



**Placentia City Council  
Placentia City Council as Successor to the  
Placentia Redevelopment Agency  
Placentia Industrial Commercial  
Development Authority  
Placentia Public Financing Authority**

MAYOR JEREMY B. YAMAGUCHI  
District 3

KEVIN KIRWIN  
Mayor Pro Tem  
District 2

RHONDA SHADER  
Councilmember  
District 1

WARD L. SMITH  
Councilmember  
District 5

CHAD P. WANKE  
Councilmember  
District 4

Robert S. McKinnell  
City Clerk

Kevin A. Larson  
City Treasurer

Damien R. Arrula  
City Administrator

Christian L. Bettenhausen  
City Attorney

**AGENDA  
September 3, 2024**

**Council Chambers  
401 E Chapman Ave.  
Placentia, CA 92870**

**Phone: (714) 993-8117**

**Email: [administration@placentia.org](mailto:administration@placentia.org)  
[www.placentia.org](http://www.placentia.org)**

**Mission Statement**

The City Council is committed to keeping Placentia a pleasant place by providing a safe family atmosphere, superior public services and policies that promote the highest standards of community life.

**Vision Statement**

The City of Placentia will maintain an open, honest, responsive and innovative government that delivers quality services in a fair and equitable manner while optimizing available resources.

Copies of all agenda materials are available for public review in the Office of the City Clerk, online at [www.placentia.org](http://www.placentia.org), and at Placentia Library Reference Desk. Persons who have questions concerning any agenda item may call the City Clerk's Office, (714) 993-8231, to make inquiry concerning the nature of the item described on the agenda.

**Procedures for Addressing the Council/Board Members**

Any person who wishes to speak regarding an item on the agenda or on a subject within the City's jurisdiction during the "**Oral Communications**" portion of the agenda should fill out a "**Speaker Request Form**" and give it to the City Clerk BEFORE that portion of the agenda is called. Testimony for Public Hearings will only be taken at the time of the hearing. Any person who wishes to speak on a Public Hearing item should fill out a "**Speaker Request Form**" and give it to the City Clerk BEFORE the item is called.

The Council and Board members encourage free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks brief. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of an entire group. To encourage all views, the Council and Board discourage clapping, booing or shouts of approval or disagreement from the audience.

PLEASE SILENCE ALL PAGERS, CELL PHONES, AND OTHER ELECTRONIC EQUIPMENT WHILE COUNCIL AND BOARD MEMBERS ARE IN SESSION.

**Special Accommodations**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (714) 993-8231. Notification 48 hours prior to the meeting will generally enable City staff to make reasonable arrangements to ensure accessibility. (28 CFR 35.102.35.104 ADA Title II)

In compliance with California Government Code § 54957.5, any writings or documents provided to a majority of the City Council regarding any item on this agenda that are not exempt from disclosure under the Public Records Act will be made available for public inspection at the City Clerk's Office at City Hall, 401 East Chapman Avenue, Placentia, during normal business hours.

Study Sessions are open to the public and held in the City Council Chambers or City Hall Community Room. Closed Sessions are held in the Council Caucus Room. While the public may be in attendance during oral announcements preceding Closed Sessions, Closed Sessions are not open to the public.

**PLACENTIA CITY COUNCIL REGULAR MEETING AGENDA - CLOSED SESSION**

**September 3, 2024**

**5:00 p.m. - City Council Chambers  
401 E. Chapman Avenue, Placentia, CA**

**CALL TO ORDER:**

**ROLL CALL:**

**ORAL COMMUNICATIONS:**

*At this time the public may address the City Council and Boards of Directors concerning any items on the Closed Session Agenda only. There is a five (5) minute time limit for each individual addressing the City Council and Boards of Directors. The City Council and Boards of Directors will recess to the City Council Caucus Room for the purpose of conducting their Closed Session proceedings.*

**CLOSED SESSION PROCEEDING:**

1. Pursuant to Government Code Section 54956.9(d)(2)  
**CONFERENCE WITH LEGAL COUNSEL -- Anticipated Litigation**  
(1 case)

**RECESS:** The City Council and Boards of Directors will recess to their 7:00 p.m. Regular Meeting.

**REGULAR MEETING AGENDA**

**September 3, 2024**

**7:00 p.m. - City Council Chambers  
401 E. Chapman Avenue, Placentia, CA**

**CALL TO ORDER:**

**ROLL CALL:**

**INVOCATION:** Chaplain Tony Mercado

**PLEDGE OF ALLEGIANCE:**

**PRESENTATION:**

**Proclamation of September 2024 as Hunger Action Month**

Presenter: Mayor Yamaguchi and City Council

Recipient: Second Harvest Food Bank

**CLOSED SESSION REPORT:**

**CITY ADMINISTRATOR REPORT:**

**ORAL COMMUNICATIONS:**

*At this time the public may address the City Council and Boards of Directors concerning any agenda item, which is not a public hearing item, or on matters within the jurisdiction of the City Council and Boards of Directors. There is a five (5) minute time limit for each individual addressing the City Council and Boards of Directors.*

**CITY COUNCIL MEMBER COMMENTS:**

**1. CONSENT CALENDAR (Items 1.a. through 1.k.):**

*All items on the Consent Calendar are considered routine and are enacted by one motion approving the recommended action listed on the Agenda. Any Member of the City Council and Boards of Directors or City Administrator may request an item be removed from the Consent Calendar for discussion. All items removed shall be considered immediately following action on the remaining items.*

**1.a Consideration to Waive Reading in Full of all Ordinances and Resolutions**

Recommended Action: It is recommended that the City Council:  
Approve.

**1.b Minutes City Council/Successor/ICDA/PPFA Special and Regular Meetings of:**

- January 23, 2024, Special Meeting/Study Session
- February 6, 2024, Regular Meeting
- February 20, 2024, Regular Meeting
- March 5, 2024, Regular Meeting
- March 19, 2024, Regular Meeting

Recommended Action: It is recommended that the City Council:  
Approve.

**1.c City Fiscal Year 2023-24 Registers for September 3, 2024**

**Check Register**

Fiscal Impact: \$3,633,839.93

**Electronic Disbursement Register**

Fiscal Impact: \$ 619,687.74

**City Fiscal Year 2024-25 Registers for September 3, 2024**

**Check Register**

Fiscal Impact: \$1,551,264.21

**Electronic Disbursement Register**

Fiscal Impact: \$4,726,554.70

Recommended Action: It is recommended that the City Council:  
1. Receive and file.

**1.d Purchase of One (1) New Loader for the Public Works Department**

Fiscal Impact:

Expense: \$289,036.44 Total Purchase Price

Budgeted: \$290,000.00 FY 2024-25 CIP Budget (Measure U 798504-6842)

Recommended Action: It is recommended that the City Council:

1. Approve the purchase of one (1) 2024 Case 721G Wheel Loader from Sonsray Machinery in the amount of \$289,036.44; and
2. Authorize the City Administrator to approve invoice changes up to 10% of the quoted amount; and
3. Authorize the City Administrator and/or his designee to issue a purchase order to Sonsray Machinery for this equipment and execute all necessary documents in a form approved by the City Attorney.

- 1.e [Tentative Parcel Map No. \(TPM\) 2024-113 Pertaining to the Subdivision of an +/- 4.97 Acre Lot into Four Parcels, with a Remainder Parcel located at 440 N. Jefferson within the R-3 \(High Density Multiple-Family Residential\) Zoning District](#)

Fiscal Impact:

Approximately \$3,000,000 of Total Development Impact Fee Revenue associated with the anticipated construction of 140 Townhomes.

Recommended Action: It is recommended that the City Council:

Adopt Resolution R-2024-57, a Resolution of the City Council of the City of Placentia, California, adopting a categorical exemption pursuant to the California Environmental Quality Act (Public Resources Code §§ 21000-21177 and §15000 et seq. of Title 14 of the California Code of Regulations) (CEQA) and Approving Tentative Parcel Map No. TPM 2024-113 pertaining to the subdivision of property located at 440 N. Jefferson Street (Assessor's Parcel Numbers 346-162-01 and 346-162-02) and making findings in support thereof.

- 1.f [Approval of Final Parcel Map No. 2022-123 Pertaining to the Subdivision of an +/- 0.44 Acre Lot into Three Parcels Located at 1451 East Howard Place within SP-7 \(Specific Plan 7\)](#)

Fiscal Impact:

Approximately \$23,646 of Total Development Impact Fee Revenue Prior to Construction of three (3) New Single-Family Residences.

Recommended Action: It is recommended that the City Council:

1. Approve Final Parcel Map No. 2022-123, subject to final review and approval by the County Surveyor; and
2. Authorize the City Clerk to sign Final Parcel Map No. 2022-123.

- 1.g [Approval of Final Parcel Map No. 2022-126 Pertaining to the Subdivision of an +/- 0.36 Acre Lot into Two \(2\) Parcels located at 412 N. Tidland Circle within the SP-7 \(Specific Plan 7\) Zoning District](#)

Fiscal Impact:

Approximately \$15,764 of total Development Impact Fee Revenue prior to construction of two (2) new single-family residences.

Recommended Action: It is recommended that the City Council:

1. Approve Final Parcel Map No. 2022-126, subject to final review and approval by the County Surveyor; and

2. Authorize the City Clerk to sign Final Parcel Map No. 2022-126.

1.h [Authorize a Three-Year Agreement with Samsara, Inc., for Hardware and Services to Implement Vehicle Telematics Management System](#)

Fiscal Impact:

Expense: \$22,333.19 First Year Subscription Cost  
          \$22,207.19 Annual Subscription Cost (Year 2 and Year 3)  
          \$66,747.57 Three-Year Subscription Total Cost (FY 2024-25 to FY 2026-27)

Budget: \$22,334.00 FY 2024-25 Operating Budget (750000-6366)  
          \$22,207.19 Future FY 2025-26 Operating Budget  
          \$22,207.19 Future FY 2026-27 Operating Budget

Recommended Action: It is recommended that the City Council:

1. Authorize a three-year agreement with Samsara for hardware and services to implement a vehicle telematics management system for a cumulative amount of \$66,747.57; and
2. Authorize the City Administrator to approve any agreement term extensions based on performance and amendments up to 10% of the agreement amount; and
3. Authorize the City Administrator and/or his designee to issue a purchase order to Samsara and execute all necessary documents, in a form approved by the City Attorney.

1.i [Acceptance of Resignation from the Financial Audit Oversight Committee](#)

Fiscal Impact:

None

Recommended Action: It is recommended that the City Council:

1. Accept the resignation of James Chough from the Financial Audit Oversight Committee; and
2. Update the City's master Commission/Committee vacancy list to include the vacancy on the Financial Audit Oversight Committee.

1.j [City Response to Orange County Grand Jury Report Entitled: "Talking Trash: Recyclables and Organic Waste"](#)

Fiscal Impact:

None

Recommended Action: It is recommended that the City Council:

1. Review the City's response to the Grand Jury Report; and
2. Direct Staff to submit the attached letter to the Presiding Judge of the Orange County Grand Jury, to be signed by Mayor Yamaguchi.

1.k [City Response to Grand Jury Report Entitled: Law Enforcement's Response to Mental Health Calls for Service](#)

Fiscal Impact:

None

Recommended Action: It is recommended that the City Council:

1. Review the City's response to the Grand Jury Report; and
2. Direct Staff to submit the attached letter to the Presiding Judge of the Orange County Grand Jury, to be signed by Mayor Yamaguchi.

**2. PUBLIC HEARING:**

2.a [Resolution No. R-2024-56, a Resolution of the City Council of the City of Placentia, recommending denial of GPA 2022-01, SPA 2021-01, and DPR 2021-02 for the Orangethorpe Mixed Use Development Project](#)

Fiscal Impact:

It is anticipated the project would generate approximately \$1.2 million in one-time revenue to the General Fund in the form of permit fees, however revenue from those fees support the additional work for Staff created directly by the project's construction and would not be available for other City operations. An additional \$5.0 million is anticipated from one-time development impact fees which can only be used for future infrastructure projects and are not available to support the daily operations of the City.

Once the project is complete, the project is expected to generate \$244,209 in new General Fund revenue annually through a combination of higher property tax, sales tax, and utility users tax. The project is anticipated to require \$246,435 in new annual General Fund expenses primarily for increased Police and Fire response to support the new residents. In summary, the project is projected to generate a net annual loss of (\$2,226) to the General Fund.

Recommended Action: It is recommended that the City Council:

1. Adopt Resolution No. R-2024-56, of the City Council of the City of Placentia, California, denying General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02 to modify the General Plan Land Use Element to permit mixed-use (Residential-Commercial Development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4-Specific Plans, Table 2-5-General Plan/Zoning Relationship-Specific Plans, and Table 2-7-General Plan Land Use Designation – Potential Development Buildout, and amending Specific Plan No. 5 to allow for mixed-use (residential commercial development) within SP-5 Parcel 9 boundaries and establishing development standards for new residential uses, including but not limited to building setbacks, floor area ratio, residential density, dwelling unit size, in conjunction with the development and operation of a five-story mixed-use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail and a six-level parking structure on a 2.72-acre site, on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue

(APN 339-112-27).

Alternative Recommendation:

1. Adopt Resolution No. R-2024-60, a Resolution of the City Council of the City of Placentia, California, adopting Initial Study/Mitigated Negative Declaration No. MND 2021-01 for a General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02, prepared in full compliance with the California Environmental Quality Act (“CEQA”), California Public Resources Code §§ 21000, et seq., and the Environmental Guidelines of the City of Placentia; adopt the Mitigation Monitoring and Reporting Program; and adopting GPA 2022-01 modifying the General Plan Land Use Element to allow mixed-use (residential-commercial development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4 – Specific Plans, Table 2-5 – General Plan/Zoning Relationship – Specific Plans, and Table 2-7 – General Plan Land Use Designation – Potential Development Buildout, and approving DPR 2021-02 for the development and operation of a five-story mixed use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail and a six-level parking structure on 2.72-acre site, located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27); and
2. Waive full reading, by title only, and introduce for first reading Ordinance No. O-2024-05, an Ordinance of the City Council of the City of Placentia, California Approving Specific Plan Amendment No. SPA 2021-01, amending Specific Plan No. 5 to permit mixed-use development and parking structures on Parcel 9 and establishing associated development standards on a 2.72-acre site on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27).

**3. REGULAR AGENDA:**

- 3.a [Appeal of Penalties and Interest for Business License Taxes for The Bruery & Offshoot Beer Company](#)

Fiscal Impact:

\$0 - \$22,611.05 depending upon City Council action.

Recommended Action: It is recommended that the City Council:

1. Consider and approve the appeal of penalties and interest for business license taxes for The Bruery & Offshoot Beer Co. (\$7,537.02); and
2. Authorize the Director of Finance to develop and implement a payment plan for the amount of business license tax owed (\$15,074.04).

**CITY COUNCIL MEMBERS REQUESTS:**

*Council Members may make requests or ask questions of Staff. If a Council Member would like to have formal action taken on a requested matter, it will be placed on a future Council or Board Agenda.*

## **ADJOURNMENT**

*The City Council/Successor Agency/ICDA/PPFA Board of Directors will adjourn to a regular City Council meeting on Tuesday, September 17, 2024 at 5:30 p.m.*

## **TENTATIVE AGENDA FORECAST:**

- *Award of Contract for Bulk Diesel Fuel Delivery*
- *Award of Contract for lease of CNG Station and Management Service*
- *Contract Amendment No. 2 with RBI Consulting*
- *Award of Contract with FSG for Purchase and Installation of Tuffree Park baseball fields and Pickleball/Tennis Court Lighting*
- *Approval of design concert plan for Playground Renovations at McFadden Park and approval of Public Works agreement with Playcore for purchase and installation of equipment*
- *Amendment No. 5 with Totum for SiFi Inspections*
- *Grand Jury Report: E-Bikes Friend or Foe*
- *FY 2024/25 Quarter 1 Budget Report*

## **CERTIFICATION OF POSTING**

*I, Carole M. Wayman, Deputy City Clerk for the City of Placentia and Assistant Secretary of the Industrial Commercial Development Authority, the Successor Agency, and the Placentia Financing Authority hereby certify that the Agenda for the September 3, 2024, meetings of the City Council, Successor Agency, and Industrial Commercial Development Authority, and the Placentia Public Financing Authority was posted on August 29, 2024.*

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*Carole M. Wayman, Deputy City Clerk*



## **PLACENTIA CITY COUNCIL AGENDA REPORT**

Meeting Date: September 3, 2024

Submitted by: Carole Wayman

From: City Attorney's Office

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### **Subject:**

1. Pursuant to Government Code Section 54956.9(d)(2)  
**CONFERENCE WITH LEGAL COUNSEL -- Anticipated Litigation**  
(1 case)



## **PLACENTIA CITY COUNCIL AGENDA REPORT**

Meeting Date: September 3, 2024

Submitted by: Carole Wayman

From: City Council

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**Subject:**

**Proclamation of September 2024 as Hunger Action Month**

Presenter: Mayor Yamaguchi and City Council

Recipient: Second Harvest Food Bank



Agenda Item No: 1.a

## **PLACENTIA CITY COUNCIL AGENDA REPORT**

Meeting Date: September 3, 2024

Submitted by: Carole Wayman

From: Administrative Services

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### **Subject:**

Consideration to Waive Reading in Full of all Ordinances and Resolutions

### **Recommendation:**

Recommended Action: It is recommended that the City Council:  
Approve.



Agenda Item No: 1.b

## **PLACENTIA CITY COUNCIL AGENDA REPORT**

Meeting Date: September 3, 2024

Submitted by: Carole Wayman

From: Administrative Services

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### **Subject:**

Minutes City Council/Successor/ICDA/PPFA Special and Regular Meetings of:

- January 23, 2024, Special Meeting/Study Session
- February 6, 2024, Regular Meeting
- February 20, 2024, Regular Meeting
- March 5, 2024, Regular Meeting
- March 19, 2024, Regular Meeting

### **Recommendation:**

Recommended Action: It is recommended that the City Council:  
Approve.

