a result of development within CFD No. 2024-1. Based on the expected development, the Maximum Special Tax that may be levied against all Developed Property at buildout within CFD No. 2024-1 is equal to \$187,400 for fiscal year 2023-2024. This amount is based on the Special Tax amounts pursuant to Section C.1 of the Rate and Method of Apportionment. The actual costs of the proposed services exceed the amount of annual Maximum Special Taxes that can be generated within CFD No. 2024-1.

Currently, CFD No. 2024-1 only includes Assessor's Parcel Number 339-052-27. Therefore, the actual costs and annual Maximum Special Taxes may vary in future years as future development projects are annexed into CFD No. 2024-1.

C Incidental Expenses to be Included in the Annual Levy of Special Taxes

While the actual costs of administering CFD No. 2024-1 may vary, it is anticipated that the amount of Special Taxes which can be collected at buildout will be sufficient to fund at least \$25,000 in annual administrative expenses, which shall be subject to an annual increase based on the percentage change in the Consumer Price Index with a maximum annual increase of six percent (6%) and a minimum annual increase of two percent (2%) per fiscal year.

IV RATE AND METHOD OF APPORTIONMENT

All of the property located within CFD No. 2024-1, unless exempted by law or by the Rate and Method of Apportionment, shall be taxed for the purpose of providing necessary services to serve CFD No. 2024-1. Pursuant to Section 53325.3 of the Act, the tax imposed “is a Special Tax and not a special assessment, and there is no requirement that the tax be apportioned on the basis of benefit to any property.” The Special Tax “may be based on benefit received by parcels of real property, the costs of making authorized facilities or authorized services available to each parcel or other reasonable basis as determined by the legislative body,” although the Special Tax may not be apportioned on an ad valorem basis pursuant to Article XIII A of the California Constitution.

As shown in Appendix A, the adopted Rate and Method of Apportionment provides information sufficient to allow each property owner within CFD No. 2024-1 to estimate the maximum annual Special Tax he or she will be required to pay.

Sections A through D below provide additional information on the Rate and Method of Apportionment.

A Explanation for Special Tax Apportionment

When a community facilities district is formed, a Special Tax may be levied on each parcel of taxable property within the community facilities district to pay for the construction, acquisition and rehabilitation of public facilities, to pay for authorized services or to repay bonded indebtedness or other related expenses incurred by CFD No. 2024-1. This Special Tax must be apportioned in a reasonable manner; however, the tax may not be apportioned on an ad valorem basis.

When more than one type of land use is present within a community facilities district, several criteria may be considered when apportioning the Special Tax. Generally, criteria based on building square footage, acreage, and land use are selected, and categories based on such criteria are established to differentiate between parcels of property. These categories are a direct result of the projected product mix and are reflective of the proposed land use types within that community facilities district. Specific Special Tax levels are assigned to each land use class, with all parcels within a land use class assigned the same Special Tax rate.

The Act does not require that Special Taxes be apportioned to individual parcels based on benefit received. However, in order to ensure fairness and equity, benefit principles have been incorporated in establishing the Special Tax rates for CFD No. 2024-1.

The major assumption inherent in the Special Tax rates set forth in the Rate and Method of Apportionment is that the level of benefit received from the proposed services is a function of land use.

Nine Land Use Classes have been established for CFD No. 2024-1. Developed Property shall be assigned to Land Use Classes 1 through 7 and taxed based on the number of dwelling



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SECTION IV RATE AND METHOD OF APPORTIONMENT

unit(s), non-residential floor area, or hotel/motel rooms located on the Assessor's Parcel. Rehab/Remodel Property and Parking Lot Property will be assigned to Land Use Classes 8 and 9 and taxed based on the square footage of the Assessor's Parcel.

Based on the types of services that are proposed for CFD No. 2024-1 and the factors described above, the Special Taxes assigned to Developed Property are generally proportionate to the relative benefits received by them, and, accordingly, the Special Taxes in CFD No. 2024-1 can be considered fair and reasonable.

B Maximum Special Tax

Table 1 within the Rate and Method of Apportionment lists the Maximum Special Tax that may be levied on each Assessor's Parcel classified as Developed Property, Rehab/Remodel Property, and Parking Lot Property within CFD No. 2024-1 to fund the Special Tax Requirement. As defined in the Rate and Method of Apportionment, the Special Tax will pay for (i) annual maintenance services that are authorized to be financed by CFD No. 2024-1 and (ii) Administrative Expenses.

The Maximum Special Tax on Developed Property, Rehab/Remodel Property, and Parking Lot Property shall be increased each year as set forth in Section C.1 of the Rate and Method of Apportionment. No Special Tax shall be levied on Undeveloped Property and Existing Building/Structure Property not classified as Rehab/Remodel Property or Parking Lot Property.

C Apportionment of Special Taxes

Each year, the Special Tax shall be levied subject to the methodology and Maximum Special Taxes set forth in the Rate and Method of Apportionment, in an amount sufficient to meet the appropriate special tax requirement.

The amount of the special tax requirement that is apportioned to each Assessor's Parcel is determined through the application of Section D of the Rate and Method of Apportionment.

D Accuracy of Information

In order to establish the Maximum Special Tax rates for Developed Property, Rehab/Remodel Property, and Parking Lot Property as set forth in the Rate and Method of Apportionment, DTA has relied on information including, but not limited to, services costs and absorption provided to it by others. DTA has not independently verified such data and disclaims responsibility for the impact of inaccurate data, if any, on the Rate and Method of Apportionment for CFD No. 2024-1, including the inability to meet the financial obligations within CFD No. 2024-1.

V BOUNDARIES OF THE CFD

The boundaries of CFD No. 2024-1 include all land on which the Special Taxes may be levied. Currently, CFD No. 2024-1 only includes Assessor's Parcel Number 339-082-27. It is anticipated that certain future development projects within the Future Annexation Area will be annexed into CFD No. 2024-1 as a condition of approval.

A map showing the boundaries of Assessor's Parcel Number 339-082-27 and the Future Annexation Area of CFD No. 2024-1 is provided as Appendix B.



SECTION VI GENERAL TERMS AND CONDITIONS

VI GENERAL TERMS AND CONDITIONS

A Substitution of Services

The descriptions of the services, as set forth herein, are general in their nature. The final nature and location of services will be determined by the City. The City may modify the services provided and any such substitution shall not be a change or modification in the proceedings as long as the services provide a function substantially similar to that as set forth in this Report.

B Appeals and Interpretations

Pursuant to Section G of the Rate and Method of Apportionment, any landowner or resident may file a written appeal of the Special Tax levied on his/her property with the CFD Administrator, provided that the appellant is current in his/her payments of Special Taxes. During the pendency of an appeal, all Special Taxes previously levied must be paid on or before the payment date established when the levy was made. The appeal must specify the reasons why the appellant claims the Special Tax is in error. The CFD Administrator shall review the appeal, meet with the appellant if the CFD Administrator deems necessary, and advise the appellant of its determination. If the CFD Administrator agrees with the appellant, the CFD Administrator shall eliminate or reduce the Special Tax on the appellant's property and/or provide a refund to the appellant. If the CFD Administrator disagrees with the appellant and the appellant is dissatisfied with the determination, the appellant then has 30 days in which to appeal to the Council by filing a written notice of appeal with the Council, provided that the appellant is current in his/her payments of Special Taxes. The second appeal must specify the reasons for the appellant's disagreement with the CFD Administrator's determination. The CFD Administrator may charge the appellant a reasonable fee for processing the appeal.

Interpretations may be made by the Council by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Rate and Method of Apportionment.

APPENDIX A

City of Placentia CFD No. 2024-1
(Old Town Maintenance Services)
Community Facilities District Report



RATE AND METHOD OF APPORTIONMENT

**RATE AND METHOD OF APPORTIONMENT FOR
CITY OF PLACENTIA
COMMUNITY FACILITIES DISTRICT NO. 2024-1
(OLD TOWN MAINTENANCE SERVICES)**

A Special Tax as hereinafter defined shall be levied on all Assessor's Parcels in City of Placentia Community Facilities District No. 2024-1 ("CFD No. 2024-1") and collected each Fiscal Year commencing in Fiscal Year 2023-2024, in an amount determined by the City Council of the City of Placentia through the application of the Rate and Method of Apportionment as described below. All of the real property in CFD No. 2024-1, unless exempted by law or by the provisions hereof, shall be taxed for the purposes, to the extent and in the manner herein provided.

A. DEFINITIONS

The terms hereinafter set forth have the following meanings:

"Acre" or "Acreage" means the land area of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Act" means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, Division 2 of Title 5 of the Government Code of the State of California.

"Administrative Expenses" means the following actual or reasonably estimated costs directly related to the administration of CFD No. 2024-1: the costs of computing the Special Taxes and preparing the annual Special Tax collection schedules (whether by the City or designee thereof or both); the costs of collecting the Special Taxes (whether by the County or otherwise); the costs associated with preparing Special Tax disclosure statements and responding to public inquiries regarding the Special Taxes; the costs of the City, CFD No. 2024-1 or any designee thereof related to an appeal of the Special Tax; and the City's annual administration fees and third party expenses. Administrative Expenses shall also include amounts estimated or advanced by the City or CFD No. 2024-1 for any other administrative purposes of CFD No. 2024-1.

"Assessor's Parcel" means a lot or parcel shown in an Assessor's Parcel Map with an assigned Assessor's parcel number.

"Assessor's Parcel Map" means an official map of the Assessor of the County designating parcels by Assessor's parcel number.

"CFD Administrator" means an official of the City, or designee thereof, responsible for determining and providing for the levy and collection of the Special Tax.

"CFD No. 2024-1" means the City of Placentia Community Facilities District No. 2024-1 (Old Town Maintenance Services).

"City" means the City of Placentia.

"Consumer Price Index" means, for each Fiscal Year, the Consumer Price Index published by the U.S. Bureau of Labor Statistics for All Urban Consumers in the Los Angeles-Long Beach-Anaheim region, measured as of the month of December in the calendar year which ends in the previous Fiscal Year. In the event this index ceases to be published, the Consumer Price Index shall be another index as determined by the CFD Administrator that is reasonably comparable to the Consumer Price Index for the Los Angeles-Long Beach-Anaheim region.

"Council" means the City Council of the City.

"County" means the County of Orange, California.

"Developed Property" means, for each Fiscal Year, all Taxable Property, excluding Existing Building/Structure Property, for which a building permit was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year for construction of a new building/structure.

"Existing Building/Structure Property" means, for each Fiscal Year, all Taxable Property, for which a building or structure existed on such property prior to March 1, 2023.

"Fiscal Year" means the period starting July 1 and ending on the following June 30.

"Hotel/Motel Property" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit has been issued for building a non-residential structure that constitutes a place of lodging providing sleeping accommodations and related facilities for travelers. Such related facilities may include, but are not limited to, on-site restaurants, retail establishments, conference rooms/areas, etc.

"Hotel/Motel Rooms" means, for each Assessor's Parcel of Hotel/Motel Property, the number of hotel/motel rooms available for rent for the purpose of overnight lodging, as indicated on the building permit issued by the City. If such room data is not included on the building permit for an Assessor's

Parcel of Hotel/Motel Property, then the CFD Administrator shall rely on the site plan or other reasonable data sources as determined by the CFD Administrator.

"Industrial Property" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: manufacturing, procession, fabricating, assembly, refining, repairing, packaging, or treatment of goods, material or produce; research and development; and/or warehousing and wholesale distribution of goods, material, or produce.

"Maximum Special Tax" means the Maximum Special Tax, determined in accordance with Section C below, that can be levied in any Fiscal Year on any Assessor's Parcel of Taxable Property within CFD No. 2024-1.

"Multi-Family Residential Property" means any Assessor's Parcel of Residential Property for which one or more building permits have been issued for attached residential units, all of which are made available for rental, but not purchase, by the general public.

"Non-Residential Floor Area" means, for Non-Residential Property, the total square footage of enclosed area within the perimeter of a non-residential structure located on such property, not including any space devoted to vehicle parking, walkway, overhang, patio, and areas incident thereto for which a building permit for new construction was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year. The determination of Non-Residential Floor Area shall be made by reference to the building permit(s) issued for such Assessor's Parcel, or if square footage is not available from this source, as otherwise determined by the CFD Administrator.

"Non-Residential Property" means, for each Fiscal Year, all Developed Property for which a building permit(s) was issued for the construction of a new building/structure with a non-residential use.

"Non-Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property not considered (i) Hotel/Motel Property, (ii) Industrial Property, (iii) Retail Commercial Property, or (iv) Office Property.

"Office Property" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: general, professional, and/or medical office space.

"Parcel Square Foot" or "Parcel Square Footage" means the land area, or Acreage multiplied by 43,560, of an Assessor's Parcel as shown on an

Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Parking Lot Property" means, for each Fiscal Year, any Assessor's Parcel that is not Public Property and for which a building permit has been issued for the construction of, or on which is located a garage, parking lot, or parking structure, as of March 1 of the prior Fiscal Year, and on which is located no other Developed Property, as determined by the CFD Administrator.

"Property Owner Association Property" means, for each Fiscal Year, any Assessor's Parcel within the boundaries of CFD No. 2024-1 that was owned by a property owner association, including any master or sub-association, as of March 1 of the prior Fiscal Year.

"Proportionately" means, for Developed Property, Rehab/Remodel Property, and Parking Lot Property that the ratio of the actual Special Tax levy to the Maximum Special Tax is equal for all Developed Property, Rehab/Remodel Property, and Parking Lot Property.

"Public Property" means, for each Fiscal Year, any property within the boundaries of CFD No. 2024-1 that is (i) used for rights-of-way or any other purpose and is owned by or irrevocably offered for dedication to the federal government, the State of California, the County, the City or any other public agency as of March 1 of the prior Fiscal Year or (ii) encumbered by an unmanned utility easement making impractical its utilization for other than the purpose set forth in the easement as of March 1 of the prior Fiscal Year, provided however that any property leased by a public agency to a private entity and subject to taxation under Section 53340.1 of the Act shall be taxed and classified in accordance with its use.

"Rehab/Remodel Property" means all Assessor's Parcels of Existing Building/Structure Property for which a building permit with a construction valuation greater than \$25,000, as determined by the CFD Administrator, was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year to rehabilitate or remodel Existing Building/Structure Property.

"Residential Property" means all Developed Property for which a building permit has been issued for purposes of constructing one or more residential dwelling units.

"Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property for which the building permit was issued for a retail sales tax generating use or which is being used primarily for a retail sales tax generating use, as determined by the CFD Administrator, and not considered (i) Hotel/Motel Property, (ii) Industrial Property, or (iii) Office Property.

"Single Family Residential Property" means any Assessor's Parcel of Residential Property not considered Multi-Family Residential Property.

"Special Tax" means the special tax to be levied in each Fiscal Year on each Assessor's Parcel of Taxable Property to fund the Special Tax Requirement for Services.

"Special Tax Requirement for Services" means that amount required in any Fiscal Year to: (i) pay directly for annual maintenance services that are authorized to be financed by CFD No. 2024-1; (ii) pay Administrative Expenses; less (iii) a credit for funds available to reduce the annual Special Tax levy, as determined by the CFD Administrator.

"State" means the State of California.

"Taxable Property" means all of the Assessor's Parcels within the boundaries of CFD No. 2024-1 which are not exempt from the Special Tax pursuant to law or Section E below.

"Undeveloped Property" means, for each Fiscal Year, all Taxable Property not classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, Taxable Property Owner Association Property or Taxable Public Property.

"Welfare Exemption" means, for each Fiscal Year, any Assessor's Parcel that is used exclusively for charitable, hospital, or religious purposes and that has a property tax welfare exemption as indicated in the County's assessor's roll finalized as of the last preceding January 1.

B. ASSIGNMENT TO LAND USE CATEGORIES

Each Fiscal Year, all Taxable Property within CFD No. 2024-1 shall be classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, or Undeveloped Property and shall be subject to Special Taxes in accordance with the rate and method of apportionment determined pursuant to Sections C and D below.

Developed Property shall be further classified as Residential Property or Non-Residential Property. For Residential Property, the Special Tax will be based on the number of dwelling units as indicated on the building permit. For Non-Residential Property, the Special Tax will be based on the Non-Residential Floor Area or number of Hotel/Motel Rooms. For Rehab/Remodel Property and Parking Lot Property, the Special Tax will be based on the Parcel Square Footage.

C. MAXIMUM SPECIAL TAX

1. Developed Property, Rehab/Remodel Property, and Parking Lot Property

a. Maximum Special Tax

The Maximum Special Tax for Fiscal Year 2023-2024 for each Land Use Class is shown below in Table 1.

TABLE 1
Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property
For Fiscal Year 2023-2024

Land Use Class	Description	Maximum Special Tax
1	Single Family Residential Property	\$318.00 per dwelling unit
2	Multi-Family Residential Property	\$293.00 per dwelling unit
3	Non-Retail Commercial Property	\$0.2996 per square foot of Non-Residential Floor Area
4	Retail Commercial Property	\$0.2074 per square foot of Non-Residential Floor Area
5	Office Property	\$0.2996 per square foot of Non-Residential Floor Area
6	Industrial Property	\$0.2996 per square foot of Non-Residential Floor Area
7	Hotel/Motel Property	\$230.00 per Hotel/Motel Room
8	Rehab/Remodel Property	\$0.0765 per Parcel Square Foot
9	Parking Lot Property	\$0.0665 per Parcel Square Foot

b. Increase in the Maximum Special Tax

On each July 1, commencing on July 1, 2024, the Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property shall be increased based on the percentage change in the Consumer Price Index with a maximum annual increase of six percent (6%) and a minimum annual increase of two percent (2%) per Fiscal Year.

c. Multiple Land Use Classes

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Class. The Maximum Special Tax for such Assessor's Parcel shall be the sum of the Maximum Special Tax for all Land Use Classes located on that Assessor's Parcel. The CFD Administrator's allocation to each type of property shall be final.

2. Undeveloped Property and Existing Building/Structure Property

The Special Tax shall not be levied on Undeveloped Property and Existing Building/Structure Property not classified as Rehab/Remodel Property or Parking Lot Property.

D. METHOD OF APPORTIONMENT OF THE SPECIAL TAX

Commencing with Fiscal Year 2023-2024 and for each following Fiscal Year, the Council shall determine the Special Tax Requirement for Services and shall levy the Special Tax until the total Special Tax levy equals the Special Tax Requirement for Services. The Special Tax shall be levied each Fiscal Year as follows:

The Special Tax shall be levied Proportionately on each Assessor's Parcel of Developed Property, Rehab/Remodel Property, and Parking Lot Property at up to 100% of the Maximum Special Tax.

E. EXEMPTIONS

No Special Tax shall be levied on Public Property, Property Owner Association Property, or any Assessor's Parcel that has a Welfare Exemption. However, should an Assessor's Parcel no longer be classified as Public Property, Property Owner Association Property, or have a Welfare Exemption, its tax-exempt status will, without the necessity of any action by the Council, terminate.

F. PREPAYMENT OF SPECIAL TAX

Prepayment of the Special Tax is not authorized.

G. APPEALS/INTERPRETATION

Any landowner or resident may file a written appeal of the Special Tax levied on his/her property with the CFD Administrator, provided that the appellant is current in his/her payments of Special Taxes. During the pendency of an appeal, all Special Taxes previously levied must be paid on or before the payment date established when the levy was made. The appeal must specify the reasons why the appellant claims the Special Tax is in error. The CFD

Administrator shall review the appeal, meet with the appellant if the CFD Administrator deems necessary, and advise the appellant of its determination. If the CFD Administrator agrees with the appellant, the CFD Administrator shall eliminate or reduce the Special Tax on the appellant's property and/or provide a refund to the appellant. If the CFD Administrator disagrees with the appellant and the appellant is dissatisfied with the determination, the appellant then has 30 days in which to appeal to the Council by filing a written notice of appeal with the Council, provided that the appellant is current in his/her payments of Special Taxes. The second appeal must specify the reasons for the appellant's disagreement with the CFD Administrator's determination. The CFD Administrator may charge the appellant a reasonable fee for processing the appeal.

Interpretations may be made by the Council by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Rate and Method of Apportionment.

H. MANNER OF COLLECTION

The Special Tax will be collected in the same manner and at the same time as ordinary *ad valorem* property taxes; provided, however, that CFD No. 2024-1 may directly bill the Special Tax, may collect Special Taxes at a different time or in a different manner if necessary to meet its financial obligations, and may covenant to foreclose and may actually foreclose on delinquent Assessor's Parcels as permitted by the Act.

I. TERM OF SPECIAL TAX

The Special Tax shall be levied as long as necessary to meet the Special Tax Requirement for Services.

APPENDIX B

City of Placentia CFD No. 2024-1
(Old Town Maintenance Services)
Community Facilities District Report



BOUNDARY MAP

**PROPOSED BOUNDARIES OF
CITY OF PLACENTIA
COMMUNITY FACILITIES DISTRICT NO. 2024-1
(OLD TOWN MAINTENANCE SERVICES)
CITY OF PLACENTIA, COUNTY OF ORANGE
STATE OF CALIFORNIA**

**Assessor Parcels in the Future Annexation Area of City of Placentia
Community Facilities District No. 2024-1 (Old Town Maintenance Services):**

339-052-14	339-355-08	339-365-04	339-392-04
339-052-15	339-355-09	339-365-05	339-392-05
339-052-16	339-355-10	339-365-06	339-392-06
339-052-17	339-355-11	339-365-07	339-392-07
339-052-18	339-355-12	339-365-08	339-392-08
339-052-19	339-355-13	339-365-09	339-392-09
339-052-20	339-355-14	339-365-10	339-392-10
339-052-21	339-355-15	339-365-11	339-392-11
339-052-24	339-355-16	339-365-12	339-392-12
339-052-26	339-355-17	339-365-13	339-392-13
339-052-27	339-355-18	339-365-14	339-392-14
339-052-28	339-355-19	339-365-15	339-392-15
339-052-29	339-355-20	339-365-16	339-392-16
339-061-01	339-355-22	339-365-17	339-392-17
339-061-02	339-362-05	339-365-18	339-392-18
339-061-03	339-362-06	339-365-19	339-392-19
339-061-04	339-363-09	339-365-20	339-392-20
339-061-05	339-363-10	339-365-21	339-392-21
339-061-06	339-363-11	339-365-22	339-392-22
339-061-07	339-363-12	339-391-01	339-393-01
339-061-08	339-363-13	339-391-02	339-393-02
339-061-09	339-363-16	339-391-03	339-393-03
339-061-10	339-363-17	339-391-04	339-393-04
339-061-11	339-363-18	339-391-05	339-393-05
339-061-12	339-363-19	339-391-06	339-393-06
339-061-13	339-363-29	339-391-09	339-393-07
339-061-14	339-364-10	339-391-10	339-393-08
339-061-15	339-364-11	339-391-11	339-393-09
339-061-16	339-364-12	339-391-12	339-393-10
339-061-17	339-364-13	339-391-13	339-394-01
339-355-02	339-364-14	339-391-14	339-394-02
339-355-03	339-364-15	339-391-15	339-394-03
339-355-04	339-364-16	339-391-16	339-394-04
339-355-05	339-365-01	339-392-01	339-394-05
339-355-06	339-365-02	339-392-02	339-394-06
339-355-07	339-365-03	339-392-03	339-394-07

**Assessor Parcels in the City of Placentia
Community Facilities District No. 2024-1
(Old Town Maintenance Services):**

339-052-27

(1) Filed in the office of the City Clerk of the City of Placentia the 25th day of January, 2024.

Robert Spink
City Clerk,
City of Placentia

(2) I hereby certify that the within map showing the proposed boundaries of City of Placentia Community Facilities District No. 2024-1 (Old Town Maintenance Services), City of Placentia, County of Orange, State of California, was approved by the City Council of the City of Placentia at a regular meeting thereof, held on the 23rd day of January, 2024, by its Resolution No. R-2024-07.

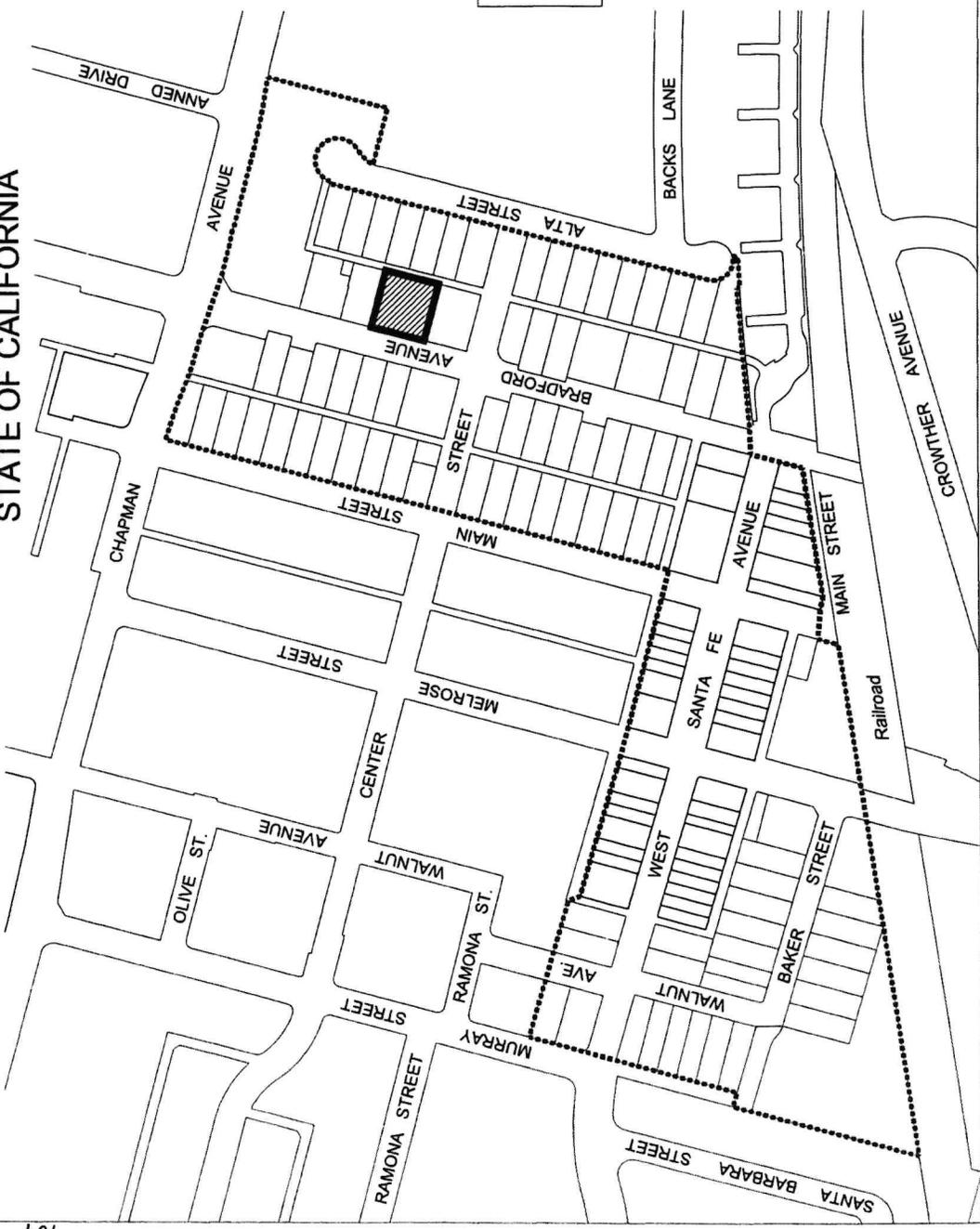
Robert Spink
City Clerk,
City of Placentia

(3) Filed this 6 day of February, 2024, at the hour of 12 o'clock pm, in Book 109 of Maps of Assessment and Community Facilities Districts at Page 40-41 H/A and as Instrument No. 202400026763, in the office of the County Recorder in the County of Orange, State of California, at the request of the City of Placentia.

Hugh Nguyen
Clerk-Recorder, County of Orange
By Hugh Nguyen
Deputy Recorder

Fee _____
Exempt Recording Requested, per CA Government Code §27383

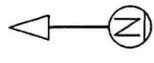
**PROPOSED BOUNDARIES OF
CITY OF PLACENTIA
COMMUNITY FACILITIES DISTRICT NO. 2024-1
(OLD TOWN MAINTENANCE SERVICES)
CITY OF PLACENTIA, COUNTY OF ORANGE
STATE OF CALIFORNIA**



Reference is hereby made to the Assessor maps of the County of Orange for a description of the lines and dimensions of these parcels.

LEGEND

-  Proposed Boundaries of City of Placentia Community Facilities District 2024-1 (Old Town Maintenance Services)
-  Future Annexation Area



The logo for DTA (Development Tax Authority) features the lowercase letters 'dta' in a bold, black, sans-serif font. A white, parallelogram-shaped graphic element is positioned above the 't', partially overlapping the 'd' and 't'.

www.FinanceDTA.com

18201 VON KARMAN AVENUE, SUITE 220
IRVINE, CA 92612
PHONE: (800) 969-4DTA

Public Finance
Public-Private Partnerships
Development Economics
Clean Energy Bonds

RESOLUTION NO. R-2024-14

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
PLACENTIA CALLING A SPECIAL TAX ELECTION
AND SUBMITTING TO THE QUALIFIED ELECTORS
THE QUESTIONS OF LEVYING A SPECIAL TAX ON
THE PROPERTY LOCATED IN THE CITY OF
PLACENTIA COMMUNITY FACILITIES DISTRICT NO.
2024-01 (OLD TOWN MAINTENANCE SERVICES)**

A. Recitals.

(i) On January 23, 2024, the City Council of the City of Placentia adopted Resolution No. R-2024-04 entitled Resolution of Intention of the City Council of the City of Placentia to Establish Community Facilities District No. 2024-01 (Old Town Maintenance Services) (“CFD”) and to Authorize the Levy of a Special Tax within Community Facilities District No. 2024-01 (Old Town Maintenance Services) of the City of Placentia (“Resolution of Intention”) pursuant to the Mello-Roos Community Facilities Act of 1982, commencing with § 53311 of the California Government (“Act”).

(ii) On March 5, 2024, the City Council adopted Resolution No. R-2024-13 entitled “Resolution of Formation of The City Council of The City Of Placentia Establishing Community Facilities District No. 2024-01 (Old Town Maintenance Services); Authorizing the Levy of Special Taxes; and Establishing the Appropriations Limit for the Proposed Community Facilities District” (“Resolution of Formation”).

(iii) Pursuant to the provisions of the Resolution of Formation, a proposition to authorize the levy of special taxes within the CFD is to be submitted to the Qualified Electors of the CFD as required by the Act.

(iv) The ballot questions regarding the levy of the special tax and the establishment of the appropriations limit have been set forth in two (2) ballot propositions as provided in the form of special election ballot attached hereto as Exhibit “A” and by this reference incorporated herein.

(v) The City Council has received a written instrument from each landowner in CFD No. 2024-01 consenting to the shortening of election time requirements, waiving analysis and arguments, and waiving all notice requirements relating to the conduct of the election.

(vi) The City Clerk has concurred in the election date set forth herein.

B. Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

1. In all respects the foregoing recitals are true and correct and are incorporated herein.

2. The City Council has found that fewer than twelve individuals have been registered to vote within the territory of the CFD for the ninety days preceding the close of the public hearing held by the City Council for the purposes of these proceedings. Accordingly, the vote shall be by the landowners within the CFD (“Qualified Electors”), and each Qualified Elector at the close of such public hearing, or the authorized representative thereof, shall have one vote for each acre or portion of an acre that he/she/it owns within the CFD.

3. There is on file with the City Clerk, a Petition, Consent and Waiver executed by each Qualified Elector of the CFD requesting a shortening of time for the special election in order to expedite the process of formation of the CFD and unanimously waiving any requirement for analysis and arguments in connection therewith.

4. The ballot related to the levy of the CFD special taxes shall be submitted to the Qualified Electors at a special election held on March 5, 2024, immediately following the adoption of this resolution. The City Council hereby submits the question of levying the special tax and the establishment of the annual appropriations limit for CFD No. 2024-01 to the Qualified Electors within CFD No. 2024-01, in accordance with and subject to the Act. The special election shall be held on March 5, 2024, and shall be conducted as follows:

a) The election shall be a special election conducted by the City Clerk (also referred to as the “Election Official”).

b) The election on the question of levying the special tax and establishing an appropriations limit for CFD No. 2024-01 shall be consolidated.

c) Pursuant to Government Code § 53327.5, the election shall be conducted as a mail ballot election. The City Council hereby ratifies the City Clerk's delivery of a ballot to each landowner in CFD No. 2024-01. The City Council hereby ratifies the form of the special election ballot which is attached hereto as Exhibit “A”.

d) The City Clerk shall accept the ballots of the landowners up to 5:30 p.m. on March 5, 2024. The City Clerk shall have available ballots that may be marked at the City Clerk's office on the election day by voters. Once all qualified electors have voted, the City Clerk may close the election.

e) The City Clerk shall commence the canvass of the returns of the special election as soon as the election is closed at the City Council Chambers. At the conclusion of the canvass, the City Clerk shall announce the results of the election.

f) If the proposition for the levy of the special tax receives the approval of more than two-thirds (2/3rds) of the votes cast on the proposition, the special tax thereby

approved may be levied as provided for in the Resolution of Formation.

g) The City Council shall declare the results of the special election following the completion of the canvass of the returns and shall cause to be inserted into its minutes a statement of the results of the special election as ascertained by the canvass of the returns.

5. The Election Official is hereby authorized to take any and all steps necessary for holding the above special election. The Election Official shall perform and render all services and proceedings incidental to and connected with the conduct of the special election.

6. The Mayor shall sign this Resolution, and the City Clerk shall attest and certify to the passage and adoption thereof.

APPROVED and ADOPTED this 5th day of March, 2024.

JEREMY YAMAGUCHI, MAYOR

ATTEST:

ROBERT S. MCKINNELL, CITY CLERK

I, ROBERT S. MCKINNELL, CITY CLERK of the CITY OF PLACENTIA DO HEREBY CERTIFY that the foregoing Resolution No. R-2024-14 was adopted at a regular meeting of the City Council held on the 5th day of March, 2024, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ROBERT S. MCKINNELL, CITY CLERK

APPROVED AS TO FORM:

CHRISTIAN BETTENHAUSEN,
CITY ATTORNEY

EXHIBIT "A"
BALLOT MEASURE

PROPOSITION A: Shall special taxes be levied annually on taxable property within the territory to be annexed into the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services), County of Orange, State of California ("CFD No. 2024-01") and collected so long as the special taxes are needed to pay for maintenance and operational costs for Old Town Placentia at the special tax rates and pursuant to the method of apportioning the special taxes set forth in Exhibit "B" to the Resolution of Intention, Resolution No. R-2024-04, adopted by the City Council of the City of Placentia on January 23, 2024?

TOTAL
VOTES

Yes

No

PROPOSITION B: Shall an appropriations limit, as defined by subdivision (h) of Section 8 of Article XIII B of the California Constitution, be established for the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services), County of Orange, State of California, in the amount of \$1,000,000 per annum?

Yes

No

RESOLUTION NO. R-2024-15

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
PLACENTIA SETTING FORTH PROCEDURES TO
ALLOW FOR FUTURE ANNEXATION OF
TERRITORY TO THE CITY OF PLACENTIA
COMMUNITY FACILITIES DISTRICT NO. 2024-01 (OLD
TOWN MAINTENANCE SERVICES)**

A. Recitals.

(i) On January 23, 2024, the City Council (“City Council”) of the City of Placentia adopted Resolution No. R-2024-04 entitled Resolution of Intention of the City Council of the City of Placentia to Establish Community Facilities District No. 2024-01 (Old Town Maintenance Services) (“CFD”) and to Authorize the Levy of a Special Tax within the CFD pursuant to the Mello-Roos Community Facilities Act of 1982, commencing with § 53311 of the California Government (“Act”).

(ii) At the same meeting, the City Council adopted Resolution No. R-2024-05 establishing determining it to be within the public interest and convenience to establish a procedure to allow and provide for future annexations to the CFD and further to specify the amount of special taxes that would be levied and set forth the terms and conditions for certification of any annexation in the future.

(iii) The territory proposed to be annexed in the future shall be known as “City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services) (Future Annexation Area)” (“Future Annexation Area”), and a map showing the territory proposed to be annexed in the future was submitted and approved as part of the proceedings on January 23, 2024. Said map was recorded on February 6, 2024, in the Office of the County Recorder of Orange County, California in Book 109, page 40-41 M/M of Maps of Assessment and Community Facilities Districts (Instrument No. 2024000026763) and a copy thereof is kept on file in the City Clerk’s Office.

(iv) On March 5, 2024, the City Council adopted Resolution No. R-2024-13 wherein the CFD was formed.

B. Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

1. In all respects the foregoing recitals are true and correct and are incorporated herein.
2. The proceedings for future annexation of territory to the CFD are authorized

and initiated by this legislative body pursuant to the authorization of California Government Code § 53339.2. This City Council hereby determines that the public convenience and necessity requires territory be added to the CFD and hereby establishes procedures to allow and authorize territory to be annexed to the CFD.

3. The boundaries of the future annexation area shall be as described on the map designated as “Map of Proposed Boundaries of City of Placentia Future Annexation Area of Community Facilities District No. 2024-01 (Old Town Maintenance Services)” and attached hereto as Exhibit "A" and incorporated herein by this reference, which map was recorded on February 6, 2024, in the Office of the County Recorder of Orange County, California in Book 109, page 40-41 M/M of Maps of Assessment and Community Facilities Districts (Instrument No. 2024000026763). A copy of said map shall be kept on file in the Office of the City Clerk and shall remain open for public inspection.

4. The Services proposed to be provided and financed by the CFD are described on Exhibit “A” attached hereto. The services are in addition to those provided in or required for the territory within CFD and will not be replacing services already available. The same types of services, which are authorized to be financed by the CFD are the types of services to be provided in the Future Annexation Area. If and to the extent possible such services shall be provided in common within CFD and the Future Annexation Area.

5. Except where funds are otherwise available, it is the intention of the City Council to levy annually in accordance with procedures contained in the Act a special tax within the boundaries of the Future Annexation Area, secured by recordation of a continuing lien against all nonexempt real property in such Future Annexation Area, sufficient to pay for the Services and Incidental Expenses. The Rate and Method of Apportionment (“RMA”) and manner of collection of the special tax within the boundaries of the Future Annexation Area is described in detail in Exhibit “B” attached hereto and incorporated herein by this reference. Exhibit “B” allows each landowner within the proposed Future Annexation Area to estimate the maximum amount that may be levied against each parcel. In the first year in which such special tax is levied, the levy shall include an amount sufficient to repay the CFD all amounts, if any, transferred to the CFD pursuant to § 53314 of the Act and interest thereon.

The special tax proposed to be levied within the Future Annexation Area for services to be supplied within the Future Annexation Area shall be equal to the special tax levied to pay for the same services in CFD, except that a higher or lower special tax may be levied within the Future Annexation Area to the extent that the actual cost of providing the services in the Future Annexation Area is higher or lower than the cost of providing those services in CFD. Notwithstanding the foregoing, the special tax may not be levied at a rate which is higher than the maximum special tax authorized to be levied pursuant to the RMA.

The special taxes herein authorized, to the extent possible, shall be collected in the same manner as ad valorem property taxes and shall be subject to the same penalties, procedure, sale and lien priority in any case of delinquency as applicable for ad valorem taxes. Any special taxes that may not be collected on the County tax roll shall be collected through a direct billing procedure by the Treasurer.

The maximum special tax rate in CFD shall not be increased as a result of the annexation of the Future Annexation Area to the CFD.

6. Annexation of territory in the future shall be effective upon the unanimous approval of such annexation by the owner or owners of any such parcel at the time the parcel is annexed and the vote by the qualified electors of such territory to authorize the levy of special taxes within such territory pursuant to the applicable Rate and Method, and no further public hearings or additional proceedings will be required to accomplish such annexation.

7. The Mayor shall sign this Resolution, and the City Clerk shall attest and certify to the passage and adoption thereof.

APPROVED and ADOPTED this 5th day of March, 2024.

JEREMY YAMAGUCHI, MAYOR

ATTEST:

ROBERT S. MCKINNELL, CITY CLERK

I, ROBERT S. MCKINNELL, CITY CLERK of the CITY OF PLACENTIA DO HEREBY CERTIFY that the foregoing Resolution No. was adopted at a regular meeting of the City Council held on the 5th day of March, 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

ROBERT S. MCKINNELL, CITY CLERK

APPROVED AS TO FORM:

CHRISTIAN BETTENHAUSEN,
CITY ATTORNEY

EXHIBIT A

**Map of Proposed Boundaries of City of Placentia
Community Facilities District No. 2024-01
(Old Town Maintenance Services)**

**PROPOSED BOUNDARIES OF
CITY OF PLACENTIA
COMMUNITY FACILITIES DISTRICT NO. 2024-1
(OLD TOWN MAINTENANCE SERVICES)
CITY OF PLACENTIA, COUNTY OF ORANGE
STATE OF CALIFORNIA**

Assessor Parcels in the Future Annexation Area of City of Placentia
Community Facilities District No. 2024-1 (Old Town Maintenance Services):

339-052-14	339-365-08	339-365-04	339-392-04
339-052-15	339-365-09	339-365-05	339-392-05
339-052-16	339-365-10	339-365-06	339-392-06
339-052-17	339-365-11	339-365-07	339-392-07
339-052-18	339-365-12	339-365-08	339-392-08
339-052-19	339-365-13	339-365-09	339-392-09
339-052-20	339-365-14	339-365-10	339-392-10
339-052-21	339-365-15	339-365-11	339-392-11
339-052-22	339-365-16	339-365-12	339-392-12
339-052-23	339-365-17	339-365-13	339-392-13
339-052-24	339-365-18	339-365-14	339-392-14
339-052-25	339-365-19	339-365-15	339-392-15
339-052-26	339-365-20	339-365-16	339-392-16
339-052-27	339-365-21	339-365-17	339-392-17
339-052-28	339-365-22	339-365-18	339-392-18
339-052-29	339-365-23	339-365-19	339-392-19
339-061-01	339-365-24	339-365-20	339-392-20
339-061-02	339-365-25	339-365-21	339-392-21
339-061-03	339-365-26	339-365-22	339-392-22
339-061-04	339-365-27	339-365-23	339-393-01
339-061-05	339-363-09	339-365-24	339-393-02
339-061-06	339-363-10	339-365-25	339-393-03
339-061-07	339-363-11	339-365-26	339-393-04
339-061-08	339-363-12	339-365-27	339-393-05
339-061-09	339-363-13	339-391-01	339-393-06
339-061-10	339-363-14	339-391-02	339-393-07
339-061-11	339-363-15	339-391-03	339-393-08
339-061-12	339-363-16	339-391-04	339-393-09
339-061-13	339-363-17	339-391-05	339-393-10
339-061-14	339-363-18	339-391-06	339-394-01
339-061-15	339-363-19	339-391-07	339-394-02
339-061-16	339-363-20	339-391-08	339-394-03
339-061-17	339-364-10	339-391-09	339-394-04
339-061-18	339-364-11	339-391-10	339-394-05
339-061-19	339-364-12	339-391-11	339-394-06
339-061-20	339-364-13	339-391-12	339-394-07
339-061-21	339-364-14	339-391-13	
339-061-22	339-364-15	339-391-14	
339-061-23	339-364-16	339-391-15	
339-061-24	339-364-17	339-391-16	
339-061-25	339-365-01	339-392-01	
339-061-26	339-365-02	339-392-02	
339-061-27	339-365-03	339-392-03	
339-061-28	339-365-04		
339-061-29	339-365-05		
339-061-30	339-365-06		
339-061-31	339-365-07		

Assessor Parcels in the City of Placentia
Community Facilities District No. 2024-1
(Old Town Maintenance Services):
339-052-27

(1) Filed in the office of the City Clerk of the City of Placentia
the 25th day of January, 2024.
Robert S. [Signature]
City Clerk,
City of Placentia

(2) I hereby certify that the within map showing the proposed
boundaries of City of Placentia Community Facilities
District No. 2024-1 (Old Town Maintenance Services), City
of Placentia, County of Orange, State of California, was
approved by the City Council of the City of Placentia at a
regular meeting thereof, held on the 23rd day of
January, 2024, by its Resolution No. R-2024-44.
Robert S. [Signature]
City Clerk,
City of Placentia

(3) Filed this 6 day of February, 2024, at the hour of
12 o'clock pm, in Book 109 of Maps of
Assessment and Community Facilities Districts at Page
40-41 1/14 and as Instrument No.
202400026703, in the office of the County
Recorder in the County of Orange, State of California, at
the request of the City of Placentia.
Hugh Nguyen
Clerk-Recorder, County of Orange
By *[Signature]*
Deputy Recorder
Fee
Exempt Recording Requested, per CA Government Code §27383

EXHIBIT B

Rate and Method of Apportionment

RATE AND METHOD OF APPORTIONMENT FOR CITY OF PLACENTIA COMMUNITY FACILITIES DISTRICT NO. 2024-1 (OLD TOWN MAINTENANCE SERVICES)

A Special Tax as hereinafter defined shall be levied on all Assessor's Parcels in City of Placentia Community Facilities District No. 2024-1 ("CFD No. 2024-1") and collected each Fiscal Year commencing in Fiscal Year 2023-2024, in an amount determined by the City Council of the City of Placentia through the application of the Rate and Method of Apportionment as described below. All of the real property in CFD No. 2024-1, unless exempted by law or by the provisions hereof, shall be taxed for the purposes, to the extent and in the manner herein provided.

A. DEFINITIONS

The terms hereinafter set forth have the following meanings:

"Acre" or "Acreage" means the land area of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Act" means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, Division 2 of Title 5 of the Government Code of the State of California.

"Administrative Expenses" means the following actual or reasonably estimated costs directly related to the administration of CFD No. 2024-1: the costs of computing the Special Taxes and preparing the annual Special Tax collection schedules (whether by the City or designee thereof or both); the costs of collecting the Special Taxes (whether by the County or otherwise); the costs associated with preparing Special Tax disclosure statements and responding to public inquiries regarding the Special Taxes; the costs of the City, CFD No. 2024-1 or any designee thereof related to an appeal of the Special Tax; and the City's annual administration fees and third party expenses. Administrative Expenses shall also include amounts estimated or advanced by the City or CFD No. 2024-1 for any other administrative purposes of CFD No. 2024-1.

"Assessor's Parcel" means a lot or parcel shown in an Assessor's Parcel Map with an assigned Assessor's parcel number.

"Assessor's Parcel Map" means an official map of the Assessor of the County designating parcels by Assessor's parcel number.

"CFD Administrator" means an official of the City, or designee thereof, responsible for determining and providing for the levy and collection of the Special Tax.

"**CFD No. 2024-1**" means the City of Placentia Community Facilities District No. 2024-1 (Old Town Maintenance Services).

"**City**" means the City of Placentia.

"**Consumer Price Index**" means, for each Fiscal Year, the Consumer Price Index published by the U.S. Bureau of Labor Statistics for All Urban Consumers in the Los Angeles-Long Beach-Anaheim region, measured as of the month of December in the calendar year which ends in the previous Fiscal Year. In the event this index ceases to be published, the Consumer Price Index shall be another index as determined by the CFD Administrator that is reasonably comparable to the Consumer Price Index for the Los Angeles-Long Beach-Anaheim region.

"**Council**" means the City Council of the City.

"**County**" means the County of Orange, California.

"**Developed Property**" means, for each Fiscal Year, all Taxable Property, excluding Existing Building/Structure Property, for which a building permit was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year for construction of a new building/structure.

"**Existing Building/Structure Property**" means, for each Fiscal Year, all Taxable Property, for which a building or structure existed on such property prior to March 1, 2023.

"**Fiscal Year**" means the period starting July 1 and ending on the following June 30.

"**Hotel/Motel Property**" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit has been issued for building a non-residential structure that constitutes a place of lodging providing sleeping accommodations and related facilities for travelers. Such related facilities may include, but are not limited to, on-site restaurants, retail establishments, conference rooms/areas, etc.

"**Hotel/Motel Rooms**" means, for each Assessor's Parcel of Hotel/Motel Property, the number of hotel/motel rooms available for rent for the purpose of overnight lodging, as indicated on the building permit issued by the City. If such room data is not included on the building permit for an Assessor's Parcel of Hotel/Motel Property, then the CFD Administrator shall rely on the site plan or other reasonable data sources as determined by the CFD Administrator.

"**Industrial Property**" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: manufacturing, procession, fabricating, assembly, refining, repairing, packaging, or treatment of goods, material or produce; research and development; and/or warehousing and wholesale distribution of goods, material, or produce.

"**Maximum Special Tax**" means the Maximum Special Tax, determined in accordance with Section C below, that can be levied in any Fiscal Year on any Assessor's Parcel of Taxable Property within CFD No. 2024-1.

"Multi-Family Residential Property" means any Assessor's Parcel of Residential Property for which one or more building permits have been issued for attached residential units, all of which are made available for rental, but not purchase, by the general public.

"Non-Residential Floor Area" means, for Non-Residential Property, the total square footage of enclosed area within the perimeter of a non-residential structure located on such property, not including any space devoted to vehicle parking, walkway, overhang, patio, and areas incident thereto for which a building permit for new construction was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year. The determination of Non-Residential Floor Area shall be made by reference to the building permit(s) issued for such Assessor's Parcel, or if square footage is not available from this source, as otherwise determined by the CFD Administrator.

"Non-Residential Property" means, for each Fiscal Year, all Developed Property for which a building permit(s) was issued for the construction of a new building/structure with a non-residential use.

"Non-Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property not considered (i) Hotel/Motel Property, (ii) Industrial Property, (iii) Retail Commercial Property, or (iv) Office Property.

"Office Property" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: general, professional, and/or medical office space.

"Parcel Square Foot" or "Parcel Square Footage" means the land area, or Acreage multiplied by 43,560, of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Parking Lot Property" means, for each Fiscal Year, Assessor's Parcels 339-394-06 and 339-394-07 as designated on the Assessor's Parcel Map at the time of formation of CFD No. 3-1 and any other Assessor's Parcel that is not Public Property and for which a building permit has been issued for the construction of, or on which is located a garage, parking lot, or parking structure, as of March 1 of the prior Fiscal Year, and on which is located no other Developed Property, as determined by the CFD Administrator.

"Property Owner Association Property" means, for each Fiscal Year, any Assessor's Parcel within the boundaries of CFD No. 2024-1 that was owned by a property owner association, including any master or sub-association, as of March 1 of the prior Fiscal Year.

"Proportionately" means, for Developed Property, Rehab/Remodel Property, and Parking Lot Property that the ratio of the actual Special Tax levy to the Maximum Special Tax is equal for all Developed Property, Rehab/Remodel Property, and Parking Lot Property.

"Public Property" means, for each Fiscal Year, any property within the boundaries of CFD No. 2024-1 that is (i) used for rights-of-way or any other purpose and is owned by or irrevocably offered for dedication to the federal government, the State of California, the County, the City or any other public agency as of March 1 of the prior Fiscal Year or (ii) encumbered by an unmanned

utility easement making impractical its utilization for other than the purpose set forth in the easement as of March 1 of the prior Fiscal Year, provided however that any property leased by a public agency to a private entity and subject to taxation under Section 53340.1 of the Act shall be taxed and classified in accordance with its use.

"Rehab/Remodel Property" means all Assessor's Parcels of Existing Building/Structure Property for which a building permit with a construction valuation greater than \$25,000, as determined by the CFD Administrator, was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year to rehabilitate or remodel Existing Building/Structure Property.

"Residential Property" means all Developed Property for which a building permit has been issued for purposes of constructing one or more residential dwelling units.

"Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property for which the building permit was issued for a retail sales tax generating use or which is being used primarily for a retail sales tax generating use, as determined by the CFD Administrator, and not considered (i) Hotel/Motel Property, (ii) Industrial Property, or (iii) Office Property.

"Single Family Residential Property" means any Assessor's Parcel of Residential Property not considered Multi-Family Residential Property.

"Special Tax" means the special tax to be levied in each Fiscal Year on each Assessor's Parcel of Taxable Property to fund the Special Tax Requirement for Services.

"Special Tax Requirement for Services" means that amount required in any Fiscal Year to: (i) pay directly for annual maintenance services that are authorized to be financed by CFD No. 2024-1; (ii) pay Administrative Expenses; less (iii) a credit for funds available to reduce the annual Special Tax levy, as determined by the CFD Administrator.

"State" means the State of California.

"Taxable Property" means all of the Assessor's Parcels within the boundaries of CFD No. 2024-1 which are not exempt from the Special Tax pursuant to law or Section E below.

"Undeveloped Property" means, for each Fiscal Year, all Taxable Property not classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, Taxable Property Owner Association Property or Taxable Public Property.

"Welfare Exemption" means, for each Fiscal Year, any Assessor's Parcel that is used exclusively for charitable, hospital, or religious purposes and that has a property tax welfare exemption as indicated in the County's assessor's roll finalized as of the last preceding January 1.

B. ASSIGNMENT TO LAND USE CATEGORIES

Each Fiscal Year, all Taxable Property within CFD No. 2024-1 shall be classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, or Undeveloped Property and shall be subject to Special Taxes in accordance with the rate and method of apportionment determined pursuant to Sections C and D below.

Developed Property shall be further classified as Residential Property or Non-Residential Property. For Residential Property, the Special Tax will be based on the number of dwelling units as indicated on the building permit. For Non-Residential Property, the Special Tax will be based on the Non-Residential Floor Area or number of Hotel/Motel Rooms. For Rehab/Remodel Property and Parking Lot Property, the Special Tax will be based on the Parcel Square Footage.

C. MAXIMUM SPECIAL TAX

1. Developed Property, Rehab/Remodel Property, and Parking Lot Property

a. Maximum Special Tax

The Maximum Special Tax for Fiscal Year 2023-2024 for each Land Use Class is shown below in Table 1.

TABLE 1
Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property
For Fiscal Year 2023-2024

Land Use Class	Description	Maximum Special Tax
1	Single Family Residential Property	\$318.00 per dwelling unit
2	Multi-Family Residential Property	\$293.00 per dwelling unit
3	Non-Retail Commercial Property	\$0.2996 per square foot of Non-Residential Floor Area
4	Retail Commercial Property	\$0.2074 per square foot of Non-Residential Floor Area
5	Office Property	\$0.2996 per square foot of Non-Residential Floor Area
6	Industrial Property	\$0.2996 per square foot of Non-Residential Floor Area
7	Hotel/Motel Property	\$230.00 per Hotel/Motel Room
8	Rehab/Remodel Property	\$0.0765 per Parcel Square Foot
9	Parking Lot Property	\$0.0665 per Parcel Square Foot

b. Increase in the Maximum Special Tax

On each July 1, commencing on July 1, 2024, the Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property shall be

increased based on the percentage change in the Consumer Price Index with a maximum annual increase of six percent (6%) and a minimum annual increase of two percent (2%) per Fiscal Year.

c. Multiple Land Use Classes

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Class. The Maximum Special Tax for such Assessor's Parcel shall be the sum of the Maximum Special Tax for all Land Use Classes located on that Assessor's Parcel. The CFD Administrator's allocation to each type of property shall be final.

2. Undeveloped Property and Existing Building/Structure Property

The Special Tax shall not be levied on Undeveloped Property and Existing Building/Structure Property not classified as Rehab/Remodel Property or Parking Lot Property.

D. METHOD OF APPORTIONMENT OF THE SPECIAL TAX

Commencing with Fiscal Year 2023-2024 and for each following Fiscal Year, the Council shall determine the Special Tax Requirement for Services and shall levy the Special Tax until the total Special Tax levy equals the Special Tax Requirement for Services. The Special Tax shall be levied each Fiscal Year as follows:

The Special Tax shall be levied Proportionately on each Assessor's Parcel of Developed Property, Rehab/Remodel Property, and Parking Lot Property at up to 100% of the Maximum Special Tax.

E. EXEMPTIONS

No Special Tax shall be levied on Public Property, Property Owner Association Property, or any Assessor's Parcel that has a Welfare Exemption. However, should an Assessor's Parcel no longer be classified as Public Property, Property Owner Association Property, or have a Welfare Exemption, its tax-exempt status will, without the necessity of any action by the Council, terminate.

F. PREPAYMENT OF SPECIAL TAX

Prepayment of the Special Tax is not authorized.

G. APPEALS/INTERPRETATION

Any landowner or resident may file a written appeal of the Special Tax levied on his/her property with the CFD Administrator, provided that the appellant is current in his/her payments of Special Taxes. During the pendency of an appeal, all Special Taxes previously levied must be paid on or before the payment date established when the levy was made. The appeal must specify the reasons why the appellant claims the Special Tax is in error. The CFD Administrator shall review the appeal, meet with the appellant if the CFD Administrator deems necessary, and advise the appellant of its determination.

If the CFD Administrator agrees with the appellant, the CFD Administrator shall eliminate or reduce the Special Tax on the appellant's property and/or provide a refund to the appellant. If the CFD Administrator disagrees with the appellant and the appellant is dissatisfied with the determination, the appellant then has 30 days in which to appeal to the Council by filing a written notice of appeal with the Council, provided that the appellant is current in his/her payments of Special Taxes. The second appeal must specify the reasons for the appellant's disagreement with the CFD Administrator's determination. The CFD Administrator may charge the appellant a reasonable fee for processing the appeal.

Interpretations may be made by the Council by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Rate and Method of Apportionment.

H. MANNER OF COLLECTION

The Special Tax will be collected in the same manner and at the same time as ordinary *ad valorem* property taxes; provided, however, that CFD No. 2024-1 may directly bill the Special Tax, may collect Special Taxes at a different time or in a different manner if necessary to meet its financial obligations, and may covenant to foreclose and may actually foreclose on delinquent Assessor's Parcels as permitted by the Act.

I. TERM OF SPECIAL TAX

The Special Tax shall be levied as long as necessary to meet the Special Tax Requirement for Services.

RESOLUTION NO. R-2024-16

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA DECLARING THE RESULTS OF THE SPECIAL ELECTION, DETERMINING THE VALIDITY OF PRIOR PROCEEDINGS AND DIRECTING THE RECORDING OF NOTICE OF SPECIAL TAX LIEN

A. Recitals.

(i) In proceedings heretofore conducted by the City Council (“Council”) of the City of Placentia (“City”), pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (the “Act”), the City Council on March 5, 2024, adopted Resolution No. R-2024-14, calling a special election of the qualified electors within the territory of land of the City’s Community Facilities District No. 2024-01 (Old Town Maintenance Services) (the “CFD”), with a ballot measure relating to the levy of special taxes within the CFD.

(ii) All requirements, including but not limited to any time limit, pertaining to the conduct of the special election have been waived by unanimous consent of the qualified electors of the CFD as authorized by the Act, which executed Landowner Petition, Waiver and Consent from each qualified elector is on file with the City Clerk.

(iii) As authorized by the unanimous waiver of the special election requirements by all the qualified electors, the special election is by ballot mailed to all of the property owners with the CFD.

(iv) Pursuant to the terms of the resolution, the special election was held on March 5, 2024, and the City Clerk has duly canvassed the returns of the election and has filed with the City Council a statement of all votes cast at the election showing the whole number of votes cast within such territory and the whole number of votes cast for and against the measure in such territory and also filed, attached to the statement, the certificate as to the correctness of the statement (the “Canvass and Statement of Election Results”), a copy of which is attached hereto as Exhibit “A.” The City Council has reviewed the canvas and hereby approves it.

(v) At this time said election has been held and the measure voted upon did receive favorable votes of at least 2/3rds of the qualified electors of the CFD and this City Council hereby desires to declare the results of the election is accordance with the provisions of the Elections Code of the State of California.

B. Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

1. In all respects the forgoing recitals are true and correct and incorporated herein.
2. **Approval of Canvass.** The canvass by the City Clerk, as shown by the Statement of Election Results is hereby ratified, confirmed, approved, and entered upon the minutes of this meeting.
3. **Statement of the Measure.** At the election, the following measure was submitted to the qualified electors of the territory proposed to be annexed to the CFD and the number of votes cast for and against the measure was as follows:

BALLOT MEASURE

PROPOSITION A: Shall special taxes be levied annually on taxable property within the territory to be annexed into the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services), County of Orange, State of California (“CFD No. 2024-01”) and collected so long as the special taxes are needed to pay for maintenance and operational costs for Old Town Placentia at the special tax rates and pursuant to the method of apportioning the special taxes set forth in Exhibit “B” to the Resolution of Intention, Resolution No. R-2024-04, adopted by the City Council of the City of Placentia on January 23, 2024?	TOTAL VOTES
	<input type="checkbox"/> Yes
	<input type="checkbox"/> No
PROPOSITION B: Shall an appropriations limit, as defined by subdivision (h) of Section 8 of Article XIII B of the California Constitution, be established for the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services), County of Orange, State of California, in the amount of \$1,000,000 per annum?	<input type="checkbox"/> Yes
	<input type="checkbox"/> No

4. **Votes Cast.** The total number of votes cast in the territory proposed to be annexed to the CFD at the election was .
5. **Measure Passed.** More than two-thirds of all the votes cast at the election on the measure were in favor of the measure and the measure passed.
6. **Validity of Procedures.** The City Council hereby finds and determines that all prior proceedings and actions taken by the City Council pursuant to the Act were and are valid and in conformity with the Act.
7. **Notice of Special Tax Lien.** The City Clerk is hereby directed to complete,

execute and cause to be recorded in the office of the Orange County Recorder, in accordance with the provisions of Sections 3114.5 and 3117.5 of the California Streets and Highways Code within fifteen (15) days of the adoption of this resolution, a notice of special tax lien in the form required by the Act.

8. The Mayor shall sign this Resolution, and the City Clerk shall attest and certify to the passage and adoption thereof.

APPROVED and ADOPTED this 5th day of March, 2024.

JEREMY YAMAGUCHI, MAYOR

ATTEST:

ROBERT S. MCKINNELL, CITY CLERK

I, ROBERT S. MCKINNELL, CITY CLERK of the CITY OF PLACENTIA DO HEREBY CERTIFY that the foregoing Resolution No. was adopted at a regular meeting of the City Council held on the 5th day of March 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

Christian Bettenhausen, City Attorney

EXHIBIT A

Canvass and Statement of Election Results

I, Robert S. McKinnell, City Clerk of the City of Placentia (the "City"), hereby certify that:

1. On March 5, 2024, at City Hall, 401 E. Chapman Avenue, Placentia, California, I canvassed the returns of the election called for on March 5, 2024, in the territory proposed to be annexed to Community Facilities District No. 2024-01 (Old Town Maintenance Services) on the following measures:

PROPOSITION A

Shall special taxes be levied annually on taxable property within the territory to be annexed into the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services), County of Orange, State of California ("CFD No. 2024-01") and collected so long as the special taxes are needed to pay for maintenance and operational costs for Old Town Placentia at the special tax rates and pursuant to the method of apportioning the special taxes set forth in Exhibit "B" to the Resolution of Intention, Resolution No. R-2024-04, adopted by the City Council of the City of Placentia on January 23, 2024?

PROPOSITION B

Shall an appropriations limit, as defined by subdivision (h) of Section 8 of Article XIII B of the California Constitution, be established for the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services), County of Orange, State of California, in the amount of \$1,000,000 per annum?

2. The total number of qualified landowner votes eligible to be cast, the total number of votes actually cast at the election, and the total number of votes cast for and against the measure are set forth below. The totals as shown for and against the measure are full, true, and correct. More than two-thirds of all the votes cast at the election on the measure were in favor of the measure and the measure passed.

	Qualified Landowner Votes	Votes Cast	YES	NO
Proposition A				
Proposition B				

Dated: March 5, 2024

Robert S. McKinnell, City Clerk

ORDINANCE NO. O-2024-03

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, LEVYING SPECIAL TAXES WITHIN THE CITY OF PLACENTIA COMMUNITY FACILITIES DISTRICT NO. 2024-01 (OLD TOWN MAINTENANCE SERVICES)

A. Recitals.

(i) On January 23, 2024, the City Council of the City of Placentia "City Council"), has previously adopted Resolution No. R-2024-04 entitled "Resolution of Intention of the City Council of the City of Placentia to Establish Community Facilities District No. 2024-01 (Old Town Maintenance Services) of the City of Placentia and to Authorize the Levy of a Special Tax within Community Facilities District No. 2024-01 (Old Town Maintenance Services) of the City of Placentia" ("Resolution of Intention"), stating its intention to conduct proceedings to form Community Facilities District No. 2024-01 (Old Town Maintenance Services) ("CFD") pursuant to the Mello-Roos Community Facilities Act of 1982, as amended, commencing with § 53311 of the California Government Code ("Act") to finance certain services ("Services") including incidental expenses, to serve the CFD.