### **Attachments**

[01-23-24 Study Session Minutes.pdf](#)

[02-06-24 CC Minutes.pdf](#)

[02-20-24 CC Minutes.pdf](#)

[03-05-24 CC Minutes.pdf](#)

[03-19-24 CC Minutes Regular Meeting.pdf](#)

**PLACENTIA CITY COUNCIL  
PLACENTIA CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE  
PLACENTIA REDEVELOPMENT AGENCY  
PLACENTIA INDUSTRIAL COMMERCIAL DEVELOPMENT AUTHORITY  
PLACENTIA PUBLIC FINANCING AUTHORITY  
MINUTES  
SPECIAL MEETING – STUDY SESSION  
January 23, 2024  
4:30 p.m. – City Council Chambers  
401 E. Chapman Avenue, Placentia, CA**

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**CALL TO ORDER:** Mayor Yamaguchi called the meeting to order at 4:30 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi

ABSENT: None

**ORAL COMMUNICATIONS:**

Mayor Yamaguchi opened Oral Communications for the Study Session. City Clerk McKinnell stated that the City Clerk's Office had received no public comment for the Study Session.

**STAFF PRESENT:**

City Attorney/Authority Counsel Christian Bettenhausen; City Administrator Damien Arrula; Deputy City Administrator Rosanna Ramirez; Deputy City Administrator Luis Estevez; Police Chief Brad Butts; Fire Chief Jason Dobine; Director of Finance Jennifer Lampman; Director of Development Services Joe Lambert; City Clerk Robert McKinnell; Deputy City Clerk Carole M. Wayman

**1. REGULAR AGENDA:**

1.a. **Study Session: Mission Bell Streetlight LED Conversion Project Update**

Fiscal Impact: Depending on the option selected by the City Council, the cost to retrofit the City's Mission Bell streetlights to LED is anticipated to cost \$490,565 and the cost to the City to replace the Mission Bell lights to the standard LED cobra head style light is \$0.

Recommended Action: It is recommended that the City Council:

- 1) Receive and file the Staff report and Presentation; and
- 2) Ask any questions of Staff; and
- 3) Review and discuss the available options and select a preferred option.

**(Approved 5-0, Option 1, replacing all the Mission Bell lights with standard cobra head fixtures at no upfront costs to the City)**

City Administrator Arrula introduced Senior Management Analyst for Public Works Elsa Robinson who gave a brief presentation and update on the Mission Bell Streetlight LED Conversion Project. He noted that Council had previously provided direction on the color choice for residential and arterial streetlights and requested that Staff explore options for replacement of the City's Mission Bell streetlights.

Mayor Yamaguchi inquired about Mission Bell lights in HOA communities.

Senior Management Analyst Robinson explained that HOA Communities are responsible for the paying for the decorative Mission Bell lights in their communities and noted that most of Placentia's Mission Bell lights are located on arterial streets.

In response to a question from Councilmember Kirwin about retrofitting and color matching the existing Mission Bell light fixtures and poles, Senior Management Analyst Robinson responded that SCE would install new lights and not retrofit the existing bell fixtures.

City Administrator Arrula explained that Staff could have SCE bring color samples of the new Mission Bell lights for the Council's review.

There was discussion about the color of the new mission bell light fixtures, inconsistent lighting styles in the City, and costs.

Councilmember Shader commented on the difficulty of measuring the value that the Mission Bell lights bring to the community and commented on the decorative scroll features of the lights that would be lost if they are retrofitted. She expressed support for consistent lighting throughout the City and using the savings in other areas.

Councilmember Kirwin expressed concerns that the new Mission Bell light fixtures would not match the existing weathered light poles and supports and look awkward.

Councilmember Smith expressed the need to update City policies that may require certain types of decorative lights in the City.

Mayor Yamaguchi inquired about streetlights that would not be part of the plan. Senior Management Analyst Robinson noted that the lights in Old Town and intersection traffic safety lights are not part of the conversion project.

Deputy City Administrator Estevez noted that the lights in Old Town will be removed and replaced as part of the Old Town Streetscape Improvement Project that is funded by the EIFD.

Mayor Yamaguchi inquired about consistency of lighting temperatures and HOA community lighting.

Deputy City Administrator Estevez stated that lighting in the city will be standardized to 3,000K.

John King, SCE Manager for Streetlights stated that the HOA communities within the City are eligible for the same conversion project. If the City can give SCE the contact information for these communities, SCE will reach out to them.

Motion by Shader, seconded by Kirwin, and carried a (5-0) vote to approve the selection of Option 1 of Item 1.a.

**CITY COUNCIL/BOARD MEMBERS REQUESTS:** None

**ADJOURNMENT:**

The City Council/Successor Agency/ICDA/PPFA Board of Directors adjourned at 4:56 p.m. to a regular City Council meeting on Tuesday, January 23, 2024 at 5:30 p.m.

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Jeremy Yamaguchi, Mayor/Agency Chair

ATTEST:

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Robert S. McKinnell, City Clerk/  
Agency Secretary

**PLACENTIA CITY COUNCIL  
PLACENTIA CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE  
PLACENTIA REDEVELOPMENT AGENCY  
PLACENTIA INDUSTRIAL COMMERCIAL DEVELOPMENT AUTHORITY  
PLACENTIA PUBLIC FINANCING AUTHORITY  
MINUTES  
REGULAR MEETING  
February 6, 2024  
5:30 p.m. – City Council Chambers  
401 E. Chapman Avenue, Placentia, CA**

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**CALL TO ORDER:** Mayor Yamaguchi called the meeting to order at 5:33 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi

ABSENT: None

Mayor Yamaguchi announced the excused absence of City Clerk McKinnell.

**ORAL COMMUNICATIONS:**

Mayor Yamaguchi opened Oral Communications for the Closed Session. Deputy City Clerk Wayman announced that there was one member of the public wishing to speak.

Julie Suchard, Placentia resident, expressed concerns about the City Administrator's compensation package and expenses.

Deputy City Clerk Wayman announced the Closed Session matter.

The City Council and Boards of Directors recessed to the City Council Caucus Room for the purpose of conducting their Closed Session proceedings on the following:

1. Pursuant to Government Code Section 54957(b)(1)  
**PUBLIC EMPLOYEE PERFORMANCE EVALUATION:**  
Title: City Administrator

**RECESS:** The City Council and Boards of Directors recessed to their 7:00 p.m. Regular Meeting.

**CALL TO ORDER:** Mayor Yamaguchi called the meeting to order at 7:00 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi

ABSENT: None

Mayor Yamaguchi announced the excused absence of City Clerk McKinnell.

**STAFF PRESENT:**

City Attorney/Authority Counsel Christian Bettenhausen; City Administrator Damien Arrula; Deputy City Administrator Rosanna Ramirez; Deputy City Administrator Luis Estevez; Police Captain James McElhinney; Fire Chief Jason Dobine; Director of Finance Jennifer Lampman; Director of Community Services Karen Crocker; Director of Development Services Joe Lambert; Deputy Director of Administrative Services Jeannette Ortega; City Treasurer Kevin Larson; Deputy City Clerk Carole M. Wayman

**INVOCATION:** Chaplain Tony Mercado

**PLEDGE OF ALLEGIANCE:** Officer Herman Flores

**PRESENTATION:**

**Placentia Public Safety Communications Center’s recognition by The International Academies of Emergency Dispatch as an Accredited Center of Excellence (ACE) for emergency medical dispatching**

Recipients: Stefanie Acosta-Reyes, Communications Manager and the Communications Center Dispatching Team

Presenters: Mayor Yamaguchi and Members of the City Council

City Administrator Arrula invited Deputy City Administrator Rosanna Ramirez and Public Safety Communications Center (PSCC) Manager Stefanie Acosta-Reyes to the podium and thanked them for their efforts in achieving accreditation noting that Placentia’s PSCC is the only accredited dispatch center in Orange County. He also invited Police Captain James McElhinney and Fire Chief Jason Dobine to the dais and they expressed appreciation to PSCC Manager Acosta-Reyes for this achievement and for providing excellent support. He provided a brief introduction to the congratulatory video message from the International Academies of Emergency Dispatch.

Mayor Yamaguchi expressed appreciation to PSCC Manager Acosta-Reyes and the PSCC team for achieving accreditation.

PSCC Manager Acosta-Reyes expressed appreciation to the City Council, public safety partners and the dispatch team for their support and hard work over the years.

**CLOSED SESSION REPORT:**

City Attorney/Authority Counsel Bettenhausen stated that there was one (1) item on the Closed Session agenda, the City Council discussed the item, and direction was provided. He noted that there was nothing further to report.

**CITY ADMINISTRATOR REPORT:**

City Administrator Arrula welcomed and introduced three (3) new City of Placentia employees.

Firefighter Marcus Ryckman attended the Rio Hondo Fire Academy and graduated in 2014 as part of Class 82. Before coming to Placentia Fire and Life Safety, he worked at El Centro Fire Department for eight years.

Public Safety Dispatch Supervisor Samuel Ahumada worked as an EMT for Care Ambulance and more recently, worked for Metro Cities Fire Authority for over 10 years as a Fire Dispatch Shift Supervisor.

Public Safety Dispatcher Megan Heredia graduated from Cal State Fullerton with a degree in Communications with an emphasis on Public Relations. Megan previously worked for the Redondo Beach Police Department as a Dispatcher and a Communications Training Officer for 6 years.

City Administrator Arrula recognized former Councilmember Craig Green on his recent appointment to President of the Board of Trustees of the Orange County Mosquito Abatement and Vector Control District. He shared that Mr. Green has served at the District since 2017 in many different leadership capacities and his attendance rate at meetings is 93.7%. He also recognized Councilmember Wanke, Chair of the Orange County Sanitation District for his years of service on that Board.

**ORAL COMMUNICATIONS:**

David Huynh, Placentia resident, expressed concerns regarding a claim that he submitted regarding a collapsed block wall on his property and the public right-of-way at 808 Matthewson Avenue.

Sandra Castillo, TOPS Soccer Program, expressed appreciation to the Placentia Police Department for their involvement with the children in the TOPS Soccer Program and commented on the impact on the children’s lives. She invited the City Council and public to an upcoming TOPS event on February 24, 2024.

Trudi DesRoches, Director Yorba Linda Water District, provided an update on the impact of recent rains and water projects in the City.

**CITY COUNCIL/BOARD MEMBER COMMENTS:**

Councilmember Shader reported her attendance at the following:

- Tour of the San Onofre nuclear plant
- Orange County Legislative Meeting
- Santa Ana Mayor’s Prayer Breakfast
- Dinner regarding artificial intelligence and it’s impact on cities
- Excellence in Placentia Awards Event
- Tour of the Cenza apartment development

She also promoted the HEART animal rescue clinics on February 17 and 24, 2024 at Kraemer Memorial Park.

Councilmember Smith reported his attendance at the following:

- Santa Ana Mayor’s Prayer Breakfast
- Southern California Association of Governments Transportation Committee meeting
- Orange County Council of Governments meeting

He also promoted the upcoming Love Placentia service day on April 20, 2024 and encouraged those interested to visit the website for more information.

Councilmember Wanke reported his attendance at the Excellence in Placentia event and congratulated Chamber President Walt Lynch on the event. He announced an upcoming City Hall closure on February 19, 2024 in observance of Presidents Day.

Mayor Pro Tem Kirwin reported his attendance at the Excellence in Placentia Awards Event and promoted the TOPS Soccer Program, upcoming Love Placentia event, and CERT Training Program.

Mayor Yamaguchi reported his attendance at the following:

- Tour of the Cenza apartment development
- Tour of City Hall with Cub Scout Pack 780

He also congratulated the Placentia businesses that were honored at the Excellence in Placentia Awards event and promoted the Community Wide Communication survey which is available on the City’s website.

**1. CONSENT CALENDAR (Items 1.a. through 1.e.):**

Mayor Pro Tem Kirwin pulled Item No. 1.e. for further discussion. Motion by Smith, seconded by Wanke, and carried a (5-0) vote to approve the balance of the Consent Calendar, as recommended.

**1.a. Consideration to Waive Reading in Full of all Ordinances and Resolutions**

Fiscal Impact: None

Recommended Action: Approve

**(Approved 5-0, as recommended)**

**1.b. City Fiscal Year 2023-24 Registers for February 6, 2024  
Check Register**

Fiscal Impact: \$1,503,968.75

**Electronic Disbursement Register**

Fiscal Impact: \$ 868,334.86

Recommended Action: It is recommended that the City Council:

1) Receive and file

**(Received and Filed, as recommended)**

**1.c. Acceptance of Construction Work and Notice of Completion for the 2022-2023  
Concrete Repair Project, City Project No. 1302**

Fiscal Impact:

Expense:

\$ 97,500.00 Construction Contract (Grigolla)

\$ 9,744.00 Approved Change Order No. 1

\$ 2,665.50 Balancing Change Order No. 2

\$109,909.50 Total Construction Cost

\$ 1,617.29 Arborist Inspections (Dudek)

\$ 7,740.00 Tree Removals (WCA)

\$119,266.79 Total Project Cost

Budget:

\$119,723.56 Total FY 22-23 CIP Budget  
\$119,723.56 Measure U Fund (791302-6740)

Recommended Action: It is recommended that the City Council:

- 1) Authorize the City Administrator to approve Balancing Contract Change Order No. 2 with Grigolla & Sons Construction Co. Inc, in the amount of \$2,665.50; and
- 2) Accept the work performed by Grigolla & Sons Construction Co. Inc, for construction of the 2022-2023 Concrete Repairs Project, City Project No. 1302 for a grand total amount of \$109,909.50; and
- 3) Authorize the City Administrator to file a Notice of Completion with the Orange County Clerk-Recorder's Office for the Project; and
- 4) Authorize the City Administrator to release retention funds in accordance with the terms of the contract.

**(Approved 5-0, as recommended)**

1.d. **Approve Amendment No. 3 to Professional Services Agreement with Totum Corporation for Construction Management and Inspection Services for the Placentia Public Safety Center Project**

Fiscal Impact:

Expense:	\$ 470,000	Total Construction Management & Inspection Contract Amount
Available Budget:	\$ 1,832,148	Fiscal Year 2023-24 CIP Budget (105213-6850 JL# 229999-6850)

Recommended Action: It is recommended that the City Council:

- 1) Approve Amendment No. 3 to a professional services agreement with Totum Corp for project construction management and inspection services in the amount of \$470,000 and extend the Agreement term an additional two-years to May 18, 2026; and
- 2) Authorize the City Administrator to approve the agreement in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

1.e. **Revise the Defined Contribution Plan for Designated Miscellaneous Employees Participating in the 2.0% at 60 or 2.0% at 62 Retirement Formula under CalPERS**

Fiscal Impact: \$35,000 in one lump sum. Ongoing Annual increase of \$14,000 for the entire program.

Recommended Action: It is recommended that the City Council:

Approve a revised Defined Contribution Plan administered by Mission Square Retirement Solutions (Mission Square).

**(Approved 4-1, as recommended, Wanke no)**

Mayor Pro Tem Kirwin pulled Item 1.e. for further discussion and asked for clarification on the new plan.

City Administrator Arrula explained that employees were at different percentages and the proposed revision will create more equity by setting a standard percentage and grandfathering a few employees. He explained the impacts to employees in the Executive Management team.

Councilmember Wanke asked how many employees are in the Executive Management team and inquired about an increase in costs to the City.

City Administrator Arrula responded that there are seven (7) in the Executive Management Team. He discussed the benefits of moving the Defined Contribution plan to Mission square noting that it will result in a reduction in fees.

There was discussion about setting a four (4) percent standard going forward, existing employment agreements and the fiscal impact to the City.

Motion by Shader, seconded by Yamaguchi, and carried a (4-1-0) vote to approve Item 1e, as recommended, Wanke voted no.

## 2. PUBLIC HEARINGS:

### 2.a. **Public Hearing Regarding General Plan Amendment No. GPA 2021-02, 2021-2029 Housing Element Update (Amendment to the Adopted 2021-2029 Housing Element to address additional California Department of Housing and Community Development (HCD) Comments)**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Open the public hearing concerning General Plan Amendment No. GPA 2021-02; and
- 2) Receive the Staff report and Staff presentation, and consider all public testimony and Planning Commission recommendations; and
- 3) Adopt Resolution R-2024-06, a Resolution of the City Council of the City of Placentia, California, finding that adoption of the Housing Element is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15061(b)(3) and approving and adopting General Plan Amendment No. GPA 2021-02, an amendment to the City of Placentia General Plan Housing Element, including any additional revisions required by the California Department of Housing and Community Development (HCD); and
- 4) Authorize the Director of Development Services or designee to file all documents with the California Department of Housing and Community Development (HCD) on behalf of the City.

**(Approved 5-0, as recommended)**

Mayor Yamaguchi opened the Public Hearing at 7:45 p.m.

City Administrator Arrula introduced Director of Development Services Lambert who gave a brief presentation on the item.

Councilmember Shader expressed frustration with the state's housing requirements citing a lack of local control for cities and ongoing delays with the Metrolink station. She asked if the Development Services Department will be able to keep up with the cadence of the state's housing demands and requirements.

Director Lambert detailed the department's role in annual reporting, entitlements, and CDBG funding and expressed confidence that the City will continue to meet the state's housing reporting requirements.

There was discussion about the City's TOD area, transportation plan and parking requirements. Councilmember Shader expressed the need for more parking and suggested that the Housing Element be reviewed more frequently than once a year to ensure compliance with state standards.

Mayor Pro Tem Kirwin inquired about what minor changes might be made to the plan before it is submitted in February.

Director Lambert shared information about a meeting with the Director of Housing and Community Development (HCD). He noted that HCD provided helpful information on changes the City can make to the plan to elaborate on the progress the City has made to encourage housing.

City Administrator Arrula discussed the Regional Housing Needs Allocation (RHNA) numbers and the state's expectation for cities to add these housing units.

Mayor Pro Tem Kirwin mentioned that Placentia's RHNA numbers are higher than Brea's because of the proposed Metrolink Station.

Councilmember Wanke commented on the RHNA housing numbers and expressed concerns about higher density housing in the City.

Mayor Pro Tem Kirwin echoed Councilmember Wanke's concerns about higher density housing in the City.

Deputy City Clerk Wayman stated that the City Clerk's Office had received no public comment for Item 2.a. and there were no members of the public wishing to speak. Mayor Yamaguchi closed the Public Hearing at 8:22 p.m.