(ii) The Resolution of Intention set March 5, 2024, at 7:00 p.m., or as soon thereafter as practical, as the date and time of a public hearing on all matters pertaining to the formation of the CFD, the extent of the CFD, the furnishing of Services to serve the CFD, and the proposed rate and method of apportionment of the special tax within the CFD ("Rate and Method").

(iii) A notice of public hearing was published and mailed to all landowners proposed to be included in the CFD in accordance with the Act.

(iv) At the public hearing, evidence was presented to the City Council on such matter before it, including a special report ("Report") describing the services necessary to adequately meet the needs of the CFD and the estimated costs of financing such Services as required by § 53321.5 of the Act.

(v) At the public hearing, all persons desiring to be heard on all matters pertaining to the formation of the CFD, the extent of the CFD, the furnishing of Services to serve the CFD, and the Rate and Method were heard and a full and fair hearing was held.

(vi) At the conclusion of the public hearing, the City Council adopted a resolution entitled "Resolution of Formation of the City Council of the City of Placentia Establishing Community Facilities District No. 2024-01 (Old Town Maintenance Services); Authorizing the Levy of Special Taxes; and Establishing the Appropriations Limit for the Proposed Community Facilities District" ("Resolution of Formation") which established the CFD and authorized the levy of a special tax within the CFD.

(vii) On March 5, 2024, a special election was held among the landowner voters within the CFD at which time such voters approved such propositions by the two-thirds vote required by the Act, which approval has been confirmed by resolution of this Council.

(viii) The City of Placentia provided notice of the City Council's public hearing in accordance with California Government Code Section 65090 and the City of Placentia Municipal Code Section 23.96.030; and

(ix) All legal prerequisites to the adoption of this Ordinance have occurred.

B. Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF PLACENTIA DOES HEREBY FIND, DETERMINE AND ORDAIN AS FOLLOWS:

SECTION 1. In all respects, the foregoing recitals are true and correct and are incorporated herein.

SECTION 2. Authorization of the Levy of a Special Tax. By the passage of this Ordinance, the City Council hereby authorizes the levy of the Special Tax in the CFD in accordance with the Rate and Method set forth in Exhibit "C" to the Resolution of Formation, which is on file in the office of the City Clerk and incorporated by reference herein. The Special Taxes are hereby levied commencing in fiscal year 2024-2025 and in each fiscal year thereafter until the last fiscal year in which such special taxes are authorized to be levied pursuant to the Rate and Method.

SECTION 3. Annual Rate Determination. The City Council is hereby further authorized to determine, by resolution, on or before August 1 of each year, the specific special tax to be levied on each parcel of land in the CFD. The special tax to be levied shall not exceed the maximum rates set forth in the Rate and Method, but the special tax may be levied at a minimum rate. The CFD Administrator is authorized and directed to file with the county auditor on or before the 10th day of August of each tax year a certified copy of such resolution accompanied by a list of all parcels subject to the special tax levy with the tax to be levied on each parcel.

SECTION 4. Exempt Property. Except as provided in § 53340.1 of the Act and except for properties that a local agency is a landowner of within the meaning of subdivision (f) of § 53317 of the Act, or except as otherwise provided in § 53317.3 of the Act, pursuant to § 53340 of the Act, properties of entities of the state, federal and local governments shall be exempt from the levy of the Special Tax. Reference hereby is made to the Rate and Method for a description of other properties or entities that are expressly exempted from the levy of the Special Tax.

SECTION 5. Use of Collections. All of the collections of the Special Tax shall be used only as provided by the Act and in the Resolution of Formation. The Special Tax

shall be levied only so long as needed for the purposes as described in the Resolution of Formation.

SECTION 6. Collection. The Special tax shall be collected in the same manner as ordinary ad valorem taxes and shall be subject to the same penal ties and the same procedure, sale and lien in any case of delinquency as applicable for ad valorem property taxes; provided, however, that the Special Tax may be collected by direct billing by the City of the property owners in the CFD or in such other manner as may be provided by the City Council. In addition, the provisions of § 53356.1 of the Act shall apply to any delinquent Special Tax payments.

SECTION 7. Authorization. The specific authorization for adoption of the Ordinance is § 53340 of the Act.

SECTION 8. Severability. The City Council declares that, should any provision, section, paragraph, sentence or word of this Ordinance be rendered or declared invalid by any final court action in a court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences and words of this Ordinance shall remain in full force and effect and the balance of this Ordinance, and the application of the Special Tax to the remaining parcels within the CFD, shall not be affected.

SECTION 9. Certification. The Mayor shall sign and the City Clerk shall certify to the passage and adoption of this Ordinance and shall cause the same, or the summary thereof, to be published and posted pursuant to the provisions of law and this Ordinance shall take effect thirty (30) days after passage.

INTRODUCED at a regular meeting of the City Council of the City of Placentia held on March 5, 2024.

PASSED, APPROVED AND ADOPTED this th day of March 2024.

Jeremy Yamaguchi, Mayor

ATTEST:

Robert S. McKinnell, City Clerk

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Placentia, held on the 5th day of March, 2024, and adopted at a regular meeting of the City Council of the City of Placentia, held on the the ___th day of March 2024 by the following vote:

AYES: Councilmembers:
NOES: Councilmembers:
ABSENT: Councilmembers:
ABSTAINED: Councilmembers:

ATTEST:

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

Christian L. Bettenhausen, City Attorney

RECORDING REQUESTED BY AND
AFTER RECORDATION RETURN TO:

City of Placentia
Attn: Robert S. McKinnell, City Clerk
401 E. Chapman Avenue,
Placentia, CA 92870

NOTICE OF SPECIAL TAX LIEN

City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services)

Pursuant to the requirements of § 3114.5 of the Streets and Highways Code of the State of California and the Mello-Roos Community Facilities Act of 1982, as amended, §§ 53311, *et seq.*, of the California Government Code, the undersigned City Clerk of the City of Placentia, acting on behalf of City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services) (the “CFD”), HEREBY GIVES NOTICE that a lien hereby is imposed on taxable property within the CFD to secure payment of a special tax which the City Council of the City of Placentia, County of Orange (the “County”), State of California, is authorized to annually levy for the following purpose of financing the following services:

OLD TOWN MAINTENANCE SERVICES

The Old Town Maintenance Services include the estimated and reasonable costs of maintaining and servicing Old Town Placentia, including but not limited to (i) the costs of contracting services, (ii) maintaining and replacing landscape, public infrastructure, open space, utilities and fixtures, signage, streets and public rights-of-way and supplies/equipment, (iii) the salaries and benefits of City staff that directly provide maintenance services and other services as defined herein, respectively, and (iv) City overhead costs associated with providing such services.

The Special Tax is authorized to be levied within the CFD and the lien of the Special Tax is a continuing lien which shall secure each annual levy of the Special Tax and which shall continue in force and effect in accordance with law or until the Special Tax ceases to be levied and a notice of cessation of Special Tax is recorded in accordance with California Government Code § 53330.5.

The rate and method of apportionment of the authorized Special Tax is as shown in the Rate and Method set forth on Exhibit “A” attached hereto and incorporated herein by this reference. The Special Tax shall be collected in the same manner as ordinary *ad valorem* property taxes and shall be subject to the same penalties and the same procedure, sale and

lien priority in case of delinquency as is provided for ad valorem taxes; provided, however, the CFD may utilize a direct billing procedure for any Special Taxes that cannot be collected on the County tax roll or may, by resolution, elect to collect the Special Taxes at a different time or in a different manner if necessary to meet its financial obligations. Conditions under which the obligation to pay the Special Tax may be prepaid and permanently satisfied and the lien of the Special Tax canceled are as set forth in said Exhibit "A" and hereby incorporated herein by this reference.

Notice is further given that upon the recording of this notice in the Office of the County Recorder, the obligation to pay the Special Tax levy shall become a lien upon all non-exempt real property within the CFD in accordance with California Streets and Highways Code § 3115.5.

The name(s) of the owner(s) and the assessor's tax parcel number(s) of the real property included within the CFD and not exempt from the Special Tax are as set forth in Exhibit "B" attached hereto and incorporated herein by this reference.

Reference is made to the boundary map of the CFD recorded at Book 109, Page(s) 40-41 M/M, Instrument No. 2024000026763, of Maps of Assessment and Community Facilities Districts in the Office of the County Recorder for the County of Orange, State of California, which map is now the final boundary map of the CFD.

For further information concerning the current and estimated future tax liability of owners or purchasers of real property subject to this special tax lien, interested persons should contact the City of Placentia, City Hall, 401 E. Chapman Avenue, Placentia, CA 92870, telephone number (714) 993-8117.

Dated: As of _____, 2024

By: _____
Robert S. McKinnell, City Clerk
City of Placentia

EXHIBIT A

Rate and Method of Apportionment

RATE AND METHOD OF APPORTIONMENT FOR CITY OF PLACENTIA COMMUNITY FACILITIES DISTRICT NO. 2024-01 (OLD TOWN MAINTENANCE SERVICES)

A Special Tax as hereinafter defined shall be levied on all Assessor's Parcels in City of Placentia Community Facilities District No. 2024-01 ("CFD No. 2024-01") and collected each Fiscal Year commencing in Fiscal Year 2023-2024, in an amount determined by the City Council of the City of Placentia through the application of the Rate and Method of Apportionment as described below. All of the real property in CFD No. 2024-01, unless exempted by law or by the provisions hereof, shall be taxed for the purposes, to the extent and in the manner herein provided.

A. DEFINITIONS

The terms hereinafter set forth have the following meanings:

"Acre" or "Acreage" means the land area of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Act" means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, Division 2 of Title 5 of the Government Code of the State of California.

"Administrative Expenses" means the following actual or reasonably estimated costs directly related to the administration of CFD No. 2024-01: the costs of computing the Special Taxes and preparing the annual Special Tax collection schedules (whether by the City or designee thereof or both); the costs of collecting the Special Taxes (whether by the County or otherwise); the costs associated with preparing Special Tax disclosure statements and responding to public inquiries regarding the Special Taxes; the costs of the City, CFD No. 2024-01 or any designee thereof related to an appeal of the Special Tax; and the City's annual administration fees and third party expenses. Administrative Expenses shall also include amounts estimated or advanced by the City or CFD No. 2024-01 for any other administrative purposes of CFD No. 2024-01.

"Assessor's Parcel" means a lot or parcel shown in an Assessor's Parcel Map with an assigned Assessor's parcel number.

"Assessor's Parcel Map" means an official map of the Assessor of the County designating parcels by Assessor's parcel number.

"CFD Administrator" means an official of the City, or designee thereof, responsible for determining and providing for the levy and collection of the Special Tax.

"**CFD No. 2024-01**" means the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services).

"**City**" means the City of Placentia.

"**Consumer Price Index**" means, for each Fiscal Year, the Consumer Price Index published by the U.S. Bureau of Labor Statistics for All Urban Consumers in the Los Angeles-Long Beach-Anaheim region, measured as of the month of December in the calendar year which ends in the previous Fiscal Year. In the event this index ceases to be published, the Consumer Price Index shall be another index as determined by the CFD Administrator that is reasonably comparable to the Consumer Price Index for the Los Angeles-Long Beach-Anaheim region.

"**Council**" means the City Council of the City.

"**County**" means the County of Orange, California.

"**Developed Property**" means, for each Fiscal Year, all Taxable Property, excluding Existing Building/Structure Property, for which a building permit was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year for construction of a new building/structure.

"**Existing Building/Structure Property**" means, for each Fiscal Year, all Taxable Property, for which a building or structure existed on such property prior to March 1, 2023.

"**Fiscal Year**" means the period starting July 1 and ending on the following June 30.

"**Hotel/Motel Property**" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit has been issued for building a non-residential structure that constitutes a place of lodging providing sleeping accommodations and related facilities for travelers. Such related facilities may include, but are not limited to, on-site restaurants, retail establishments, conference rooms/areas, etc.

"**Hotel/Motel Rooms**" means, for each Assessor's Parcel of Hotel/Motel Property, the number of hotel/motel rooms available for rent for the purpose of overnight lodging, as indicated on the building permit issued by the City. If such room data is not included on the building permit for an Assessor's Parcel of Hotel/Motel Property, then the CFD Administrator shall rely on the site plan or other reasonable data sources as determined by the CFD Administrator.

"**Industrial Property**" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: manufacturing, procession, fabricating, assembly, refining, repairing, packaging, or treatment of goods, material or produce; research and development; and/or warehousing and wholesale distribution of goods, material, or produce.

"**Maximum Special Tax**" means the Maximum Special Tax, determined in accordance with Section C below, that can be levied in any Fiscal Year on any Assessor's Parcel of Taxable Property within CFD No. 2024-01.

"Multi-Family Residential Property" means any Assessor's Parcel of Residential Property for which one or more building permits have been issued for attached residential units, all of which are made available for rental, but not purchase, by the general public.

"Non-Residential Floor Area" means, for Non-Residential Property, the total square footage of enclosed area within the perimeter of a non-residential structure located on such property, not including any space devoted to vehicle parking, walkway, overhang, patio, and areas incident thereto for which a building permit for new construction was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year. The determination of Non-Residential Floor Area shall be made by reference to the building permit(s) issued for such Assessor's Parcel, or if square footage is not available from this source, as otherwise determined by the CFD Administrator.

"Non-Residential Property" means, for each Fiscal Year, all Developed Property for which a building permit(s) was issued for the construction of a new building/structure with a non-residential use.

"Non-Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property not considered (i) Hotel/Motel Property, (ii) Industrial Property, (iii) Retail Commercial Property, or (iv) Office Property.

"Office Property" means, for each Fiscal Year, all Assessor's Parcels of Non-Residential Property for which a building permit(s) was issued for construction of a non-residential structure(s) which is primarily used for: general, professional, and/or medical office space.

"Parcel Square Foot" or "Parcel Square Footage" means the land area, or Acreage multiplied by 43,560, of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County parcel map.

"Parking Lot Property" means, for each Fiscal Year, Assessor's Parcels 339-394-06 and 339-394-07 as designated on the Assessor's Parcel Map at the time of formation of CFD No. 3-1 and any other Assessor's Parcel that is not Public Property and for which a building permit has been issued for the construction of, or on which is located a garage, parking lot, or parking structure, as of March 1 of the prior Fiscal Year, and on which is located no other Developed Property, as determined by the CFD Administrator.

"Property Owner Association Property" means, for each Fiscal Year, any Assessor's Parcel within the boundaries of CFD No. 2024-01 that was owned by a property owner association, including any master or sub-association, as of March 1 of the prior Fiscal Year.

"Proportionately" means, for Developed Property, Rehab/Remodel Property, and Parking Lot Property that the ratio of the actual Special Tax levy to the Maximum Special Tax is equal for all Developed Property, Rehab/Remodel Property, and Parking Lot Property.

"Public Property" means, for each Fiscal Year, any property within the boundaries of CFD No. 2024-01 that is (i) used for rights-of-way or any other purpose and is owned by or irrevocably offered for dedication to the federal government, the State of California, the County, the City or any other public agency as of March 1 of the prior Fiscal Year or (ii) encumbered by an unmanned

utility easement making impractical its utilization for other than the purpose set forth in the easement as of March 1 of the prior Fiscal Year, provided however that any property leased by a public agency to a private entity and subject to taxation under Section 53340.1 of the Act shall be taxed and classified in accordance with its use.

"Rehab/Remodel Property" means all Assessor's Parcels of Existing Building/Structure Property for which a building permit with a construction valuation greater than \$25,000, as determined by the CFD Administrator, was issued after March 1, 2023 and prior to March 1 of the previous Fiscal Year to rehabilitate or remodel Existing Building/Structure Property.

"Residential Property" means all Developed Property for which a building permit has been issued for purposes of constructing one or more residential dwelling units.

"Retail Commercial Property" means all Assessor's Parcels of Non-Residential Property for which the building permit was issued for a retail sales tax generating use or which is being used primarily for a retail sales tax generating use, as determined by the CFD Administrator, and not considered (i) Hotel/Motel Property, (ii) Industrial Property, or (iii) Office Property.

"Single Family Residential Property" means any Assessor's Parcel of Residential Property not considered Multi-Family Residential Property.

"Special Tax" means the special tax to be levied in each Fiscal Year on each Assessor's Parcel of Taxable Property to fund the Special Tax Requirement for Services.

"Special Tax Requirement for Services" means that amount required in any Fiscal Year to: (i) pay directly for annual maintenance services that are authorized to be financed by CFD No. 2024-01; (ii) pay Administrative Expenses; less (iii) a credit for funds available to reduce the annual Special Tax levy, as determined by the CFD Administrator.

"State" means the State of California.

"Taxable Property" means all of the Assessor's Parcels within the boundaries of CFD No. 2024-01 which are not exempt from the Special Tax pursuant to law or Section E below.

"Undeveloped Property" means, for each Fiscal Year, all Taxable Property not classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, Taxable Property Owner Association Property or Taxable Public Property.

"Welfare Exemption" means, for each Fiscal Year, any Assessor's Parcel that is used exclusively for charitable, hospital, or religious purposes and that has a property tax welfare exemption as indicated in the County's assessor's roll finalized as of the last preceding January 1.

B. ASSIGNMENT TO LAND USE CATEGORIES

Each Fiscal Year, all Taxable Property within CFD No. 2024-01 shall be classified as Developed Property, Rehab/Remodel Property, Parking Lot Property, or Undeveloped Property and shall be subject to Special Taxes in accordance with the rate and method of apportionment determined pursuant to Sections C and D below.

Developed Property shall be further classified as Residential Property or Non-Residential Property. For Residential Property, the Special Tax will be based on the number of dwelling units as indicated on the building permit. For Non-Residential Property, the Special Tax will be based on the Non-Residential Floor Area or number of Hotel/Motel Rooms. For Rehab/Remodel Property and Parking Lot Property, the Special Tax will be based on the Parcel Square Footage.

C. MAXIMUM SPECIAL TAX

1. Developed Property, Rehab/Remodel Property, and Parking Lot Property

a. Maximum Special Tax

The Maximum Special Tax for Fiscal Year 2023-2024 for each Land Use Class is shown below in Table 1.

TABLE 1
Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property
For Fiscal Year 2023-2024

Land Use Class	Description	Maximum Special Tax
1	Single Family Residential Property	\$318.00 per dwelling unit
2	Multi-Family Residential Property	\$293.00 per dwelling unit
3	Non-Retail Commercial Property	\$0.2996 per square foot of Non-Residential Floor Area
4	Retail Commercial Property	\$0.2074 per square foot of Non-Residential Floor Area
5	Office Property	\$0.2996 per square foot of Non-Residential Floor Area
6	Industrial Property	\$0.2996 per square foot of Non-Residential Floor Area
7	Hotel/Motel Property	\$230.00 per Hotel/Motel Room
8	Rehab/Remodel Property	\$0.0765 per Parcel Square Foot
9	Parking Lot Property	\$0.0665 per Parcel Square Foot

b. Increase in the Maximum Special Tax

On each July 1, commencing on July 1, 2024, the Maximum Special Tax for Developed Property, Rehab/Remodel Property, and Parking Lot Property shall be increased based on the percentage change in the Consumer Price Index with a

maximum annual increase of six percent (6%) and a minimum annual increase of two percent (2%) per Fiscal Year.

c. Multiple Land Use Classes

In some instances, an Assessor's Parcel of Developed Property may contain more than one Land Use Class. The Maximum Special Tax for such Assessor's Parcel shall be the sum of the Maximum Special Tax for all Land Use Classes located on that Assessor's Parcel. The CFD Administrator's allocation to each type of property shall be final.

2. Undeveloped Property and Existing Building/Structure Property

The Special Tax shall not be levied on Undeveloped Property and Existing Building/Structure Property not classified as Rehab/Remodel Property or Parking Lot Property.

D. METHOD OF APPORTIONMENT OF THE SPECIAL TAX

Commencing with Fiscal Year 2023-2024 and for each following Fiscal Year, the Council shall determine the Special Tax Requirement for Services and shall levy the Special Tax until the total Special Tax levy equals the Special Tax Requirement for Services. The Special Tax shall be levied each Fiscal Year as follows:

The Special Tax shall be levied Proportionately on each Assessor's Parcel of Developed Property, Rehab/Remodel Property, and Parking Lot Property at up to 100% of the Maximum Special Tax.

E. EXEMPTIONS

No Special Tax shall be levied on Public Property, Property Owner Association Property, or any Assessor's Parcel that has a Welfare Exemption. However, should an Assessor's Parcel no longer be classified as Public Property, Property Owner Association Property, or have a Welfare Exemption, its tax-exempt status will, without the necessity of any action by the Council, terminate.

F. PREPAYMENT OF SPECIAL TAX

Prepayment of the Special Tax is not authorized.

G. APPEALS/INTERPRETATION

Any landowner or resident may file a written appeal of the Special Tax levied on his/her property with the CFD Administrator, provided that the appellant is current in his/her payments of Special Taxes. During the pendency of an appeal, all Special Taxes previously levied must be paid on or before the payment date established when the levy was made. The appeal must specify the reasons why the appellant claims the Special Tax is in error. The CFD Administrator shall review the appeal, meet with the appellant if the CFD Administrator deems necessary, and advise the appellant of its determination. If the CFD Administrator agrees with the appellant, the CFD Administrator shall eliminate or reduce the Special

Tax on the appellant's property and/or provide a refund to the appellant. If the CFD Administrator disagrees with the appellant and the appellant is dissatisfied with the determination, the appellant then has 30 days in which to appeal to the Council by filing a written notice of appeal with the Council, provided that the appellant is current in his/her payments of Special Taxes. The second appeal must specify the reasons for the appellant's disagreement with the CFD Administrator's determination. The CFD Administrator may charge the appellant a reasonable fee for processing the appeal.

Interpretations may be made by the Council by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Rate and Method of Apportionment.

H. MANNER OF COLLECTION

The Special Tax will be collected in the same manner and at the same time as ordinary *ad valorem* property taxes; provided, however, that CFD No. 2024-01 may directly bill the Special Tax, may collect Special Taxes at a different time or in a different manner if necessary to meet its financial obligations, and may covenant to foreclose and may actually foreclose on delinquent Assessor's Parcels as permitted by the Act.

I. TERM OF SPECIAL TAX

The Special Tax shall be levied as long as necessary to meet the Special Tax Requirement for Services.

EXHIBIT B

The name(s) of the owner(s) and the assessor's tax parcel number(s) of the real property included within the CFD and not exempt from the Special Tax are incorporated herein as follows:

Property Address:

132 South Bradford Avenue

Placentia, CA 92870

Accessor Parcel Number: 339-052-27

2 Guys, LLC, a California Limited Liability Company

Property Owner: Walt Lynch

Property Owner: Kenneth Binnings



Placentia City Council

AGENDA REPORT

TO: CITY COUNCIL
VIA: CITY ADMINISTRATOR
FROM: DEPUTY CITY ADMINISTRATOR / PUBLIC SERVICES & INFRASTRUCTURE
DATE: MARCH 5, 2024

SUBJECT: **PUBLIC HEARING, INTRODUCTION AND FIRST READING OF ORDINANCE NO. O-2024-02 OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, AMENDING CHAPTER 13.52 "RESTRICTED PARKING ZONES" AND CHAPTER 14.10 "TRAFFIC AND PARKING REGULATIONS" TO THE PLACENTIA MUNICIPAL CODE**

FISCAL
IMPACT: NONE

SUMMARY:

On February 16, 2016, the City Council approved the Old Town Santa Fe Parking Permit Pilot Program (Program). The Program allowed businesses, property owners and residents to purchase parking permits to park within Old Town public parking lots for an extended period and established time restricted parking limits within said lots and along Bradford and Santa Fe Avenues. More specifically, the Program entailed establishing two-hour, four-hour, and overnight parking restrictions within various Old Town parking lots. While the time restrictions portion of the Program has been successful, the permit portion of the Program was not fully implemented due to the Old Town Merchants Association creating their own permit parking program independent of the City's program. After considerable review and discussion on the success of the established time restrictions, the Placentia Municipal Code (PMC) must be updated to permanently establish these restrictionS in order to allow for proper enforcement and turnover of parking spaces for visitors. On February 1, 2024, the City Council Old Town Placentia Parking Ad-Hoc Committee and Staff met to review a proposed parking ordinance update, which includes the aforementioned time restrictions. The Committee reviewed and approved the proposed amendment and recommended that the proposed ordinance changes be presented to the full City Council for its consideration.

Staff is recommending that the City Council conduct a Public Hearing to consider Ordinance No. 2024-02 (Attachment 1) which will formally codify these parking restrictions and amend other sections of Chapter 13.52 and Chapter 14.10 of the PMC based upon the recommendations of the Committee.

RECOMMENDATION:

It is recommended that the City Council take the following actions:

2.c.
March 5, 2024

1. Open the Public Hearing concerning Ordinance No. 2024-02; and
2. Receive the staff report and consider all public testimony; and
3. Close the public hearing; and
4. Introduce for first reading, by title only, further reading waived, Ordinance No. O-2024-02, an Ordinance of the City Council of the City of Placentia, California, amending Chapters 13.52 and 14.10 of the Placentia Municipal Code.

STRATEGIC PLAN STATEMENT:

There is no specific Strategic Planning Goal or Objective associated with this agenda item.

DISCUSSION:

On February 16, 2016, the City Council approved the Old Town Santa Fe Parking Permit Pilot Program (Program). The Program allowed businesses, property owners and residents to purchase parking permits to park within Old Town public parking lots for an extended period and established time restricted parking limits within said lots and along Bradford and Santa Fe Avenues. More specifically, the Program entailed establishing two-hour, four-hour, and overnight parking restrictions within various Old Town parking lots. While the time restrictions portion of the Program has been successful, the permit portion of the Program was not fully implemented due to the Old Town Merchants Association creating their own permit parking program independent of the City's program. For reference, a map of the current parking restrictions in Old Town Placentia (Old Town) is included in this Staff report as Attachment 4.

In 2020, the City Council established the Old Town Placentia Parking Ad-Hoc Committee (Committee), to serve in an advisory capacity to the City Council on matters related to parking within Old Town. Recently, the Committee has reviewed traffic and parking conditions in Old Town and has recommended the need to amend Chapter 13.52 and Chapter 14.10 of the Placentia Municipal Code (PMC) to codify existing parking restrictions within Old Town. In 2023, the City completed the renovation of the Main Street Parking Lot to provide additional parking within Old Town. Old Town has seen an increase in the number of visitors due to new businesses that have opened recently. The proposed Ordinance would allow for proper enforcement and a turnover of public parking spaces in Old Town to support an increase of visitors in the area.

At its February 1, 2024, regularly scheduled meeting, the Committee reviewed and discussed the proposed updates to the PMC to codify the parking regulations approved by the City Council as part of the Program. The proposed Ordinance No. O-2024-02 (Attachment 1) is presented for the City Council's consideration and amends various sections and provisions in Chapter 13.52, entitled "Restricted Parking Zones" and Chapter 14.10 entitled "Traffic and Parking Regulations" of the PMC. Specifically, the proposed amendments include modifying the existing code in the following sections in Chapter 13.52 of the PMC: 13.52.020 (Two-Hour Parking Zones), 13.52.030 (One-Hour Parking Zones), 13.52.040 (Parking Prohibited During Certain Hours), and removes Section 13.52.060 (Angle Parking Zones). In addition, the proposed ordinance includes the

addition of Section 13.52.015 (Four-Hour Parking Zones) to Chapter 13.52 of the PMC. As proposed, the ordinance will amend Section 14.10.030 (Parking Time Limit) of Chapter 14.10. These various sections are recommended to be amended to codify the parking hours and restrictions within the PMC to reflect the parking hours of the Program. Below is a summary of the proposed code amendments and attached to this staff report (Attachment 2) is a reference handout of the existing code amendments with the proposed changes.

Summary of Proposed Code Amendments

Section 13.52.020 (Two-Hour Parking Zones)

Section 13.52.020 entitled "Two-hour parking zones" is being proposed to be amended to set parking time restrictions between the hours of 6:00 a.m. and 9:00 p.m. within Old Town Public Parking Lots Nos. 1, 2 and 3 as well as the off-street parking zones in Old Town with two-hour parking restrictions. In addition, the proposed language states that any future parking lots are subject to these regulations. This allows the City Council the flexibility to apply these parking restrictions to any future parking lots in the City via a resolution without the burden of having to amend the ordinance each time. The proposed amendments will also remove existing parking restriction exemptions for Sundays and holidays. The Committee is recommending the removal of these exemptions to allow for enforcement on those days that are typically more heavily impacted by the low turnover of parking spaces as Old Town businesses receive a lot of customers on Sundays and holidays.

Section 13.52.030 (One-Hour Parking Zones)

Section 13.52.030 is recommended for amendment to remove existing parking restriction exemptions for Sundays and holidays based upon the recommendation of the Committee. In addition, the proposed changes will modify the existing specified times for parking restrictions within one-hour parking zones from 7:00 am to 6:00 p.m. to 6:00 a.m. and 9:00 p.m.

Section 13.52.040 (Parking Prohibited During Certain Hours)

Section 13.52.040 is amended to remove the specified times for "No Parking" zones in the PMC and replace the language to reference as posted on the street or public parking lot. This allows the City to create "No Parking" traffic regulations during specific hours to meet the needs of the community. An example of this is the designated "No Parking" zone for passenger loading in front of Golden Elementary School and George Key School. Previously, the City had approved a designated "No Parking" zone during specified hours to ensure the safety of students during drop-off and pick-up hours and maintain a smooth flow of traffic in this school zone. Recently, these schools changed their operating schedules, which meant the existing parking sign was outdated and longer coincided with the school's current drop off and pick up times. Staff updated the parking sign to mitigate traffic issues in this school zone. Absent a specific code reference to the new specified times for this "No Parking" zone, the Police Department is unable to issue citations for those violations. Accordingly, the attached proposed ordinance includes removing the stated times in the PMC to provide the City the flexibility to change parking restrictions when schools or businesses change their hours of operation via a resolution without impacting enforcement or having to amend the ordinance each time.

Section 13.52.015 (Four-Hour Parking Zones)

The proposed amendments to the PMC will add a new section to Chapter 13.52, Section 13.52.015, entitled “Four-hour parking zones” to create a new parking zone within the City to restrict parking for visitors in the Old Town Public Parking Lots Nos. 4 and 6. This proposed section will restrict parking to a limit of four (4) hours between the hours of 6:00 a.m. to 9:00 p.m. within these designated public parking lots.

Section 13.52.060 (Angle Parking Zones)

Staff is recommending the removal of this section in its entirety. The current code specifies for angled parking on the South side of Santa Fe Ave between Bradford Ave and Melrose St. and the North side of Santa Fe Ave between Bradford Ave and Main St. The removal of this section would ensure that existing parking configurations on these locations are consistent with the City’s PMC and provide the City with the flexibility to change the orientation of the parking spaces on Santa Fe Ave as needed.

Section 14.10.030 (Parking Time Limit)

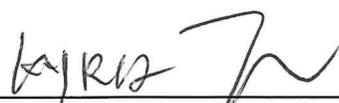
Section 14.10.030 is proposed to be amended to set overnight parking restrictions between the hours of 2:00 a.m. and 6:00 a.m. within the Civic Center parking lot. The proposed language also states that these restrictions are applicable to any other public parking lots designated by the City Council. The existing code doesn’t specify the restriction of overnight parking. The current code only sets a one-hour parking restriction between the hours of 2:00 a.m. and 6:00 a.m. The proposed changes will modify the one-hour parking restriction to be limited to the hours as posted on all City public and park grounds except by a permit issued by the Police Department. The proposed amendments will prevent nearby residents from parking overnight within the Civic Center.

The proposed ordinance addresses provisions related to parking time limits and overnight restrictions in public parking lots or designated parking zones within the City. If approved, the proposed ordinance will codify existing parking regulations in Old Town Placentia and provide flexibility to the City for future modifications as the City continues to develop. Staff recommends that the City Council review and consider the proposed ordinance and introduce for first reading Ordinance No. O-2024-02.

FISCAL IMPACT:

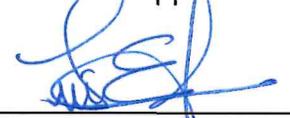
There is no fiscal impact associated with the recommended actions.