Motion by Shader, seconded by Smith, and carried a (5-0) vote to approve Item 2.a., as recommended.

2.b. **Public Hearing Regarding General Plan Amendment No. GPA 2023-01, Zone Change No. ZCA 2023-01, and Supplemental Initial Study/Mitigated Negative Declaration No. EA 2023-01 Expanding the City's Existing Transit Oriented Development (TOD) Packing House District Zoning and Land Use Designation to Include Approximately 11.5 Acres Located South of Crowther Avenue and West of South Melrose Street and Approximately Three (3) Acres along Cameron Street South of Crowther Avenue**

Fiscal Impact: Potential for significant increase in annual sustainable revenue (property tax, transient occupancy tax, sales tax) and approximately \$8-\$10 million in one-time revenue including development impact fees. Infrastructure costs associated with TOD District will be funded by impact fees and annual assessments. No General Fund dollars will be utilized for the proposed District.

Recommended Action: It is recommended that the City Council:

- 1) Open the Public Hearing concerning General Plan Amendment No. GPA 2023-01 and Zone Change No. ZCA 2023-01; and
- 2) Receive the Staff Report and consider all Public Testimony; and
- 3) Close the Public Hearing; and
- 4) Adopt Resolution No. R-2024-07, a Resolution of the City Council of the City of Placentia, California, adopting Supplemental Initial Study/Mitigated Negative Declaration (EA 2023-01) to a previously adopted Initial Study/Mitigated Negative Declaration of Environmental Impacts for GPA 2023-01 and ZCA 2023-01, prepared in full compliance with the California Environmental Quality Act ("CEQA"), California Public Resources Code §§ 21000, *et seq.*, and the Environmental Guidelines of the City of Placentia; and adopting General Plan Amendment No. GPA 2023-01 to change the current land use designation from Industrial to Transit Oriented Development (TOD) for the approximately 14.5 acre project area; and
- 5) Waive full reading, by title only, and introduce for first reading Ordinance No. O-2024-01, an Ordinance of the City Council of the City of Placentia, California Approving Zone Change No. ZCA 2023-01, expanding the Transit Oriented Development (TOD) Zone for the approximately 14.5-acre project area.

**(Approved 5-0, as recommended with statement of intent)**

Mayor Yamaguchi opened the Public Hearing at 8:23 p.m.

City Administrator Arrula introduced Director of Development Services Lambert who gave a brief presentation on the item. He noted that current zoning requirements for the project site necessitates the use of a Transit-Oriented Development (TOD) zone to meet Housing and Community Development (HCD) requirements. He added that the Housing Element cannot be State certified without completing the rezoning actions. He explained that property owners would continue to retain the rights to continue a use which would be deemed non-conforming. He discussed adoption of the TOD zone in 2017 and addressed concerns about the amortization section in the zoning code that is specific to the TOD zone. He emphasized that the amortization section does not take away anyone's rights, the existing uses are grandfathered in.

Councilmember Wanke inquired about the differences between the TOD zone and high-density zoning..

A discussion ensued about legal non-conforming uses, the TOD District and overlay zoning.

Dennis Bustan, owner of property at 531 Cameron Avenue, expressed concerns about eminent domain and the challenges of finding alternative locations for his business in Orange County. He

noted that attorney Bradley Pierce had submitted a letter on behalf of seven (7) property owners on Cameron Avenue concerning their property rights. He also expressed frustration about the parking on Cameron Avenue and in the surrounding neighborhood. He added concerns that the proposed development in the TOD District would further exacerbate parking problems in the area.

Attorney Bradley Pierce, representing the Crowther Business Center Owners Association, expressed concerns about the amortization and legal non-conforming language in the zoning code that would impact property rights and the current uses on Cameron Avenue should the TOD District be expanded as proposed. He further expressed concerns about Section 23.111.060 of the zoning code stating that it is inconsistent with Section 23.84.010 regarding the continuation of legal non-conforming uses. He urged the Council to exclude the Cameron Avenue properties from the TOD designation and/or continue the item to allow Staff to work on amending the conflicting language in the Zoning Code. (Submitted written comments).

Chris Wissman, owner of property at 521 Cameron Avenue, expressed concerns about the noticing for the hearing, property rights and parking.

Julie McCluney, President of the Crowther Business Association, expressed concerns about the proposed rezoning of the Crowther Business center stating that the rezoning impacts fundamental rights, property values and hard-earned legacies. She added frustration with the insufficient parking in the area and the manner in which public hearing notices were addressed to property owners.

Dominick Ligna, owner of two properties on Cameron Avenue, reiterated the concerns expressed by the previous speakers and urged the Council to consider other areas for development.

Mayor Yamaguchi thanked all who spoke and cited the importance of protecting property rights. He inquired if there was a way to amend or remove a section of the zoning code without delaying the action on the item.

Councilmember Shader thanked all who spoke and sent letters detailing the concerns of property and business owners on Cameron Avenue. She expressed support for clarifying the language in the Zoning Code. She echoed the concerns about parking in the area noting that she is part of a parking committee for the TOD area. She added that the City struggles to get sufficient parking for developments because of state requirements which supersedes the City's ability to require more parking. She also noted that not following the state's requirements could prove to be very costly to the City.

Councilmember Wanke inquired if it is possible to put language into tonight's zone change ordinance that compels staff to approve new legal non-conforming uses for the properties in the TOD district. He emphasized the need to protect property values and rights.

City Attorney Bettenhausen stated that the best path would be to come back with an ordinance that clarifies the ability to continue non-conforming uses. The Council could include a statement of intent in the motion to amend the Zoning Code when approving the zone change.

There was discussion about legal non-conforming uses, preserving property rights, and the language in the Zoning Code.

Director Lambert responded that a code amendment would be necessary to clarify and amend the language in the Code which could be addressed after the state certification of the Housing Element.

Mayor Pro Tem Kirwin commented on the legal noticing for the public hearing and echoed speakers comments that the noticing should be more transparent.

Councilmember Smith commented that the City of Placentia has never been an eminent domain city. He added that through the conversations tonight some common ground has been reached to remedy the issues that the property owners have raised about their property rights.

City Attorney Bettenhausen stated that the Council can, as part of the motion to approve, direct Staff to come back with an Ordinance to amend the zoning code.

Director Lambert explained the sections of the code that would be amended.

City Administrator Arrula discussed the deadlines for SB 2 funding and the procedures and timeline for zoning code amendments. He noted that a redline copy of the proposed amendments would be provided to the Council for review. In addition, the Cameron Avenue property owners and attorney Pierce will be provided the same information.

Mayor Yamaguchi closed the Public Hearing at 9:26 p.m.

Motion by Wanke, seconded by Shader, and carried a (5-0) vote to approve Item 2.b.as recommended, with the following statement of intent:

In approving Resolution R-2024-07, the City Council expresses its intent that existing uses be entitled to continue in accordance with Section 23.84 of the Placentia Municipal Code and retaining the secondary use rights set forth in Section 23.111.060(c). The City Attorney is directed to work with City Staff to prepare an ordinance amending Chapter 23.111 to clarify that intent and return to the City Council at the earliest opportunity.

### **3. REGULAR AGENDA:**

3.a. Verbal Progress Report on Senior Center/Community Center

Recommended Action: It is recommended that the City Council:

1) Receive and file the report and provide policy direction to Staff.

City Administrator Arrula introduced Director of Community Services Crocker who gave a brief update on the proposed Senior Center/Community Center at Tri-City park. She noted that per City Council's direction, Staff had contacted the county to ask about expanding the current lease agreement to accommodate an additional 125 parking spaces to provide the 225 parking spaces requested by Council. The County responded that they do not want to expand the lease, and that they would prefer that the City take over the park. The County is willing to sell it to the city for \$1. Staff has done some preliminary fact finding to determine maintenance costs for the park. Staff from OC parks responded that the actual costs for FY 22-23 was \$630,000 to maintain the park and the lake. Staff is awaiting information from the City of Lake Forest on the maintenance costs for their park and lake. She discussed alternatives that the Council might want to consider.

Mayor Yamaguchi asked how many parking spaces are included in the current lease. He also commented that another option would be to downsize the proposed center.

Director Crocker stated that 100 spaces are included in the lease and current footprint for zero cost. She also noted that nineteen (19) spaces are also available on Kraemer Boulevard.

Mayor Pro Tem Kirwin thanked Staff for providing an update on the proposed center and expressed concerns about taking over the park, maintenance costs, and debt service on the proposed center.

Director Crocker commented on the business plan that was presented to Council which reflected a net revenue of \$730,000 which could offset some of the costs. Staff is also working on a full analysis of costs.

Councilmember Wanke expressed reservations about the County wanting to give the park away to the City. He inquired about the location for the proposed center and notifications to residents. He also commented on poor conditions at Tri-City park and noted that the HOA in Lake Forest pays a significant portion of the maintenance cost for their park. He commented on the history of the three cities that formerly contributed to the maintenance of the park. He expressed concerns about expending additional monies and Staff time on the proposed center in light of deferred maintenance issues at City Hall and throughout the City.

In response to the Councilmember Wanke's question about the location of the center, City Administrator Arrula responded that there were several discussions with the County about the location and the preferred location was the northeast corner of the park.

Director Crocker added that the City's consultant had discovered an issue with a flood drain which did not allow for the construction of the center on the southwest side of the park. She reminded the Council that the City has an existing lease agreement with the County based on the current footprint of the proposed center.

Councilmember Shader commented on the work of the Citizens task force and the investment in time and money spent on the project thus far. She noted that Council had directed Staff to research additional parking for the existing plan and expressed that she would like to see additional solutions brought back to the Council including the possibility that local health care agencies might want to partner with the City.

Mayor Pro Tem Kirwin expressed concerns about whether the City can afford the project.

Councilmember Smith expressed that he would like to see more information presented to the Council so that an informed decision could be made as to the viability of the project. He commented on the benefits of the project and the high costs associated with park maintenance. He requested a breakdown of all the costs for park and lake maintenance.

Mayor Yamaguchi expressed appreciation to Staff for providing an update and expressed concerns about the City's resources.

**CITY COUNCIL/BOARD MEMBERS REQUESTS:** None

**ADJOURNMENT:**

The City Council/Successor Agency/ICDA/PPFA Board of Directors adjourned at 10:00 p.m. to a regular City Council meeting on Tuesday, February 20, 2024 at 5:30 p.m.

\_\_\_\_\_  
Jeremy Yamaguchi, Mayor/Agency Chair

ATTEST:

\_\_\_\_\_  
Robert S. McKinnell, City Clerk/  
Agency Secretary

**PLACENTIA CITY COUNCIL  
PLACENTIA CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE  
PLACENTIA REDEVELOPMENT AGENCY  
PLACENTIA INDUSTRIAL COMMERCIAL DEVELOPMENT AUTHORITY  
PLACENTIA PUBLIC FINANCING AUTHORITY  
MINUTES  
REGULAR MEETING  
February 20, 2024  
5:30 p.m. – City Council Chambers  
401 E. Chapman Avenue, Placentia, CA**

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**CALL TO ORDER:** Mayor Yamaguchi called the meeting to order at 5:30 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi

ABSENT: None

**ORAL COMMUNICATIONS:**

Mayor Yamaguchi opened Oral Communications for the Closed Session.

Jennifer Lamb, Placentia resident and local business owner, expressed concerns about how Measure U funds are being spent and City Administrator Arrula’s compensation package and expenses.

City Clerk McKinnell announced the Closed Session matter.

The City Council and Boards of Directors recessed to the City Council Caucus Room for the purpose of conducting their Closed Session proceedings on the following:

1. Pursuant to Government Code Section 54957(b)(1):  
**PUBLIC EMPLOYEE PERFORMANCE EVALUATION**  
Title: City Administrator

**RECESS:** The City Council and Boards of Directors recessed to their 7:00 p.m. Regular Meeting.

**CALL TO ORDER:** Mayor Yamaguchi called the meeting to order at 7:00 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi

ABSENT: None

**STAFF PRESENT:**

City Attorney/Authority Counsel Christian Bettenhausen; City Administrator Damien Arrula; Deputy City Administrator Rosanna Ramirez; Deputy City Administrator Luis Estevez; Police Chief Brad Butts; Fire Chief Jason Dobine; Director of Finance Jennifer Lampman; Director of Community Services Karen Crocker; Director of Development Services Joe Lambert; Deputy Director of Administrative Services Jeannette Ortega; City Clerk Robert McKinnell; Deputy City Clerk Carole M. Wayman

**INVOCATION:** Chaplain Tony Mercado

**PLEDGE OF ALLEGIANCE:** Firefighter Mark Aguirre

**PRESENTATIONS:**

- a. **Presentation to Police Chief Butts for Achieving the California POST Executive Certificate**

Presenter: Mayor, City Administrator and City Council Members

Recipient: Police Chief Brad Butts

Mayor Yamaguchi recognized Police Chief Butts for achieving the California POST Executive Certificate noting that the Post Certificate is the highest achievement in the Policing profession. Chief Butts thanked the City Council for recognizing his achievement noting that he is proud to serve as Placentia’s Police Chief.

**b. Presentation to Fire Chief Dobine for Achieving the Executive Chief Fire Officer**

Presenter: Mayor, City Administrator and City Council Members  
Recipient: Fire Chief Jason Dobine

Mayor Yamaguchi recognized Fire Chief Dobine for achieving the Executive Chief Fire Officer, the highest achievement in the firefighting profession. Chief Dobine thanked the City Council for recognizing his achievement and giving him the opportunity to serve as Placentia’s Fire Chief.

**CLOSED SESSION REPORT:**

City Attorney/Authority Counsel Bettenhausen stated that there was one (1) item on the Closed Session agenda, the City Council discussed the item, and direction was provided. He noted that there was nothing further to report.

**CITY ADMINISTRATOR REPORT:**

City Administrator Arrula welcomed and introduced one (1) new City of Placentia employee and announced two (2) promotions.

Firefighter Mark Aguirre attended Mt. San Antonio College, where he earned an associate degree in Fire Technology and graduated from Mt. San Antonio’s Fire Academy. Before transferring over as a lateral firefighter, Mark worked for the Boeing Fire Department. Mark has a passion for serving the community and being part of a team.

Facility Maintenance Technician Manny Tovar was recently promoted to Facility Maintenance Technician in the Community Services Department. Manny started his career with the City of Placentia in the Community Services Department as a Recreation Leader at Gomez Center. He worked in the Community Services Department for six years before transferring to the Public Works Department, where he spent the last 18 years.

Facility Maintenance Technician Jaime Nieves was recently promoted to Facility Maintenance Technician in the Community Services Department. Jaime started as a part-time Maintenance Aide in Public Works in 1998 and was promoted to a full-time Maintenance Worker in 2002. During his time with the Public Works Department, he gained knowledge that is now assisting him in his new position as a Facility Maintenance Technician.

**ORAL COMMUNICATIONS:**

Gevork Martirosian, inquired about the status of the Metrolink station.

**CITY COUNCIL/BOARD MEMBER COMMENTS:**

Councilmember Shader reported her attendance at the following:

- Placentia Library Joint Use meeting
- St. Jude Committee meeting
- Orange County Human Relations Commission meeting
- Old Town Merchants meeting

Councilmember Smith reported his attendance at the following:

- Old Town Merchants meeting
- Placentia Library Joint Use meeting
- Open House for Family Resource Center in the City of Orange
- Fountain Valley State of the City event

He promoted Love Placentia day on April 20, 2024 and encouraged all to attend and serve. He encouraged those interested to visit the City’s website for more information.

Councilmember Wanke reported his attendance at the following:

- Fountain Valley State of the City event
- Lunar New Year Celebration
- O.C. Sanitation District Administration Committee meeting
- Walk through of Parque de Arroyo Verde

He noted that due to the rain, the ribbon cutting for Parque de Arroyo Verde would be postponed.

Mayor Pro Tem Kirwin reported his attendance at the following:

- Miss Placentia/Miss Yorba Linda Pageant

He promoted the Nixle alert system and encouraged all to download the app

Mayor Yamaguchi reported his attendance at the following:

- Miss Placentia/Miss Yorba Linda Pageant
- Walk-through of Fire Station One
- Walk-through of new Public Safety Building
- Battle of the Books event at Golden Elementary

He requested that the winners of the Miss Placentia Pageant be invited to a future City Council meeting.

### **1. CONSENT CALENDAR (Items 1.a. through 1.j.):**

Motion by Smith, seconded by Yamaguchi, and carried a (5-0) vote to approve the Consent Calendar items 1.a. through 1.j., as recommended.

1.a. **Consideration to Waive Reading in Full of all Ordinances and Resolutions**

Fiscal Impact: None

Recommended Action: Approve

**(Approved 5-0, as recommended)**

1.b. **City Fiscal Year 2023-24 Registers for February 20, 2024  
Check Register**

Fiscal Impact: \$1,279,902.30

**Electronic Disbursement Register**

Fiscal Impact: \$ 684,657.06

Recommended Action: It is recommended that the City Council:

1) Receive and file

**(Received and filed, as recommended)**

1.c. **Second Reading and Adoption of Ordinance No. O-2024-01, an Ordinance of the City Council of the City of Placentia, California Approving Zone Change No. ZCA 2023-01, expanding the Transit Oriented Development (TOD) Zone for the approximately 14.5-acre project area.**

Fiscal Impact: None

Recommended Action: Approve

**(Approved 5-0, as recommended)**

1.d. **Acceptance of Work and Notice of Completion for Urban Forest Tree Planting Project**

Fiscal Impact: Expense: \$ 81,618 Contract Cost

Budgeted: \$120,000 FY 2023-24 CIP Budget (841306-6740)

Recommended Action: It is recommended that the City Council:

1) Accept the work performed by Nieves Landscaping, Inc., for the urban forest tree planting project, for a total amount of \$81,618; and

2) Authorize the City Administrator to file a Notice of Completion with the Orange County Clerk-Recorder's Office for the Project.