Prepared by:



Kyra Tao
Transportation Manager

Reviewed and approved:



Luis Estevez
Deputy City Administrator

Reviewed and approved:



Damien R. Arrula
City Administrator

Attachments:

1. Ordinance No. O-2024-02
2. Existing Municipal Code with Proposed Changes
3. Map of Old Town Parking Area Restrictions
4. Presentation

ORDINANCE NO. O-2024-02

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, AMENDING CHAPTER 13.52 “RESTRICTED PARKING ZONES” AND CHAPTER 14.10 “TRAFFIC AND PARKING REGULATIONS” TO THE PLACENTIA MUNICIPAL CODE

City Attorney Summary

This Ordinance amends various sections and provisions in Title 13 (Vehicles and Traffic) and Title 14 (Public Property) of the Placentia Municipal Code and adopts new regulations to enforce parking restrictions and additional time-based restrictions. This Ordinance amends sections 13.52.015, 13.52.020, 13.52.030, 13.52.040, 13.52.060 and 14.10.030 of the Placentia Municipal Code.

A. Recitals

(i) Whereas, the City of Placentia may make and enforce all regulations within the City to further public health, safety and welfare.

(ii) Whereas, the City Council seeks to provide an organized supply of public parking at Old Town and other public parking lots.

(iii) Whereas, on February 16, 2016, the City Council approved the Old Town Santa Fe Parking Permit Pilot Program (Old Town Parking Permit Pilot Program or Program). This Program allows merchants and property owners/residents to purchase parking permits to park in public parking lots for an extended period and it established time restricted parking limits in public parking lots. However, the Old Town Parking Permit Pilot Program was not implemented to the public because the Old Town merchants created their own permit parking system independent of the City's Program. The time restrictions were implemented to the Old Town parking areas, and now City Staff looks to end the Old Town Parking Permit Pilot Program and establish the Program's parking hours and restrictions in Placentia's Municipal Code.

B. Ordinance

NOW, THEREFORE, the City Council of the City of Placentia does hereby find, determine and ordain as follows:

SECTION 1. The above findings are true and correct and hereby incorporated into this ordinance.

SECTION 2. Municipal Code Amendment. Chapter 13.52, Restricted Parking Zones, is hereby amended by adding Section 13.52.015, and amending in their entirety

Sections 13.52.020, 13.52.030 and 13.52.040 of the Placentia Municipal Code are hereby as follows:

Chapter 13.52 – RESTRICTED PARKING ZONES

13.52.015 Four-hour parking zones.

Whenever any provision of this code or other ordinance or resolution of the city so designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle for a period of time longer than four (4) hours at any time between the hours of six (6) a.m. and nine (9) p.m. in Old Town Public Parking Lots numbers four (4) and six (6), or on any of the streets or public parking lots enumerated therein.

13.52.020 Two-hour parking zones.

Whenever any provision of this code or other ordinance or resolution of the city so designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle for a period of time longer than two (2) hours at any time between the hours of six (6) a.m. and nine (9) p.m. in Old Town Public Parking Lots numbers one (1), two (2), and three (3), in any future public parking lots, and on Bradford Avenue from Chapman Avenue to Santa Fe Avenue, Santa Fe Avenue from Bradford Avenue to Walnut Avenue, Main Street South of Santa Fe Avenue, and Crowther Avenue from Melrose Street to California State Route No. 57, and/or except for permit letter “F” issued by the police department and on any streets enumerated therein.

13.52.030 One-hour parking zones.

Whenever any provision of this code or other ordinance or resolution of the city so designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle for a period of time longer than one (1) hour at any time between the hours of six (6) a.m. and nine (9) p.m. of any day.

13.52.040 Parking prohibited during certain hours.

Whenever any provision of this code or other ordinance or resolution of the city designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle upon any street or public parking lot as posted on the specified street or public parking lot, for any purpose other than the immediate loading or unloading of passengers or materials.

SECTION 3. Municipal Code Amendment. Section 13.52.060 of the Placentia Municipal Code titled “Angle parking zones” is hereby deleted in its entirety.

SECTION 4. Municipal Code Amendment. Section 14.10.030 Parking time limit of the Placentia Municipal Code is hereby amended in its entirety as follows:

Chapter 14.10 - TRAFFIC AND PARKING REGULATIONS

14.10.030 Parking time limit.

Marked parking stalls may be provided for the reserved and exclusive uses of:

(1) A one (1) hour parking time limit is established in areas as posted, on all city public and park grounds except by permit issued by the police department.

(2) Overnight parking is prohibited between the hours of two (2) a.m. and six (6) a.m. daily, in the Civic Center parking lot and any other parking lots designated by the City Council, unless a permit has been issued by the police department.

(3) It is unlawful for any person to stop, stand, or park a vehicle for a period of longer than two (2) hours on public property, which has been restricted by ordinance or resolution of the City Council, and where signs have been erected designating such area as a two (2) hour parking area.

(4) It is unlawful for any person to stop, stand, or park a vehicle for a period of longer than thirty (30) minutes on public property, which has been restricted by ordinance or resolution of the City Council, and where signs have been erected designating such area as a thirty (30) minute parking area.

SECTION 5. The Mayor shall sign and the City Clerk shall certify to the passage and adoption of this Ordinance and shall cause the same, or the summary thereof, to be published and posted pursuant to the provisions of law and this Ordinance shall take effect thirty (30) days after passage.

INTRODUCED at a regular meeting of the City Council of the City of Placentia held on March 5, 2024.

PASSED, APPROVED AND ADOPTED this 5th day of March, 2024.

Jeremy B. Yamaguchi, Mayor

ATTEST:

Robert S. McKinnell, City Clerk

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Placentia, held on the 5th day of March 2024 and adopted at a regular meeting of the

City Council of the City of Placentia, held on the 5th day of March, 2024 by the following vote:

AYES: Councilmembers:
NOES: Councilmembers:
ABSENT: Councilmembers:
ABSTAIN: Councilmembers:

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

Christian L. Bettenhausen, City Attorney

Existing Placentia Municipal Code with Proposed Changes

Chapter 13.52 RESTRICTED PARKING ZONES

13.52.015 Four-hour parking zones.

Whenever any provision of this code or other ordinance or resolution of the city so designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle for a period of time longer than four (4) hours at any time between the hours of six (6) a.m. and nine (9) p.m. in Old Town Public Parking Lots numbers four (4) and six (6), on any of the streets or public parking lots enumerated therein.

13.52.020 Two-hour parking zones.

Whenever any provision of this code or other ordinance or resolution of the city so designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle on any of the streets enumerated therein for a period of time longer than two (2) hours at any time between the hours of ~~seven a.m. and six p.m. of any day, except Sundays and holidays~~ six (6) a.m. and nine (9) p.m. in Old Town Public Parking Lots numbers one (1), two (2), and three (3), in any future public parking lots, and on Bradford Avenue from Chapman Avenue to Santa Fe Avenue, Santa Fe Avenue from Bradford Avenue to Walnut Avenue, Main Street South of Santa Fe Avenue, and Crowther Avenue from Melrose Street to California State Route No. 57, and/or except for permit letter "F" issued by the police department and on any streets enumerated therein.

13.52.030 One-hour parking zones

Whenever any provision of this code or other ordinance or resolution of the city so designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle on any of the streets enumerated therein for a period of time longer than one (1) hour at any time between the hours of ~~seven a.m. and six p.m. of any day, except Sundays and holidays.~~ six (6) a.m. and nine (9) p.m. of any day.

13.52.040 Parking prohibited during certain hours.

Whenever any provision of this code or other ordinance or resolution of the city designates and when authorized signs are in place giving notice thereof, no person shall stop, stand or park any vehicle upon any street ~~between the hours of seven (7:00) a.m. to nine (9:00) a.m. and four thirty (4:30) p.m. to six (6:00) p.m. of any day, except Sundays and holidays~~ or public parking lot as posted on the specified street or public parking lot for any purpose other than the loading or unloading of passengers or materials.

~~13.52.060 Angle parking zones.~~

~~In accordance with Section 13.48.100 and when signs or markings are in place giving notice thereof, drivers of vehicles may stand or park a vehicle only as indicated by such marks or signs on the following streets or portions thereof: South side of Santa Fe between Bradford and Melrose. North side of Santa Fe between Bradford and Main.~~

~~Both sides of Main Street south of Santa Fe Avenue.~~

Chapter 14.10 TRAFFIC AND PARKING REGULATIONS

14.10.030 Parking time limit.

Marked parking stalls may be provided for the reserved and exclusive uses of:

(1) A one (1) hour parking time limit is established between the hours **of the area as posted**, ~~2:00 a.m. to 6:00 a.m. daily, including Saturday, Sunday and holidays~~ on all city public and park grounds except by permit issued by the police department.

(2) Overnight parking is prohibited between the hours of two (2) a.m. and six (6) a.m. daily, in the Civic Center parking lot and any other parking lots designated by the City Council, unless a permit has been issued by the police department.

~~(23) It is unlawful for any person to stop, stand, or park a vehicle for a period of longer than two (2) hours on public property, which has been restricted by ordinance or resolution of the city council, and where signs have been erected designating such area as a two (2) hour parking area.~~

~~(34) It is unlawful for any person to stop, stand, or park a vehicle for a period of longer than thirty (30) minutes on public property, which has been restricted by ordinance or resolution of the city council, and where signs have been erected designating such area as a thirty (30) minute parking area.~~



OLD TOWN PARKING AREAS

City of Placentia
Public Works Department

Restrictions

-  2 Hour Parking
-  4 Hour Parking
-  No Overnight Parking
-  Parking by Permit Only





City of Placentia

Parking Ordinance Update

March 5, 2024

Background

- On February 16, 2016, the City Council approved two (2) hour and four (4) hour parking restrictions and no overnight parking for public parking lots in Old Town Placentia as part of the Old Town Parking Permit Pilot Program
- Proposed Ordinance Amendment presented to the Old Town Parking City Council Ad-Hoc Committee on 2/1/24
- Staff is proposing to update the Municipal Code to codify the previously approved pilot parking restrictions in Old Town Placentia



Overview of Proposed Ordinance Updates

- Amend Title 13 (Vehicles and Traffic)
 - 2 and 4 Hour Parking Restrictions
 - Restrictions During Certain Hours
 - Remove Angle Parking Zones
- Amend Title 14 (Public Property)
 - Overnight Parking Restrictions
- Implement Sunday and Holiday Restrictions



Two-Hour Parking Zones (PMC 13.52.020)

Existing Code

....no person shall stop, stand or park any vehicle on any of the streets enumerated therein for a period of time longer than two hours at any time between the hours of **seven a.m. and six p.m.** of any day, except Sundays and holidays.

Proposed Modification

.....no person shall stop, stand or park any vehicle for a period of time longer than two (2) hours at any time between the hours of **six (6) a.m. and nine (9) p.m. in Old Town Public Parking Lots numbers one (1), two (2), and three (3), in any future public parking lots, and on Bradford Avenue from Chapman Avenue to Santa Fe Avenue, Santa Fe Avenue from Bradford Avenue to Walnut Avenue, Main Street South of Santa Fe Avenue, and Crowther Avenue from Melrose Street to California State Route No. 57, and/or except for permit letter "F" issued by the police department and on any streets enumerated therein.**



One-Hour Parking Zones (PMC 13.52.030)

Existing Code

....no person shall stop, stand or park any vehicle on any of the streets enumerated therein for a period of time longer than one hour at any time between the hours of **seven a.m. and six p.m.** of any day, except Sundays and holidays.

Proposed Modification

.....no person shall stop, stand or park any vehicle for a period of time longer than one (1) hour at any time between the hours of **six (6) a.m. and nine (9) p.m.** of any day.



Four-Hour Parking Zones (New Section PMC 13.52.015)

Proposed Addition

.....no person shall stop, stand or park any vehicle for a period of time longer than **four (4) hours at any time between the hours of six (6) a.m. and nine (9) p.m. in Old Town Public Parking Lots numbers four (4) and six (6), on any of the streets or public parking lots enumerated therein.**



Parking Prohibited During Certain Hours (PMC 13.52.040)

Existing Code

.....no person shall stop, stand or park any vehicle upon any street between the hours of **seven (7:00) a.m. to nine (9:00) a.m. and four-thirty (4:30) p.m. to six (6:00) p.m.** of any day, except Sundays and holidays for any purpose other than the loading or unloading of passengers or material

Proposed Modification

.....no person shall stop, stand or park any vehicle upon any **street or public parking lot as posted on the specified street or public parking lot**, for any purpose other than the immediate loading or unloading of passengers or material.



Golden Elementary School Pick-Up & Drop-Off

Old Sign – January 2018



New Sign - January 2024



Angle Parking Zones (PMC 13.52.060)

Existing Code

In accordance with Section 13.48.100 and when signs or markings are in place giving notice thereof, drivers of vehicles may stand or park a vehicle only as indicated by such marks or signs on the following streets or portions thereof: South side of Santa Fe between Bradford and Melrose. North side of Santa Fe between Bradford and Main. Both sides of Main Street south of Santa Fe Avenue.

Proposed Modification

Remove this provision to provide the City flexibility to change parking configuration as needed.



Overnight Parking Restrictions (14.10.030)

Existing Code

Marked parking stalls may be provided for the reserved and exclusive uses of:

(1) A one-hour parking time limit is established between the **hours of 2:00 a.m. to 6:00 a.m.** daily, including Saturday, Sunday and holidays on all city public and park grounds except by permit issued by the police department.

Proposed Modification

Marked parking stalls may be provided for the reserved and exclusive uses of:

(1) A one (1) hour parking time limit is established **in the hours of the area as posted, including Saturday, Sunday and holidays** on all city public and park grounds except by permit issued by the police department.

(2) **Overnight parking is prohibited between the hours of two (2) a.m. and six (6) a.m. daily, in the Civic Center parking lot and any other parking lots designated by the City Council, unless a permit has been issued by the police department.**



Questions & Comments





Placentia City Council

AGENDA REPORT

TO: CITY COUNCIL

VIA: CITY ADMINISTRATOR

FROM: DIRECTOR OF DEVELOPMENT SERVICES

DATE: MARCH 5, 2024

SUBJECT: PUBLIC HEARING AND CONSIDERATION OF A RESOLUTION MAKING FINDINGS PURSUANT TO HEALTH AND SAFETY CODE SECTION 33433 FOR REAL PROPERTY LOCATED AT 314 BAKER STREET AND 323 BAKER STREET IN CONJUNCTION WITH AUTHORIZING THE SALE OF THE PROPERTIES IN CONNECTION WITH DISPOSITION AND DEVELOPMENT AGREEMENT NO. DDA-2023-01 WITH MERCY HOUSING CALIFORNIA TRANSFERRING TITLE OF PROPERTIES LOCATED AT 300, 307, 312, 314, AND 323 BAKER STREET TO MERCY HOUSING CALIFORNIA TO FACILITATE THE DEVELOPMENT OF A FIVE STORY, MULTIFAMILY APARTMENT BUILDING, WITH 68 AFFORDABLE WORKFORCE HOUSING UNITS, ONSITE RESIDENT SERVICES AND MANAGEMENT, ONSITE PARKING AND A SATELLITE PARKING SITE ON A TOTAL OF 0.77-GROSS ACRE CITY-OWNED VACANT PROPERTY LOCATED AT 300, 307, 312, 314, AND 323 BAKER STREET AND FINDING THE PROJECT TO BE EXEMPT FROM FURTHER ENVIRONMENTAL REVIEW AS AN INFILL DEVELOPMENT PROJECT

FISCAL

IMPACT: ONE TIME REVENUE: \$ 482,400.84 DEVELOPMENT IMPACT FEES
SALE OF PROPERTIES: \$3,200,000.00 (AFFORDABLE HOUSING FUND)

SUMMARY:

On February 6, 2023, the City issued a Request for Proposals (RFP) for an Affordable Housing Development on Baker Street. The specific properties included 323, 307, 312, and 314 Baker Street (Baker Street). The RFP solicited interest from four (4) different firms and sought proposals for two phases based upon the properties owned by the City. On April 3, 2023, the Evaluation Committee consisting of the Keyser Marston Staff, Director of Development Services and the Deputy Director of Administrative Services reviewed and scored the four proposals received. The Evaluation Committee agreed that Mercy Housing would be the best qualified developer to construct and operate a high-quality affordable housing development along Baker Street and had the best proposal which contemplated development on both phases. Subsequently, on April 19, 2023, the Housing, Community and Economic Development Committee (the "HCED Committee"), which is comprised of Councilmember Wanke and Mayor Pro Tem (then Councilmember) Kerwin reviewed the proposals and the recommendation of the Evaluation Committee. After reviewing all of the information and a discussion with the Evaluation Committee, the HCED Committee agreed with the Evaluation Committees findings and recommended Mercy Housing as the top selected

2.d.
March 5, 2024

proposal to the City Council. On May 16, 2023, the City Council convened in Closed Session to review the recommendations and directed Staff and the City Attorney's Office to begin negotiations with Mercy Housing on the financing and development of the site. On June 6, 2023, the City Council approved a Land Purchase Option Agreement with Mercy Housing California for development and operation of a high-density affordable housing development on Baker Street.

As a part of the RFP process, Phase II of the RFP called for the developer to seek out additional land that was still privately held and is located in between or adjacent to the City's parcels located further west along the north side of Baker Street. The purpose of this goal was to complement the overall development and/or provide additional parking. Mercy Housing approached the City with a proposal to purchase one of those properties (325 Baker Street). On December 5, 2023 the City Council convened in Closed Session to review and discuss this proposal. Subsequently, on January 23, 2024 the City Council approved a Land Purchase Option Agreement with Mercy Housing California's acquisition fund (California Land Acquisition Fund Holding IV LLC) for the acquisition of the private property at 325 Baker Street for the development and operation of a high-density affordable housing development on Baker Street. If Mercy Housing California is successful in acquiring the additional private parcels, an Amendment to the DDA would be provided to the City Council for consideration of a Phase II development.

The first contemplated action is consideration of a Resolution making findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street. The contemplated action requires City Council consideration at a noticed Public Hearing. The 314 and 323 Baker Street properties were acquired by the City's former Redevelopment Agency using tax increment earmarked for the Low and Moderate-Income Housing Asset fund. For that reason, Health and Safety Code Section 33433 requires a public report on this disposition and approval by the legislative body at a public hearing.

The second action is the consideration of a Resolution approving Development Disposition Agreement (DDA) No. DDA-2023-01 with Mercy Housing California which will sell City owned property to Mercy Housing California, upon satisfaction of numerous conditions set forth in the DDA. This transfer of property will facilitate the future construction of a five-story, 100 percent affordable 68-unit workforce housing development with onsite residential services and amenities, and onsite parking, with an additional satellite parking, located on 0.77-acres at 300, 307, 312, 314, and 323 Baker Street, within the Old Town (OT) Zoning District. The project is utilizing State density bonus law, as set forth in California Government Code Section 65915. When the aforementioned density bonus consideration is combined with a 100% affordable unit classification, the project is eligible for up to four incentives and concessions. In brief, those considerations will be to exceed density, seek relief from open space, parking and height regulations.

State housing law, primarily the Housing Accountability Act and the State Density Bonus law require this type of 100% affordable housing development to be a permitted use by right in a zone allowing residential development and subject only to ministerial review based on the City's codified object design and development standards. Therefore, the development entitlement itself

will be reviewed and considered administratively. However, this proposed DDA transferring the properties to Mercy Housing California for subsequent development requires City Council action.

RECOMMENDATION:

It is recommended that the City Council take the following actions:

1. Open Public Hearing regarding the contemplated action to make findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street; and
2. Receive the Staff Report, consider all public testimony, ask questions of Staff; and
3. Close the Public Hearing; and
4. Adopt Resolution No. HSA-2024-01, a Resolution of the City Council of the City of Placentia, California, making findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street and authorizing the sale of the properties in connection therein; and
5. Adopt Resolution No. R-2024-17, a Resolution of the City Council of the City of Placentia, California, approving the Disposition and Development Agreement No. DDA-2023-01 with Mercy Housing California transferring title of properties located at 300, 307, 312, 314, and 323 Baker Street to Mercy Housing California to facilitate the future development of a five story, 68 unit multifamily affordable housing development with onsite resident services and management, onsite parking and a satellite parking site on a 0.77-gross acre site and finding the project to be exempt from further environmental review as a class 32 infill categorical exemption; and
6. Authorize the City Administrator to execute the necessary documents, in a form approved by the City Attorney.

STRATEGIC PLAN STATEMENT:

This item is consistent with the City Council approved 5-Year Strategic Goal to Promote Community and Economic Development under Objective #3.9, which is to Facilitate Affordable Housing along Baker Street

DISCUSSION:

The applicant, Mercy Housing, requests approval of a Development and Disposition Agreement (“DDA”) to allow for the construction of a five-story, affordable workforce housing development featuring 68 affordable housing units with associated amenities for residents, onsite resident services, and onsite and satellite parking sites on property located at 300, 307, 312, 314, and 323 Baker Street. A DDA is a hybrid real estate transaction transferring property to a developer and

also including substantial conditions both prior to the sale and after close of escrow to ensure the City property is used as intended, in this case for the development of an affordable housing project. This project is the first affordable housing development in Placentia's Old Town (OT) High Density Residential (HDR) Zoning District since adoption of the district in 2017.

The DDA provides for the sale of the City properties at fair market value, however the cost of the land will be paid back to the City over the affordable housing regulatory restriction period of 55 years by way of a residual receipts loan. The loan agreement and affordable housing regulatory agreement will be brought before the Council for consideration prior to the close of escrow on the properties. The residual receipts loan agreement will be based on the loan commitment letter previously approved by the City Council.

The actual transfer of the properties and close of escrow will not occur until the developer has the project financing fully in place and construction plans ready for the issuance of a building permit. These conditions ensure the City does not prematurely transfer the property before the development is ready to begin construction.

The total 0.77-gross acre City-owned site is situated at the terminus of Baker Street between Melrose Street and Walnut Street, which abuts the BNSF tracks to the south and is just west of the future platform for Placentia's anticipated Metrolink station. The project will help fulfill local and regional affordable housing needs, while serving as an additional catalyst bringing further development within the Old Town District and nearby TOD zone, thus implementing the City's vision as an area that encourages high quality, transit-oriented development with associated amenities and to create a compact pattern of development that is conducive to walking, bicycling, and using public transportation.

As discussed above, the actual development entitlement approval is an administrative ministerial approval and therefore not a "project" as defined in the California Environmental Quality Act (CEQA) as CEQA only applies to a discretionary approval. However, the approval of the proposed DDA is subject to the discretion of the City Council. CEQA instructs the City to first review a project for the applicability of any statutory or categorical exemptions. In this case the proposed development and this DDA meet all of the criteria for a Class 32 Infill Development Project which are as follows:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare, or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

(e) The site can be adequately served by all required utilities and public services.

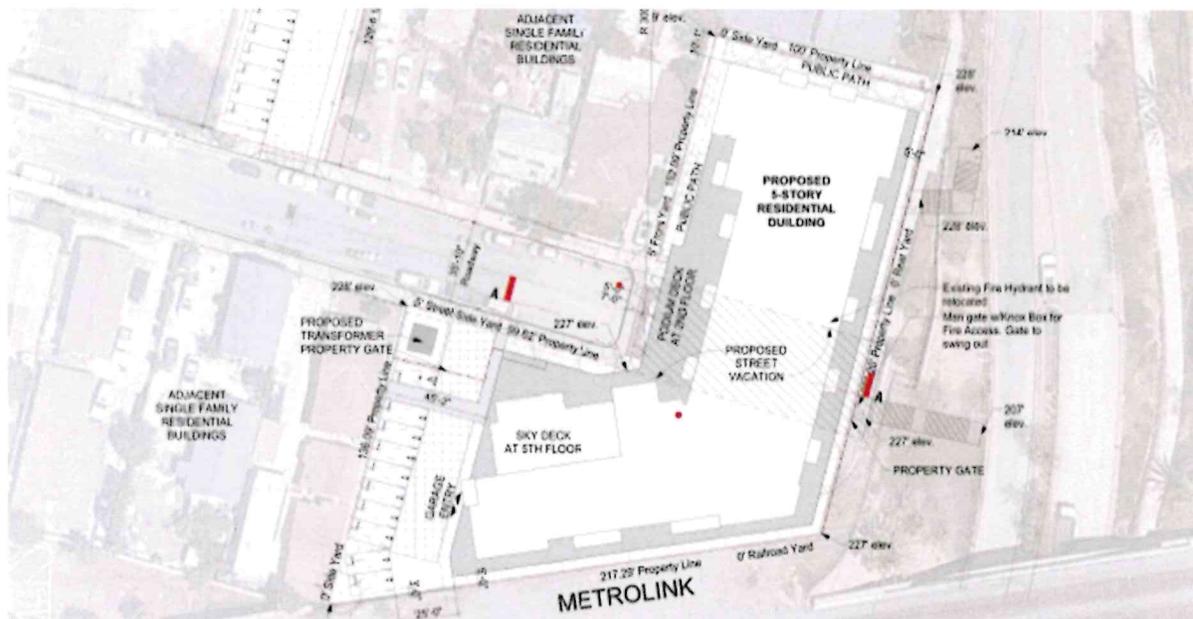
The proposed project does not trigger any of the exceptions to the use of the infill development exemption as there is no cumulative impact with successive projects of the same type in the same place. This is a single project to be developed on this one project site. There is no evidence of unusual circumstances and that there is a reasonable possibility that the development will have a significant effect on the environment due to unusual circumstances. The project abuts normal city streets with standard utility connections available and is located in a fully urbanized area with prior ground disturbance or development on much of the site.

The project does not have any potential to damage scenic resources or scenic highways as those terms are defined in the CEQA and CEQA Guidelines. The development is not proposed on a hazardous waste site nor will it cause a substantial adverse change in the significance of a historical resource.

In addition, the development and this DDA qualify for the CEQA statutory exemption for low-income housing development projects pursuant to Public Resources Code (“PRC”) Section 21159.21 (Housing Project Exemptions) and Section 21159.23 (Low Income Housing). The criteria and analysis for these exemptions are attached to this staff report as Exhibit 1.

PROJECT DESCRIPTION

The proposed project (future entitlement) will involve the construction of a five-story, 100 percent affordable workforce housing development, with 68 units (67 of which are affordable), onsite residential services and amenities, and onsite parking, with an additional satellite parking. The project is to be developed on vacant City-owned parcels and will include partial street dedication. The five parcels comprehensively total approximately 0.77 gross acres and are bound by BNSF railway tracks to the south, Melrose Street to the east, and residential properties to the west and north, with Santa Fe Avenue located further north. Primary access to the site is provided along Baker Street, with pedestrian access provided by stairways on the easterly side of the development, adjacent to Melrose Street:





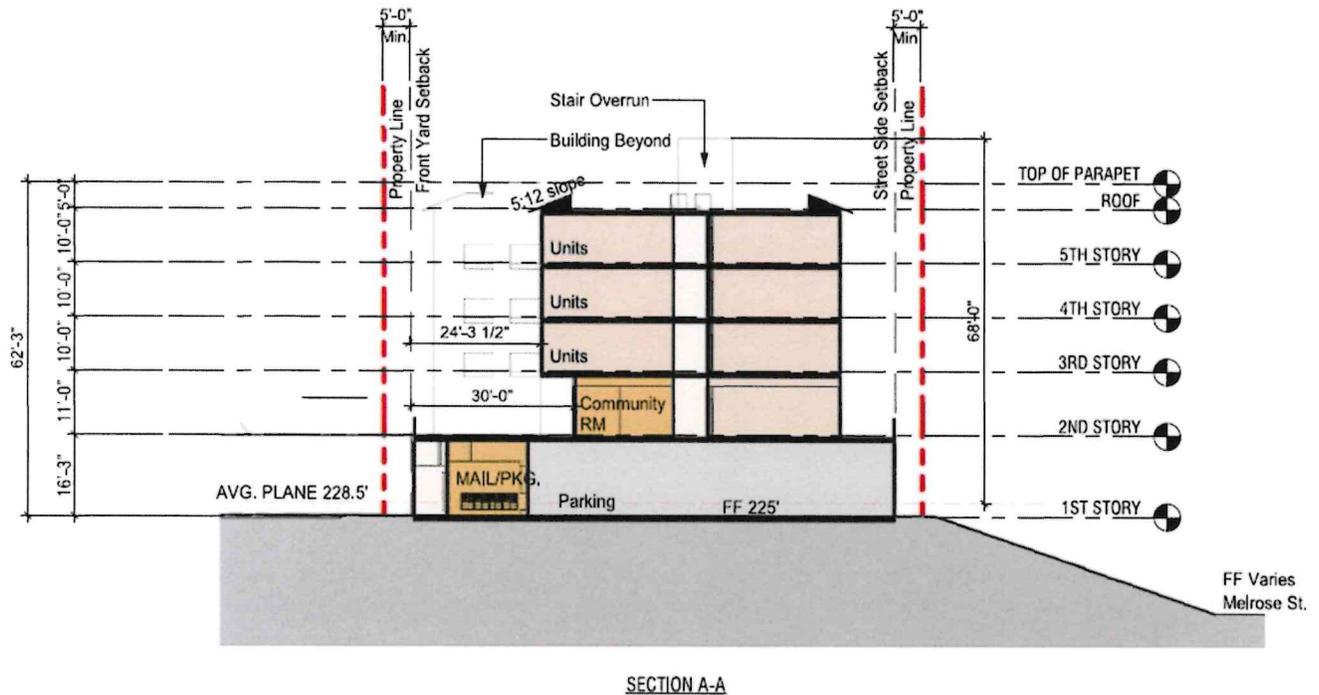
WEST ELEVATION

MATERIAL LEGEND

- P1 - WHITE PLASTER - OR SIMILAR
- P2 - TAN PLASTER - OR SIMILAR
- T1 - STONE TILE - OR SIMILAR
- T2 - PATTERN TILE - OR SIMILAR
- M1 - METAL AWNING - OR SIMILAR
- M2 - METAL ROOF - OR SIMILAR
- M3 - PERFORATED METAL - OR SIMILAR
- M4 - FABRIC AWNING - OR SIMILAR
- R1 - METAL BALCONIES - OR SIMILAR
- W1 - STOREFRONT GLAZING - OR SIMILAR
- W2 - VINYL WINDOWS - OR SIMILAR
- L1 - WALL SCONCE
- L2 - DOWN LIGHT



SOUTH ELEVATION



Due to recent State legislation and State density bonus law, as set forth in California Government Code Section 65915, this type of affordable development is permitted by right. Therefore, the development entitlement itself will be reviewed and considered administratively utilizing the City’s Site Plan Review (SPR) process.

However, the DDA transferring the properties to Mercy Housing California for subsequent development requires City Council action. In addition, consideration of a Resolution making findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street. requires City Council consideration at a noticed Public Hearing.

As previously mentioned, the development will utilize State density bonus law, as set forth in California Government Code Section 65915, and with 100% of the units in an affordable housing classification, the project is eligible for up to four incentives and concessions during the SPR Administrative review process. During the City’s SPR process, staff will evaluate the four incentives and concessions pursuant to State law. The proposed concessions are related to: Exceeding OT HDR district density, concessions for open space regulations, concessions for parking requirements and height requirements.

The 33,497 square foot lot (0.77 acres) permits an allowable density of 50 units in the High-Density Residential subsection of the Old Town Zoning Code, however the development will be eligible for an 80 percent density bonus, which calculates to a maximum of 90 units. The proposed 68 units represents a density bonus of 35 percent.

The future development is contemplated to have five stories, with a maximum height of 68 feet. This is in lieu of the four story/55-foot height limit of the HDR sub area of the Old Town Zone. The first story will feature parking, with the rest containing the 67 affordable housing units, and one housing unit for the onsite manager.

Open Space

The proposed development will utilize one of the four incentives and concessions, allowed by California Government Code Section 65915, by reducing the amount of common open space required by 25 percent. Placentia Municipal Code (Chapter 23.112.050 Table 2) requires 3,400 square feet of common open space (50 s.f. per unit), whereas this future project will result in 2,568 square feet of common open space. The common areas will consist of outdoor dining tables, lounging areas, synthetic turf with moveable furniture, and a firepit. The future development meets private open space requirements, which is 64 square foot per unit, which totals a requirement of 4,352 square feet of private open space, which this proposed project meets.

Access and Parking

Access for residents and guests will be via Baker Street, where parking is accessible on site or at the proposed satellite parking lot, located a few hundred feet west at the parcel identified as 323 Baker St. The parking requirement for a high-density residential project within the Old Town Zoning District is 1-2 spaces per unit, depending on the number of bedrooms, plus 2 spaces per unit for guest parking. This 68-unit project, if market rate, would require 112 parking spaces.

The future SPR entitlement will utilize the parking ratios afforded by Density Bonus Law (DBL) for the project, pursuant to Gov. Code Section 65915 (p)(1), which permits a decrease in the amount of parking required under DBL. Notwithstanding the allowance of a significant parking decrease, this project will still provide a total of 94 parking spaces that will be a combination of first floor parking, with some tandem parking spaces and a satellite parking lot that will offer the city's first automated stacking mechanism for parking, which was recognized as a possible parking solution in PMC 23.112.060(f).

Architecture

The affordable housing development will be designed reminiscent of Mission Revival style architecture, which is consistent with objective design standards featured in the Old Town Zoning Code. Mission Revival is typified by flat front façades, arched parapets, and red mission style tile roofs. This development will feature many characteristics of Mission Revival architecture with light color plaster walls and a terra cotta color, low-pitched roof to mimic a tile roof.

The main entrance will feature arches, with blue and white Spanish style tiles lining all windows and doors along the first floor. The eastern elevation employs large arched windows, which will be visible from the Melrose Street frontage. The exterior façade consists of building projections and varying rooflines that bodes aesthetically and adds interest to the project's architecture. The project employs four-sided architecture by using the same material on all four sides of a structure so that, no matter what vantage point it is viewed from, the design is never interrupted, and all the parts are perceived as part of a unified whole.



It should be noted that that the characteristics of the future development, including the architecture, number of parking spaces contemplated and height, are consistent with aspects of the conceptual development reviewed by City Council during the RFP process. On February 6, 2023, the City issued a Request for Proposals (RFP) for an Affordable Housing Development on Baker Street. The specific properties include 323, 307, 312, and 314 Baker Street (Baker Street). The RFP solicited interest from four (4) different firms. On April 3, 2023, the Evaluation Committee consisting of the Keyser Marston Staff, Director of Development Services and the Deputy Director of Administrative Services reviewed and scored the four proposals received. The Evaluation Committee agreed that Mercy Housing would be the best qualified developer to construct and operate a high-quality affordable housing development along Baker Street. On April 19, 2023, the Housing, Community and Economic Development Committee reviewed the proposals and the recommendation of the Evaluation Committee. The Committee also agreed to recommend Mercy Housing as the top selected proposal to the City Council. On May 16, 2023, the City Council convened in Closed Session to review the recommendations and directed Staff and the City Attorney's Office to begin negotiations with Mercy Housing on the financing and development of the site. On June 6, 2023, the City Council approved a Land Purchase Option Agreement with Mercy Housing California for development and operation of a high-density affordable housing development on Baker Street.

PROJECT CHARACTERISTICS

Subject Site and Surrounding Land Uses

The table below illustrates the site and surrounding existing land uses, General Plan Land Use designation and zoning:

Location	Existing Land Use	Land Use Element General Plan Designation	Zoning Map Designation
Existing	City-Owned Vacant Property	Old Town	Old Town (High-Density Residential)
Proposed	Five Story, 68-unit, affordable housing development, with onsite parking and satellite parking lot.	Old Town	Old Town (High-Density Residential)
North (Santa Fe Avenue)	Mix of residential and retail shops	Old Town	Old Town
South (across BNSF tracks)	Packing House	TOD	TOD
East (across Melrose Street)	City owned parking lot	Old Town	Old Town
West	Residential (single family homes and some duplexes)	Old Town	Old Town

Although the development entitlement itself will be reviewed and considered administratively utilizing the City’s Site Plan Review (SPR) process, the following matrix provides a summary of the development proposal:

STANDARD		CONTEMPLATED DEVELOPMENT	
Height*	3 min/4 max stories, 55'	Five stories, 68'	
<small>*Height exceptions – See Table 2 in OT Zoning Code</small>			
Setbacks			
Setback from Railroad Track	0'	Setback from Railroad Track	0'
Front	5'-15'	Front	5'
Side	0'	Side	0'
Rear	0'	Rear	0'
Streetside Yard	5'-15'	Streetside Yard	5'
Density	65 du/ac	Density Bonus (35%) Increase	
Site Specific	50 du possible	68 units total	

<p>Parking Studio 1 min/1 max 1 bedroom 1 min/1.5 max 2-bedroom 1.5 min/2 max 3-bedroom 2 min/2.5 max Guest 2 min/3 max per 10 units</p> <p>Required w/out DBL 112 spaces</p>	<p>*Density Bonus Law – parking ratios N/A</p> <p>Proposed 94 spaces</p>
<p>Minimum Lot Size*: 10,000 sq.ft. <small>*for a development over 3 stories</small></p>	<p>33,497 sq.ft.</p>
<p>Common Open Space 50 sq ft/unit (68 units x 50 sq.ft.) 3,400 sq.ft.</p>	<p>Project utilizing Incentive & Concession 25% reduction (68 units x 50 sq.ft.) 2,568</p>
<p>Private Open Space 64 s.f./unit (68 Units X 64 sq.ft.) 4,352 sq.ft.</p>	<p>*Incentive utilized in Common Open Space, but project meets private open space of PMC</p> <p>4352 sq. ft</p>
<p>Electric Vehicle Charging 10% of project’s parking spaces EV Level 2 or 5% of total spaces if DC fast charging stations</p>	<p>Project will comply with PMC</p>
<p>Public Art Encouraged</p>	<p>TBD</p>

Other Departments Concerns and Requirements

During the City’s SPR process, the development will be routed to the Divisions of Planning and Building, Public Works/Engineering, Police Department, and the Placentia Fire and Life Safety Department. These departments have already reviewed conceptual plans and have contemplated development requirements which will be set forth during the SPR process. All departments have indicated that any comments or code requirements can be mitigated during the SPR process.

ISSUES ANALYSIS:

Consistency with the General Plan

The General Plan features policies that promote the reinvestment of underutilized properties while being sensitive to the suburban atmosphere and requires new developments to provide adequate improvements and pay impact fees to offset the demand costs on City services and facilities. The proposed development and subdivision is consistent with the following Land Use Element and Housing Element policies and goals of the General Plan:

Land Use Element

Policy 1.2 – Allow for a variety of residential infill opportunities including single family, multi-family, mixed-use, manufactured housing and mobile homes, in designated areas to satisfy regional housing needs.

Policy 1.6 – Encourage mixed-use development within the Old Town District, TOD District and other appropriate areas.

Policy 2.17 – Encourage the development of Mixed-Use and transit-oriented development to promote a wider range of residential opportunities, to help meet the regional housing needs, and to complement the principles of the Complete Streets model.

Policy 2.18 – Work proactively with Orange County Transportation Authority (OCTA) to properly plan appropriate land uses around existing and future planned transportation projects building by OCTA.

Goal 3 – Revitalize underutilized, abandoned or dilapidated commercial, industrial, and residential uses and properties.

Policy 3.1 – Encourage opportunities for redevelopment and improvements in the Old Town area, the TOD district, industrial areas, neighborhoods in the southern sector of the City, and commercial centers along major roadway corridors.

Development of a large vacant property will promote further compatibility with existing developments within the surrounding area and stimulate investment and business activity which will strengthen the economic vitality of the City. The development will provide necessary improvements within the public right-of-way including street resurfacing and installation of new sidewalks, gutters, and driveway approaches, and miscellaneous public infrastructure pursuant to the Old Town Streetscape Master Plan. Overall, the proposed development will be consistent with the General Plan and will result in a compatible continuation of existing land uses and development within the surrounding area.

Housing Element

Goal 1 – Develop and maintain an adequate supply of housing that varies sufficiently in cost, size, type, and tenure to meet the economic and social needs of existing and future residents within the constraints of available land.

Program 1.2 – The development serves to locate housing near transportation to increase livability within new housing developments and locates a major workforce housing development near transportation option.

California Housing Element law mandates that each city show it has adequate sites available through appropriate zoning and development standards and with the requirement public services and facilities for a range of housing types and incomes. The City must demonstrate that it has the capacity or adequate sites to accommodate the project needs for housing at all income levels.

Land Use Compatibility

The project will be compatible with the surrounding area as the development will revitalize an underutilized/vacant City-owned property with the development of 68 affordable housing units near the future Metrolink train platform. The development will be consistent with the OT zoning district, which is experiencing a revitalization of underutilized properties that will serve to encourage economic investment within the TOD and Old Town districts. The project aims to serve as an additional catalyst to the area by triggering more development. The development will provide a compatible transition between nearby land uses that complement the residential densities of the housing developments to the southeast and southwest along West Crowther Avenue. Based upon the use, overall site layout, and building design, the proposed development is not anticipated to result in any significantly adverse impacts to the surrounding area.

FISCAL IMPACT:

The one-time revenue for this project includes \$482,400.84 in Development Impact Fees. Based on an appraisal report, the sales price for the properties at 314 Baker Street and 323 Baker Street is \$1,018,960. The proceeds from 314 Baker Street and 323 Baker Street will be placed in the Housing Successor Agency's LMIHAF for future affordable housing development in the City. The sales price for the properties at 300, 307 and 312 Baker Street, and a street dedication of 39,991 square feet total \$2,181,040. The total for all five properties and the street dedication is \$3,200,000, which is approximately \$80.00 per square foot. The City's financial commitment will be to provide a residual receipts loan, in the amount of \$3,200,000 for this affordable housing development on Baker Street.

Prepared by:



Lesley Whittaker
Associate Planner

Reviewed and approved:



Jeannette Ortega
Deputy Director of Administrative Services

Reviewed and approved:



Joseph M. Lambert
Director of Development Services

Reviewed and approved:



Jennifer Lampman
Director of Finance

Reviewed and approved by:

 For

Damien R. Arrula
City Administrator

Attachments:

1. Resolution No. HSA-2024-01
2. Resolution No. R-2024-17
3. PowerPoint Presentation

RESOLUTION NO. HSA-2024-01

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, MAKING FINDINGS PURSUANT TO HEALTH AND SAFETY CODE SECTION 33433 FOR REAL PROPERTY LOCATED AT 314 BAKER STREET AND 323 BAKER STREET AND AUTHORIZING THE SALE OF THE PROPERTIES IN CONNECTION THEREIN

A. Recitals.

(i) On December 29, 2011, the California Supreme Court rendered its decision in *California Redevelopment Association v. Matosantos*, upholding ABx1 26 (“Dissolution Act”);

(ii) As a result of the California Supreme Court’s decision, all redevelopment agencies in the State of California, including the Redevelopment Agency for the City of Placentia (“former RDA”) dissolved as of February 1, 2012;

(iii) On January 17, 2012, the Placentia City Council adopted Resolution No. R-2012-03 accepting the City of Placentia’s role as Successor Agency to the former Placentia Redevelopment Agency (“Successor Agency”);

(iv) As of and after February 1, 2012 all assets, properties, and contracts of the former RDA were transferred, by operation of law, to the Successor Agency;

(v) Pursuant to the Dissolution Act, on or about January 17, 2012, the Placentia City Council approved Resolution No. R-2012-04 to elect to retain all housing assets and assume the affordable housing functions of the former Agency as of February 1, 2012 as Housing Successor Agency to the former RDA (“Housing Successor Agency”);

(vi) The Successor Agency is shown as the record owner of real property located at 314 Baker Street in Placentia, California, designated as APN 339-391-14 and 323 Baker Street in Placentia, California, designated as APN 339-392-19 respectively (the “Properties”) however the correct legal owner of the properties is the City of Placentia; and

(vii) In compliance with Health and Safety Code 33433, the 33433 Summary Report has been made available for public inspection and is attached herein as Exhibit “A” and the Housing Successor published a notice of public hearing for tonight’s action; and

(viii) The City has selected Mercy Housing California (“Buyer”), to purchase the Properties pursuant to the terms of which are set forth in that certain draft instrument entitled “Disposition and Development Agreement” in a form submitted herein (the “Agreement”); and

(ix) The resolution approving the sale of the Properties must be adopted by a majority of the legislative body, and include the following findings: (1) a finding that the sale will assist in the elimination of blight, or provide housing for low- or moderate- income persons; (2) is consistent with the former RDA's implementation plan; and (3) the purchase price is not less than the fair market value of the Properties at its highest and best use under the implementation plan, or the purchase price is not less than the fair reuse value of the Properties given the covenants and conditions associated with the transaction; and

(x) If the City Council acting as the Housing Successor Agency approves the sale of the Properties, the net sales proceeds will be deposited into the LMIHAF to expand and preserve the supply of low and moderate-income housing in the City; in compliance with legislative requirements pertaining to the expenditure of Low and Moderate-Income Housing Asset funds; and

(xi) All other legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

(1.) The City Council finds that (1) the sale of the Properties will assist in the elimination of blight, or provide housing for low- or moderate- income persons in that the properties are either vacant, underdeveloped, or in a state of disrepair, and the sale to private parties will facilitate their redevelopment, revitalization, or reuse, and the sale proceeds will provide funding to expand and preserve housing for low- or moderate-income persons; (2) the sale of the Properties is consistent with the former RDA's implementation plan and the City's General Plan; and (3) the purchase price is not less than the fair market value of the Properties at its highest and best use under existing zoning and development standards.

(2.) The City Council approves the attached Health & Safety Code 33433 Summary Report.

(3.) The City Council authorizes and directs the City Administrator to sign all necessary documents and staff to take all actions necessary under the Dissolution Act for approval and completion of the sale of the aforementioned Properties to Mercy Housing California.

(4.) The Mayor shall sign this resolution, and the Clerk shall attest and certify to the passage and adoption thereof.

(5.) The City Council declares that, should any provision, section, paragraph, sentence or word of this resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction, or by reason of any preemptive or inconsistent legislation, the remaining provisions, sections, paragraphs, sentences and words of this resolution shall remain in full force and effect.

PASSED AND ADOPTED this 5th day of March 2024.

Jeremy Yamaguchi, Mayor

ATTEST:

Robert S. McKinnell, City Clerk

STATE OF CALIFORNIA
CITY OF PLACENTIA

I, Robert S. McKinnell, Secretary of the Housing Successor Agency to the Redevelopment Agency of the City of Placentia do hereby certify that the foregoing Resolution No. HSA-2024-01 was adopted at a regular meeting of the City Council acting as the Housing Successor Agency to the Redevelopment Agency of the City of Placentia held on the 5th day of March 2024 by the following vote:

AYES: Councilmembers:
NOES: Councilmembers:
ABSENT: Councilmembers:
ABSTAIN: Councilmembers:

Robert S. McKinnell, Housing Successor Agency Clerk

APPROVED AS TO FORM:

Christian L. Bettenhausen, City Attorney

Exhibit "A" - 33433 Summary Report

EXHIBIT "A"

SUMMARY REPORT PURSUANT TO SECTION 33433 OF CALIFORNIA COMMUNITY REDEVELOPMENT LAW IN CONNECTION WITH THE SALE OF PROPERTY BY AND BETWEEN THE CITY OF PLACENTIA AND MERCY HOUSING CALIFORNIA

This summary report ("Summary Report") for the proposed sale and disposition of property purchased with property tax increment funds has been prepared by the City of Placentia ("City") and the City acting as the Housing Successor Agency to the former Placentia Redevelopment Agency ("Housing Successor Agency") pursuant to Health and Safety Code Section 33433. This Summary Report sets forth certain details of the proposed sale and disposition of property between the City and Mercy Housing California (the "Buyer") yet to be approved by the City Council.

The City proposes to sell, at fair market value, the approximately 12,737 square foot of vacant properties owned by the former Placentia Redevelopment Agency's ("Redevelopment Agency") to Mercy Housing California, as a portion of a larger site consisting of these parcels and additional City owned property and right of way. The properties which are the subject of this report are located at the following address (with Assessor Parcel Number in parenthesis): 314 Baker Street, Placentia, CA 92870 (339-391-14) and 323 Baker Street, Placentia, CA 92870 (339-392-19) ("Properties").

I. BACKGROUND

Section 33433 of the Community Redevelopment Law of the State of California (California Health and Safety Code, Sections 33000 et. seq.) provides that if a redevelopment agency wishes to sell or lease property to which it holds title and if that property was acquired in whole or in part, directly or indirectly, with tax increment funds, the redevelopment agency must obtain approval of the proposed sale or lease by resolution of the legislative body after a legally noticed public hearing. A copy of the proposed sale or lease agreement(s) and a summary report that describes and contains specific financing elements of the proposed transaction(s) shall be available for public inspection prior to the public hearing.

Pursuant to Section 33433, the Summary Report must include the following information:

- The cost of the agreement to the redevelopment agency, including land acquisition costs, clearance costs, relocation costs, the costs of any improvements to be provided by the redevelopment agency, plus the expected interest on any loans or bonds to finance the agreement;
- The estimated value of the interest to be conveyed or leased, determined at the highest and best uses permitted under the redevelopment plan;
- The estimated value of the interest to be conveyed or leased, determined at the use and with the conditions, covenants, and development costs required by the sale or lease. The purchase price or present value of the lease payments which the lessor will be required to make during the term of the lease.

- If the sale price or total rental amount is less than the fair market value of the interest to be conveyed or leased, determined at the highest and best use consistent with the redevelopment plan, then the redevelopment agency shall provide as part of the summary an explanation of the reasons for the difference.
- An explanation of why the sale or lease of the property will assist in the elimination of blight, with reference to all supporting facts and materials relied upon in making this explanation.

This Summary Report outlines the primary details of the proposed sale and disposition of the Properties between the Housing Successor Agency and prospective Buyer. This Summary Report is being prepared because tax increment funds from the former Redevelopment Agency were used to acquire the Properties. The Summary Report is based upon information regarding the proposed sale of the Properties and addresses the requirements pursuant to Health and Safety Code Section 33433.

II. REPORT ORGANIZATION

This report is based upon information in connection with the proposed sale and disposition of the Properties and is organized into the following seven sections:

- **Summary of the Proposed Sale & Disposition** – This section includes a description of and other relevant information pertaining to the proposed sale of the Properties between the Housing Successor Agency and prospective Buyer;
- **Cost of the Proposed Sale & Disposition to the Agency** – This section summarizes the estimated costs of the proposed sale of the Properties to the Housing Successor Agency;
- **Estimated Value of the Interest to be Conveyed Determined at the Highest and Best Use Permitted Under the Redevelopment Plan** – This section estimates the value of the property interest to be conveyed, determined at the highest and best use permitted under the redevelopment plan for the Project Area;
- **Estimated Value of the Interest to be Conveyed Determined at the Use and with the Conditions, Covenants, and Development Costs Required by the Sale** – This section estimates the value of the property interest to be conveyed determined at the use and with the conditions, covenants, and development costs required by the sale or lease;
- **Consideration Received and Comparison with the Established Value** - This section includes an explanation if the sale price is less than the fair market value of the interest to be conveyed or leased, determined at the highest and best use consistent with the redevelopment plan.
- **Elimination of Blight** – This section describes the existing conditions on the Properties and includes an explanation of how the proposed sale will assist in the elimination of blight;

This Summary Report sets forth certain details of the proposed sale and disposition of the Properties by the City as Housing Successor Agency to the prospective Buyer. A copy of the proposed Disposition and Development agreement (DDA”), which prospective Buyer will be required to execute, in substantially the attached form, to effectuate the sale of the Properties is attached to this Summary Report (see Attachment “A”). This Summary Report is made available for public inspection and copying on the date that the first notice of the joint public hearing is published, which is Thursday, February 22, 2024 and Thursday, February 29, 2024. The public

hearing relating to the proposed sale of the Properties is scheduled for March 5, 2024 at 7:00 p.m., in the City Council Chambers, at 401 East Chapman Avenue, Placentia, CA 92870.

III. SUMMARY OF PROPOSED SALE AND DISPOSITION OF PROPERTIES

As previously described, the City intends to sell, at fair market value, the Properties to a prospective Buyer in its “As-Is” condition for a purchase price of \$1,018,960. The Properties was originally acquired by the former Redevelopment Agency to expand and preserve the supply of affordable housing and alleviate blighting conditions in the City in furtherance of the Redevelopment Plan and 2010-2014 Five-Year Implementation Plan (“Implementation Plan”) goals and objectives.

IV. COST OF THE PROPOSED SALE AND DISPOSITION TO THE AGENCY

The Housing Successor Agency’s cost under the proposed sale of the Properties is comprised of the costs associated with the original acquisition and the sale of the Properties, including but not limited to the payment of real estate commissions, escrow services, title policy and documentary transfer taxes (if any) and other miscellaneous costs associated with conveyance of the Properties, which will be determined at the time of the closing of the proposed sales transaction. The specific costs to the former Redevelopment Agency as it pertains to acquisition costs for the Properties is reflected in the following table:

No.	Address	APN	Acquisition Cost
1.	314 Baker Street	339-391-14	\$498,960
2.	323 Baker Street	339-392-19	\$520,000

V. ESTIMATED VALUE OF THE INTEREST TO BE CONVEYED DETERMINED AT THE HIGHEST AND BEST USE PERMITTED UNDER THE REDEVELOPMENT PLAN

As described throughout this Summary Report, the Housing Successor Agency is proposing to sell the Properties to a prospective Buyer. The Properties will be sold in its current “as is” condition and no express or implied representations have been made to the prospective Buyer by the Housing Successor Agency regarding suitability for desired use, zoning and land use, subsurface compaction and/or the existence or non-existence of toxic waste, hazardous materials, and/or undesirable substances in or on the Properties.

The prospective Buyer of the Properties will be required to secure any and all land use and other entitlements, permits and approvals, which may be required by the City and any other governmental agency having jurisdiction over the Properties, including any environmental review required in connection with any development project application submitted by the prospective Buyer.

The estimated value of the interest to be conveyed for the Properties determined at the highest and best use permitted under the former Redevelopment Agency’s Redevelopment Plan takes into consideration the uses and development potential permitted under the City of Placentia zoning code. Fee simple interest in the Properties will be transferred through its proposed sale and disposition.

The low range of value was determined based on the estimate of market value of the subject Properties as determined by an appraisal reported prepared by Colliers International Valuation & Advisory Services dated on June 19, 2023. The Housing Successor Agency Staff has reviewed the appraisal report which analyzed recent sales of comparable properties, in the immediate area,

and real estate valuation trends, which was used as a basis for determining the high-end of the range of fair market value of the subject Properties for this Summary Report.

The table below illustrates the estimated fair market value range for the Properties:

No.	Address	APN	Fair Market Value Range	
			Low*	High*
1.	314 Baker Street	339-391-14	\$75.68	\$82.77
2.	323 Baker Street	339-392-19	\$75.68	\$82.77

*Value range represents the estimate of market value of the subject Properties as determined by an appraisal report prepared by Colliers International Valuation & Advisory Services on June 19, 2023.

VI. ESTIMATED VALUE OF THE INTEREST TO BE CONVEYED AT THE USE AND WITH THE CONDITIONS, COVENANTS, AND DEVELOPMENT COSTS REQUIRED BY THE SALE

Pursuant to the discussion in Section V above, The Properties will be sold in “as-is, where is” condition and therefore no conditions, covenants, and development costs are required by the sale. The prospective Buyer will be required to pay fair market value for the Properties which is \$80/square feet for a total purchase price of \$1,018,960 for the 12,737 total square footage for the Properties.

VII. CONSIDERATION RECEIVED AND COMPARISON WITH THE ESTIMATED VALUE OF THE INTEREST TO BE CONVEYED

As mentioned in Section VI, the Properties will be sold for fair market value in “as-is, where is” condition and therefore no conditions, covenants, and/or development costs will be required by the sale. Therefore, the consideration to be received by the Housing Successor Agency is equal to the estimated value of the interest to be conveyed. Further, the highest and best use permitted under the City of Placentia zoning code is determined to be the same as and equal to the fair market value of the Properties.

VIII. ELIMINATION OF BLIGHT

The former Redevelopment Agency, established in 1982, sought to acquire the subject Properties for the purpose of eliminating remaining blight conditions, encouragement of private development activities, and increasing, improving, and preserving the City’s supply of low and moderate-income housing through the continued implementation of the Redevelopment Plan and Implementation Plan. The goals, objectives, programs, and expenditures contained in the Implementation Plan to contribute to the elimination and alleviation of blighting conditions as follows:

- Re-planning, redesign and/or redeveloping areas suffering from economic dislocation and disuse;
- Re-planning, redesign and/or redeveloping areas which are stagnant or improperly utilized, and which could not be accomplished by private enterprise acting alone without public participation and assistance;
- Protecting and promoting sound development and redevelopment of blighted areas and general welfare of the citizens of the City by remedying such injurious conditions through the employment of appropriate means;

- Installation of new or replacement of existing public improvements, facilities, buildings, and utilities in areas which are currently inadequately served with regard to such improvements, facilities, buildings, and utilities;
- Promoting retention of existing businesses and encouraging new business opportunities; creating a physical environment within the Project Area that will support economic development through private investment activities; and
- Other means as determined appropriate.

The signs of blight that existed prior to the dissolution of the former Redevelopment Agency still exist today. The subject Properties are currently vacant and underutilized, which could contribute to depreciated and/or stagnant property values in the City. The proposed sale of the Properties, as described herein, will help eliminate blight within the Project Area as it will likely lead to the development of the Properties, increase of the current property tax base, and promote and stimulate economic activity and growth within the City.

RESOLUTION NO. R-2024-17

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, APPROVING THE DISPOSITION AND DEVELOPMENT AGREEMENT NO. DDA-2023-01 WITH MERCY HOUSING CALIFORNIA TRANSFERRING TITLE OF PROPERTIES LOCATED AT 300, 307, 312, 314, AND 323 BAKER STREET TO MERCY HOUSING CALIFORNIA TO FACILITATE THE FUTURE DEVELOPMENT OF A FIVE STORY, 68 UNIT MULTIFAMILY AFFORDABLE HOUSING DEVELOPMENT WITH ONSITE RESIDENT SERVICES AND MANAGEMENT, ONSITE PARKING AND A SATELLITE PARKING SITE ON A 0.77-GROSS ACRE SITE AND FINDING THE PROJECT TO BE EXEMPT FROM FURTHER ENVIRONMENTAL REVIEW AS A CLASS 32 INFILL CATEGORICAL EXEMPTION

A. Recitals.

(i) The City of Placentia owns real property located at 300 Baker Street (APN 339-392-14), 307 Baker Street (APN 339-392-15), 312 Baker Street (APN 339-391-15), 314 Baker Street (APN 339-391-14) and 323 Baker Street (APN 339-392-19) respectively (the "Properties"); and

(ii) The City Council has selected Mercy Housing California ("Buyer"), to purchase the Properties pursuant to the terms of which are set forth in that certain draft instrument entitled "Disposition and Development Agreement" ("DDA") in a form submitted herein (the "Agreement"); and

(iii) The DDA will allow for the future construction of a five-story, 100 percent affordable workforce housing development featuring 68 affordable housing units with associated amenities for residents, onsite resident services, and onsite and satellite parking sites on the subject Properties; and

(iv) The development consists of a total 0.77-gross acre City-owned site situated at the terminus of Baker Street between Melrose Street and Walnut Street, which abuts the BNSF tracks to the south and is just west of the future platform for Placentia's anticipated Metrolink station; and

(v) The development is the first new affordable housing development in Placentia's Old Town (OT) Zoning District adopted in 2017 and will help fulfill local and regional affordable housing needs, while serving as an additional catalyst bringing further development within the Old Town District and nearby TOD zone; and

(vi) The development will assist with the implementation of the City's vision as an area that encourages high quality, transit-oriented development with associated

amenities and to create a compact pattern of development that is conducive to walking, bicycling, and using public transportation; and

(vii) The development is utilizing State density bonus law, as set forth in California Government Code Section 65915, which with the 100% affordable classification, the project is eligible for up to four incentives and concessions, which will be exceeding density, open space and parking requirements, and height; and

(viii) All other legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

(1.) The City Council hereby finds that the sale of the Properties will assist in the elimination of blight, or provide housing for low- or moderate- income persons in that the properties are either vacant, underdeveloped, or in a state of disrepair, and the sale to private parties will facilitate their redevelopment, revitalization, or reuse, and the sale proceeds will provide funding to expand and preserve housing for low- or moderate-income persons; and

(2.) The City Council hereby approves a Disposition and Development Agreement No. DDA-2023-01 with Mercy Housing California for the subject Properties, herein attached as Exhibit "A" to this Resolution.

(3.) The City Council hereby directs the City Administrator to execute on its behalf all grant deeds and necessary documents and to take all actions necessary under the State law to complete the disposition of the subject Properties.

(4.) The City Clerk is directed to record or have recorded the executed grant deeds and all necessary documents to complete the disposition of the subject Properties.

(5.) The City Council shall sign this resolution, and the Clerk shall attest and certify to the passage and adoption thereof.

(6.) The City Council declares that, should any provision, section, paragraph, sentence or word of this resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction, or by reason of any preemptive or inconsistent legislation, the remaining provisions, sections, paragraphs, sentences and words of this resolution shall remain in full force and effect.

(7.) The City Council finds the approval of this DDA (the "Project") to be exempt from further review under the California Environmental Quality Act as the Project is an infill development project of less than 5 acres and meeting all other criteria of CEQA Guidelines 15332, Class 32 Categorical Exemption.

PASSED, APPROVED AND ADOPTED this 5th day of March 2024.

Jeremy Yamaguchi, Mayor

ATTEST:

Robert S. McKinnell, City Clerk

STATE OF CALIFORNIA
CITY OF PLACENTIA

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the City Council of the City of Placentia, held on the 5th day of March 2024 by the following vote:

AYES:	Councilmembers:
NOES:	Councilmembers:
ABSENT:	Councilmembers:
ABSTAINED:	Councilmembers:

ATTEST:

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

Christian L. Bettenhausen, City Attorney

Exhibit "A"- Disposition and Development Agreement No. DDA-2023-01

**DISPOSITION AND DEVELOPMENT AGREEMENT
NO. DDA-2023-01**

by and between

**CITY OF PLACENTIA,
a California municipal corporation**

and

**MERCY HOUSING CALIFORNIA
a California nonprofit public benefit corporation**

DISPOSITION AND DEVELOPMENT AGREEMENT NO. DDA-2023-01

THIS DISPOSITION AND DEVELOPMENT AGREEMENT (the “Agreement”) is dated as of March 5, 2024 (“Effective Date”) and is entered into by and between the CITY OF PLACENTIA (“City”), having their offices at 401 E. Chapman Avenue, Placentia, California 92870, and MERCY HOUSING CALIFORNIA, a California nonprofit public benefit corporation (“Developer”), with its principal office located at 1500 S. Grand Ave., Ste. 100, Los Angeles, CA 90015.

RECITALS

A. City is the owner of that certain property in the City of Placentia located at 300/307, 312, 314 and 323 Baker Street, Placentia, California, as more particularly described in Exhibit "A" attached hereto, as well as that certain approximately 5,146 square feet of public street located between 307 W. Baker Street and 312 Baker Street to be dedicated to Developer (the “Land”).

B. City acquired the Property as the successor to the non-housing assets of the former Redevelopment Agency of the City of Placentia which was dissolved by operation of law.

C. The purpose of this Agreement is to achieve the development of the Land owned by the City that is more specifically described on Exhibit “A”. The Land and the Improvements to be constructed thereon pursuant to the terms of this Agreement are hereinafter collectively referred to as the “Project.”

D. Construction of the Improvements, which will consist of a new 68-unit multi-family affordable housing development, per City of Placentia’s Site Plan Review Number 2023-03. The new building and related improvements will provide additional jobs, encourage new investment, provide affordable housing, and otherwise substantially improve the economic and physical conditions in the City of Placentia.

E. Developer will construct and operate approximately 68 rental dwelling units consisting of a mix of one-, two- and three-bedroom units for low-income individuals and families, with household income at 15% to 60% area median income, including approximately twenty (20) units of permanent supportive housing, one (1) unit of which shall be set-aside for the purpose of housing individuals or families from the Homeless Intervention Services of Orange County (HIS OC) Transitional Housing Program.

F. A material inducement to the City to enter into this Agreement is the agreement by Developer to develop the Project as provided herein.