**(Approved 5-0, as recommended)**

1.e. **Acceptance of Construction Work and Notice of Completion for the Fire Station Roof Replacement Project, City Project No. 24501**

Fiscal Impact: Expense: \$234,555 Original Construction Contract  
\$ 15,081 Contract Change Order No. 1  
\$249,636 Total Construction Cost  
Budgeted: \$250,000 FY 2023-24 CIP Budget  
(799800-6850-24501)

Recommended Action: It is recommended that the City Council:

- 1) Accept the work performed by Letner Roofing Company, for the removal of the membrane roofing system and installation of a new Ketone Ethylene Ester roofing system and ancillary work, for a total amount of \$249,636; and
- 2) Authorize the City Administrator to file a Notice of Completion with the Orange County Clerk-Recorder's Office for the Project; and
- 3) Authorize the City Administrator to release retention funds in accordance with the terms of the contract.

**(Approved 5-0, as recommended)**

1.f. **Draft Operational Agreement for North Orange County Public Safety Collaborative**

Fiscal Impact: Expense: \$239,000  
Revenue: \$239,000

Recommended Action: It is recommended that the City Council:

- 1) Approve the Draft Operational Agreement for the North Orange County Public Safety Collaborative; and
- 2) Authorize Staff to make non-substantive modifications to the Agreement, if needed, and the City Administrator to execute the necessary documents, in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

1.g. **Fiscal Year 2022-23 Development Impact Fee Report (AB 1600)**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Receive and file the Fiscal Year 2022-23 Development Impact Fee Report (AB1600).

**(Approved 5-0, as recommended)**

1.h. **Amendment No. 3 to Professional Services Agreement with HF&H Consultants, LLC for Refuse Contract Negotiations and SB 1383 Compliance Assistance**

Fiscal Impact: Expense: \$35,000  
Funding Source: \$35,000 Refuse Administration Enterprise  
Fund Balance (374386-6099)

Recommended Action: It is recommended that the City Council:

- 1) Approve Amendment No. 3 to the Professional Services Agreement with HF&H Consultants, LLC in the amount of \$35,000 for SB 1383 compliance and franchise agreement negotiation services, for a cumulative contract not-to-exceed amount of \$154,999, and extend the term of agreement for an additional 12 months to June 30, 2025; and
- 2) Authorize the City Administrator to approve contract amendments up to 10% of the cumulative contract amount, or \$15,499.90; and
- 3) Authorize the City Administrator and/or his designee to execute all necessary documents, in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

1.i. **Rescind City Council Policy No. 620 Street Lights on Arterial Highways**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Adopt Resolution No. R-2024-10, A Resolution of the City Council of the City of Placentia, Approving and Adopting Amendments to the City of Placentia Policy and Procedure Manual to Rescind City Council Policy No. 620.

**(Approved 5-0, as recommended)**

1.j. **A Resolution of the City Council of the City of Placentia, California, Authorizing Persons Holding Certain Designated Positions to Execute Grant Documents for and on Behalf of the City of Placentia for the Purpose of Obtaining Certain Federal Financial Assistance and/or State Financial Assistance**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Adopt Resolution No. R-2024-09, A Resolution of the City Council of the City of Placentia, California, authorizing persons holding certain designated positions to execute grant documents for and on behalf of the City of Placentia for the purpose of obtaining certain Federal financial assistance and/or State financial assistance; and
- 2) Authorize the City Administrator and designated persons within the Police and Administration Departments including Emergency and Health Services to oversee and administer the projects associated with the Emergency Management Performance Grant on behalf of the City.

**(Approved 5-0, as recommended)**

**2. PUBLIC HEARINGS:** None

**3. REGULAR AGENDA:**

3.a. **FY 2023-24 Mid-Year Budget Report**

Fiscal Impact:

<b>Fund</b>	<b>Revenues</b> (Including Transfers-In)	<b>Appropriations</b> (Including Capital & Transfers-Out)
General Fund	\$649,157	\$390,473
Special Revenue	\$16,700	\$902,795
Capital Projects	-	-
Enterprise Funds	-	\$35,000
Internal Service Fund	\$511,376	-
<b>Total</b>	<b>\$1,177,233</b>	<b>\$1,328,268</b>

Recommended Action: It is recommended that the City Council:

- 1) Approve the Mid-Year Budget Report and adopt Resolution No. R-2024-11 amending the City's FY 2023-24 Budget; and
- 2) Approve the Second Quarter Position Allocation Plan.

**(Approved 5-0, as recommended)**

City Administrator Arrula introduced Finance Director Lampman and Senior Financial Analyst Houn to give a brief presentation on the FY 2023-24 Mid-Year Budget Report. He noted that the City's assessed valuation outpaced the county's increase in assessed valuation.

Director Lampman noted that the county had an average growth of 6.4% whereas Placentia's was 10.5%. She added that the sale of the Herald was one of the primary factors in the growth.

Mayor Yamaguchi inquired about the increase in telephone costs and office equipment rental.

Director Lampman responded that the projected adjustment is needed to finish off the current fiscal year and noted that the amount includes multiple vendors. The office equipment rental is related to copier and printers.

Councilmember Shader inquired about the budget percentages allocated in the presentation and asked if there is an industry standard. She also inquired about IT budget adjustments and Section 115 Trust and OPEB related expenses.

Director Lampman responded that budget percentages fluctuate for many reasons such as one-time needs or large projects that are undertaken by agencies. She noted that the IT budget adjustments are due to the IT transition taking longer than expected and the need to retain the

consultants for a longer time period. She explained options for the Council to consider related to the OPEB policy.

Councilmember Wanke inquired about franchise fees in relation to recent litigation and whether insurance would cover the costs for the police car repairs.

City Attorney Bettenhausen explained that there have been cases challenging franchise fees as to whether or not that is an appropriate collection by cities or not.

Director Lampman explained that insurance will cover part of the costs for the police vehicles and noted that the City has a high insurance deductible.

In response to a question from Councilmember Wanke about ARPA funds, Director Lampman explained how the funds are reported in the budget and how the funds were spent. She also stated that the City is running a balanced budget.

City Administrator Arrula added that the City is still maintaining a 25% reserve.

Motion by Wanke, seconded by Shader, and carried a (5-0) vote to approve Item 3.a.as recommended.

3.b. **Review and Adopt Proposed Updates to the Committee, Commission and Advisory Board Manual for Calendar Year 2024**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Receive and file the final proposed presentation on the Committee, Commission and Advisory Board Manual; and
- 2) Ask any questions of Staff and/or provide any updated policy direction related to the Committee, Commission and Advisory Board Manual; and
- 3) Update one appointed City Council Member designee to the City Council Navigation Center Advisory Board; and
- 4) Adopt Resolution No. R-2024-08, "A Resolution of the City Council of the City of Placentia Adopting the Updated Committee Commission and Advisory Board Manual for Calendar Year 2024 and Eliminating Various Disbanded Advisory Bodies."

**(Approved 5-0 appointment of Councilmember Smith as delegate to the Navigation Center Advisory Board (recommendation No. 3), and continued remaining recommendations to a future Council meeting as a consent item.)**

City Administrator Arrula introduced Deputy Director of Administrative Services Ortega and consultant Bill Kelly to give a brief presentation on the updates to the administrative policy manual for Committee/Commission and Advisor Boards.

Mayor Yamaguchi inquired about whether the Community Foundation serves as an independent body and asked for clarification on the structure of the Foundation.

Motion by Yamaguchi, seconded by Shader, and carried a (5-0) vote to approve the appointment of Councilmember Smith as a delegate to the Navigation Center Advisory Board and continue the remaining recommendations to a future Council meeting as a consent calendar item. Mayor Yamaguchi also noted that the Foundation's website needs to be updated.

**CITY COUNCIL/BOARD MEMBERS REQUESTS:**

Mayor Yamaguchi requested that Staff research the purchase of a reserve fire truck.

City Administrator Arrula stated that he had been in discussions with Finance Director Lampman and Chief Dobine about adding the purchase to the FY 2024-25 CIP budget.

**ADJOURNMENT:**

The City Council/Successor Agency/ICDA/PPFA Board of Directors adjourned at 8:15 p.m. to a regular City Council meeting on Tuesday, March 5, 2024 at 5:30 p.m.

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Jeremy Yamaguchi, Mayor/Agency Chair

ATTEST:

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Robert S. McKinnell, City Clerk/  
Agency Secretary

**PLACENTIA CITY COUNCIL  
PLACENTIA CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE  
PLACENTIA REDEVELOPMENT AGENCY  
PLACENTIA INDUSTRIAL COMMERCIAL DEVELOPMENT AUTHORITY  
PLACENTIA PUBLIC FINANCING AUTHORITY  
MINUTES  
REGULAR MEETING  
March 5, 2024  
5:30 p.m. – City Council Chambers  
401 E. Chapman Avenue, Placentia, CA  
and  
Teleconference Site:  
La Quinta Inn & Suites by Wyndham St. Petersburg Northeast,  
6638 4th St N.,  
St Petersburg Florida**

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**CALL TO ORDER:** Mayor Pro Tem Kirwin called the meeting to order at 5:30 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Kirwin, Yamaguchi (remotely)  
ABSENT: Wanke (excused)

**ORAL COMMUNICATIONS:**

Mayor Pro Tem Kirwin opened Oral Communications for the Closed Session.

Craig Green, former Councilmember, spoke in support of City Administrator Arrula's performance and compensation package. (Submitted Written Comments)

City Clerk McKinnell announced the Closed Session matter and cases.

The City Council and Boards of Directors recessed to the City Council Caucus Room for the purpose of conducting their Closed Session proceedings on the following:

1. Pursuant to Government Code Section 54957(b)(1):  
**PUBLIC EMPLOYEE PERFORMANCE EVALUATION**  
Title: City Administrator
2. Pursuant to Government Code Section 54956.9(d)(1)  
**CONFERENCE WITH LEGAL COUNSEL – Existing Litigation**  
Jimmy Wong, et al. v. City of Placentia, et al. Case No. 8:22-cv-00798-CJC-JDE
3. Pursuant to Government Code Section 54956.9(d)(4)  
**CONFERENCE WITH LEGAL COUNSEL – Anticipated Litigation**  
1 case

**RECESS:** The City Council and Boards of Directors recessed to their 7:00 p.m. Regular Meeting.

**CALL TO ORDER:** Mayor Pro Tem Kirwin called the meeting to order at 7:00 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Kirwin  
ABSENT: Wanke (excused), Yamaguchi

**STAFF PRESENT:**

City Attorney/Authority Counsel Christian Bettenhausen; City Administrator Damien Arrula; Deputy City Administrator Rosanna Ramirez; Deputy City Administrator Luis Estevez; Police Chief Brad Butts; Fire Chief Jason Dobine; Director of Finance Jennifer Lampman; Director of Community Services Karen Crocker; Director of Development Services Joe Lambert; Deputy Director of Administrative Services Jeannette Ortega; City Treasurer Kevin Larson; City Clerk Robert McKinnell; Deputy City Clerk Carole M. Wayman

**INVOCATION:** Chaplain Charles Frost

**PLEDGE OF ALLEGIANCE:** Officer Mac Navarro

**PRESENTATIONS:** None

**CLOSED SESSION REPORT:**

City Attorney/Authority Counsel Bettenhausen stated that there were three (3) items on the Closed Session agenda, the City Council discussed each of those items, and direction was provided. He noted that the matter regarding the City Administrator Performance Evaluation was continued to the next meeting because one Councilmember was absent due to illness.

**CITY ADMINISTRATOR REPORT:**

City Administrator Arrula announced one (1) recent promotion.

Antonio Vega was recently promoted from part-time to full-time Custodian in the Public Works Department. Originally from El Paso, Texas, Antonio later moved to California and attended Ruby Drive Elementary, Kraemer Junior High, and Valencia High School. After high school, he worked for Walmart as an Automotive Supervisor.

**ORAL COMMUNICATIONS:**

Joanna Burchell, Placentia resident, thanked the Council for the many improvements throughout the City and promoting the highest standard of community life. She expressed concerns about compensation for Placentia's Police and Fire personnel, stating that they are not receiving competitive wages. She urged the Council to offer fair compensation for Police and Fire personnel.

Joe Parra expressed concerns about the rail project in the City.

Dolly Foskaris recounted the life-saving efforts of Placentia Police and Fire at a car accident in Placentia. She expressed concerns about the cost of the Lynch Ambulance contract and promoted incorporating paramedic firefighters into the City's engine crews to enhance service and reduce costs. She urged the Council to consider the importance of enhancing safety and quality of service for the residents of Placentia. (Submitted Written Comments)

Tom Lindsey, Vice President, Yorba Linda Water District, provided an update on water capital improvement projects in the City and shared comments about the City's successful Tamale Festival.

Julie Suchard, Placentia resident, commented that she voted for Measure U to make sure Police and Fire personnel are compensated fairly. She added concerns regarding City Administrator Arrula's compensation package and expenses.

**CITY COUNCIL/BOARD MEMBER COMMENTS:**

Councilmember Shader reported her attendance at the following:

- Tour of HomeAid Family Care Center
- Led of tour with area churches of the Navigation Center
- Association of Orange County Cities Legislation Meeting
- Old Town City Hall building Ribbon Cutting
- Meeting regarding the Metrolink Station
- Placentia Library Annual Author's Luncheon

She promoted the upcoming Citizens Academy and encouraged those interested to visit the City's website for registration information.

Councilmember Smith reported his attendance at the following:

- Orange County Council on Governments Board of Directors meeting
- EIFD Meeting
- Homeless Symposium in the City of Arcadia
- Placentia Library Annual Author's Luncheon
- City Administrator's Brown Bag Luncheon

He promoted the City's Summer hiring program and encouraged those interested to visit the City's website or contact Human Resources.

Mayor Pro Tem Kirwin commented on the recent road improvements on Bradford Avenue. He promoted the upcoming Easter Eggcitement on March 23, 2024 beginning at 10 a.m. at Kraemer Park.

**1. CONSENT CALENDAR (Items 1.a. through 1.e.):**

Councilmember Shader pulled Item No. 1.c. for further discussion. Motion by Shader, seconded by Smith, and carried a (3-0-2, Wanke and Yamaguchi absent) vote to approve the balance of the Consent Calendar items, as recommended.

**1.a. Consideration to Waive Reading in Full of all Ordinances and Resolutions**

Fiscal Impact: None

Recommended Action: Approve

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

**1.b. City Fiscal Year 2023-24 Registers for March 5, 2024**

**Check Register**

Fiscal Impact: \$1,875,679.11

**Electronic Disbursement Register**

Fiscal Impact: \$2,032,770.90

Recommended Action: It is recommended that the City Council:

1) Receive and file

**(Received and Filed, as recommended)**

**1.c. Resolution Approving the Amended Infrastructure Financing Plan ("IFP") for the Placentia Enhanced Infrastructure Financing District ("EIFD")**

Fiscal Impact: Estimated range of \$17 to \$24 million in property tax increment over approximately 40 years. Up to \$59 million in net fiscal impact revenue to the City over approximately 50 years

Recommended Action: It is recommended that the City Council:

1) Adopt Resolution No. R-2024-12, A Resolution of the City Council of the City of Placentia, California approving the amended Infrastructure Financing Plan for Placentia Enhanced Infrastructure Financing District and the allocation of the City's incremental tax revenue from the project area pursuant to Government Code Section 53398.75 et seq; and

2) Authorize the City Administrator, or his designee, to execute all documents necessary, substantially in a form approved by the City Attorney.

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

Councilmember Shader expressed support for the EIFD and commented on the benefits to the community and business and property owners. She commented on the improvements to Crowther Avenue and the importance of preserving the City's Old Town area.

**1.d. Cooperative Agreement for the Yorba Linda Boulevard/Weir Canyon Road Corridor Regional Traffic Signal Synchronization Project**

Fiscal Impact: Expense: \$160,134.98 City's Share of Project Costs

Budgeted: \$160,134.98 To be included in FY 2024-25 CIP Budget

Recommended Action: It is recommended that the City Council:

1) Approve Cooperative Agreement for the Yorba Linda Boulevard/Weir Canyon Road Corridor Project Regional Traffic Signal Synchronization Program between the Cities of Yorba Linda, Anaheim, Fullerton, Placentia, and Caltrans; and

2) Authorize the City Administrator and/or his designee to execute the necessary documents, in a form approved by the City Attorney.

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

1.e. **Review and adopt proposed updates to the Committee, Commission and Advisory Board Manual for Calendar Year 2024**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Adopt Resolution No. R-2024-08, "A Resolution of the City Council of the City of Placentia adopting the updated Committee, Commission and Advisory Board Manual for Calendar Year 2024 and Eliminating Various Disbanded Advisory Boards."

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

**PUBLIC HEARINGS:**

2.a. **Public Hearing and Consideration of Proposed Programs and Activities to be submitted to the County of Orange for Community Development Block Grant (CDBG) Funding for Fiscal Year 2024-25**

Fiscal Impact: CDBG Funds in the amount of \$358,886 for Fiscal Year 2024-25

Recommended Action: It is recommended that the City Council:

- 1) Open the Public Hearing to consider proposed programs and activities for the Community Development Block Grant Funding for Fiscal Year 2024-25; and
- 2) Receive the Staff report, consider all public testimony, ask any questions of Staff; and
- 3) Close the Public Hearing; and
- 4) Authorize the City Administrator to submit an application to the County of Orange to receive CDBG Funds to support public service programs, public facilities improvements, housing rehabilitation needs, and administrative expenses for Fiscal Year 2024-25; and
- 5) Authorize the City Administrator to execute all necessary documents, in a form approved by the City Attorney.

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

Mayor Pro Tem Kirwin opened the Public Hearing at 7:40 p.m.

City Administrator Arrula introduced Senior Management Analyst Louie to give a brief presentation on CDBG Proposed Programs and activities for Fiscal Year 2024-25.

Councilmember Shader expressed support for the item and recommended that the City continue to focus on areas that are prone to graffiti noting the success of the façade improvement program.

Councilmember Smith echoed Councilmember Shader's remarks and expressed support for the item.

City Clerk McKinnell stated that the City Clerk's Office had received no public comment for Item 2.a. and there were no members of the public wishing to speak.

Mayor Pro Tem Kirwin closed the Public Hearing at 7:46 p.m.

Motion by Shader, seconded by Smith, and carried a (3-0-2) vote to approve Item 2.a., as recommended.