AGREEMENT

NOW, THEREFORE, in consideration of the above recitals and of the mutual covenants contained in this Agreement, the parties hereto agree as follows:

1. DEFINITIONS.

1.1 Definitions. The following capitalized terms used in this Agreement shall have the meanings set forth below:

- 1.1.1 “Agency” means the Placentia Redevelopment Successor Agency.
- 1.1.2 “Agreement” means this Disposition and Development Agreement.
- 1.1.3 “Approved Title Exceptions” is defined in Section 2.4.1.
- 1.1.4 “Building Permit” means, collectively, any and all permits necessary to grade the Land and construct the Project that would be issued by the City.
- 1.1.5 “Certificate of Completion” means the certificate described in Section 3.12.
- 1.1.6 “City” means the City of Placentia.
- 1.1.7 “Close of Escrow” is defined in Section 2.3.
- 1.1.8 “Construction Contract” is defined in Section 3.3.
- 1.1.9 “Construction Loan” is defined in Section 3.4.
- 1.1.10 “Default” is defined in Section 6.1.
- 1.1.11 “Deposits” is defined in Section 2.2.
- 1.1.12 “Disapproved Title Exceptions” is defined in Section 2.4.1.
- 1.1.13 “Escrow” is defined in Section 2.3.
- 1.1.14 “Escrow Holder” means Fidelity National Title Company or another licensed escrow holder mutually selected by the Parties.
- 1.1.15 “Feasibility Threshold Funding Program Award” means a commitment to award funds as further described in Exhibit “D”. Developer shall apply for all rounds of funding described in Exhibit “D” until the appropriate funding needed to construct the Project is secured by the Developer. This also includes any agreed upon funding source by the Developer and the City that would be applicable to this Project.
- 1.1.16 “FIRPTA Affidavit” is defined in Section 2.8.1.3.
- 1.1.17 “Force Majeure Delay” is defined in Section 6.7.

1.1.18 "General Contractor" is defined in Section 3.3.

1.1.19 "Good Faith Deposit" means a deposit made by the Developer to the City pursuant to Sections 2.2 and 9 hereof. All Good Faith Deposits shall be held by the City pursuant to the terms and conditions of this Agreement.

1.1.20 "Grant Deed" is defined in Section 2.4.5.

1.1.21 "Hazardous Materials" means any chemical, material or substance now or hereafter defined as or included in the definition of hazardous substances, hazardous wastes, hazardous materials, extremely hazardous waste, restricted hazardous waste, toxic substances, pollutant or contaminant, imminently hazardous chemical substance or mixture, hazardous air pollutant, toxic pollutant, or words of similar import under any local, state or federal law or under the regulations adopted or publications promulgated pursuant thereto applicable to the Land, including, without limitation: the Comprehensive Environmental Response, Compensation and Liability Act of 1980, 42 U.S.C. 9601, et seq. ("CERCLA"); the Hazardous Materials Transportation Act, as amended, 49 U.S.C. 1801, et seq.; the Federal Water Pollution Control Act, as amended, 33 U.S.C. 1251, et seq.; and the Resource Conservation and Recovery Act of 1976, 42 U.S.C. 6901, et seq. ("RCRA") The term Hazardous Materials shall also include any of the following: any and all toxic or hazardous substances, materials or wastes listed in the United States Department of Transportation Table (49 CFR 172.101) or by the Environmental Protection Agency as hazardous substances (40 CFR, Part 302) and in any and all amendments thereto in effect as of the Close of Escrow Date; oil, petroleum, petroleum products (including, without limitation, crude oil or any fraction thereof), natural gas, natural gas liquids, liquefied natural gas or synthetic gas usable for fuel, not otherwise designated as a hazardous substance under CERCLA; any substance which is toxic, explosive, corrosive, reactive, flammable, infectious or radioactive (including any source, special nuclear or by-product material as defined at 42 U.S.C. 2011, et seq.), carcinogenic, mutagenic, or otherwise hazardous and is or becomes regulated by any governmental authority; asbestos in any form; urea formaldehyde foam insulation; transformers or other equipment which contain dielectric fluid containing levels of polychlorinated biphenyls; radon gas; or any other chemical, material or substance (i) which poses a hazard to the Land, to adjacent properties, or to persons on or about the Land, (ii) which causes the Land to be in violation of any of the aforementioned laws or regulations, or (iii) the presence of which on or in the Land requires investigation, reporting or remediation under any such laws or regulations.

1.1.22 "Holder" is defined in Section 4.4.

1.1.23 "Improvements" means all buildings, landscaping, infrastructure, utilities, and other improvements to be built on the Land, as described in the Scope of Development.

1.1.24 "Land" means the land described on Exhibit "A" attached hereto.

1.1.25 "North SPA" is defined in Subsection 13.12.2.

1.1.26 “Party” means any party to this Agreement, and “Parties” means all parties to this Agreement.

1.1.27 “Permitted Exceptions” is defined in Section 2.4.5.

1.1.28 “Plans and Specifications” means all drawings, landscaping and grading plans, engineering drawings, final construction drawings, and any other plans or specifications for construction of the Project.

1.1.29 “Project” means the Land and Improvements.

1.1.30 “Project Area” is defined in Recital A.

1.1.31 “Project Budget” is defined in Section 2.7.7.

1.1.32 “Purchase Price” is defined in Section 2.1.

1.1.33 “Released Parties” is defined in Section 2.9.4.

1.1.34 “Schedule of Performance” means the schedule on Exhibit “B” attached hereto and incorporated by reference herein.

1.1.35 “Scope of Development” means the description of the Project set forth in Exhibit “C” attached hereto and incorporated by reference herein.

1.1.36 “Site Designs” is defined in Section 6.8.

1.1.37 “Title Company” shall mean the Escrow Holder (i.e., the Title Company and the Escrow Holder are the same).

1.1.38 “Transfer” is defined in Section 4.1.1.

1.1.39 “Transferee” is defined in Section 4.1.2.

1.1.40 “Withholding Affidavit” is defined in Section 2.8.1.2.

2. PURCHASE AND SALE OF THE PROPERTY; PURCHASE PRICE; DEPOSITS.

2.1 Purchase and Sale; Purchase Price. In accordance with and subject to the terms and conditions hereinafter set forth, the City agrees to sell the Land to Developer, and Developer agrees to purchase the Land from the City. The purchase price for the Land to be paid by Developer (the “Purchase Price”) shall be Three Million Two Hundred Thousand Dollars (\$3,200,000). Notwithstanding anything to the contrary contained herein, the Close of Escrow shall not occur until such time as the Closing Conditions, as defined in Section 2.5 hereof, have been satisfied. City and Developer shall enter into a Residual Receipts Loan Agreement consistent with the terms set forth in the City Loan Commitment Letter approved by City Council Resolution 2023-41.

2.2 Good Faith Deposit. Within ten (10) business days after the date this Agreement is executed by the City and delivered to Developer, the Developer shall deposit the sum of Fifteen Thousand Dollars (\$15,000) with Escrow Holder (together with all interest thereon, the “Good Faith Deposit”). The Good Faith Deposit shall be held by Escrow Holder in an interest-bearing account. Unless otherwise set forth in this Agreement, the Good Faith Deposit and all subsequent Good Faith Deposits (collectively, “Deposits”) shall be credited to the Purchase Price, or refunded to Developer in Developer’s sole discretion, at the Close of Escrow. In the event the Close of Escrow does not occur due to a default by Developer, all Good Faith Deposits shall be delivered to and retained by the City as liquidated damages for such default. DEVELOPER AND CITY AGREE THAT BASED UPON THE CIRCUMSTANCES NOW EXISTING, KNOWN AND UNKNOWN, IT WOULD BE IMPRACTICAL OR EXTREMELY DIFFICULT TO ESTABLISH CITY’S DAMAGES BY REASON OF A DEFAULT BY DEVELOPER PRIOR TO THE CLOSE OF ESCROW. ACCORDINGLY, DEVELOPER AND CITY AGREE THAT IN THE EVENT OF A DEFAULT BY DEVELOPER PRIOR TO THE CLOSE OF ESCROW, CITY SHALL BE ENTITLED TO RETAIN THE DEPOSIT, PLUS ANY ACCRUED INTEREST THEREON, AS LIQUIDATED DAMAGES.

2.3 Opening and Closing of Escrow. Within five (5) business days after the Effective Date of this Agreement is executed by City and delivered to Developer, the City and the Developer shall cause an escrow (the “Escrow”) to be opened with Escrow Holder for the sale of the Land by the City to Developer. The Parties shall deposit with Escrow Holder a fully executed duplicate original of this Agreement as the escrow instructions for the Escrow. The City and Developer shall provide such additional instructions as shall be necessary and consistent with this Agreement. Provided that each of the conditions to closing described in Section 2.7 have been satisfied, Escrow shall close (the “Close of Escrow”) on or before February 29, 2028. If the Close of Escrow does not occur by such date, unless extended by the mutual agreement of the parties, any party not then in default may terminate this Agreement by written notice to the other and all the funds and documents deposited with Escrow Agent shall be promptly refunded or returned, as the case may be, by Escrow Agent to the depositing party, except that all escrow and title cancellation fees shall be paid by Developer. City has no financial obligation of any kind related to pre-development expenses incurred by Developer should termination occur for failure to Close Escrow.

2.4 Condition of Title; Title Insurance.

2.4.1 Developer hereby approves title exceptions for the following certain preliminary title reports:

2.4.1.1 Preliminary Report File Nos. 09195947-919-KRC-KRE (“PTR #1”) and 01910643-919-KRC-KRE (“PTR #3”), both dated May 31, 2023 and issued by Commonwealth Land Title Company (“Commonwealth Title”); and

2.4.1.2 Preliminary Report File No. 00188222-996-SD1-CF2, dated January 12, 2023 and issued by Fidelity National Title (“Fidelity Title”, and together with Commonwealth Title, the “Title Companies”) (“PTR #2”); and

2.4.1.3 Preliminary Report File No. 01910645-919-KRC-KRE (“PTR #4”), dated June 1, 2023 and issued by Commonwealth Title.

The City agrees to eliminate, cause to be eliminated or cause the Title Company to reasonably insure over exceptions of such preliminary title report (the “Disapproved Title Exceptions”) prior to or concurrently with the Close of Escrow.

2.4.2 At the Close of Escrow, the City shall convey title to the Land to Developer by grant deed substantially in the form attached hereto as Exhibit “E” (the “Grant Deed”). Title to the Land shall be conveyed subject to: (i) non-delinquent current real property taxes and assessments not yet due for the tax year during which the conveyance occurs, (ii) all Approved Title Exceptions, (iii) a Memorandum of Disposition and Development Agreement in the form attached hereto as Exhibit “F”, and (iv) any matters which arise out of the actions of Developer or its agents and representatives (collectively, the “Permitted Exceptions”).

2.5 Conditions to Close of Escrow. The obligation of the City and Developer under this Agreement to close Escrow shall be subject to the satisfaction (or express written waiver by the benefited party) of each of the following conditions (collectively, the “Closing Conditions”):

2.5.1 There shall have been no change to the physical condition of the Land and no new title exceptions after the Effective Date that, in either case, would materially and adversely affect the development, use or operation of the Project.

2.5.2 City’s removal (or Title Company’s reasonably insuring over) the Disapproved Title Exceptions.

2.5.3 The representations and warranties of the City and Developer contained in this Agreement being true and correct.

2.5.4 The delivery by City and Developer of all documents and funds required to be delivered pursuant to Section 2.8 hereof.

2.5.5 The Title Company shall have committed to issue at the Close of Escrow an ALTA extended coverage Owner’s Title Insurance Policy, with any endorsements reasonably requested by Developer, showing fee simple title to the Land vested in Developer (or Developer’s assignee as permitted by this Agreement), subject only to the Permitted Exceptions.

2.5.6 Developer shall have submitted to City, and the City shall have approved, a Project budget, certified by the Developer to be true and correct estimate, and demonstrating that the Developer has identified additional capital funds to finance the difference, if any, between costs of development of the Development and the amount available to the Developer from external sources (the “Project Budget”).

2.5.7 Developer shall provide the City the necessary land surveyor documentation for the vacated public streets and/or easements necessary to construct the Project. Upon receiving the necessary conveyance instruments from the Developer, the City shall take the

required lawful actions to vacate any public streets and/or easements necessary to construct the Project.

2.5.8 Developer and City shall have performed, observed and complied with all covenants, agreements and conditions required by this Agreement to be performed, observed and complied with on its part prior to or as of the Close of Escrow.

2.6 Costs; Escrow Holder Settlement Statement.

2.6.1 Developer shall be solely responsible for all costs and expenses related to all surveys, title policies (and endorsements thereto), escrow charges, recording fees, and transfer taxes, and shall, in addition, promptly reimburse the City after receipt of written demand therefore for all third-party fees and expenses (including, but not limited to, attorneys' fees and expenses) incurred by the City in the negotiation of this Agreement.

2.6.2 Escrow Holder is authorized on the Close of Escrow to use the net available proceeds, as determined by the City as of the date of Close of Escrow, of the \$15,000.00 to pay for any fees, charges and costs payable under Section 2.6.1 as set forth on the settlement statements approved by the Parties. Before such payments are made, Escrow Holder shall notify the City and Developer of the fees, charges, and costs necessary to close under the Escrow, by delivering draft settlement statements to the Parties for their mutual approval. If the fees, charges and costs payable under Section 2.6.1 exceed the net available proceeds, as of the date of Close of Escrow, of Developer's \$15,000.00 deposited in connection with this Agreement, Escrow Holder may charge the Developer for any amounts in excess of the net available proceeds of the Developer deposit.

2.7 Condition of the Property.

2.7.1 "As-Is" Sale. Developer acknowledges and agrees that, except as expressly set forth herein, Developer is acquiring the Land in its "AS IS" condition, WITH ALL FAULTS, IF ANY, AND, EXCEPT AS EXPRESSLY SET FORTH HEREIN, WITHOUT ANY WARRANTY, EXPRESS OR IMPLIED and neither City nor City any agents, representatives, officers, or employees of City have made any representations or warranties, direct or indirect, oral or written, express or implied, to Developer or any agents, representatives, or employees of Developer with respect to the condition of the Land, its fitness for any particular purpose, or its compliance with any laws, and Developer is not aware of and does not rely upon any such representation to any other party. Except as expressly set forth herein, neither City nor any of its representatives is making or shall be deemed to have made any express or implied representation or warranty, of any kind or nature, as to (a) the physical, legal or financial status of the Land, (b) the Land's compliance with applicable laws, (c) the accuracy or completeness of any information or data provided or to be provided by City, or (d) any other matter relating to the Land.

2.7.1 Delivery of Document by City; Inspections by Developer; Due Diligence Period. Within ten (10) business days after the date of this Agreement, City shall deliver to Developer copies of all material, non-privileged documents in the possession of City that pertain to the Property (the "Documents"). Upon the execution of this Agreement until the date that is [180] days after the date of this Agreement (the "Due Diligence Period"), Developer and its

contractors and consultants who are designated in writing to City (“Developer Designee’s”) shall have the right to enter onto the Property (without disturbing any occupants thereof) for the purpose of performing the Survey, hazardous materials inspections, soils inspections and other physical inspections and investigations; provided, however, that: (a) Developer shall deliver copies of all inspection reports to City; (b) no inspections or investigations shall damage the Property or any improvements thereon or shall be “invasive” unless the City has received a plan describing the scope of the inspection or investigation and has approved such plan in writing, which approval shall not be unreasonably withheld; (c) Developer shall immediately repair all damage caused by or related to its inspections; and (d) neither Developer nor any of Developer’s Designees shall enter the Property unless Developer has provided City reasonable written evidence (such as insurance certificates and/or copies of policies) that the activities of Developer and the Developer Designees are covered by reasonable liability insurance naming City as an additional insured. Developer shall defend, indemnify and hold City harmless from and against any and all claims, liabilities, losses, damages, costs and expenses (including, without limitation, reasonable attorneys’ fees and cost) resulting from the entry onto the Property for such purposes or for purposes of performing the Survey, except to the extent any such claims, liabilities, loss, damages, costs or expenses are the result of the gross negligence or willful misconduct of City. If Developer disapproves any condition of the Property or any Document, then Developer may terminate this Agreement by written notice to City given on or prior to the end of the Due Diligence Period that describes the basis for the disapproval. In addition, if Developer identifies an environmental condition that was not previously acknowledged in the environmental reports, irrespective of whether the Due Diligence Period has expired, and the cost to remediate the environmental condition is greater than the City’s monetary contribution toward such remediation, then Developer may terminate this Agreement by written notice to City.

2.7.2 Releases and Waivers. Developer and anyone claiming by, through or under Developer hereby waives its right to recover from and fully and irrevocably releases City, City and its council members, board members, employees, officers, directors, representatives, agents, servants, attorneys, successors and assigns (“Released Parties”) from any and all claims, responsibility and/or liability that it may now have or hereafter acquire against any of the Released Parties for any costs, loss, liability, damage, expenses, demand, action or cause of action arising from or related to (i) the condition (including any defects, errors, omissions or other conditions, latent or otherwise, and the presence in the soil, air, structures and surface and subsurface waters of materials or substances that have been or may in the future be determined to be Hazardous Materials or otherwise toxic, hazardous, undesirable or subject to regulation and that may need to be specially treated, handled and/or removed from the Land under current or future federal, state and local laws regulations or guidelines), valuation, salability or utility of the Land, or its suitability for any purpose whatsoever, and (ii) any information furnished by the Released Parties under or in connection with this Agreement. This release includes claims of which Developer is presently unaware or which Developer does not presently suspect to exist which, if known by Developer, would materially affect Developer’s release to City and City. Developer specifically waives the provision of California Civil Code Section 1542, which provides as follows:

“A GENERAL RELEASE DOES NOT EXTEND TO CLAIMS WHICH THE CREDITOR OR RELEASING PARTY DOES NOT KNOW OR EXPECT TO EXIST IN HIS OR HER FAVOR AT THE TIME OF EXECUTING THE RELEASE, WHICH IF

KNOWN TO HIM OR HER, WOULD HAVE MATERIALLY AFFECTED HIS OR HER SETTLEMENT WITH THE DEBTOR OR RELEASED PARTY”

Developer Initials

In this connection and to the extent permitted by law, Developer hereby agrees, represents and warrants that Developer realizes and acknowledges that factual matters now unknown to it may have given or may hereafter give rise to causes of action, claims, demands, debts, controversies, damages, costs, losses and expenses which are presently unknown, unanticipated and unsuspected, and Developer further agrees, represents and warrants that the waivers and releases herein have been negotiated and agreed upon in light of that realization and that Developer nevertheless hereby intends to release, discharge and acquit Released Parties from any such unknown causes of action, claims, demands, debts, controversies, damages, costs, losses and expenses which might in any way be included as a material portion of the consideration given to City by Developer in exchange for City’s performance hereunder.

Developer hereby agrees that, if at any time after the Close of Escrow any third party or any governmental agency seeks to hold Developer responsible for the presence of, or any loss, cost or damage associated with, Hazardous Materials in, on, above or beneath the Land or emanating therefrom, then Developer waives any rights it may have against City in connection therewith, including, without limitation, under CERCLA (as defined in Section 1.1.19 and Developer agrees that it shall not (i) implead the City, (ii) bring a contribution action or similar action against City, or (iii) attempt in any way to hold City responsible with respect to any such matter. The provisions of this Section 2.7.3 shall survive the Close of Escrow.

City and Developer have each initialed this Section 2.7.3 to further indicate their awareness and acceptance of each and every provision hereof.

CITY’S INITIALS

DEVELOPER’S INITIALS

The foregoing releases and waivers shall not, however, apply to Hazardous Materials on the Property prior to Close of Escrow known to the City but not known to Developer and not disclosed by the City to Developer.

2.7.3 Environmental Indemnity. From or after the Close of Escrow, Developer shall indemnify, protect, defend and hold harmless the City, and the City’s officials, officers, attorneys, employees, consultants, agents and representatives, from and against any and all claims, liabilities, suits, losses, costs, expenses and damages, including but not limited to reasonable attorneys’ fees and costs, arising directly or indirectly out of any claim for loss or damage to the Land or for the cost of remediating the Land and removing Hazardous Materials therefrom, by reason of Developer’s release of Hazardous Materials on the Land, or by reason of any statutes, ordinances, orders, rules or regulations of any governmental entity or City requiring the remediation of any Hazardous Materials that Developer releases on the Land, provided,

however, that the foregoing shall not apply to Hazardous Materials on the Property known by the City and existing prior to Close of Escrow.

2.8 Deposits into Escrow.

2.8.1 The City hereby covenants and agrees to deliver to Escrow Holder prior to the Close of Escrow the following instruments and documents, the delivery of each of which shall be a condition of the Close of Escrow:

2.8.1.1 A Grant Deed duly executed and acknowledged by the City, in the form attached hereto as Exhibit "E".

2.8.1.2 The affidavit as contemplated by California Revenue and Taxation Code § 18662 ("Withholding Affidavit");

2.8.1.3 A Certification of Non-Foreign Status in accordance with I.R.C. Section 1445 (the "FIRPTA Certificate");

2.8.1.4 An executed and acknowledged Counterpart of the Memorandum of Disposition and Development Agreement in the form attached hereto as Exhibit "F"; and

2.8.1.5 Such proof of the City's authority and authorization to enter into this transaction as the Title Company may reasonably require in order to issue Developer's policy of title insurance.

2.8.2 Developer shall deposit with Escrow Holder, prior to or concurrent with the Close of Escrow, an executed and acknowledged counterpart of a Memorandum of Disposition and Development Agreement in the form attached hereto as Exhibit "F" and funds sufficient to satisfy Developer's monetary obligations at Closing in accordance with this Agreement.

2.9 Authorization to Record Documents and Disburse Funds. Escrow Holder is hereby authorized to record the documents and disburse the funds and documents called for hereunder upon the Close of Escrow, provided each of the following conditions has then been fulfilled:

1. The Title Company can issue in favor of Developer an ALTA Extended Coverage Owner's Policy of Title Insurance, showing the Land vested in Developer subject only to the Permitted Title Exceptions.

2. The City shall have deposited in Escrow the documents required pursuant to Section 2.10.1, and Developer shall have deposited in Escrow the Purchase Price and all Escrow closing costs.

3. The City and Developer have confirmed to Escrow Holder that all of the other closing conditions set forth in Section 2.5 have been satisfied or expressly waived in writing by the Party(s) benefited thereby.

Unless otherwise instructed in writing, Escrow Holder is authorized to record at the Close of Escrow any instrument delivered through this Escrow if necessary or proper for issuance of Developer's title insurance policy.

2.10 Escrow's Closing Actions. On the Close of Escrow, Escrow Holder shall:

2.10.1.1 Record the Grant Deed and the Memorandum of Disposition and Development Agreement with the Orange County Recorder (which shall be deemed delivery of said instruments to Developer);

2.10.1.2 Issue the Title Policy (or cause the Title Company to issue the Title Policy);

2.10.1.3 Prorate taxes, assessments, rents, and other charges as of the Close of Escrow in accordance with the settlement statements approved by the Parties.

2.10.1.4 From funds deposited by Developer, pay prorated amounts and charges to be paid by or on behalf of Developer, and return any excess to Developer;

2.10.1.5 Prepare and deliver to both Developer and the City one signed copy of Escrow Holder's closing statement showing all receipts and disbursements of the Escrow; and

2.10.1.6 Deliver the FIRPTA Certificate and the Withholding Affidavit to Developer.

2.12 Termination by the Developer. In the event that despite making best efforts, Developer is unable to obtain financing acceptable to Developer in its sole discretion in the timeframe set forth in Exhibit "D" Feasibility Threshold Funding Program Award Schedule or Exhibit "B" Schedule of Performance or otherwise determines in its sole discretion, prior to Close of Escrow, that development of the Project is not feasible, or if the City is in default hereunder, or a termination occurs due to a failure of a condition set forth in Section 2.5, or pursuant to Section 6.2.1, then, at the option of the Developer, upon such written notice thereof to the City, this Agreement shall be terminated at no cost or financial obligation of any kind to City, and thereafter neither party shall have any further rights or liability against the other under this Agreement. Should Developer exercise their termination rights pursuant to this paragraph, then all Good Faith Deposits made by Developer as required by this Agreement shall be nonrefundable.

2.13 Additional Instructions. If required by the Escrow Holder, the Parties shall execute appropriate escrow instructions, prepared by the Escrow Holder, which are not inconsistent herewith. If there is any inconsistency between the terms hereof and the terms of the escrow instructions, the terms hereof shall control unless an intent to amend the terms hereof is expressly stated in such instructions.

3. DEVELOPMENT COVENANTS; DEVELOPER OBLIGATIONS.

3.1 Development of the Project. Except as set forth below, Developer shall develop the Improvements on the Land in accordance with the Scope of Development, the

Schedule of Performance, all requirements of any and all applicable federal, state and local laws, rules and regulations (including any conditions of approval required by the City), the Plans and Specifications, and all other terms, conditions and requirements of this Agreement. Developer shall strictly comply with Exhibit “B”, the Schedule of Performance, and the obligations set forth in Exhibit “D”, Feasibility Threshold Funding Program Award, provided that the obligations of Developer set forth therein which are to be performed after the Close of Escrow or shall be delayed by Force Majeure Delays, if applicable, and provided, further, that the City Administrator of the City may extend any deadline therein in his or her sole and absolute discretion except an extension of the Closing Date or Term must be approved by the Placentia City Council. Until a Certificate of Completion is issued, the Developer shall provide the City with periodic progress reports, on no less than a quarterly basis, or as reasonably requested by the City, regarding the status of the construction of the Improvements.

3.2 City’s Right to Review Plans and Specifications. In connection with construction of the Project, the Developer shall comply in all material respects with Plans and Specifications approved by the City.

3.3 Construction Contracts. Developer shall retain one or more reputable and financially responsible general contractors (each, a “General Contractor”) to undertake the construction of the Project. Each General Contractor shall be experienced in constructing the type of improvements constituting the Improvements. On or before the date set forth in the Schedule of Performance, Developer shall enter into a written contract (the “Construction Contract”) with the General Contractor(s) for performing the work constituting the construction of all of the Project. Each such Construction Contract shall be a guaranteed maximum cost contract or stipulated sum ensuring construction of the improvements for a fixed or maximum price and shall obligate the General Contractor to commence and complete such construction in accordance with this Agreement and all applicable federal, state and local laws, rules and regulations. Each such Construction Contract shall provide for retention of at least ten percent from each progress payment (except there shall be no retention for any items excused from retention as specified in the Construction Contract) until the final payment, and said final payment shall not be paid to the General Contractor until the portion of the Project covered by such Construction Contract shall have been completed to Developer’s satisfaction, and Developer shall have obtained all appropriate lien waivers from the General Contractor and its subcontractors, or bonds acceptable to Developer in form and amount, insuring against loss arising from any mechanics’, laborers’, materialmen’s or other like liens filed against the Land.

3.4 Costs of Entitlement, Development and Construction. The Developer agrees that all costs, expenses and fees associated with the development and construction of the Project including the costs for developing and constructing the Improvements thereon (including, but not limited to, the land acquisition costs and governmental permits and approvals) shall be borne by Developer.

3.5 Rights of Access and Inspection. After Close of Escrow, in addition to those rights of access to and across the Land to which the City may be entitled by law, members of the staff of the City shall have a reasonable right of access to the Land, without charge or fee, at any reasonable time, upon reasonable notice to Developer (which may be telephonic notice to the project manager or construction manager or contractor’s superintendent) to inspect the work being

performed at the Land in connection with the initial development of the Project but shall not be obligated to do so and City shall not be liable for any failure to disclose any information discovered by City (or that could or should have been discovered by any City inspection). The City shall also have the right at all reasonable times upon reasonable prior notice to inspect and copy the books, records and all other documentation of the Developer pertaining to its obligations under this Agreement. City shall defend, indemnify, and hold Developer harmless from and against any and all claims, liabilities, losses, damages, costs and expenses (including, without limitation, reasonable attorneys' fees and costs) resulting from the City's entry onto the Property for such purposes, except to the extent such claims, liabilities, losses, damages, costs or expenses are the result of the gross negligence or willful misconduct of Developer. Any damage or injury to the Property resulting from such entry by City shall be promptly repaired at the sole expense of City.

3.6 Local, State and Federal Laws. Developer shall carry out the construction of the Improvements on the Land in conformity with all applicable federal, state and local laws, including all applicable federal and state occupation, safety and health standards.

3.7 City and Other Governmental Agency Permits and Approvals. Before commencement of construction or development of any work of improvement on the Land, Developer shall (at Developer's expense) secure, or cause to be secured, any and all permits which may be required by the City or any other governmental agency having jurisdiction over such construction or development.

3.8 Anti-discrimination During Construction. Developer, for itself and its successors and assigns, agrees that it shall not discriminate against any employee or applicant for employment because of age, sex, marital status, race, handicap, color, religion, creed, ancestry, or national origin in the construction of the Improvements.

3.9 Taxes, Assessments, Encumbrances and Liens. Developer shall pay when due all real property taxes and assessments assessed or levied on portions of the Land from time to time owned by Developer, commencing immediately after closing of the land acquisition.

3.10 No Joint Venture or Agency Created. In performing this Agreement, Developer is an independent contractor and not the agent of City. The City is not an agent of Developer. The City shall not have any responsibility whatsoever for payment to any contractor or supplier of Developer or its contractors. Developer shall not have any responsibility whatsoever for payment to any contractor or supplier of the City.

3.11 Certificate of Completion. Upon Developer's completion of the construction of the Project, Developer will apply to the City for a Certificate of Completion. The City's issuance of the Certificate of Completion shall constitute the acknowledgement of the City that Developer has complied in all respects with its development obligations (and only the development obligations) set forth in this Article 3. Promptly following the City's issuance of a certificate of occupancy for the entire project, and provided that Developer is then in full compliance with all of its obligations under Article 3 of this Agreement, the City shall execute, acknowledge and deliver the Certificate of Completion, which shall be recorded in the Official Records of Orange County and shall include, in form reasonably acceptable to Developer, an express termination or reconveyance of the City's power of termination and right to reversion

under Section 6.2.2(ii) of this Agreement and the Grant Deed. If the City believes that the Developer is not in compliance with its obligations under this Article 3, the City shall promptly specify the nature of such non-compliance by written notice to Developer.

3.12 Housing Priority Preferences to Be Established.

3.12.1 To better coordinate access points, assessments, resources, and programs serving persons experiencing homelessness, the Orange County Continuum of Care divided the County into three (3) geographic “Service Planning Areas” (or “SPAs”), with the “North Service Planning Area” (“North SPA”) including the cities of Anaheim, Brea, Buena Park, Cypress, Fullerton, La Habra, La Palma, Los Alamitos, Orange, Placentia, Stanton, Villa Park, and Yorba Linda.

3.12.2 The management and operational plan for the North SPA Navigation Centers, which serve the North SPA Homeless Collaborative and includes all of the North SPA cities except the City of Anaheim, are located in the City of Placentia and the City of Buena Park and specify certain requirements to ensure local control for providing safe and secure housing as well as providing comprehensive programs and services. The North SPA Navigation Centers are referral-only based facilities with managed and controlled access in and out via transportation only. The North SPA Navigation Centers work to not only house the homeless that may qualify, but to provide health resources, counseling, job and social skills, and opportunities to reunite with family and friends, with the goal of integrating North Orange County’s homeless to become productive members of society while decreasing the number of homeless in public areas. Developer shall take all reasonable and lawful measures to establish a preference placement program for individuals and families temporarily residing at the North SPA Homeless Collaborative Navigation Centers.

3.12.3 The City of Placentia works closely with Homeless Intervention Services of Orange County (HIS OC), a Transitional Housing Center for homeless housing. HIS OC assists homeless families to achieve stable, permanent housing and financial independence. Developer shall dedicate one unit for the purposes of housing a family needing to relocate from the HIS OC Transitional Housing Center Program.