2.b. **Adopt Resolution of Formation to Establish City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services) and Establish the Appropriations Limit for the Proposed Community Facilities District; Adopt Resolution Calling a Special Tax Election; First Reading of an Ordinance to Authorize the Levy of Special Taxes; Adopt Resolution Authorizing Future Annexations To Placentia Community Facilities District No. 2024-01; Adopt Resolution Declaring The Results Of The Special Election**

Fiscal Impact:

Projected Annual Expense	\$187,400
Projected Annual Revenue	\$187,400

Recommended Action: It is recommended that the City Council:

- 1) Open a public hearing inviting interested parties to speak for or against the establishment of the CFD, the extent of the CFD, or the furnishing of the specified services; and

- 2) Adopt Resolution No. R-2024-13, a Resolution of Formation of the City Council of the City of Placentia Establishing Community Facilities District No. 2024-01 (Old Town Maintenance Services); Authorizing the Levy of Special Taxes; and Establishing the Appropriations Limit for the proposed Community Facilities District; and
- 3) Adopt Resolution No. R-2024-14, a Resolution of the City Council of the City of Placentia Calling a Special Tax Election and Submitting to the Qualified Electors the Questions of Levying a Special Tax on the Property located in the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services); and
- 4) Adopt Resolution No. R-2024-15, a Resolution of the City Council of the City of Placentia setting forth Procedures to Allow for Future Annexation of Territory to the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services); and
- 5) Accept the Ballot(s) from the landowner(s), tabulate the votes for and against the establishment of the CFD and certify the election results; and
- 6) Adopt Resolution No. R-2024-16, a Resolution of the City Council of the City of Placentia Declaring the Results of the Special Election, Determining the Validity of Prior Proceedings, and Directing the Recording of Notice of Special Tax Lien; and
- 7) Introduce for first reading, by title only, further reading waived, Ordinance No. O-2024-03, an Ordinance of the City Council of the City of Placentia, California, Levying Special Taxes within the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services).

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

Mayor Pro Tem Kirwin opened the Public Hearing at 7:47 p.m.

City Administrator Arrula introduced Deputy Director of Administrative Services Ortega to give a brief presentation on the formation of Community Facilities District No. 2024-01 (Old Town Maintenance Services). Ms. Ortega noted that Christy Smith of the City Attorney's office and consultant Andrea Ross were present to answer any questions.

Councilmember Shader expressed support for the item noting that the property owners approached the City to form the CFD. She commented on the benefits to the Old Town area as a result of the establishment of the CFD. She inquired about the \$25,000 rehab construction valuation that would trigger annexation into the CFD. She also noted that owners can voluntarily join the CFD.

Deputy Director of Administrative Services Ortega responded that Staff and the consultant determined that \$25,000 was an appropriate amount.

There was discussion about the cost of construction and the possibility that a minor renovation or maintenance repair to a home could trigger annexation into the CFD. CDBG funding for the façade improvement program was also discussed.

Development Services Director Lambert explained that the wording in the Ordinance states tenant improvements and not maintenance repairs.

City Clerk McKinnell stated that the City Clerk's Office had received no public comment for Item 2.b. and there were no members of the public wishing to speak.

Mayor Pro Tem Kirwin closed the Public Hearing at 7:55 p.m.

In response to a question by Councilmember Shader, City Administrator Arrula stated that future annexations into the District will not come back to the Council. He noted that a yearly report is created identifying those properties to be added to the CFD.

Motion by Shader, seconded by Smith, and carried a (3-0-2, Wanke and Yamaguchi absent) vote to approve Resolution R-2024-13, as recommended.

Motion by Shader, seconded by Smith, and carried a (3-0-2, Wanke and Yamaguchi absent) vote to approve Resolution R-2024-14, as recommended.

Motion by Shader, seconded by Smith, and carried a (3-0-2, Wanke and Yamaguchi absent) vote to approve Resolution R-2024-15, as recommended.

Mayor Pro Tem Kirwin directed the City Clerk, the tabulator, to canvass the special tax election ballots and announce the results of the special tax election.

City Clerk McKinnell announced the results as follows:

- There is a qualified landowner ballot.
- One (1) landowner ballot was cast.
- There is one (1) qualified landowner vote.
- A total of one (1) vote was cast.
- The Yes votes are one (1).
- The No Votes are 0.

Mayor Pro Tem Kirwin announced that the Special Tax election for Community Facilities District No. 2024-1 for Old Town Placentia passes with 100% support.

Motion by Shader, seconded by Smith, and carried a (3-0-2, Wanke and Yamaguchi absent) vote to approve Resolution R-2024-16, as recommended, and introduce for first reading, by title only, further reading waived, Ordinance No. O-2024-03, an Ordinance of the City Council of the City of Placentia, California, Levying Special Taxes with the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services).

2.c. **Public Hearing, Introduction and First Reading of Ordinance No. O-2024-02 of the City Council of the City of Placentia, Amending Chapter 13.52 "Restricted Parking Zones" and Chapter 14.10 "Traffic and Parking Regulations" to the Placentia Municipal Code**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Open the Public Hearing concerning Ordinance No. 2024-02; and
- 2) Receive the staff report and consider all public testimony; and
- 3) Close the public hearing; and
- 4) Introduce for first reading, by title only, further reading waived, Ordinance No. O-2024-02, an Ordinance of the City Council of the City of Placentia, California, amending Chapters 13.52 and 14.10 of the Placentia Municipal Code.

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

Mayor Pro Tem Kirwin opened the Public Hearing at 8:01 p.m.

City Administrator Arrula introduced Deputy City Administrator Estevez to give a brief presentation on Ordinance No. O-2024-02.

Councilmember Shader expressed support for the Ordinance stating that it allows for more flexibility and also official enforcement of parking requirements.

Mayor Pro Tem Kirwin noted that Ordinance is simply putting into the Code what has been part of a pilot program for the past several years. There are no new restrictions.

City Clerk McKinnell stated that the City Clerk's Office had received no public comment for Item 2.c. and there were no members of the public wishing to speak.

Mayor Pro Tem Kirwin closed the Public Hearing at 8:08 p.m.

Motion by Shader, seconded by Smith, and carried a (3-0-2) vote to approve Item 2.c., as recommended.

2.d. **Public Hearing and Consideration of a Resolution Making Findings Pursuant to Health and Safety Code Section 33433 for Real Property Located at 314 Baker Street and 323 Baker Street in Conjunction with Authorizing the Sale of the Properties in Connection with Disposition and Development Agreement No. DDA-2023-01 with Mercy Housing California Transferring Title of Properties Located at 300, 307, 312, 314, and 323 Baker Street to Mercy Housing California to Facilitate the Development of a Five Story, Multifamily Apartment Building, with 68 Affordable Workforce Housing Units, Onsite Resident Services and Management, Onsite Parking and a Satellite Parking Site on a Total of 0.77-Gross Acre City-Owned Vacant Property Located at 300, 307, 312, 314, and 323 Baker Street and Finding the Project to be Exempt from further Environmental Review as an Infill Development Project**

Fiscal Impact: One Time Revenue: \$ 482,200.84 Development Impact Fees  
Sale of Properties: \$3,200,000.00 (Affordable Housing Fund)

Recommended Action: It is recommended that the City Council:

- 1) Open Public Hearing regarding the contemplated action to make findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street And 323 Baker Street; and
- 2) Receive the Staff Report, consider all public testimony, ask questions of Staff; and
- 3) Close the Public Hearing; and
- 4) Adopt Resolution No. HSA-2024-01, a Resolution of the City Council of the City of Placentia, California, making findings pursuant to Health and Safety Code Section 33433 for real property located at 314 Baker Street and 323 Baker Street and authorizing the sale of the properties in connection therein; and
- 5) Adopt Resolution No. R-2024-17, a Resolution of the City Council of the City of Placentia, California, approving the Disposition and Development Agreement No. DDA-2023-01 with Mercy Housing California transferring title of properties located at 300, 307, 312, 314, and 323 Baker Street to Mercy Housing California to facilitate the future development of a five story, 68 unit multifamily affordable housing development with onsite resident services and management, onsite parking and a satellite parking site on a 0.77-gross acre site and finding the project to be exempt from further environmental review as a class 32 infill categorical exemption; and
- 6) Authorize the City Administrator to execute the necessary documents, in a form approved by the City Attorney.

**(Approved 3-0-2, as recommended, Wanke and Yamaguchi absent)**

Mayor Pro Tem Kirwin opened the Public Hearing at 8:10 p.m.

City Administrator Arrula introduced Director of Development Services Lambert to give a brief presentation on the item.

Councilmember Shader expressed support for the item and commented on the importance of providing affordable workforce housing in the City.

Councilmember Smith expressed support for the development noting that it provides more housing availability in the City

Mayor Pro Tem Kirwin inquired about the number of apartments the City is planning for in the future.

There was discussion about the City's housing element, state housing allocation numbers, grant and incentive funding and consequences the City may face for not having a certified housing element.

City Administrator Arrula commented on funding that could be lost for the Navigation Center and other projects which would need to be replenished by the City's General Fund.

City Clerk McKinnell stated that the City Clerk's Office had received no public comment for Item 2.d. and there were no members of the public wishing to speak.

Mayor Pro Tem Kirwin closed the Public Hearing at 8:26 p.m.

Motion by Smith, seconded by Shader, and carried a (3-0-2) vote to approve Item 2.d., as recommended.

**3. REGULAR AGENDA:** None

**CITY COUNCIL/BOARD MEMBERS REQUESTS:**

Councilmember Smith commented on the recent passing of retired Placentia Police Lieutenant Adam Gloe and provided highlights of his career. He expressed condolences to family and friends of Lieutenant Gloe.

**ADJOURNMENT:**

The City Council/Successor Agency/ICDA/PPFA Board of Directors adjourned at 8:30 p.m. in memory of Retired Placentia Police Lieutenant Adam Gloe and Greg Weitzman, long time Placentia resident and friend and neighbor of former Councilmember Craig Green, to a regular City Council meeting on Tuesday, March 19, 2024 at 5:30 p.m.

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Kevin Kirwin, Mayor Pro Tem/Acting Agency Chair

ATTEST:

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Robert S. McKinnell, City Clerk/  
Agency Secretary

**PLACENTIA CITY COUNCIL  
PLACENTIA CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE  
PLACENTIA REDEVELOPMENT AGENCY  
PLACENTIA INDUSTRIAL COMMERCIAL DEVELOPMENT AUTHORITY  
PLACENTIA PUBLIC FINANCING AUTHORITY  
MINUTES  
STUDY SESSION AND REGULAR MEETING  
March 19, 2024  
City Council Chambers  
4:30 p.m. Study Session  
5:30 p.m. – Regular Meeting  
401 E. Chapman Avenue, Placentia, CA**

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**CALL TO ORDER:** Mayor Yamaguchi called the Study Session to order at 4:30 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi  
ABSENT: None

**ORAL COMMUNICATIONS:**

Mayor Yamaguchi opened Oral Communications for the Study Session. City Clerk McKinnell stated that the City Clerk's Office had received no public comment for the Study Session.

**1. REGULAR AGENDA:**

- 1.a. **Study Session: Facility Condition Assessment and 10-year Strategic Asset Management Plan**  
Fiscal Impact: None  
Recommended Action: It is recommended that the City Council:  
1) Receive and file the Staff report and Presentation; and  
2) Ask any questions of Staff; and  
3) Review and discuss the next steps to complete the Asset Management Program.  
***(Continued to April 16, 2024 meeting)***

City Administrator Arrula introduced Deputy City Administrator Estevez to give a brief presentation on the Facility Condition Assessment and 10-year Strategic Asset Management Plan. Mr. Estevez noted that the City's consultant, Michael Chaney of Bureau Veritas would assist with the presentation. Mr. Arrula noted that there were technical problems with the uploading of the individual reports; therefore, binders have been provided for the Council's review.

Mayor Yamaguchi inquired how many high-risk items were identified during the facility assessments and whether there were any recommendations for surplus of equipment or buildings.

Mr. Chaney reported there were only five (5) or six (6) high risk items and no surplus items.

A discussion ensued about safety issues and recommendations based on the experience of other agencies.

Mayor Yamaguchi noted that he appreciated the attention to detail in the report.

Councilmember Shader inquired about security cameras and ongoing costs for tracking software.

Mr. Chaney responded that security cameras are part of a building and included in the reports. The software program that will be used to track the status of assets is a separate cost with another vendor.

Deputy City Administrator Estevez responded that there is an initial setup fee for the software and then a \$60,000 a year license fee.

Councilmember Shader asked if there were some items that might change in the report after further review.

Deputy City Administrator Estevez responded that Staff has done the first round of reviews and has sent back comments, specifically around some of the City's parks. Staff is still reviewing the reports and looking at the CIP as well.

Mayor Pro Tem Kirwin asked if the numbers in the report are close after the first review.

Deputy City Administrator Estevez noted that many of the discrepancies had been identified and the numbers are very close. He noted there is a lot of data to review and Staff would like to review the reports again. Staff's review should be completed and final reports available in two (2) weeks.

Mayor Yamaguchi recommended continuing the item until the report is finalized and requested that the final report be placed on the Consent Calendar.

**RECESS:**

The City Council/Successor Agency/ICDA/PPFA Board of Directors recessed at 5:18 p.m. to their regular City Council meeting at 5:30 p.m.

**CALL TO ORDER:** Mayor Yamaguchi called the meeting to order at 5:33 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi  
ABSENT: None

**ORAL COMMUNICATIONS:**

Mayor Yamaguchi opened Oral Communications for the Closed Session. City Clerk McKinnell stated that the City Clerk's Office had received no public comment for the Closed Session.

**PRESENTATION:**

a. **Recognition of Larry de Graaf for 37 years of Service on Historical Committee**

Recipient: Larry de Graaf  
Presenters: Mayor Yamaguchi and City Councilmembers

Mayor Yamaguchi presented a certificate to Dr. de Graaf in recognition of his 37 years of service on the City's Historical Committee and provided comments on his many contributions to the City.

City Clerk McKinnell announced the Closed Session matter.

The City Council and Boards of Directors recessed to the City Council Caucus Room for the purpose of conducting their Closed Session proceedings on the following:

1. Pursuant to Government Code Section 54957(b)(1)  
**PUBLIC EMPLOYEE PERFORMANCE EVALUATION**  
Title: City Administrator

**RECESS:** The City Council and Boards of Directors recessed to their 7:00 p.m. Regular Meeting.

**CALL TO ORDER:** Mayor Yamaguchi called the meeting to order at 7:00 p.m.

**ROLL CALL:**

PRESENT: Councilmember/Board Member Shader, Smith, Wanke, Kirwin, Yamaguchi  
ABSENT: None

**STAFF PRESENT:**

City Attorney/Authority Counsel Christian Bettenhausen; City Administrator Damien Arrula; Deputy City Administrator Rosanna Ramirez; Deputy City Administrator Luis Estevez; Police Chief Brad Butts; Fire

Chief Jason Dobine; Director of Community Services Karen Crocker; Director of Development Services Joe Lambert; Deputy Director of Administrative Services Jeannette Ortega; City Treasurer Kevin Larson; City Clerk Robert McKinnell; Deputy City Clerk Carole M. Wayman

**INVOCATION:** Chaplain Charles Frost

**PLEDGE OF ALLEGIANCE:** Captain Branden Smith

**PRESENTATIONS:**

**a. Recognition of 2024 Miss Placentia and Miss Placentia’s Outstanding Teen Titleholders**

Recipients: Miss Placentia 2024 Maddie Smith and Miss Placentia Outstanding Teen 2024 Julieann Rocke

Presenters: Mayor Yamaguchi and City Councilmembers

Mayor Yamaguchi congratulated and presented certificates of recognition to Miss Placentia 2024 Maddie Smith and Miss Placentia Outstanding Teen 2024 Julieann Rocke. Miss Smith and Miss Rocke provided brief comments on their service projects and thanked the Mayor and City Council for the opportunity to represent the City.

**CLOSED SESSION REPORT:**

City Attorney/Authority Counsel Bettenhausen stated that there was one (1) item on the Closed Session agenda, the City Council discussed the item, and direction was provided. He noted that there was nothing further to report.

**CITY ADMINISTRATOR REPORT:**

City Administrator Arrula welcomed and introduced one (1) new City of Placentia employee. Parking Control Officer Claudia Flores-Etkin attended Pasadena City College and obtained an associate’s degree while playing volleyball. Before coming to Placentia, she worked for the City of South Pasadena for 15 years in the Community Services Department and for the City of Westminster for one year as a part-time Parking Control Office.

**ORAL COMMUNICATIONS:**

Julie Suchard, Placentia resident expressed concerns about City Administrator Arrula’s compensation package and expenses, charges on City Staff credit cards and timeliness of her public records requests.

Julie Lamb, Placentia resident and business owner, commented on her positive interactions with the Placentia Police and Fire departments. She expressed concerns about compensation for public safety employees stating that Placentia’s compensation is less than most other agencies and urged for a classification and compensation study all City employees.

Trudi DesRoches, Director Yorba Linda Water District, provided an update on water projects in the City of Placentia and surrounding area.

Craig Green, former Councilmember and resident commented on compensation for City Administrator Arrula and public safety employees.

**CITY COUNCIL/BOARD MEMBER COMMENTS:**

Councilmember Shader reported her attendance at the following:

- Committee meeting for a proposed dog park
- Orange County Women’s Leadership forum
- Orange County Human Relations meeting, hosted in Council Chambers
- Orange County Nowruz Festival

She promoted registration for the City’s Spring camps and classes and encouraged those interested to visit the City’s website.

Councilmember Smith reported his attendance at the following:

- Committee meeting for a proposed dog park
- SCAG Joint Committee meeting
- Cal City Orange County Division meeting
- Several Love Placentia meetings
- Santa Fe Merchants Meeting

Councilmember Wanke reported his attendance at the following:

- Orange County Sanitation District Administration Committee meeting
- Walkthrough of Parque del Arroyo Verde with Staff and Contractor

He promoted the upcoming ribbon cutting for Parque del Arroyo Verde on March 21, 2024 and the 12-week music series in Old Town Placentia, April 4- June 20, 2024, and encouraged those interested to visit the City's website.

Mayor Pro Tem Kirwin announced vacancies on City Committees and encouraged residents to apply. He also promoted Easter Eggcitement at Kraemer Park on March 23, 2024 at 10 a.m. He encouraged those interested in both items to visit the City's website.

Mayor Yamaguchi commented on public records requests and the availability of records to the public. He asked Staff to respond to comments about Staff credit card expenses. He recommended that expenses on credit cards be more transparent and detailed. He also commented on City business travel and airfare on Southwest airlines

City Administrator Arrula responded that Staff would research providing a detailed breakdown on credit card expenses and review the travel policy. He asked City Clerk McKinnell to respond to comments about the timeliness of public records requests.

City Clerk McKinnell responded that the records requested by Ms. Suchard were provided within the state mandated deadline.

Mayor Yamaguchi promoted the upcoming ribbon cutting for Parque del Arroyo Verde on March 21, 2024 and commented on three (3) recent tours with third graders at City hall. He also commented on the positive feedback he has received on the new street signage throughout the City.

#### **1. CONSENT CALENDAR (Items 1.a. through 1.m.):**

Motion by Yamaguchi, seconded by Kirwin, and carried a (5-0) vote to approve the Consent Calendar items 1.a. through 1.m., as recommended.

1.a. **Consideration to Waive Reading in Full of all Ordinances and Resolutions**

Fiscal Impact: None

Recommended Action: Approve

**(Approved 5-0, as recommended)**

1.b. **Minutes**

**City Council/Successor/ICDA/PPFA Regular Meetings of: June 6, 2023 and June 20, 2023**

Recommended Action: Approve

**(Approved 5-0, as recommended)**

Mayor Yamaguchi commented on the backlog of minutes.

1.c. **City Fiscal Year 2023-24 Registers for March 19, 2024**

**Check Register**

Fiscal Impact: \$1,883,133.29

**Electronic Disbursement Register**

Fiscal Impact: \$1,235,496.01

Recommended Action: It is recommended that the City Council:

1) Receive and file

**(Received and Filed, as recommended)**

1.d. **Second Reading and Adoption of Ordinance No. O-2024-02, an Ordinance of the City Council of the City of Placentia, Amending Chapter 13.52 "Restricted Parking Zones" And Chapter 14.10 "Traffic and Parking Regulations" to the Placentia Municipal Code**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

1) Adopt Ordinance No. O-2024-02, an Ordinance of the City Council of the City of Placentia, California, amending Chapter 13.52 "Restricted Parking Zones" and Chapter 14.10 "Traffic and Parking Regulations" to the Placentia Municipal Code.

**(Approved 5-0, as recommended)**

1.e. **Second Reading and Adoption of Ordinance No. O-2023-03, an Ordinance of the City Council of the City of Placentia, Levying special taxes within the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services).**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

1) Adopt Ordinance No. O-2024-03, an Ordinance of the City Council of the City of Placentia, California, levying special taxes within the City of Placentia Community Facilities District No. 2024-01 (Old Town Maintenance Services).

**(Approved 5-0, as recommended)**

1.f. **Approval of Final Parcel Map No. 2023-113 Pertaining to the Subdivision of an +/- 0.47 Acre Lot into Two Parcels Located Adjacent to 1278 Vina Del Mar Avenue Within The R-1 (Single Family Residential) Zoning District**

Fiscal Impact: Approximately \$46,798 of total Development Impact fee revenue prior to construction of two new single-family residences.

Recommended Action: It is recommended that the City Council:

1) Approve Final Parcel Map No. 2023-113, subject to final review and approval by the County Surveyor; and

2) Authorize the City Clerk to sign Final Parcel Map No. 2023-113.

**(Approved 5-0, as recommended)**

1.g. **Amendment No. 1 to Professional Services Agreement with Fountainhead Consulting Corporation, for On-Call Construction Management and Inspection Services for the FY 2022-2023 Street Rehabilitation Project, City Project No. 1301**

Fiscal Impact:

Expense: \$27,700 Amendment No. 1 to the Professional Services Agreement

Funding Source: \$27,700 FY 2023-24 CIP Budget  
(799800-6740 J/L 791301-6740)

Recommended Action: It is recommended that the City Council:

1) Approve Amendment No. 1 to Professional Services Agreement with Fountainhead Consulting Corporation for an additional \$27,700 to continue providing inspection services for the FY 2022-2023 Street Rehabilitation Project for a cumulative contract not-to-exceed amount of \$277,700; and

2) Authorize the City Administrator to approve contract amendments up to 10% of the cumulative contract amount, or \$27,770; and

3) Authorize the City Administrator and/or his designee to execute all necessary documents, in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

Mayor Pro Tem Kirwin noted a typo in recommendation No. 1 stating that the dollar amount should be \$27,700 not \$277,700.

1.h. **Amendment No. 1 to Professional Services Agreement with Epic Land Solutions, Inc., for Easement Appraisal and Acquisition Services for the Golden Avenue Bridge Replacement Project**

Fiscal Impact:

Expense: \$ 30,895.00 Amendment No. 1 to Professional Services Agreement

Available Budget: \$2,446,099.16 Total Available Project Budget  
\$2,300,000.00 Federal Earmark  
(331801-6740 J/L 331801-6740)

\$ 246,099.16 General Fund Developer Fee  
(331801-6740 J/L 331801-6740)

Recommended Action: It is recommended that the City Council:

- 1) Approve Amendment No. 1 to the Professional Services Agreement with Epic Land Solutions, Inc. to increase the contract not-to-exceed amount by an additional \$30,895; and
- 2) Authorize the City Administrator to approve contract amendments up to 10% of the cumulative contract amount, or \$7,064.34; and
- 3) Authorize the City Administrator and/or his designee to execute all the necessary documents, in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

1.i. **2023 Annual Housing Report**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:  
Receive and file the 2023 Housing Element Annual Progress Report

**(Approved 5-0, as recommended)**

1.j. **Update to Old Town Façade Improvement Program**

Fiscal Impact: CDBG Funds not-to exceed \$180,778 for Fiscal Year 2024-25  
No General Fund money will be used for this program

Recommended Action: It is recommended that the City Council:

- 1) Approve the revised Old Town Façade Improvement Program Guidelines and Application; and
- 2) Authorize the City Administrator to execute all necessary documents, in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

1.k. **Renewal and Upgrade of Microsoft Office 365 Licenses to include Device Management through Insight Public Sector**

Fiscal Impact:

Expense: \$ 79,777.03 Annually for three (3) years  
Budgeted: \$500,000.00 (101523-6136) for Software Maintenance

Recommended Action: It is recommended that the City Council:

- 1) Approve the agreement to upgrade and renew the Microsoft Enterprise Agreement with Insight Public Sector utilizing the County of Riverside Microsoft Enterprise Master Agreement, for a three-year period, beginning March 1, 2024, through February 27, 2027 in the amount not-to-exceed \$239,331.09; and
- 2) Authorize the City Administrator and/or his designee to execute all necessary documents in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

1.l. **Amendment No. 2 to Professional Services Agreement with People Assisting the Homeless (PATH) for the operation of four months of the Year-Round Navigation Center/Emergency Shelter located at 731 S. Melrose Street.**

Fiscal Impact:

Expense: \$ 916,495 Placentia Regional Navigation Center Fund  
Revenue: \$ 916,465 North Service Planning Area Cities MOU

Recommended Action: It is recommended that the City Council:

- 1) Approve Amendment No. 2 to the Professional Services Agreement with People Assisting the Homeless (PATH) for the operation and management services of the Placentia Navigation Center for an additional four (4) month term ending on July 31, 2024, in the amount not to exceed of \$916,495; and
- 2) Authorize the City Administrator to approve eligible contract term extensions for two (2) month extensions up to six (6) months in an amount not to exceed \$458,255, based upon contractor performance and at the discretion of the City; and
- 3) Adopt Resolution No. R- 2024-19, A Resolution of the City Council of the City of Placentia, California authorizing a budget amendment in Fiscal Year 2023-24 in compliance with City Charter of the City of Placentia §§1206 and 1209 pertaining to appropriations for actual expenditures; and

4) Authorize the City Administrator and/or his designee to execute all necessary documents, in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

1.m. **Award of Construction Contract to Big Ben Engineering for Sewer Repair Work in Old Town Placentia**

Fiscal Impact:

Expense:	\$135,000	Construction Contract
	\$ 13,500	Contingency Amount
	\$148,500	Total Construction Cost
Budgeted:	\$148,500	Total Budget
	\$148,500	FY 23-24 CIP Budget
		(799800-6750 J/L 243301-6750)

Recommended Action: It is recommended that the City Council:

- 1) Approve a Public Works Agreement for Project No. 3301 with Big Ben Engineering for an amount not-to-exceed \$135,000; and
- 2) Authorize the City Administrator to approve contract change orders up to 10% of the contract not-to-exceed amount, or \$13,500; and
- 3) Authorize the City Administrator and/or his designee to execute all necessary documents, in a form approved by the City Attorney.

**(Approved 5-0, as recommended)**

**2. PUBLIC HEARINGS:** None

**3. REGULAR AGENDA:**

3.a. **Streetscape Design Options for the 100 Block of Santa Fe Avenue**

Fiscal Impact: None

Recommended Action: It is recommended that the City Council:

- 1) Conduct the study session and receive and file this report and proceed with designing and constructing the streetscape improvements for the 100 block of Santa Fe Avenue as designed in the adopted streetscape master plan.

**(Received and filed with direction given to proceed with original master plan with improvements)**

City Administrator Arrula introduced Deputy City Administrator Estevez to give a brief presentation on the Streetscape Design Options for the 100 Block of Santa Fe Avenue.

Councilmember Shader shared her thoughts on the street design options for Old Town, expressing that the current iteration, which is close to the approved master plan, is a happy medium that the public is comfortable with. She added that the city should not invest further in efforts to activate plans with a street closure and plaza without support from building owners and businesses in the area.

Mayor Pro Tem Kirwin clarified that the additional \$1.5 million is for options 1 and 2 in the report. He also inquired about the designated bike lanes.

Director Estevez explained that on street parking would have to be removed if standard bikes lanes are provided in the plan, therefore, a shared bike lane is planned. He noted that the bike lane symbols painted on the road serves a reminder to motorists to be cognizant and aware of bicyclists.

Councilmember Wanke commented on the differing opinions on the street’s configuration noting that the original plan meets the needs of the people who live and work in the area.

Councilmember Smith commented on the positive feedback he has received regarding the outdoor and curbside seating and expressed support for the original master planned improvements.

**CITY COUNCIL/BOARD MEMBERS REQUESTS:**

Councilmember Wanke requested that Staff contact the County to inquire about opening the Orange County Flood Control gate near Parque del Arroyo Verde to allow for walking and biking.

**ADJOURNMENT:**

The City Council/Successor Agency/ICDA/PPFA Board of Directors adjourned at 10:05 p.m. to a regular City Council meeting on Tuesday, April 2, 2024 at 5:30 p.m.

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Jeremy Yamaguchi, Mayor/Agency Chair

ATTEST:

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Robert S. McKinnell, City Clerk/  
Agency Secretary



Agenda Item No: 1.c

## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Gabriela Calin

From: Finance

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### **Subject:**

City Fiscal Year 2023-24 Registers for September 3, 2024

#### **Check Register**

Fiscal Impact: \$3,633,839.93

#### **Electronic Disbursement Register**

Fiscal Impact: \$ 619,687.74

City Fiscal Year 2024-25 Registers for September 3, 2024

#### **Check Register**

Fiscal Impact: \$1,551,264.21

#### **Electronic Disbursement Register**

Fiscal Impact: \$4,726,554.70

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Receive and file.

### **Attachments**

[Check Register 09.03.2024 FY23-24.pdf](#)

[ACH Check Register 09.03.2024 FY23-24.pdf](#)

[Check Register 09.03.2024.pdf](#)

[ACH Check Register 09.03.2024.pdf](#)

City of Placentia  
Check Register  
For 09/03/2024

**FY 2023-24**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
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Grand Total: 3,633,839.93

Check Totals by ID

AP	3,633,839.93
EP	0.00
IP	0.00
OP	0.00

Void Total: 0.00

Check Total: 3,633,839.93

Fund Name

Check Totals by Fund

101-General Fund (0010)	2,343,905.76
117-Measure U Fund (0079)	150,921.66
205-State Gas Tax (0017)	65,694.10
208-Scssr Agncy Ret Oblg (0054)	881.42
209-State Gas Tax - RMRA (0060)	124,603.24
210-Measure M (0018)	57,362.24
211-PEG Fund (0058)	12,218.49
215-Air Quality Management (0019)	14,340.56
225-Asset Seizure (0021)	1,657.55
231-Placentia Reg Nav Cent(0078)	139,393.63
234-Technology Impact Fees (0075)	71,384.00
236-Parks & Rec Impact Fees (0063)	65,438.72
238-City Traffic Impet Fees (0065)	32,296.25
243-City Quimby In Lieu Fee (0069)	30,589.67
246-TOD Traffic Impact Fees (0070)	90,879.98
247-TOD Sewer Impact Fees (0071)	82,488.81
248-TOD Strscape Impet Fee (0072)	80.00
249-TOD District CFD (0080)	241.00
260-Street Lighting Distrc (0028)	23,074.45
265-Landscape Maintenance (0029)	34,440.31
270-CDBG Fund (0030)	6,425.00
275-Sewer Maintenance (0048)	15,644.31
280-Misc Grants Fund (0050)	42,987.96
282-CalRecycle Grant (0083)	454.81
285-EIFD (0086)	494.53
401-City Capital Projects (0033)	60,543.37
501-Refuse Administration (0037)	34,623.65
601-Employee Health & Wlfre (0039)	1,417.64
605-Risk Management (0040)	46,800.19
701-Special Deposits (0044)	82,556.63

Funds will be transferred from the Cash Basis Fund as needed to fund the warrants included on this warrant register

User: Gabriela Calin

Report: AP1400M <3.01>: AP: Warrant List - Machine

**City of Placentia**  
**Check Register**  
 For 09/02/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
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		Check Total:	3,633,839.93						
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Funds will be transferred from the Cash Basis Fund as needed to fund the warrants included on this warrant register

User: Gabriela Calin  
 Report: AP1400M <3.01>: AP: Warrant List - Machine

08/27/2024 :Date  
 17:27:45 :Time

**City of Placentia**  
**Check Register**  
**For 08/27/2024**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	AIM TD LLC V012426	AVERAGE DAILY TRAFFIC COUNT	103590-6015 Engineering Services	AP070824	5,850.00	I5594	P13431	00131598	07/11/2024
<b>Check Total:</b>					<b>5,850.00</b>				
MW OH	AIRGAP LABS LLC V012533	SHIPPING & HANDLING FEES	109800-6840 Machinery & Equipment	AP070824	187.00	212512A		00131599	07/11/2024
MW OH	AIRGAP LABS LLC V012533	MAR -IT SUPPORT	101523-6099 Professional Services	AP070824	5,978.40	212770	P13449	00131599	07/11/2024
MW OH	AIRGAP LABS LLC V012533	APR - IT SUPPORT	101523-6099 Professional Services	AP070824	14,887.50	212826	P13449	00131599	07/11/2024
MW OH	AIRGAP LABS LLC V012533	JUN - IT SUPPORT	101523-6099 Professional Services	AP070824	4,000.00	212885	P13449	00131599	07/11/2024
<b>Check Total:</b>					<b>25,052.90</b>				
MW OH	AMAZON CAPITAL SERVICES V012336	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	AP070824	186.56	16VN-RTVC-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW ADMINISTRATION SUPPLIES	103654-6999 Other Expenditure	AP070824	40.19	1F7W-CFLG-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW SUPPLIES	103654-6130 Repair & Maint/Facilities	AP070824	-22.92	1F7W-CFLG-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW SUPPLIES	103654-6130 Repair & Maint/Facilities	AP070824	184.11	1HX9-3RQQ-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP070824	1,797.81	1HX9-3RQQ-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW SUPPLIES	103658-6301 Special Department Expenses	AP070824	3,261.42	1HX9-3RQQ-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW SUPPLIES	833593-6301 Special Department Expenses	AP070824	454.81	1HX9-3RQQ-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SW SUPPLIES	103650-6315 Office Supplies	AP070824	172.19	1HX9-3RQQ-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES	OFFICE SUPPLIES	103650-6315	AP070824	31.09	1MHK-KCNM-		00131600	07/11/2024

**City of Placentia**  
**Check Register**  
**For 08/27/2024**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012336		Office Supplies						
MW OH	AMAZON CAPITAL SERVICES V012336	VEHICLE MAINT SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP070824	711.17	1MHK-KCNM-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	FACILITIES MAINT SUPPLIES	103654-6130 Repair & Maint/Facilities	AP070824	210.44	1MHK-KCNM-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	LANDSCAPING SUPPLIES	296561-6115 Landscaping	AP070824	31.29	1MHK-KCNM-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	101513-6315 Office Supplies	AP070824	207.09	1QXT-VFFJ-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	COMPUTER ACCESSORIES	799700-6368 Computer Peripheral/Accessory	AP070824	254.68	1QXT-VFFJ-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SUMMER DAY CAMP SUPPLIES	104071-6301 Special Department Expenses	AP070824	596.82	1VK6-KD4X-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	102531-6315 Office Supplies	AP070824	51.22	1VWY-PY49-		00131600	07/11/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	102532-6315 Office Supplies	AP070824	96.99	1VWY-PY49-		00131600	07/11/2024
<b>Check Total:</b>					<b>8,264.96</b>				
MW OH	ASCENSUS LLC V012875	ACTUARIAL CONSULTING - 401A	101511-6099 Professional Services	AP070824	2,885.00	159419DB_2024P13465		00131601	07/11/2024
<b>Check Total:</b>					<b>2,885.00</b>				
MW OH	ASSI SECURITY INC V011251	CCTV/ACCESS CTRL FOR PSC	109800-6840 / 105213-6840 Machinery & Equipment	AP070824	13,526.91	75603	P13290	00131602	07/11/2024
<b>Check Total:</b>					<b>13,526.91</b>				
MW OH	AT&T V004144	MAY PHONE CHARGES	109595-6215 / 21008-6215 Telephone/Internet	AP070824	12.11	061224		00131603	07/11/2024
MW OH	AT&T V004144	MAY PHONE CHARGES	109595-6215 / 21009-6215 Telephone/Internet	AP070824	14.56	061224		00131603	07/11/2024