4. LIMITATIONS ON TRANSFERS AND SECURITY INTERESTS.

4.1 Restriction on Transfer of Developer’s Rights and Obligations.

4.1.1 Except as provided herein, prior to issuance of a Certificate of Completion for the Project and the opening of the Project for business, Developer shall not sell, assign, transfer, mortgage, lease (except for space leases conditioned upon Project completion), hypothecate, or convey (collectively, a “Transfer”) the Land or any part thereof or any of Developer’s rights or obligations hereunder, without the City’s prior written consent, which consent may not be unreasonably withheld by City except for the execution of one or more deeds of trust and related instruments securing Developer’s construction and permanent loans, a conveyance of the Land resulting from the foreclosure thereof (or a deed-in-lieu of such a foreclosure). Developer acknowledges that the identity of Developer is of particular concern to the City, and it is because of Developer’s identity that the City has entered into this Agreement with Developer. City understands, acknowledges and agrees that Developer intends to form a new

entity, Mercy Housing California 119, L.P., a California limited partnership, and reserves all rights to assign its rights, interests and obligation to Mercy Housing California 119, L.P., a California limited partnership. Developer and City further understand, acknowledge and agree that Developer may obtain from the City a parcel map, except for any Transferee approved by the City pursuant to this Section 4.1, and except for any Holder (defined in Section 4.2) that has taken possession of the Land, no voluntary or involuntary successor in interest of Developer shall acquire any rights or powers under this Agreement prior to the issuance of a Certificate of Completion. Except as expressly permitted herein, no transfer or assignment of Developer's interest hereunder without the City's prior written approval shall be deemed to release Developer from the obligations of Developer hereunder.

4.1.2 Subject to Section 4.2 below, after the issuance of a Certificate of Completion for the entire Project, and the opening of the Project for business, Developer shall have the right to Transfer the Land or any divisible portion of the Project to any party (a "Transferee") provided that:

4.1.2.1 the Transferee (and/or its management company or affiliates, if any) has the experience, quality, character, trade record, financial ability and reputation, as determined by City in its reasonable judgment, to own the Project or any portion thereof and to cause it to be managed and operated (whether directly or through an Operating Agreement approved by the City in accordance with this Agreement) in compliance with this Agreement; and

4.1.2.2 the Transferee assumes in writing all obligations of Developer set forth in this Agreement (except those pursuant to Articles 2 and 3, which shall be deemed satisfied upon the Close of Escrow and the issuance of the Certificate of Completion, respectively).

In the event that Developer desires to Transfer the Land pursuant to this Section 4.1.2, Developer will so notify the City, and will provide the City with all pertinent information regarding the Transferee. The City will approve or disapprove the Transferee, in its reasonable judgment which consent may not be unreasonably withheld, conditioned or delayed within fifteen (15) days after receipt of written notice of Developer's intention to make the Transfer. Upon the completion of any Transfer to a Transferee approved by the City as provided in this Section 4.1.2, the Transferee shall assume all of Developer's rights and obligations under this Agreement with respect to the interest conveyed, and Developer shall be released from all further liabilities and obligations under this Agreement with respect to the interest conveyed.

4.2 Holders of Deeds of Trust. Notwithstanding any provisions of Section 4.2 to the contrary, Developer shall have the right to hypothecate its interest in the Land and the Project pursuant to one or more deeds of trust from an institutional lender, for the purpose of securing loans of funds to be used for financing the direct and indirect costs of the Project (including land development costs, reasonable and customary developer fees, loan fees and costs, and other normal and customary project costs), or for refinancing the construction financing with permanent financing. Any institutional lender of record holding any such deed of trust, whose name and address shall have been provided by Developer to City referred to herein as a "Holder."

4.3 Rights of Holders. The City shall deliver a copy of any notice or demand to Developer concerning any breach or default by Developer under this Agreement to each Holder who has previously made a written request to the City for special notice hereunder. Any notice of breach or default by Developer shall not be effective against any such Holder unless given to such Holder. Such Holder shall have the right, but not the obligation, at its option to cure or remedy any such default and to add the cost thereof to the secured debt and the lien of its security interest. If such breach or default can only be remedied or cured by such Holder upon obtaining possession, such Holder may remedy or cure such breach or default within a reasonable period of time after obtaining possession, provided such Holder seeks possession with diligence through a receiver or foreclosure. Such Holder shall not be obligated to undertake or continue the construction or completion of the Improvements beyond the extent necessary to conserve or protect the Improvements already constructed. Any Holder completing the Improvements must assume all rights and obligations of Developer under this Agreement and shall then be entitled, upon written request made to the City, to a Certificate of Completion from the City.

4.4 Noninterference with Holders. The provisions of this Agreement do not limit the right of Holders (a) to foreclose or otherwise enforce any mortgage, deed of trust, or other security instrument encumbering all or any portion of the Land, and the Improvements thereon, (b) to pursue any remedies for the enforcement of any pledge or lien encumbering such portions of the Land, or (c) to accept, or cause its nominee to accept, a deed or other conveyance in lieu of foreclosure or other realization. In the event of (i) a foreclosure sale under any such mortgage, deed of trust or other lien or encumbrance, (ii) a sale pursuant to any power of sale contained in any such mortgage or deed of trust, or (iii) a deed or other conveyance in lieu of any such sale, the purchaser or purchasers and their successors and assigns, and such portions of the Land shall be, and shall continue to be, subject to all of the conditions, restrictions and covenants of all documents and instruments recorded pursuant to this Agreement, including, without limitation, the restrictions set forth in the grant deed on such property from the City to Developer. The City agrees to execute such further documentation regarding the rights of any Holder as is customary with respect to construction or permanent financing, as the case may be, to the extent that such documentation is reasonably requested by any Holder and is reasonably approved by the City.

4.5 Right of City to Cure. In the event of a default or breach by the Developer of a loan by a Holder prior to the completion of the Improvements, the City may, upon prior written notice to the Developer, cure the default, prior to the completion of any foreclosure. In such event the City shall be entitled to reimbursement from the Developer of all costs and expenses incurred by the City in curing the default. The City shall also be entitled to a lien upon the Land or any portion thereof to the extent of such costs and disbursements. The City agrees that such lien shall be subordinate to any lien in favor of a Holder, and the City shall execute from time to time any and all documentation reasonably requested by the Developer to effect such subordination.

4.6 Right of City to Satisfy Other Liens. After the Close of Escrow and after the Developer has had a reasonable time to challenge, cure, or satisfy any liens or encumbrances on the Land or any portion thereof, and has failed to do so, in whole or in part, the City shall, upon prior written notice to the Developer, have the right to satisfy any such lien or encumbrances; however, nothing in this Agreement shall require the Developer to pay or make provision for the payment of any tax, assessment, lien or charge so long as the Developer in good faith shall contest

the validity or amount therein and so long as such delay in payment shall not subject the Land or any portion thereof to forfeiture or sale.

5. USE AND OPERATION OF THE PROPERTY.

5.1 Maintenance by Developer. After the issuance of the Certificate of Completion, Developer and its successors in interest with respect to the Project shall maintain the Project (including landscaping) in a manner substantially comparable to the level of maintenance provided to other developments of similar age and quality to the Project located in Orange County. The Developer shall maintain the Development in good repair and working order, and in a neat, clean and orderly condition, including the walkways, driveways, and landscaping, and from time to time make all necessary and proper repairs, renewals, and replacements. In the event that there arises at any time prior to the expiration of the Termination Date a condition in contravention of the above maintenance standard, then the City shall notify the Developer in writing of such condition, giving the Developer thirty (30) days from receipt of such notice to cure said condition; provided, however, if such condition is not reasonably curable within such thirty (30) day period, then Developer shall have such additional time as reasonably necessary to cure such condition, provided Developer commences to cure such condition within such thirty (30) day period and thereafter fails to diligently prosecute such condition to completion;. In the event the Developer fails to cure or commence to cure the condition within the time allowed, the City shall have the right to perform all acts necessary to cure such a condition, or to take other recourse at law or in equity the City may then have and to receive from the Developer the City's actual and reasonable costs in taking such action. The parties hereto further mutually understand and agree that the rights conferred upon the City expressly include the right to enforce or establish a lien or other encumbrance against the Land, but such lien shall be subject to previously recorded liens and encumbrances. The foregoing provisions shall be a covenant running with the land and will be enforceable by the City, its successors and assigns.

6. EVENTS OF DEFAULT, REMEDIES AND TERMINATION.

6.1 Defaults - Definition. Subject to the provisions of Section 6.7 hereof, the occurrence of any or all of the following shall constitute a default (“Default”) under this Agreement:

6.1.1 Developer’s failure to perform its obligations on a timely basis as contained in the Schedule of Performance (subject to Force Majeure Delays) and Feasibility Threshold Funding Program Award Schedule, or any breach of this Agreement by any Party involving the payment of money, and the continuance of such breach for a period of ten (10) days after the non-defaulting Party has given written notice to the defaulting Party, as specified in Section 8.1;

6.1.2 Except as otherwise provided in Section 6.1.1 hereof, a breach of any material term of this Agreement by any Party not involving the payment of money and failure of such Party to cure such breach within thirty (30) days after the non-defaulting Party has given written notice to the defaulting Party; provided, however, if such breach is not reasonably curable within such thirty (30) day period, then such Party shall be deemed in Default only if such Party

does not commence to cure such breach within such thirty (30) day period and thereafter fails to diligently prosecute such breach to completion;

6.1.3 Developer's Transfer (as defined in Section 4.2), or the occurrence of any involuntary Transfer, of the Land or any part thereof or interest therein, or any rights or obligations of Developer under this Agreement, in violation of this Agreement;

6.1.4 Developer's failure or refusal to keep in force and effect any material permit or approval with respect to construction of the Project, and Developer's failure to cure such breach within thirty (30) calendar days after notice from the City of Developer's breach; provided, however, if such breach is not reasonably curable within such thirty (30) day period, then Developer shall be deemed in Default only if Developer does not commence to cure such breach within such thirty (30) day period and thereafter fails to diligently prosecute such breach to completion; or

6.1.5 Filing of a petition in bankruptcy by or against any Party or appointment of a receiver or trustee of any property of any Party, or an assignment by any Party for the benefit of creditors, or adjudication that such Party is insolvent by a court, and the failure of such Party to cause such petition, appointment, or assignment to be removed or discharged within 90 days.

6.1.6 The failure to comply with any of the requirements of Section 7 below.

6.2 Remedies.

6.2.1 Remedies Prior to the Close of Escrow. In the event of a Default by any Party prior to the Close of Escrow, the non-defaulting Party shall have the right to terminate this Agreement (provided it is not in Default of its obligation under this Agreement), by delivering written notice thereof to the defaulting Party and to Escrow Holder, subject to the rights of the defaulting Party to cure such Default as provided in Section 6.1. Subject to Section 2.2, such Party may seek against the defaulting Party any available remedies at law or equity, including but not limited to, the right to receive damages (excluding damages for lost profits) or to pursue an action for specific performance. Notwithstanding anything to the contrary contained herein and in addition to the remedies specified hereunder, in the event the City defaults prior to the Close of Escrow, the City shall reimburse Developer for its reasonable costs incurred in connection with the Project's design, entitlements and third-party reports.

6.2.2 Remedies for Default After the Close of Escrow. In the event of a Default by any Party after the Close of Escrow, a non-defaulting party shall be entitled to the following remedies, as applicable:

(i) A defaulting Party shall be liable to the non-defaulting Party for all damages, costs and losses incurred by the non-defaulting Party, and the non-defaulting Party may seek against the defaulting Party any available remedies at law or equity, including but not limited to the right to receive damages or to pursue an action for specific performance; and

(ii) Prior to the issuance of the Certification of Completion, the City shall have the power of termination (i.e., so-called “right of reversion”) provided for below in this Section 6.2.2 in the event that that Developer fails to complete the Improvements in the time period required by Article 3. In such event, but subject to any agreement between the City and Developer’s construction lender(s) in accordance with the provisions of Section 2.5.15 above, the City may terminate this Agreement and reenter and take possession of the Land, with all Improvements thereon, and re-vest in the City title to the Land theretofore conveyed to the Developer (or its successors in interest), take any and all actions necessary to commence and complete the enforcement of its reversionary interest, and in such event the Developer agrees to promptly take all actions and to execute all documents (including a grant deed) necessary to revert title to the Land to the City (subject to any agreement between the City and Developer’s construction lender in accordance with the provisions of Section 2.5.15 above).

(iii) Upon re-vesting in the City of title to the Land or any portion thereof as provided in this Section, the City shall use good faith efforts to resell the Land or applicable portion thereof to a qualified and responsible party or parties (as determined by the City) who will assume the obligation of making or completing the Development in accordance with the uses specified for such property herein and in a manner satisfactory to the City. Upon such resale of the Land or any portion thereof, the proceeds thereof payable to the City shall be applied as follows:

1. First to reimburse the City on its own behalf for all costs and expenses incurred by the City, including but not limited to salaries of personnel and legal fees incurred in connection with the recapture, management, and resale of the Land or any portion thereof and (but less any income derived by the City from any part of the Land in connection with such management); all taxes, installments of assessments payable prior to resale, and applicable water and sewer charges with respect to the Land or any portion thereof (or, in the event the Land or any portion thereof is exempt from taxation or assessment or such charges during the period of ownership by the City, an amount equal to the taxes, assessments, or charges that would have been payable if the Land or any portion thereof was not so exempt); any payments made or necessarily to be made to discharge any encumbrances or liens existing on the Land or any portion thereof at the time of re-vesting of title in the City or to discharge or prevent from attaching or being made any subsequent encumbrances or liens due to obligations, defaults, or acts of the Developer, its successors or transferees; and expenditures made or obligations incurred with respect to the making or completion of the Development or any part thereof on the Land; and, any amounts otherwise owing the City by the Developer and its successors or transferee.

2. Second, to reimburse the City for damages to which it is entitled under this Agreement by reason of the Developer's default.

3. Third, to reimburse the Developer, its successor or transferee, up to the amount equal to:

- (a) The reasonable costs incurred by Developer to the date of such default, including third-party costs for entitlements, architectural, engineering and other reports prepared for the Project and the reasonable costs of the improvements the Developer has placed on the Land or applicable portion thereof at the Developer's cost; less
- (b) the sum of (i) any gains or income withdrawn or made by the Developer from the Land or applicable portion thereof, or the improvements thereon; plus (ii) the amount of any liens on the Land.

4. Fourth, any balance remaining after such reimbursements shall be retained by the City as its property.

No Speculation. The rights established in this Article are to be interpreted in light of the fact that the City will convey the Land to Developer for development and operation of the Project thereon and not for speculation in undeveloped land or for construction of different improvements.

6.3 No Personal Liability. No representative, agent, attorney, consultant, or employee of the City shall personally be liable to the Developer or any successor in interest of Developer, in the event of any Default or breach by the City, or for any amount which may become due to Developer or any successor in interest, on any obligation under the terms of this Agreement.

6.4 Rights and Remedies are Cumulative. The rights and remedies of the parties are cumulative, and the exercise by either party of one or more of such rights or remedies shall not preclude the exercise by it, at the same time or different times, of any other rights or remedies for the same default or any other default by the non-defaulting Party; provided, however, that liquidated damages specified herein shall constitute the sole damages recoverable for the default giving rise to such liquidated damages.

6.5 Inaction Not a Waiver of Default. Any failures or delays by either Party in asserting any of its rights and remedies as to any default shall not operate as a waiver of any default or of any such rights or remedies or deprive either such Party of its rights to institute and maintain any actions or proceedings which it may deem necessary to protect, assert or enforce any such rights or remedies. The acceptance by a Party of less than the full amount due from the other party shall not constitute a waiver of such Party's right to demand and receive the full amount due, unless such Party executes a specific accord and satisfaction.

6.6 Force Majeure. Following the Close of Escrow, and notwithstanding anything to the contrary in this Agreement, nonperformance shall be excused when performance is prevented or delayed by reason of any of the following forces reasonably beyond the control of such party (a "Force Majeure Delay"): (i) failure to perform by Developer attributable to any strike,

lockout or other labor or industrial disturbance (whether or not on the part of the employees of either party hereto), civil disturbance, pandemic, future order claiming jurisdiction, act of the public enemy, war, riot, sabotage, blockade, embargo, inability to secure customary materials, supplies or labor through ordinary sources by reason of regulation or order of any government or regulatory body; or (ii) delay attributable to severe weather, lightning, earthquake, fire, storm, hurricane, tornado, flood, washout, explosion, or any other similar industry-wide cause beyond the reasonable control of the party from whom performance is required, or any of its contractors or other representatives. Any prevention, delay or stoppage due to any Force Majeure Delay shall excuse the performance of the party affected for a period of time equal to any such prevention, delay or stoppage (except the obligations of either party to pay money to the other party or to close escrow) provided that the Party claiming the Force Majeure Delay notifies the other Party of the Force Majeure Delay within a reasonable time (not to exceed thirty (30) days) after the commencement of the Force Majeure Delay.

6.7 Plans and Data. If this Agreement is terminated for any reason, then Developer shall deliver to the City, without cost or expense to the City, copies of any and all maps, architecture, engineering, subdivision approvals, permits, entitlements, rights, contracts, plans, drawings, studies, designs, reports, surveys, and data pertaining to the Project and its development (collectively, "Site Designs") which are in the possession of Developer.

7. INSURANCE; INDEMNITY.

7.1 Insurance.

From and after the execution of this Agreement, Developer hereby agrees, as more specifically defined in Exhibit "H," to protect, defend, indemnify, and hold free and harmless the City, its officers, officials, agents, employees, and volunteers, at the Developer's sole cost and expense, from and against all actions, suits, claims, liabilities, demands, damages (including foreseeable or unforeseeable consequential damages), penalties, fines, forfeitures, costs and expenses (including all reasonable out-of-pocket litigation costs and reasonable attorneys' fees), or other legal proceedings of any nature whatsoever, related directly or indirectly to, or arising out of or in connection with:

- (i) the validity of this Agreement;
- (ii) the development and construction by Developer of the Improvements on the Land or the use, ownership, management, occupancy, or possession of the Land during Developer's period of ownership of the Land;
- (iii) any breach or Default by Developer hereunder (subject to any liquidated damages provisions otherwise contained in this Agreement); or
- (iv) any of Developer's activities on the Land (or the activities of Developer's agents, employees, lessees, representatives, licensees, guests, invitees, contractors, subcontractors, or independent contractors on the Land), regardless of whether such losses and liabilities shall accrue or are discovered before or after termination or

expiration of this Agreement, except to the extent such losses or liabilities are caused by the gross negligence or willful misconduct of the City.

7.1.1 It shall be the sole responsibility of Developer to determine whether to pay prevailing wages for any or all work required by this Agreement. As a material part of this Agreement, Developer agrees to assume all risk of liability arising from any decision not to pay prevailing wages for work required by this Agreement.

7.1.2 Developer will defend any action or actions filed in connection with any of said claims or liabilities and will pay all costs and expenses, including legal costs and attorneys' fees incurred in connection therewith.

7.1.3 Developer will promptly pay any judgment rendered against the City, its officers, officials, employees, agents, or volunteers for any such claims or liabilities arising out of or in connection with Developer's (or its employees, lessees, representatives, licensees, guests, invitees, contractors, subcontractors, or independent contractors of the Land) negligent performance of or failure to perform such work, operations, or activities hereunder; and Developer agrees to save and hold the City, its officers, officials, employees, agents, and volunteers harmless therefrom

7.1.4 In the event the City, its officers, officials, employees, agents, or volunteers are made a party to any action or proceeding filed or prosecuted against Developer for such damages or other claims arising or alleged to arise out of or in connection with the performance of or failure to perform the work, operation, or activities of Developer hereunder, Developer shall pay to the City, its officers, officials, employees, agents, or volunteers any and all costs and expenses incurred by the City, its officers, officials, employees, agents, or volunteers in such action or proceeding, including but not limited to, legal costs and attorneys' fees for counsel selected by City.

7.1.5 Developer's duty to defend and indemnify as set out in this Section shall include any claims, liabilities, obligations, losses, demands, actions, penalties, suits, costs, expenses or damages, or injury to persons or property arising or alleged to arise from, in connection with, as a consequence of or pursuant to any State or Federal law or regulation regarding hazardous substances, including but not limited to the Federal Insecticide, Fungicide and Rodenticide Act ("FIFRA"), Comprehensive Environmental Response, Compensation and Liability Act of 1980 ("CERCLA"), Resource Conservation and Recovery Act of 1976 ("RCRA"), the Hazardous and Solid Waste Amendments of 1984, the Hazardous Material Transportation Act, the Toxic Substances control Act, the Clean Air Act, the Clean Water Act, the California Hazardous Substance Account Act, the California Hazardous Waste Control Law or the Porter-Cologne Water Quality Control Act, as any of those statutes may be amended from time to time.

7.1.6 Developer shall require the same indemnification from all subcontractors. Developer's indemnification obligations pursuant to this Section shall survive the Close of Escrow or the termination of this Agreement.

Notwithstanding anything to the contrary contained herein, in no event shall the Developer be liable to the City under this Section 7 for claims, liabilities, obligations, losses, demands, actions, penalties, suits, costs, expenses or damages, resulting exclusively from the gross

negligence and/or willful misconduct of the City, its officers, officials, employees, agents, or volunteers.

8. REPRESENTATIONS AND WARRANTIES.

8.1 Developer Representations. Developer represents and warrants to the City as of the date of this Agreement and as of the Close of Escrow that:

(i) Developer is a California nonprofit public benefit corporation validly existing and in good standing under the laws of the State of California.

(ii) Developer has duly authorized the execution and performance of this Agreement and the execution and performance of all of the closing documents set forth herein.

(iii) Developer's execution and performance of this Agreement and the closing documents will not violate any provision of the Developer's by laws or any deed of trust, lease, contract, agreement, instrument, order, judgment or decree by which Developer is bound.

(iv) The Developer has not engaged a broker with respect to the purchase of the Land contemplated herein.

8.2 City Representation. The City hereby represents and warrants to the Developer that the City has not engaged a broker with respect to the purchase of the Land as contemplated herein.

9. TERM.

9.1 The Term of this Agreement shall commence on the Effective Date and shall continue for a period of eight (8) years thereafter or such earlier date as set forth in this Section 9 or as otherwise set forth in this Agreement (the "Termination Date").

9.1.1 If the Developer has not received a Feasibility Threshold Funding Program Award on or before December 31, 2025, this Agreement shall terminate unless on or before December 31, 2025, the Developer has made an additional Good Faith Deposit to the City in the amount of Fifteen Thousand Dollars (\$15,000).

9.1.2 If the Developer has not received a Feasibility Threshold Funding Program Award on or before December 31, 2026, this Agreement shall terminate unless on or before December 31, 2026, the Developer has made an additional Good Faith Deposit to the City in the amount of Twenty-Five Thousand Dollars (\$25,000).

9.1.3 If the Developer has not received a Feasibility Threshold Funding Program Award on or before December 31, 2027, this Agreement shall terminate unless on or before December 31, 2027, the Developer has made an additional Good Faith Deposit to the City in the amount of Thirty Thousand Dollars (\$30,000).

10. GENERAL PROVISIONS.

10.1 Notices. All notices and demands shall be given in writing by certified mail, postage prepaid, and return receipt requested, or by reputable overnight courier. Notices shall be considered given upon the earlier of (a) one business day following deposit or delivery with a nationally recognized overnight courier delivery charges prepaid, or (b) three (3) business days following after deposit, or (c) upon delivery shown on the return receipt in the United States mail, postage prepaid, certified or registered, return receipt requested. Notices shall be addressed as provided below for the respective Party; provided that if any Party gives notice in writing of a change of name or address, notices to such Party shall thereafter be given as demanded in that notice:

City: CITY OF PLACENTIA
401 E. Chapman Avenue
Placentia, CA 92870
Attn: Damien R. Arrula, City Administrator

With a copy to: Jones & Mayer
3777 North Harbor Blvd.
Fullerton, CA 92835
Attn: Christian Bettenhausen, City Attorney

Developer: MERCY HOUSING CALIFORNIA
1500 South Grand Avenue, Suite 100
Los Angeles, CA 90015
Attention: Ed Holder, Vice President

City hereby agrees to provide copies of any written notices to Developer's limited partners who shall have been identified in writing by Developer to City with a written request to deliver to them copies of notices to Developer under this Agreement. City further agrees that any cure of any default made or tendered by any such limited partner shall be deemed to be a cure by Developer and shall be accepted or rejected on the same basis as if made or tendered by Developer.

10.2 Construction. The Parties agree that each Party and its counsel have reviewed and revised this Agreement and that any rule of construction to the effect that ambiguities are to be resolved against the drafting Party shall not apply in the interpretation of this Agreement or any amendments or exhibits thereto. This Agreement shall be construed as a whole according to its fair language and common meaning to achieve the objectives and purposes of the Parties.

10.3 Interpretation. In this Agreement the neuter gender includes the feminine and masculine, and singular number includes the plural, and the words "person" and "party" include corporation, partnership, firm, trust, or association wherever the context so requires. Unless otherwise required by a specific provision of this Agreement, time hereunder is to be computed by excluding the first day and including the last day. If the date for performance falls on a Saturday, Sunday, or legal holiday, the date for performance shall be extended to the next business day. All references in this Agreement to a number of days in which either party shall

have to consent approve or perform shall mean calendar days unless specifically stated to be business days.

10.4 Time of the Essence. Time is of the essence of this Agreement.

10.5 Warranty Against Payment of Consideration for Agreement. Developer warrants that it has not paid or given, and will not pay or give, to any third person, any money or other consideration for obtaining this Agreement, other than normal costs of conducting business and costs of professional services such as architects, engineers and attorneys.

10.6 Challenge to this Agreement; Indemnity. If the City is made a Party to any litigation instituted by or against Developer or to any litigation attacking the validity of this Agreement, then Developer shall indemnify and defend the City against, and save them harmless from, all costs, expenses (including reasonable attorneys' fees), claims, liabilities, damages and losses incurred by the City in connection with such litigation provided, however, that in no event shall the Developer be obligated to pay any damages awarded to any person or entity that result from the gross negligence or willful misconduct of the City.

10.7 Entire Agreement Waivers and Amendments. This Agreement, together with all attachments and exhibits hereto, and all agreements executed pursuant hereto, constitutes the entire understanding and agreement of the Parties. This Agreement integrates all of the terms and conditions mentioned herein or incidental hereto and supersedes all negotiations or previous agreements between the Parties with respect to the subject matter hereof. No subsequent agreement, representation or promise made by either Party hereto, or by or to any employee, officer, agent or representative of either Party, shall be of any effect unless it is in writing and executed by the Party to be bound thereby. No person is authorized to make, and by execution hereof Developer and the City acknowledge that no person has made, any representation, warranty, guaranty or promise except as expressly set forth herein; and no agreement, statement, representation or promise made by any such person which is not contained herein shall be valid or binding on Developer or the City.

10.8 Severability. Each and every provision of this Agreement is, and shall be construed to be, a separate and independent covenant and agreement. If any term or provision of this Agreement or the application thereof shall to any extent be held to be invalid or unenforceable, the remainder of this Agreement, or the application of such term or provision to circumstances other than those to which it is invalid or unenforceable, shall not be affected hereby, and each term and provision of this Agreement shall be valid and shall be enforced to the extent permitted by law.

10.9 Headings. All section headings and subheadings are inserted for convenience only and shall have no effect on the construction or interpretation of this Agreement.

10.10 No Third Party Beneficiaries other than the City. The City is a third party beneficiary of this Agreement. This Agreement is made and entered into for the sole protection and benefit of the Parties, the City, City and their successors and assigns. No other person shall have any right of action based upon any provision of this Agreement.

10.11 Governing Law; Jurisdiction; Service of Process. This Agreement and the rights of the Parties shall be governed by California law. The Parties consent to the exclusive jurisdiction of the California Superior Court for the County of Los Angeles. If any legal action is commenced by Developer against the City, or by City against Developer, service of process on the City shall be made by personal service upon the Executive Director or secretary of the City, or in such other manner as may be provided by law. If any legal action is commenced by City against Developer, service of process on Developer shall be made by personal service at the address provided for notifications above, or in such other manner as may be provided by law. Developer agrees, for the benefit of the City, that it shall designate an agent for service of process in the State of California in the manner prescribed by law.

10.12 Assignability. Except as otherwise expressly provided in Section 4.2, Developer may not assign, transfer or convey its rights and obligations under this Agreement without the prior written consent of the City, which City may withhold in its sole and absolute discretion.

10.13 Survival. The provisions hereof shall not merge into, but rather shall survive, any conveyance hereunder (including, without limitation, the delivery and recordation of the Grant Deed) and the delivery of all consideration.

10.14 Estoppel Certificates. Upon written request of Developer, City shall within ten (10) days of the date of such request, execute and deliver to Developer, a written statement: certifying, to the best of such City's knowledge, that (a) this Agreement in full force and effect, if such is the case, and has not been modified or amended, except as shall be stated; and (b) that no default by Developer exists under this Agreement.

10.15 City Actions. In addition to any provisions of this Agreement that gives the City Administrator the authority to make decisions and grant approvals, the City hereby authorizes the City's City Administrator to deliver such approvals, consents as are contemplated by this Agreement, waive requirements under this Agreement, and modify this Agreement, on behalf of the City provided that the applicable approval, consent, waiver or modification is minor (*i.e.*, does not change the fundamental business transaction or Term of this Agreement between the Developer and the City, as determined by the City Administrator in his reasonable discretion).

10.16 Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed as original but all of which together shall constitute one and the same instrument.

IN WITNESS WHEREOF, the Parties hereto have entered into this Agreement as of the day and year first above written.

[remainder of page left intentionally blank; signature page follows]

DEVELOPER:
MERCY HOUSING CALIFORNIA:
Developer

By: _____

APPROVED AS TO FORM:

By: _____

CITY OF PLACENTIA:
City

By: _____
Damien Arrula, City Administrator

ATTEST:

Robert S. McKinnell, City Clerk

By: _____
Christian Bettenhausen, City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION OF LAND

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PLACENTIA, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

300 and 307 Baker Street:

PARCEL 1, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 236, PAGES 11 AND 12 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 339-392-14, 339-392-15

312 Baker Street:

LOT 24 IN BLOCK "B" OF BRADFORD'S RESUBDIVISION OF BLOCKS "H" AND "I" OF THE TOWNSITE OF PLACENTIA, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 65, MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 339-391-15

314 Baker Street:

LOT 25 IN BLOCK "B" OF BRADFORD'S RESUBDIVISION OF BLOCKS "H" AND "I" OF THE TOWNSITE OF PLACENTIA, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 65 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 339-391-14

323 Baker Street:

LOT 18 IN BLOCK "B" OF BRADFORDS RE-SUBDIVISION OF BLOCKS "H" AND "I" TOWNSITE OF PLACENTIA, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 8, PAGE 65 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY.

APN: 339-392-19

**ADD LEGAL DESCRIPTION FOR BAKER STREET VACATION
TO BE ADDED BY TITLE COMPANY AT CLOSE OF ESCROW**

EXHIBIT “B”

SCHEDULE OF PERFORMANCE

This Schedule of Performance requires the submission of plans or other documents at specific times. Some of the submissions are not described in the text of the Agreement. Such plans or other documents, as submitted, must be complete and adequate for review by the City, City or other applicable governmental entity when submitted. Prior to the time set forth for each particular submission, the Developer shall consult with City and City staff informally as necessary concerning such submission in order to assure that such submission will be complete and in a proper form within the time for submission set forth herein.

<u>Action</u>	<u>Date / Deadline</u>
Items 1 – 7 Relate to Developer Actions and Requirements Prior to or through/at the Close of Escrow	
1. Obtain all necessary entitlements to construct the Project.	Complete per City of Placentia’s Site Plan Review Number 2023-03.
2. <u>Opening of Escrow</u> . The Parties shall open escrow with the Escrow Holder.	Within five (5) business days after the execution and delivery of the DDA.
3. <u>Developer Deposit</u> . The Developer shall deposit the Developer Deposit of \$15,000 with Escrow Holder.	Within ten (10) business days after the City’s and City execution and delivery of the DDA.
4. <u>Project Budget</u> . The Developer has submitted the Project Budget to City and shall submit reasonable evidence that the funds described in the Project Budget Plan.	Indication of Loan letter submitted and evidence of Developers capacity to make the required equity available.
5. <u>Insurance on the Land</u> . The Developer shall submit evidence of insurance to the City.	Prior to and as a condition to the Close of Escrow.
6. <u>Final Project Budget and funding of construction loan, equity set aside</u> . The Developer shall submit the Project Budget to City together with reasonable evidence that the funds described in the Project Budget Plan will be available or committed at the Closing and Closing of Construction Loan.	Prior to and as a condition to the Close of Escrow.