**City of Placentia**  
**Check Register**  
**For 08/27/2024**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	AT&T V004144	MAY PHONE CHARGES	109595-6215 Telephone/Internet	AP070824	31.57	061224		00131603	07/11/2024
<b>Check Total:</b>					<b>58.24</b>				
MW OH	BEAR ELECTRICAL V010997	MAR TS RESPONSE MAINT	103590-6099 Professional Services	AP070824	17,047.00	22371	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	MAR TS RESPONSE MAINT	103590-6099 / 21009-6099 Professional Services	AP070824	172.50	22371	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	MAR TS RESPONSE MAINT	103590-6099 / 21010-6099 Professional Services	AP070824	225.75	22371	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	MAR TS RESPONSE MAINT	103590-6099 / 21011-6099 Professional Services	AP070824	562.50	22371	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	APR TS ROUTINE MAINTENANCE	103590-6099 Professional Services	AP070824	3,212.45	22636	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	APR TS ROUTINE MAINTENANCE	103590-6099 / 21009-6099 Professional Services	AP070824	247.50	22636	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	APR TS ROUTINE MAINTENANCE	103590-6099 / 21010-6099 Professional Services	AP070824	120.05	22636	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	APR TS ROUTINE MAINTENANCE	103590-6099 / 21011-6099 Professional Services	AP070824	85.00	22636	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS ROUTINE MAINTENANCE	103590-6099 Professional Services	AP070824	3,212.45	22840	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS ROUTINE MAINTENANCE	103590-6099 / 21009-6099 Professional Services	AP070824	247.50	22840	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS ROUTINE MAINTENANCE	103590-6099 / 21010-6099 Professional Services	AP070824	120.05	22840	P13120	00131604	07/11/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS ROUTINE MAINTENANCE	103590-6099 / 21011-6099 Professional Services	AP070824	85.00	22840	P13120	00131604	07/11/2024
<b>Check Total:</b>					<b>25,337.75</b>				
MW OH	BLUE TACTICAL	INTERACTIVE TRAINING SYS	103041-6162	AP070824	924.38	22440033		00131605	07/11/2024

**City of Placentia**  
**Check Register**  
**For 08/27/2024**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012870		Range Training						
				<b>Check Total:</b>	<b>924.38</b>				
MW OH	BOHLMANN INC V012190	PICNIC TABLES	697303-6760 Infrastructure - Parks	AP070824	7,066.87	B16397	P13454	00131606	07/11/2024
				<b>Check Total:</b>	<b>7,066.87</b>				
MW OH	BUCK, NANCY V012873	DAY CAMP EXP. REIMBURSEMENT	104071-6301 Special Department Expenses	AP070824	124.19	06282024		00131607	07/11/2024
				<b>Check Total:</b>	<b>124.19</b>				
MW OH	CALIFORNIA FORENSIC V000232	JUN PD BLOOD DRAWS	103040-6055 Medical Services	AP070824	798.00	2622	P12976	00131608	07/11/2024
				<b>Check Total:</b>	<b>798.00</b>				
MW OH	CHARTER COMMUNICATIONS V012060	6/21-7/20 BWC INTERNET	109595-6215 Telephone/Internet	AP070824	1,352.08	11980240106212		00131609	07/11/2024
				<b>Check Total:</b>	<b>1,352.08</b>				
MW OH	CITY OF ANAHEIM V010186	5/16-6/17 SHARED TS ELECTRIC	109595-6330 Electricity	AP070824	77.16	062624		00131610	07/11/2024
				<b>Check Total:</b>	<b>77.16</b>				
MW OH	CITY OF PLACENTIA V000773	MEAL EXPENSES	103041-6301 Special Department Expenses	AP070824	96.31	WCPETTY7124		00131611	07/11/2024
MW OH	CITY OF PLACENTIA V000773	PD TRAINING EXPENSES	103041-6250 Staff Training	AP070824	16.00	WCPETTY7124		00131611	07/11/2024
MW OH	CITY OF PLACENTIA V000773	PD TRAINING EXPENSES	103047-6250 Staff Training	AP070824	18.89	WCPETTY7124		00131611	07/11/2024
MW OH	CITY OF PLACENTIA V000773	PD TRAINING EXPENSES	213041-6250 Staff Training	AP070824	32.55	WCPETTY7124		00131611	07/11/2024
				<b>Check Total:</b>	<b>163.75</b>				
MW OH	CLIFTONLARSONALLEN LLP	FINANCIAL AUDIT	102020-6010	AP070824	2,500.00	L241406192	P13138	00131612	07/11/2024

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	V012348		Accounting & Auditing Service						
MW OH	CLIFTONLARSONALLEN LL	FINANCIAL AUDIT	102020-6010	AP070824	2,390.00	L241448375	P13138	00131612	07/11/2024
	V012348		Accounting & Auditing Service						
<b>Check Total:</b>					<b>4,890.00</b>				
MW OH	COMMERCIAL AQUATIC	GOMEZ POOL CHEMICAL SVS	104076-6290	AP070824	325.27	966617		00131613	07/11/2024
	V005203		Dept. Contract Services						
MW OH	COMMERCIAL AQUATIC	WHITTEN POOL - CHEMICAL SVS	104076-6290	AP070824	497.05	966716		00131613	07/11/2024
	V005203		Dept. Contract Services						
MW OH	COMMERCIAL AQUATIC	APR FOUNTAIN MAINT.	103654-6290	AP070824	408.80	956203	P13046	00131613	07/11/2024
	V005203		Dept. Contract Services						
MW OH	COMMERCIAL AQUATIC	APR FOUNTAIN MAINT - LIBRARY	103654-6290 / 21008-6290	AP070824	291.20	956203	P13046	00131613	07/11/2024
	V005203		Dept. Contract Services						
<b>Check Total:</b>					<b>1,522.32</b>				
MW OH	COUNTY OF ORANGE	RADIO EQUIPMENT REPAIRS	101515-6137	AP070824	556.00	STTM002283		00131614	07/11/2024
	V008881		Repair Maint/Equipment						
MW OH	COUNTY OF ORANGE	RADIO EQUIPMENT REPAIRS	103041-6137	AP070824	23.17	STTM002283		00131614	07/11/2024
	V008881		Repair Maint/Equipment						
<b>Check Total:</b>					<b>579.17</b>				
MW OH	CSG CONSULTANTS INC	APR BUILDING INSP SVS	102532-6290	AP070824	13,860.00	57028	P13169	00131615	07/11/2024
	V011609		Dept. Contract Services						
<b>Check Total:</b>					<b>13,860.00</b>				
MW OH	DDL TRAFFIC INC	MARATHON SYSTEM BATTERIES	659800-6741 / 24202-6741	AP070824	21,947.50	8926	P13329	00131616	07/11/2024
	V011348		Infrastructure - Traffic						
MW OH	DDL TRAFFIC INC	MARATHON SYSTEM BATTERIES	659800-6741 / 24202-6741	AP070824	10,348.75	8997	P13329	00131616	07/11/2024
	V011348		Infrastructure - Traffic						
<b>Check Total:</b>					<b>32,296.25</b>				
MW OH	DELL MARKETING L.P.	DELL COMPUTER EQUIP FOR GIS	799800-6364	AP070824	2,233.13	10756553584	P13366	00131617	07/11/2024
	V000301		Computer Hardware						

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				<b>Check Total:</b>	<b>2,233.13</b>				
MW OH	DENNIS GRUBB & V012137	6/16-30 FIRE PLAN CHECK	103066-6290 Dept. Contract Services	AP070824	1,715.00	002-30771	P13314	00131618	07/11/2024
				<b>Check Total:</b>	<b>1,715.00</b>				
MW OH	DEROTIC EMERGENCY V011295	E1 REPAIRS/MAINTENANCE	103066-6134 Vehicle Repair & Maintenance	AP070824	15,565.30	SO-4220	P13445	00131619	07/11/2024
				<b>Check Total:</b>	<b>15,565.30</b>				
MW OH	DIAMONDS SPORTS FIELD V011978	JUN FIELD MAINTENANCE	104076-6139 Repair/Maint - Parks & Fields	AP070824	2,700.00	6517	P13235	00131620	07/11/2024
				<b>Check Total:</b>	<b>2,700.00</b>				
MW OH	DIVISION OF THE STATE V008904	Q2 -SB1185 & AB1379 TAXES	0044-2032 SB 1186 BL State Fee	AP070824	3,503.00	070324		00131621	07/11/2024
MW OH	DIVISION OF THE STATE V008904	Q2 -SB1185 & AB1379 TAXES	100000-4101 Business License Fees	AP070824	-3,152.70	070324		00131621	07/11/2024
				<b>Check Total:</b>	<b>350.30</b>				
MW OH	ECONOLITE SYSTEMS INC V000360	CENTRACS EXPANSION	103590-6365 Computer Software	AP070824	26,790.00	43295-43296	P13409	00131622	07/11/2024
				<b>Check Total:</b>	<b>26,790.00</b>				
MW OH	EMPIRE CONSTRUCTION V012874	C&D BOND REFUND 40-23-50	0044-2033 Construction & Demo Deposit	AP070824	12,000.00	B24-3016		00131623	07/11/2024
				<b>Check Total:</b>	<b>12,000.00</b>				
MW OH	ENTENMANN-ROVIN CO V000342	PD BADGES	103040-6299 Other Purchased Services	AP070824	732.77	0181954-IN		00131624	07/11/2024
				<b>Check Total:</b>	<b>732.77</b>				
MW OH	eSCHEDULE V012056	DISPATCH SCHEDULING SOFTWARE	101515-6137 Repair Maint/Equipment	AP070824	60.00	6559		00131625	07/11/2024
				<b>Check Total:</b>	<b>60.00</b>				

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MW OH	ESRI V009390	ESRI ARCGIS RENEWAL	101523-6136 Software Maintenance	AP070824	10,950.00	94717790	P13394	00131626	07/11/2024
					<b>Check Total:</b>	<b>10,950.00</b>			
MW OH	FIREFIGHTERS SAFETY V011346	FD UNIFORMS	103066-6360 Uniforms	AP070824	1,010.07	29667		00131627	07/11/2024
					<b>Check Total:</b>	<b>1,010.07</b>			
MW OH	FRANCHISE TAX BOARD V000404	FTB PE6/22 PD6/28	0010-2196 Garnishments W/H	AP070824	1,395.85	PR2401013		00131628	07/11/2024
					<b>Check Total:</b>	<b>1,395.85</b>			
MW OH	GENERAL CODE LLC V012868	MUNICIPAL CODE UPDATE	101513-6299 Other Purchased Services	AP070824	1,580.00	PG000036510		00131629	07/11/2024
					<b>Check Total:</b>	<b>1,580.00</b>			
MW OH	GOLDEN STATE WATER V000928	MAY-JUN WATER CHARGES	109595-6335 Water	AP070824	418.30	062624		00131630	07/11/2024
MW OH	GOLDEN STATE WATER V000928	MAY-JUN WATER CHARGES	296561-6335 Water	AP070824	4,058.69	062624		00131630	07/11/2024
MW OH	GOLDEN STATE WATER V000928	MAY-JUN WATER CHARGES	109595-6335 / 21010-6335 Water	AP070824	137.97	070324		00131630	07/11/2024
MW OH	GOLDEN STATE WATER V000928	MAY - JUN WATER CHARGES	109595-6335 Water	AP070824	38,734.18	070324		00131630	07/11/2024
MW OH	GOLDEN STATE WATER V000928	MAY - JUN WATER CHARGES	296561-6335 Water	AP070824	15,237.48	070324		00131630	07/11/2024
					<b>Check Total:</b>	<b>58,586.62</b>			
MW OH	GONZALEZ, SANDRA V010618	LANDSCAPE PLAN CHECK	102531-6047 Landscape Review Expense	AP070824	3,920.00	024-11	P13451	00131631	07/11/2024
					<b>Check Total:</b>	<b>3,920.00</b>			
MW OH	GRAVENBURG, EICHENBAUM V012869	WK12 OLD TOWN LIVE! PERFORMER	010511-6301 / 243401-6301 Special Department Expenses	AP070824	530.00	1PL		00131632	07/11/2024

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				<b>Check Total:</b>	<b>530.00</b>				
MW OH	HALO CONFIDENTIAL V011712	JUN TRAINING MGMT SERVICES	103040-6290 Dept. Contract Services	AP070824	2,787.50	0235T	P12939	00131633	07/11/2024
				<b>Check Total:</b>	<b>2,787.50</b>				
MW OH	HAZ PARTY RENTALS V000462	ARROYO RIBON CUTTING -RENTALS	104071-6301 Special Department Expenses	AP070824	315.88	46816		00131634	07/11/2024
MW OH	HAZ PARTY RENTALS V000462	KOCH PK RIBBON CUTTING - RENT	104071-6301 Special Department Expenses	AP070824	172.88	47032		00131634	07/11/2024
				<b>Check Total:</b>	<b>488.76</b>				
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP070824	518.36	0015097715-001	P13272	00131635	07/11/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP070824	190.16	0015840450-001	P13272	00131635	07/11/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP070824	167.20	0015936005-001	P13272	00131635	07/11/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP070824	10.15	0016141710-001	P13272	00131635	07/11/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP070824	1,004.56	0016239565-001	P13272	00131635	07/11/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP070824	111.10	0016376468-001	P13272	00131635	07/11/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP070824	611.34	015861512-001	P13272	00131635	07/11/2024
				<b>Check Total:</b>	<b>2,612.87</b>				
MW OH	JOHN L HUNTER & V009056	APR NPDES CONSULTING SVS	103593-6099 Professional Services	AP070824	5,890.56	PLA1MS412404	P13125	00131636	07/11/2024
				<b>Check Total:</b>	<b>5,890.56</b>				
MW OH	JONES & MAYER	MAY LEGAL SERVICES	102531-6005	AP070824	1,053.85	122928		00131637	07/11/2024

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	V009822		Legal Services						
MW OH	JONES & MAYER V009822	MAY LEGAL SERVICES	101005-6005 Legal Services	AP070824	330.42	122930		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LITIGATION FEES	101005-6006 Litigation	AP070824	162.89	122931		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LITIGATION FEES	101005-6006 Litigation	AP070824	1,058.73	122935		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LEGAL SERVICES	101005-6005 Legal Services	AP070824	2,036.02	122936		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LITIGATION FEES	101005-6006 Litigation	AP070824	787.26	122942		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LITIGATION FEES	101005-6006 Litigation	AP070824	54.30	122943		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LITIGATION FEES	101005-6006 Litigation	AP070824	376.74	122944		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LITIGATION FEES	101005-6006 Litigation	AP070824	325.74	122945		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LEGAL SERVICES	101005-6005 Legal Services	AP070824	453.74	122949		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LEGAL SERVICES	101005-6005 Legal Services	AP070824	478.95	122950		00131637	07/11/2024
MW OH	JONES & MAYER V009822	MAY LEGAL SERVICES	101005-6005 Legal Services	AP070824	100.83	122951		00131637	07/11/2024
MW OH	JONES & MAYER V009822	RETAINER	101005-6005 Legal Services	AP070824	38,107.36	123254		00131637	07/11/2024
<b>Check Total:</b>					<b>45,326.83</b>				
MW OH	JV PLUMBING V011345	PLUMBING SERVICES	795301-6850 Building & Facilities	AP070824	743.10	4461		00131638	07/11/2024

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				<b>Check Total:</b>	<b>743.10</b>				
MW OH	KANA PIPELINE V007618	CONSTRUCTION SVS	713101-6750 Infrastructure - Sewer	AP070824	82,488.81	CLAIM	P13067	00131639	07/11/2024
MW OH	KANA PIPELINE V007618	CONSTRUCTION SVS	103101-6750 Infrastructure - Sewer	AP070824	76,625.04	CLAIM	P13067	00131639	07/11/2024
				<b>Check Total:</b>	<b>159,113.85</b>				
MW OH	LEGION CONTRACTORS V012614	RETENTION	637902-2046 Retentions Payable	AP070824	65,438.72	24011222		00131640	07/11/2024
MW OH	LEGION CONTRACTORS V012614	RETENTION	697902-2046 Retentions Payable	AP070824	19,615.44	24011222		00131640	07/11/2024
MW OH	LEGION CONTRACTORS V012614	RETENTION	797902-2046 Retentions Payable	AP070824	29,059.60	24011222		00131640	07/11/2024
				<b>Check Total:</b>	<b>114,113.76</b>				
MW OH	LEHR AUTO V009930	UNIT 14 VEHICLE STRIP	213041-6842 Vehicles	AP070824	1,000.00	SI104803		00131641	07/11/2024
MW OH	LEHR AUTO V009930	ETHERNET CABLE REPAIRS	213041-6842 Vehicles	AP070824	625.00	SI104807		00131641	07/11/2024
				<b>Check Total:</b>	<b>1,625.00</b>				
MW OH	LN CURTIS & SONS V011267	PART/MAINTENANCE FOR TOOLS	103066-6137 Repair Maint/Equipment	AP070824	1,321.50	INV833517		00131642	07/11/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - SERVIN	103041-6360 Uniforms	AP070824	76.91	INV837063	P13313	00131642	07/11/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - OLDHAM	103041-6360 Uniforms	AP070824	658.01	INV837573	P13313	00131642	07/11/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS	103041-6360 / 50044-6360 Uniforms	AP070824	139.45	INV838074	P13313	00131642	07/11/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - EATON	103041-6360 Uniforms	AP070824	76.91	INV838174	P13313	00131642	07/11/2024