<u>Action</u>	<u>Date / Deadline</u>
7. <u>Construction Contract</u> . The Developer shall submit for City approval the construction contract for the construction of the Improvements to the City for approval.	Prior to and as a condition to the Close of Escrow.
Items 8 Relate to the Conveyance of the Land	
8. <u>Close of Escrow</u> . The Developer shall purchase the Land from the City.	No later than February 29, 2028, plus one twelve-month option to extend
Items 9 – 15 Relate to the Developer Actions and Requirements After the Close of Escrow	
9. <u>Building Permits</u> . The Developer shall obtain and the City shall issue the Building Permit or permit ready letter for the construction of the Improvements.	Within 30 days following Close of Escrow.
10. <u>Performance and Payment Bonds</u> . The Developer shall deliver to the City copies of the required performance and payment bonds.	Within 30 days following Close of Escrow.
11. <u>Insurance, Builders Risk and Construction</u> . The Developer shall submit evidence of insurance to the City.	Within 30 days following Close of Escrow.
12. <u>Commencement of Construction</u> . Developer shall substantially commence the Improvements.	No later than 60 days after Close of Escrow.
13. <u>Completion of Grading</u> . Developer shall substantially complete the grading for the Project.	To be determined by construction schedule prepared by Contractor.
14. <u>Commencement of Vertical Construction</u> . Developer shall commence vertical construction.	To be determined by construction schedule prepared by Contractor.
15. <u>Qualification for Certificate of Occupancy</u> . The Project shall qualify for a Certificate of Occupancy.	No later than 36 months after close of escrow.

EXHIBIT “C”

SCOPE OF DEVELOPMENT

Mercy Housing is proposing the development of a new 100 percent affordable housing development project containing 68 dwelling units, with a mix of one-, two-, and three-bedroom units, and inclusive of 20 permanent supportive housing (“PSH”) units, as well as ancillary residential open space and amenity areas including dedicated space for supportive case management services for the Project’s PSH residents (the “Project”).

The Project would be developed upon an approximately 33,497 square foot (0.77 acre) development site, comprised of four legal parcels associated with the addresses of 300, 307, 312, and 314 Baker Street, as well as a portion of Baker Street to be vacated in connection with the Project. The Project will reach a maximum height of 5 stories and 68 feet and will provide a total of 94 parking spaces.

As determined by the City pursuant to Site Plan Review Number 2023-03, the Project consists of a by-right use under the standards imposed by the City’s Old Town Placentia Revitalization Plan and with application of State density bonus law (“DBL”), as set forth at California Government Code Section 65915, the Project complies with all applicable City objective development standards. Accordingly, the City has granted by-right approval of the Project.

EXHIBIT “D”

FEASIBILITY THRESHOLD FUNDING PROGRAM AWARD SCHEDULE

FIRST ROUND		
Milestone	County NOFA + MHP + IIG	Notes
County NOFA Award	July 2024	
MHP SuperNOFA Release	June 2024	
IIG NOFA Release	June 2024	IIG exact dates yet to be announced
Application Due to MHP	July 2024	
Application Due to IIG	July 2024	IIG exact dates yet to be announced
MHP Award Date	December 2024	Based on 2024 timeline
IIG Award Date	December 2024	Based on 2024 timeline
Submit Application to CDLAC for Bond and State Tax Credit Allocation if Applicable	April 2025	Based on 2025 timeline
CDLAC Award Date	August 2025	Based on 2025 timeline
Start Construction Deadline	February 2026	180 days from bond allocation
Finish Construction	June 2028	Based on 28 month construction period

SECOND ROUND		
Milestone	County NOFA + MHP + IIG	Notes
County NOFA Award	July 2024	
MHP SuperNOFA Release	June 2025	
IIG NOFA Release	June 2025	IIG exact dates yet to be announced
Application Due to MHP	July 2025	
Application Due to IIG	July 2025	IIG exact dates yet to be announced
MHP Award Date	December 2025	Based on 2024 timeline
IIG Award Date	December 2025	Based on 2024 timeline
Submit Application to CDLAC for Bond and State Tax Credit Allocation if Applicable	April 2026	Based on 2025 timeline
CDLAC Award Date	August 2026	Based on 2025 timeline
Start Construction Deadline	February 2027	180 days from bond allocation
Finish Construction	June 2029	Based on 28 month construction period

THIRD ROUND		
Milestone	County NOFA + MHP + IIG	Notes
County NOFA Award	July 2024	
MHP SuperNOFA Release	June 2026	
IIG NOFA Release	June 2026	IIG exact dates yet to be announced
Application Due to MHP	July 2026	
Application Due to IIG	July 2026	IIG exact dates yet to be announced
MHP Award Date	December 2026	Based on 2026 timeline
IIG Award Date	December 2026	Based on 2026 timeline
Submit Application to CDLAC for Bond and State Tax Credit Allocation if Applicable	April 2027	Based on 2027 timeline
CDLAC Award Date	August 2027	Based on 2027 timeline
Start Construction Deadline	February 2028	180 days from bond allocation
Finish Construction	June 2030	Based on 28 month construction period

EXHIBIT "E"

FORM OF GRANT DEED

Recording Requested by and when recorded return to
and mail tax statements to:

Assessor's Parcel Map No.:

Exempt from Recording Fees Pursuant to
Government Code Section 27383

GRANT DEED

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$ _____ based on the full value of the property conveyed.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

("Grantor") hereby GRANTS to
_____, a _____ ("Grantee") the following described real
property (the "Land") located in the City of Placentia, County of Orange, State of
California:

SUBJECT TO, all easements, covenants, conditions, restrictions, and rights of way of
record.

1. This grant of the Land is subject to a Disposition and Development
Agreement entered into by and between Grantor and Grantee dated as of _____, 2024,
(the "DDA") the terms of which are incorporated herein by reference. A copy of the
Agreement is available for public inspection at the offices of the Grantor at 401 E.
Chapman Ave., Placentia, CA 92870.

2. The Grantee covenants by and for itself, its representatives, its successors
and assigns and every successor in interest to the Land or any part thereof, that during
construction of improvements and thereafter the Grantee shall not use or permit the use of
the Land in violation of City, State and Federal regulations.

3. . The Grantee further covenants and agrees that for a period of 8 years after
the date of recordation of this Deed, the Grantee shall maintain the Project (including
landscaping) in good condition and repair and in the manner substantially comparable to

maintenance provided to other projects of similar type, age and quality as the Project located in Orange County. Grantee shall also maintain the insurance described in Article 7 of the Agreement.

4. All covenants contained in this Grant Deed shall run with the land and shall be binding for the benefit of Grantor and its successors and assigns and such covenants shall run in favor of the Grantor and for the entire period during which the covenants shall be in force and effect, without regard to whether the Grantor is or remains an owner of any land adjacent to the Land or interest in such adjacent land or any other land. The Grantor, in the event of any breach of any such covenants, shall have the right to exercise all of the rights and remedies available under the Agreement or at law or in equity. The covenants contained in this Grant Deed shall be for the benefit of and shall be enforceable only by the Grantor and its successors and assigns.

5. As provided in, and subject to the provisions contained in, Section 6.2 of the Agreement, the Grantor shall have the right, at its option, to reenter and take possession of the Land hereby conveyed, with all improvements thereon and to terminate and revest in Grantor the Land hereby conveyed to the Grantee (or its successors in interest).

6. The Grantee covenants, for itself and its successors and assigns, that there shall be no sale, transfer, assignment, conveyance, lease, pledge or encumbrance of the DDA, or the Land and the Improvements thereon or any part thereof, or of other ownership interest in the Grantee in violation of the DDA, which contains restrictions on the assignment of the DDA and the transfer of the Land.

IN WITNESS WHEREOF, the undersigned has executed this Grant Deed as of the date set forth below.

Dated: _____

By: _____

Print Name: _____

Title: _____

ATTEST:

Secretary

APPROVED AS TO FORM:

By: _____

Christian Bettenhausen, City Attorney

EXHIBIT "F"

FORM OF DDA MEMORANDUM

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:

No fee for recording pursuant
to Government Code Section 27383

MEMORANDUM OF DISPOSITION AND DEVELOPMENT AGREEMENT

THIS MEMORANDUM OF DISPOSITION AND DEVELOPMENT AGREEMENT (the "Memorandum of DDA") is made as of _____, 2024, by and between the CITY OF PLACENTIA (the "City") and MERCY HOUSING CALIFORNIA (the "Developer") to confirm that the City and the Developer have entered into that certain Disposition and Development Agreement dated as of _____, 2024 (the "DDA"). The DDA imposes certain conditions (including but not limited to, construction requirements, operating covenants, and transfer restrictions) on the real property described in Exhibit A attached hereto and incorporated herein (the "Land"). The DDA is a public document and may be reviewed at the principal office of the City of Placentia.

IN WITNESS WHEREOF, the parties have caused this Memorandum of DDA to be duly executed as of the date first above written.

CITY:

By: _____
Print Name: _____
Title: City Administrator

Attest:

Secretary

APPROVED AS TO FORM:

By: _____
Christian Bettenhausen, City Attorney

DEVELOPER:

By: _____
Print Name: _____
Title: _____

[SIGNATURES MUST BE DULY ACKNOWLEDGED BY A NOTARY PUBLIC]

State of California)
)
County of _____)

On _____ before me, _____
(insert name and title of the officer)

personally appeared _____,

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____ (Seal)
Signature of Notary Public

State of California)
)
County of _____)

On _____ before me, _____
(insert name and title of the officer)

personally appeared _____,

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____ (Seal)
Signature of Notary Public

EXHIBIT A TO MEMORANDUM OF DISPOSITION
AND DEVELOPMENT AGREEMENT

LEGAL DESCRIPTION OF THE PROPERTY

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PLACENTIA, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

300 and 307 Baker Street:

PARCEL 1, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 236, PAGES 11 AND 12 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 339-392-14, 339-392-15

312 Baker Street:

LOT 24 IN BLOCK "B" OF BRADFORD'S RESUBDIVISION OF BLOCKS "H" AND "I" OF THE TOWNSITE OF PLACENTIA, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 65, MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 339-391-15

314 Baker Street:

LOT 25 IN BLOCK "B" OF BRADFORD'S RESUBDIVISION OF BLOCKS "H" AND "I" OF THE TOWNSITE OF PLACENTIA, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 65 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 339-391-14

323 Baker Street:

LOT 18 IN BLOCK "B" OF BRADFORDS RE-SUBDIVISION OF BLOCKS "H" AND "I" TOWNSITE OF PLACENTIA, IN THE City OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 8, PAGE 65 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY.

APN: 339-392-19

ADD LEGAL DESCRIPTION FOR BAKER STREET VACATION
TO BE ADDED BY TITLE COMPANY AT CLOSE OF ESCROW

EXHIBIT “G”

**LIST OF HAZARDOUS MATERIALS DOCUMENTS
DELIVERED TO DEVELOPER**

Phase I Environmental Site Assessment Report for 307, 312, and 314 Baker Street, Placentia, California dated February 6, 2023 prepared by Converse Consultants provided as part of the City of Placentia’s Request for Quotes and Proposals for the Affordable Housing Development Opportunity released on February 6, 2023.

Phase I Environmental Site Assessment Report for 323 Baker Street, Placentia, California dated February 6, 2023 prepared by Converse Consultants provided as part of the City of Placentia’s Request for Quotes and Proposals for the Affordable Housing Development Opportunity released on February 6, 2023.

EXHIBIT "H"

INSURANCE REQUIREMENTS

A. Minimum Scope and Limits of Insurance

City reserves the right to review any and all of the required insurance policies and/or endorsements, but has no obligation to do so. Failure to demand evidence of full compliance with the insurance requirements set forth in this Agreement or failure to identify any insurance deficiency shall not relieve Developer from, nor be construed or deemed a waiver of, its obligation to maintain the required insurance at all times during the performance, including any extension thereof, of this Agreement.

Developer shall obtain, maintain, and keep in full force and effect during the life of this Agreement, including any extension thereof, all of the following minimum scope of insurance coverages:

1. Commercial General Liability Insurance

From and after the close of Escrow and for so long as title to the Land has not reverted to by the City, Developer shall obtain and maintain broad-form commercial general liability, with coverage at least as broad as the most current version of ISO Commercial General Liability coverage form CG 00 01, in a form at least as broad as ISO form CG 00 01 04 13, and shall include insurance for premises and operations, products/completed operations, broad form property damage, blanket contractual liability, independent contractors, personal injury or bodily injury, and personal and advertising injury with a policy limit of not less than Five Million Dollars (\$5,000,000.00) per occurrence and Ten Million Dollars (\$10,000,000.00) general aggregate. The aggregate limit, encompassing the above coverage, shall apply separately to this project/location. Coverage shall be continued for three (3) years after completion of the work. If Developer maintains higher limits than the specified minimum limits, City requires and shall be entitled to coverage for the higher limits maintained by the Developer.

Any deductible or self-insured retention shall be shown on the certificate of insurance. If the deductible or self-insured retention exceeds \$25,000.00, it must be approved in advance by City. Developer is responsible for any deductible or self-insured retention and shall fund it upon City's written request, regardless of whether Developer has a claim against the insurance or is named as a party in any action involving City.

2. Business Automobile Liability Insurance

Business automobile liability for all owned, hired, leased, and non-owned vehicles at least as broad as the most current version of ISO Business Auto Coverage Form CA 00 01, with a policy limit of not less than Two Million Dollars (\$2,000,000.00) combined single limit per accident. If Developer maintains higher limits than the specified minimum limits, City requires and shall be entitled to coverage for the higher limits maintained by the Developer.

3. Workers' Compensation and Employer's Liability Insurance

Workers' compensation insurance as required by the State of California and Employer's Liability Insurance with a minimum limit of One Million Dollars (\$1,000,000.00) per accident for any employee or employees of Developer. Developer agrees to waive and to obtain endorsements from its workers' compensation insurer waiving subrogation rights under its workers' compensation insurance policy against the City, its officers, officials, agents, employees, and volunteers for losses arising from work performed by Developer for the City and to require each of its subcontractors, if any, to do likewise under their workers' compensation insurance policies.

4. Professional Errors and Omissions ("E&O") Liability Insurance

Professional errors and omissions ("E&O") liability insurance on an occurrence based policy with policy limits of not less than Two Million Dollars (\$2,000,000.00) per occurrence and Three Million Dollars (\$3,000,000.00) policy aggregate. Architects' and engineers' coverage shall be endorsed to include contractual liability. The retroactive date must be shown, and this date must be before the date of the contract or the beginning of contract work. Insurance must be maintained and evidence of insurance must be provided for at least three (3) years after completion of the contract of work. If coverage is canceled or non-renewed, and not replaced with another policy form with a retroactive date prior to the contract effective date, the Developer must purchase "extended reporting coverage" for a minimum of three (3) years after completion of contract work. A copy of the claims reporting requirements must be submitted to the Project Manager for review. If Developer maintains higher limits than the specified minimum limits, City requires and shall be entitled to coverage for the higher limits maintained by the Developer.

5. Pollution Liability Insurance

Pollution liability insurance coverage with a policy limit of not less than Two Million Dollars (\$2,000,000.00) per pollution incident and Two Million Dollars (\$2,000,000.00) policy aggregate. Coverage shall apply to pollution incidents at or from any location at which Developer is performing work under this Agreement. Insurance coverage shall be continued for three (3) years after completion of the work. If Developer maintains higher limits than the specified minimum limits, City requires and shall be entitled to coverage for the higher limits maintained by the Developer.

Any deductible or self-insured retention shall be shown on the certificate of insurance. If the deductible or self-insured retention exceeds \$25,000.00, it must be approved in advance by City. Developer is responsible for any deductible or self-insured retention and shall fund it upon City's written request, regardless of whether Developer has a claim against the insurance or is named as a party in any action involving City.

6. “All Risk” Builder’s Insurance

“All risk” builder’s risk insurance, including coverage for vandalism and malicious mischief, in a form and amount reasonably acceptable to the City. During the construction of Improvements on any portion of the Land by Developer, such builder’s risk insurance shall cover Improvements in place and all material and equipment at the job site furnished under contract, but shall exclude contractors’, subcontractors’, and construction managers’ tools and equipment and property owned by contractors’ and subcontractors’ employees.

7. Commercial Property Insurance

After the opening of the Project for business, commercially reasonable property insurance against all risks of loss to any tenant Improvements or Betterments, at full replacement cost with no coinsurance penalty provision.

8. Standards for Insurance Companies

All insurance policies shall be issued by an insurance company currently authorized by the Insurance Commission to transact business of insurance or is on the List of Approved Surplus Line Insurers in the State of California, with an assigned policyholders’ rating of A- (or higher) and Financial Size Category Class VII (or larger) in accordance with the latest edition of Best’s Key Rating Guide.

B. Documentation and Other Provisions

1. The commercial general liability insurance policy, business automobile liability policy, and pollution liability insurance policy shall be endorsed to contain the following: The City of Placentia, its officers, officials, agents, employees, and volunteers are additional insureds with respect to: liability arising out of activities performed by or on behalf of the Developer pursuant to its contract with the City; products and completed operations of the Developer; premises owned, occupied, or used by the Developer; and automobiles owned, leased, hired, or borrowed by the Developer. General liability coverage can be provided in the form of an endorsement to the Contractor’s insurance at least as broad as one of the following ISO ongoing operations forms: CG 20 10 or CG 20 26 or CG 20 33 (not allowed from subcontractors), or CG 20 38; and one of the following ISO completed operations forms: CG 20 37, 2039 (not allowed from subcontractors), or CG 20 40. Additional insured status shall continue for three (3) years after completion of the work.
2. Said policies shall not terminate, nor shall they be cancelled or coverage reduced, without at least thirty (30) days’ written notice to the City. In the event of any cancellation or reduction in coverage or limits of any insurance, Developer shall forthwith obtain and submit proof of substitute insurance. Should Developer fail to immediately procure other insurance, as specified, to substitute for any cancelled policy or reduction in the required coverage limits, the City may procure such insurance at Developer’s sole cost and expense.
3. The Developer’s insurance coverage shall be primary insurance coverage at least as broad

as ISO CG 20 01 04 13 as respects the City of Placentia, its officers, officials, agents, employees, and volunteers. Any other insurance maintained by the City of Placentia shall be excess and not contributing with the insurance provided by this policy.

4. Any failure to comply with the reporting provisions of the policies shall not affect coverage provided to the City of Placentia, its officers, officials, agents, employees, and volunteers.
5. **Defense fees and costs shall not deplete the limits of any insurance provided under this Agreement.**
6. The Developer's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.
7. Developer shall require and verify that all subcontractors maintain insurance meeting all the requirements stated herein, and Developer shall ensure the City is an additional insured on insurance required from subcontractors.
8. Developer agrees to waive, and to obtain endorsements from insurers waiving, subrogation rights against the City, its officers, agents, employees, and volunteers for losses arising from work performed by Developer for the City and to require each of its subcontractors, if any, to do likewise under their insurance policies.
9. Coverage shall be on a standard occurrence form. Claims-made forms are not acceptable. Modified, limited, or restricted occurrence forms are not acceptable.
10. Current evidence of coverage shall be provided for the entire required period of insurance.
11. Upon written request, certified copies of required insurance policies shall be provided within (30) days.



City of Placentia

Baker Street Affordable Housing Development Mercy Housing California

- 1. Considering Findings Pursuant to Government Code 33433; and**
- 2. Considering of Disposition and Development Agreement**

**City Council Meeting
March 5, 2024**

Background

- On February 6, 2023, the City issued a Request for Proposals (RFP) for an Affordable Housing Development on 300, 307, 312, 314, and 323 Baker Street
- The RFP solicited interest from 4 different developers and sought proposals for up to 2 phases of development based upon the properties owned by the City
- On April 3, 2023, the Evaluation Committee consisting of the Keyser Marston Staff, Director of Development Services and the Deputy Director of Administrative Services reviewed and scored the 4 proposals received
- The Evaluation Committee agreed that Mercy Housing would be the best qualified developer to construct and operate a high-quality affordable housing development along Baker Street and had the best proposal which contemplated development on both phases



Background

- On April 19, 2023, the City Council Housing, Community and Economic Development Committee (the “HCED Committee”), comprised of Councilmember Wanke and Mayor Pro Tem (then Councilmember) Kirwin reviewed the proposals and the recommendation of the Evaluation Committee. After reviewing the information, HCED Committee agreed with the Evaluation Committee findings and recommended Mercy Housing as the top selected proposal to the City Council
- On May 16, 2023, the City Council convened in Closed Session to review the recommendations and directed Staff and the City Attorney’s Office to begin negotiations with Mercy Housing on the financing and development of the site
- On June 6, 2023, the City Council approved a Land Purchase Option Agreement with Mercy Housing California for development and operation of a high-density affordable housing development on Baker Street



Strategic Plan Statement

This item is consistent with the City Council approved 5-Year Strategic Goal to Promote Community and Economic Development under Objective #3.9, which is to Facilitate Affordable Housing along Baker Street



Considering Findings California Code, Health and Safety Code - HSC § 33433

- Adopt Resolution No. HSA-2024-01 making findings pursuant to HSC § 33433 for real property located at 314 Baker Street and 323 Baker Street and authorizing the sale of the properties
- HSC § 33433 requires that:
 - Before any property of the agency acquired in whole or in part, with tax increment moneys is sold or leased for development pursuant to the redevelopment plan, the sale or lease shall first be approved by the legislative body (City Council) by Resolution after public hearing; and,
 - Notice of the hearing shall be published in a newspaper of general circulation in the community at least once per week for at least two successive weeks (Notice published twice in accordance with State law)
- City Council is only required to make findings pursuant to HSC § 33433 for 314 and 323 Baker Street, it does not apply to the balance of the Baker Street properties



Disposition and Development Agreement

- Mercy Housing requests City Council approval of a Disposition and Development Agreement (“DDA”) to allow for the future entitlement and construction of a five-story, affordable workforce housing development featuring:
 - 68 affordable housing units with associated amenities for residents,
 - Onsite resident services
 - Onsite and satellite parking sites
- A DDA is a hybrid real estate transaction transferring property to a developer and also including substantial conditions both prior to the sale and after close of escrow to ensure the City property is used as intended, in this case for the development of an affordable housing (workforce housing) development
- The DDA requires City Council consideration and approval, but Public Hearing is not required for the DDA itself



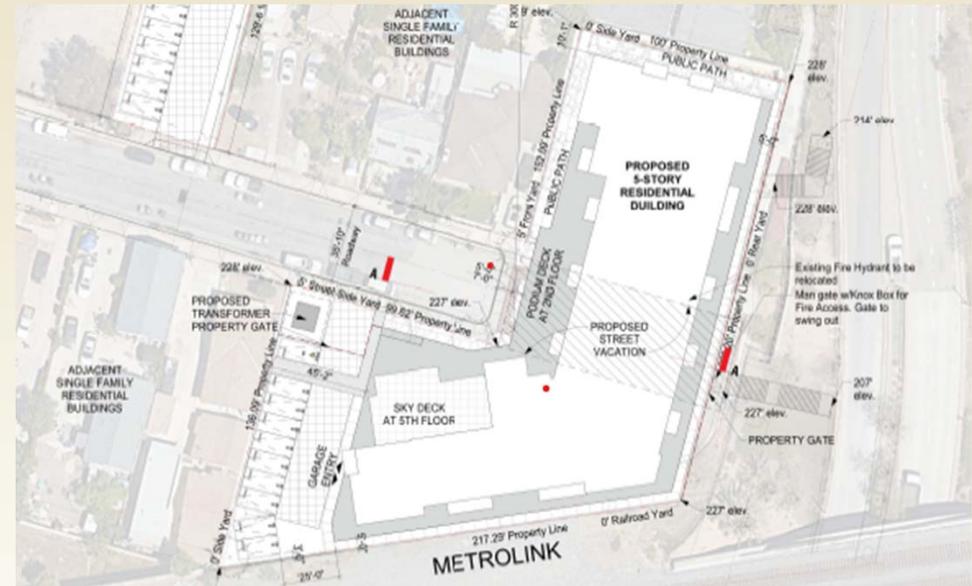
Disposition and Development Agreement

- The actual transfer of the properties and close of escrow will not occur until the developer has the project financing fully in place and construction plans ready for the issuance of a building permit
- The entitlements for the development will be reviewed and considered administratively by Staff pursuant to recent State law, once developer has demonstrated site control pursuant to the DDA
- This development will be the first new affordable housing development in Placentia's Old Town (OT) High Density Residential (HDR) Zoning District since adoption of the district in 2017



Project Description

- The proposed development is a 68 unit, five-story, 100 percent affordable workforce housing development
- Onsite residential services and amenities, and onsite parking, with an additional satellite parking.
- To be developed on vacant City-owned parcels and will include partial street vacation
- The five parcels comprehensively total approximately 0.77 gross acres and are bound by BNSF railway to the south, Melrose Street to the east, and residential properties to the west and north, with Santa Fe Avenue located further north
- Primary access to the site is provided along Baker Street, pedestrian access to Melrose Street and Santa Fe Avenue



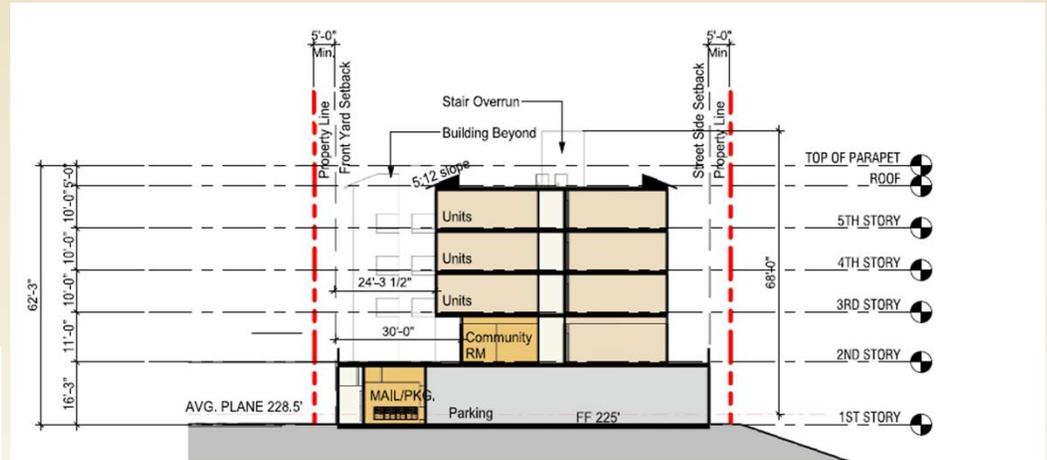
Project Description

- Reminiscent of Mission Revival style architecture, consistent with objective design standards featured in the Old Town Zoning Code
- Features: arches, with arch entry, red mission style tile roof
- Features: blue and white Spanish style tiles lining all windows and doors



Project Description

- Cross Section of development
- Eastern elevation large arched windows, visible from Melrose Street
- Building projections and varying rooflines that add aesthetic interest
- Employs four-sided architecture



WEST ELEVATION



SOUTH ELEVATION



Project Characteristics

Location	Existing Land Use	Land Use Element General Plan Designation	Zoning Map Designation
Existing	City-Owned Vacant Property	Old Town	Old Town (High-Density Residential)
Proposed	Five Story, 68-unit, affordable housing development, with onsite parking and satellite parking lot.	Old Town	Old Town (High-Density Residential)
North (Santa Fe Avenue)	Mix of residential and retail shops	Old Town	Old Town
South (across BNSF tracks)	Packing House	TOD	TOD
East (across Melrose)	City owned parking lot	Old Town	Old Town
West	Residential (single family homes and some duplexes)	Old Town	Old Town



Project Characteristics

STANDARD		CONTEMPLATED DEVELOPMENT (MERCY HOUSING)	
Height*	3 min/4 max stories, 55'	Five stories, 68'	
*Height exceptions – See Table 2 in OT Zoning Code			
Setbacks			
Setback from Railroad Track	0'	Setback from Railroad Track	0'
Front	5'-15'	Front	5'
Side	0'	Side	0'
Rear	0'	Rear	0'
Streetside Yard	5'-15'	Streetside Yard	5'
Density	65 du/ac	Density Bonus (35%) Increase	68 units total
Site Specific	50 du possible		
Parking			
Studio	1 min/1 max	*Density Bonus Law – parking ratios N/A	
1 bedroom	1 min/1.5 max	Proposed 94 spaces	
2-bedroom	1.5 min/2 max		
3-bedroom	2 min/2.5 max		
Guest	2 min/3 max per 10 units		
Required w/out DBL	112 spaces		
Minimum Lot Size*:	10,000 sq.ft.	33,497 sq.ft.	
*for a development over 3 stories			
Common Open Space (68 units x 50 sq.ft.)	50 sq ft/unit 3,400 sq.ft.	Project utilizing Incentive & Concession 25% reduction (68 units x 50 sq.ft.) 2,568	
Private Open Space (68 Units X 64 sq.ft.)	64 s.f./unit 4,352 sq.ft.	*Incentive utilized in Common Open Space, but project meets private open space of PMC	
Electric Vehicle Charging 10% of project's parking spaces EV Level 2 or 5% of total spaces if DC fast charging stations		Project will comply with PMC	
Public Art	Encouraged	TBD	



General Plan and Land Use Consistency

The proposed development and subdivision is consistent with the following Land Use Element and Housing Element policies and goals of the General Plan Land Use Element:

- Policy 1.2 – Allow for a variety of residential infill opportunities including single family, multi-family, mixed-use, manufactured housing and mobile homes, in designated areas to satisfy regional housing needs
- Policy 1.6 – Encourage mixed-use development within the Old Town District, TOD District and other appropriate areas
- Policy 2.17 – Encourage the development of Mixed-Use and transit-oriented development to promote a wider range of residential opportunities, to help meet the regional housing needs, and to complement the principles of the Complete Streets model
- Policy 2.18 – Work proactively with Orange County Transportation Authority (OCTA) to properly plan appropriate land uses around existing and future planned transportation projects building by OCTA.
- Goal 3 – Revitalize underutilized, abandoned or dilapidated commercial, industrial, and residential uses and properties
- Policy 3.1 – Encourage opportunities for redevelopment and improvements in the Old Town area, the TOD district, industrial areas, neighborhoods in the southern sector of the City, and commercial centers along major roadway corridors
- The development will be consistent with the OT zoning district, which is experiencing a revitalization of underutilized properties that will serve to encourage economic investment within the Old Town and TOD districts



General Plan and Land Use Consistency

The proposed development and subdivision is consistent with the following Land Use Element and Housing Element policies and goals of the General Plan Housing Element:

- Goal 1 – Develop and maintain an adequate supply of housing that varies sufficiently in cost, size, type, and tenure to meet the economic and social needs of existing and future residents within the constraints of available land
- Program 1.2 – The development serves to locate housing near transportation to increase livability within new housing developments and locates a major workforce housing development near transportation option
- California Housing Element law mandates that each city show it has adequate sites available through appropriate zoning and development standards
- The City must demonstrate that it has the capacity or adequate sites to accommodate the project needs for housing at all income levels
- Old Town Land Use District (High Density Residential sub-area) is designated as a “by right” zone for affordable housing development



Fiscal Impact

- The one-time revenue for this project includes \$482,400.84 in Development Impact Fees. Based on an appraisal report, the sales price for the properties at 314 Baker Street and 323 Baker Street is \$1,018,960
- The proceeds from 314 Baker Street and 323 Baker Street will be placed in the Housing Successor Agency's LMIHAF for future affordable housing development in the City. The sales price for the properties at 300, 307 and 312 Baker Street, and a street vacation of 39,991 square feet total \$2,181,040. The total for all five properties and the street dedication is \$3,200,000, which is approximately \$80.00 per square foot
- The City's financial commitment will be to provide a residual receipts loan, in the amount of \$3,200,000 for this affordable housing development on Baker Street



Recommendation

It is recommended that the City Council take the following actions:

1. Open Public Hearing regarding the contemplated action to make findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street; and
2. Receive the Staff Report, consider all public testimony, ask questions of Staff; and
3. Close the Public Hearing; and
4. Adopt Resolution No. HSA-2024-01, a Resolution of the City Council of the City of Placentia, California, making findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street and authorizing the sale of the properties in connection therein; and
5. Adopt Resolution No. R-2024-17, a Resolution of the City Council of the City of Placentia, California, approving the Disposition and Development Agreement No. DDA-2023-01 with Mercy Housing California transferring title of properties located at 300, 307, 312, 314, and 323 Baker Street to Mercy Housing California to facilitate the future development of a five story, 68 unit multifamily affordable housing development with onsite resident services and management, onsite parking and a satellite parking site on a 0.77-gross acre site and finding the project to be exempt from further environmental review as a class 32 infill categorical exemption; and
6. Authorize the City Administrator to execute the necessary documents, in a form approved by the City Attorney.



Questions & Comments