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MW OH	LN CURTIS & SONS V011267	PD UNIFORMS	103041-6360 / 50044-6360 Uniforms	AP070824	26.52	INV838625	P13313	00131642	07/11/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - TREJO	103041-6360 Uniforms	AP070824	123.54	INV839039	P13313	00131642	07/11/2024
MW OH	LN CURTIS & SONS V011267	PAT UNIFORMS	103041-6360 / 50044-6360 Uniforms	AP070824	2,379.79	INV833935	P13444	00131642	07/11/2024
MW OH	LN CURTIS & SONS V011267	PAT UNIFORMS	103041-6360 / 50044-6360 Uniforms	AP070824	2,413.36	INV835450	P13444	00131642	07/11/2024
<b>Check Total:</b>					<b>7,215.99</b>				
MW OH	LOENGREEN INC V012515	APR CONSTRUCTION SVS	109800-6850 / 105213-6850 Building & Facilities	AP070824	47,553.01	LVC1056	P13105	00131643	07/11/2024
<b>Check Total:</b>					<b>47,553.01</b>				
MW OH	METASOURCE LLC V012853	APR DIGITIZATION SERVICES	756205-6840 / 756205-6840 Machinery & Equipment	AP070824	35,551.70	INV85436	P13435	00131644	07/11/2024
MW OH	METASOURCE LLC V012853	MAY DIGITIZATION SERVICES	756205-6840 / 756205-6840 Machinery & Equipment	AP070824	35,832.30	INV86187	P13435	00131644	07/11/2024
MW OH	METASOURCE LLC V012853	MAY DIGITIZATION SERVICES	109800-6850 / 105213-6850 Building & Facilities	AP070824	26,182.02	INV86187	P13435	00131644	07/11/2024
<b>Check Total:</b>					<b>97,566.02</b>				
MW OH	MIKE RAAHAUGES V010677	6/18 PISTOL RANGE USE	103043-6162 Range Training	AP070824	125.00	1975		00131645	07/11/2024
<b>Check Total:</b>					<b>125.00</b>				
MW OH	MINUTEMAN PRESS- V007449	POSTER	109202-6770 / 109202-6770 Infrastructure - Major Studies	AP070824	164.00	39982		00131646	07/11/2024
<b>Check Total:</b>					<b>164.00</b>				
MW OH	ORANGE COUNTY V000699	OCEA PE6/22 PD 6/28	0010-2176 PCEA/OCEA Assoc Dues	AP070824	584.51	PR2401013		00131647	07/11/2024
MW OH	ORANGE COUNTY	OCEA PE6/22 PD 6/28	0029-2176	AP070824	2.08	PR2401013		00131647	07/11/2024

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	V000699		PCEA/OCEA Assoc Dues						
MW OH	ORANGE COUNTY V000699	OCEA PE6/22 PD 6/28	0037-2176 PCEA/OCEA Assoc Dues	AP070824	0.09	PR2401013		00131647	07/11/2024
MW OH	ORANGE COUNTY V000699	OCEA PE6/22 PD 6/28	0048-2176 PCEA/OCEA Assoc Dues	AP070824	0.80	PR2401013		00131647	07/11/2024
MW OH	ORANGE COUNTY V000699	OCEA PE6/22 PD 6/28	0054-2176 PCEA/OCEA Assoc Dues	AP070824	0.02	PR2401013		00131647	07/11/2024
<b>Check Total:</b>					<b>587.50</b>				
MW OH	ORANGE COUNTY V011002	MAY CAPITAL FACILITIES CHARGE	102532-4364 Sanitation Collect Fees	AP070824	2,681.04	07032024		00131648	07/11/2024
MW OH	ORANGE COUNTY V011002	JUN CAPITAL FACILITIES CHARGE	0044-2037 County Sanitation Dist Fee	AP070824	53,620.79	07032024		00131648	07/11/2024
<b>Check Total:</b>					<b>56,301.83</b>				
MW OH	ORANGE COUNTY V007306	4 TH QTR ANIMAL SHELTER CONST	103045-6130 Repair & Maint/Facilities	AP070824	15,356.71	AC2490086	P13039	00131649	07/11/2024
<b>Check Total:</b>					<b>15,356.71</b>				
MW OH	PATH V011455	JUN NAV CTR MGMT SVS	784070-6290 Dept. Contract Services	AP070824	137,333.33	800-24.06	P12993	00131650	07/11/2024
<b>Check Total:</b>					<b>137,333.33</b>				
MW OH	PBK-WLC ARCHITECTS V012022	JUN PSC - ARCHITECT. & ENG SVS	105213-6850 / 105213-6850 Building & Facilities	AP070824	14,880.00	000000000030	P13047	00131651	07/11/2024
<b>Check Total:</b>					<b>14,880.00</b>				
MW OH	PCEA C/O NORTH ORANGE V000679	OCEA PE6/22 PD 6/28	0048-2176 PCEA/OCEA Assoc Dues	AP070824	0.07	PR2401013		00131652	07/11/2024
MW OH	PCEA C/O NORTH ORANGE V000679	OCEA PE6/22 PD 6/28	0037-2176 PCEA/OCEA Assoc Dues	AP070824	0.01	PR2401013		00131652	07/11/2024
MW OH	PCEA C/O NORTH ORANGE V000679	OCEA PE6/22 PD 6/28	0010-2176 PCEA/OCEA Assoc Dues	AP070824	50.50	PR2401013		00131652	07/11/2024

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MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE6/22 PD 6/28	0029-2176 PCEA/OCEA Assoc Dues	AP070824	0.18	PR2401013		00131652	07/11/2024
<b>Check Total:</b>					<b>50.76</b>				
MW OH	PERIMETER PROTECTION V011153	MAR SECURITY MONITORING	101523-6128 Video Monitoring	AP070824	15,651.75	1172	P12978	00131653	07/11/2024
MW OH	PERIMETER PROTECTION V011153	APR SECURITY MONITORING	101523-6128 Video Monitoring	AP070824	2,880.00	1179	P12978	00131653	07/11/2024
MW OH	PERIMETER PROTECTION V011153	MAY SECURITY MONITORING	101523-6128 Video Monitoring	AP070824	2,880.00	1186	P12978	00131653	07/11/2024
<b>Check Total:</b>					<b>21,411.75</b>				
MW OH	PREMIER FIRST RESPONDER V011754	JUN OFFICER THERAPY SVS	503040-6301 / 233004-6301 Special Department Expenses	AP070824	450.00	1496		00131654	07/11/2024
<b>Check Total:</b>					<b>450.00</b>				
MW OH	QUADIANT INC V012611	FEB PARCEL PENDING	103654-6301 Special Department Expenses	AP070824	136.86	60716516		00131655	07/11/2024
MW OH	QUADIANT INC V012611	APR PARCEL PENDING	103654-6301 Special Department Expenses	AP070824	136.86	60865778		00131655	07/11/2024
MW OH	QUADIANT INC V012611	MAY PARCEL PENDING	103654-6301 Special Department Expenses	AP070824	136.86	60937552		00131655	07/11/2024
MW OH	QUADIANT INC V012611	JUN PARCEL PENDING	103654-6301 Special Department Expenses	AP070824	136.86	61021291		00131655	07/11/2024
<b>Check Total:</b>					<b>547.44</b>				
MW OH	SANTA ANA (CENTRAL) CIVITB V012818	PE6/22 PD6/28	0010-2196 Garnishments W/H	AP070824	393.46	PR2401013		00131656	07/11/2024
<b>Check Total:</b>					<b>393.46</b>				
MW OH	SDC ENGINEERING INC V011147	MAY CONSTRUCTION SVS	697911-2046 / 697911-2046 Retentions Payable	AP070824	-205.65	903		00131657	07/11/2024
MW OH	SDC ENGINEERING INC	MAY CONSTRUCTION SVS	107911-2046 / 107911-2046	AP070824	-105.76	903		00131657	07/11/2024

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	V011147		Retentions Payable						
MW OH	SDC ENGINEERING INC V011147	MAY CONSTRUCTION SVS	507911-2046 / 507911-2046 Retentions Payable	AP070824	-1,365.97	903		00131657	07/11/2024
MW OH	SDC ENGINEERING INC V011147	MAY CONSTRUCTION SVS	697911-6760 / 697911-6760 Infrastructure - Parks	AP070824	4,113.01	903	P13330	00131657	07/11/2024
MW OH	SDC ENGINEERING INC V011147	MAY CONSTRUCTION SVS	107911-6760 / 107911-6760 Infrastructure - Parks	AP070824	2,115.52	903	P13330	00131657	07/11/2024
MW OH	SDC ENGINEERING INC V011147	MAY CONSTRUCTION SVS	507911-6760 / 507911-6760 Infrastructure - Parks	AP070824	27,319.35	903	P13330	00131657	07/11/2024
<b>Check Total:</b>					<b>31,870.50</b>				
MW OH	SO CAL GAS V000909	MAY-JUN GAS CHARGES	109595-6340 Natural Gas	AP070824	318.46	062724		00131658	07/11/2024
MW OH	SO CAL GAS V000909	MAY-JUN GAS CHARGES	109595-6340 Natural Gas	AP070824	56.83	070324		00131658	07/11/2024
<b>Check Total:</b>					<b>375.29</b>				
MW OH	SOUTHERN CALIFORNIA V000910	MAY-JUN ELECTRIC CHARGES	109595-6330 Electricity	AP070824	2,928.64	062724		00131659	07/11/2024
MW OH	SOUTHERN CALIFORNIA V000910	MAY-JUN ELECTRIC CHARGES	109595-6330 / 21009-6330 Electricity	AP070824	50.36	062724		00131659	07/11/2024
MW OH	SOUTHERN CALIFORNIA V000910	MAY-JUN ELECTRIC CHARGES	296561-6330 Electricity	AP070824	1,338.26	062724		00131659	07/11/2024
MW OH	SOUTHERN CALIFORNIA V000910	MAY-JUN ELECTRIC CHARGES	109595-6330 Electricity	AP070824	36,052.01	070324		00131659	07/11/2024
MW OH	SOUTHERN CALIFORNIA V000910	MAY-JUN ELECTRIC CHARGES	109595-6330 / 21009-6330 Electricity	AP070824	61.87	070324		00131659	07/11/2024
MW OH	SOUTHERN CALIFORNIA V000910	MAY-JUN ELECTRIC CHARGES	109595-6330 / 21010-6330 Electricity	AP070824	477.93	070324		00131659	07/11/2024
<b>Check Total:</b>					<b>40,909.07</b>				

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MW OH	SOUTHERN CALIFORNIA V009955	5/1-30 NEWSPAPER PUBLICATIONS	101002-6225 Advertising/Promotional	AP070824	625.62	591779		00131660	07/11/2024
MW OH	SOUTHERN CALIFORNIA V009955	5/1-30 NEWSPAPER PUBLICATIONS	860000-6226 Public Notice	AP070824	494.53	591779		00131660	07/11/2024
					<b>Check Total:</b>	<b>1,120.15</b>			
MW OH	STUBBS, BEN V012871	DAMAGE DEPOSIT REFUND R3759	104071-4385 Facility Rental	AP070824	158.00	2004059.002		00131661	07/11/2024
					<b>Check Total:</b>	<b>158.00</b>			
MW OH	T-MOBILE V004339	6/1-30 IPADS INTERNET CHARGES	109595-6215 Telephone/Internet	AP070824	622.24	JUNE 2024		00131662	07/11/2024
					<b>Check Total:</b>	<b>622.24</b>			
MW OH	T-MOBILE USA V009215	PHONE AREA DUMP DR24-01981	103042-6290 Dept. Contract Services	AP070824	1,000.00	9571965541		00131663	07/11/2024
MW OH	T-MOBILE USA V009215	CELL TOWER DUMP DR24-01981	103042-6290 Dept. Contract Services	AP070824	50.00	9572646468		00131663	07/11/2024
					<b>Check Total:</b>	<b>1,050.00</b>			
MW OH	TAIT ENVIRONMENTAL V012524	TANK REMOVAL/REPLACEMENT	103593-6099 Professional Services	AP070824	5,096.25	161743	P13295	00131664	07/11/2024
					<b>Check Total:</b>	<b>5,096.25</b>			
MW OH	TEAM ONE MANAGEMENT V010070	KRAMER PK - EVENT CLEANING	104076-6130 Repair & Maint/Facilities	AP070824	140.00	98-X		00131665	07/11/2024
					<b>Check Total:</b>	<b>140.00</b>			
MW OH	THE SAUCE CREATIVE V007476	SUMMER CONCERT/MOVIES FLYERS	104071-6299 Other Purchased Services	AP070824	915.90	6985		00131666	07/11/2024
MW OH	THE SAUCE CREATIVE V007476	PALM QTR PRINTING - SUMMER '24	104070-6230 Printing & Binding	AP070824	11,277.03	6908	P13446	00131666	07/11/2024
MW OH	THE SAUCE CREATIVE V007476	PALM QTR DESIGN SUMMER'24	104071-6099 Professional Services	AP070824	6,642.35	6908	P13446	00131666	07/11/2024

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				<b>Check Total:</b>	<b>18,835.28</b>				
MW OH	THREADCRAFT EMBROIDERYCS V009962	UNIFORMS - PART TIME STAFF	104071-6360 Uniforms	AP070824	4,900.96	11335	P13416	00131667	07/11/2024
				<b>Check Total:</b>	<b>4,900.96</b>				
MW OH	TOTUM CORP V010229	MAR CONST, INSPECTION SVS	105213-6850 / 229999-6850 Building & Facilities	AP070824	573.97	206531	P13049	00131668	07/11/2024
MW OH	TOTUM CORP V010229	MAR CONST, INSPECTION SVS	105213-6850 / 105213-6850 Building & Facilities	AP070824	27,511.03	206531	P13049	00131668	07/11/2024
				<b>Check Total:</b>	<b>28,085.00</b>				
MW OH	TOWNSEND PUBLIC AFFAIRS V004165	SUN CONSULTING SVS	101001-6001 Management Consulting Services	AP070824	6,000.00	21754	P13285	00131669	07/11/2024
				<b>Check Total:</b>	<b>6,000.00</b>				
MW OH	TRANSUNION RISK & V009317	JUN PD DATABASE TRANSACTIONS	103042-6290 Dept. Contract Services	AP070824	175.40	49451-202406-1		00131670	07/11/2024
				<b>Check Total:</b>	<b>175.40</b>				
MW OH	TURBO DATA SYSTEMS INC V001238	JUN PARKING CITATION SVS	103047-6290 Dept. Contract Services	AP070824	2,445.32	43261	P13052	00131671	07/11/2024
				<b>Check Total:</b>	<b>2,445.32</b>				
MW OH	ULINE V006583	FREIGHT CHARGES	109800-6850 / 105213-6850 Building & Facilities	AP070824	72.48	CUST 16312703		00131672	07/11/2024
				<b>Check Total:</b>	<b>72.48</b>				
MW OH	UNDERGROUND SERVICE V010637	JUN CA STATE FEE REG COST	484356-6301 Special Department Expenses	AP070824	80.14	23-2426285		00131673	07/11/2024
MW OH	UNDERGROUND SERVICE V010637	JUN DIG ALERT SVS	484356-6301 Special Department Expenses	AP070824	171.00	620240535		00131673	07/11/2024
				<b>Check Total:</b>	<b>251.14</b>				
MW OH	US BANK PARS #6746022400	PARS PT EE/ER PE6/22 PD6/28	0010-2126	AP070824	2,404.44	PR2401013		00131674	07/11/2024

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	V008781		Employee PARS/ARS W/H						
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE6/22 PD6/28	0010-2131 Employer PARS/ARS Payable	AP070824	2,404.44	PR2401013		00131674	07/11/2024
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE6/22 PD7/2	0010-2131 Employer PARS/ARS Payable	AP070824	34.45	PR2401013B		00131674	07/11/2024
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE6/22 PD7/2	0010-2126 Employee PARS/ARS W/H	AP070824	34.45	PR2401013B		00131674	07/11/2024
<b>Check Total:</b>					<b>4,877.78</b>				
MW OH	VERIZON WIRELESS V008735	5/21-6/28 PD DEVICES CHARGES	109595-6215 Telephone/Internet	AP070824	6,310.08	9967102101		00131675	07/11/2024
MW OH	VERIZON WIRELESS V008735	5/21-6/28 IPADS CHARGES	109595-6215 Telephone/Internet	AP070824	311.88	9967102102		00131675	07/11/2024
MW OH	VERIZON WIRELESS V008735	5/21-6/28 NEW COUNCIL IPADS	109595-6215 Telephone/Internet	AP070824	180.87	9967102103		00131675	07/11/2024
<b>Check Total:</b>					<b>6,802.83</b>				
MW OH	WELLS FARGO VENDOR FIN6/15-7/14 V010076	PRINTER/COPIER SVS	109595-6175 Office Equipment Rental	AP070824	107.73	5030034540	P13103	00131676	07/11/2024
MW OH	WELLS FARGO VENDOR FIN6/15-7/14 V010076	PRINTER/COPIER SVS	109595-6175 Office Equipment Rental	AP070824	255.57	5030034541	P13103	00131676	07/11/2024
MW OH	WELLS FARGO VENDOR FIN6/15-7/14 V010076	PRINTER/COPIER SVS	109595-6175 Office Equipment Rental	AP070824	70.69	5030034542	P13103	00131676	07/11/2024
MW OH	WELLS FARGO VENDOR FIN6/15-7/14 V010076	PRINTER/COPIER SVS	109595-6175 Office Equipment Rental	AP070824	79.39	5030034543	P13103	00131676	07/11/2024
MW OH	WELLS FARGO VENDOR FIN6/15-7/14 V010076	PRINTER/COPIER SVS	109595-6175 Office Equipment Rental	AP070824	219.89	5030034544	P13103	00131676	07/11/2024
MW OH	WELLS FARGO VENDOR FIN6/15-7/14 V010076	PRINTER/COPIER SVS	109595-6175 Office Equipment Rental	AP070824	5,529.91	5030034545	P13103	00131676	07/11/2024
<b>Check Total:</b>					<b>6,263.18</b>				

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MW OH	YORBA LINDA WATER V001148	MAY-JUN WATER CHARGES	109595-6335 Water	AP070824	1,139.57	062724		00131677	07/11/2024
MW OH	YORBA LINDA WATER V001148	MAY-JUN WATER CHARGES	109595-6335 Water	AP070824	1,880.94	070324		00131677	07/11/2024
<b>Check Total:</b>					<b>3,020.51</b>				
MW OH	YORBA REGIONAL ANIMAL K9 MEDICAL SVS - ENZO V008472		103041-6148 K9 Expenses	AP070824	143.30	5438695232		00131678	07/11/2024
<b>Check Total:</b>					<b>143.30</b>				
MW OH	AIRGAP LABS LLC V012533	UPS NETWORK INTERFACE CARD	581573-6840 Machinery & Equipment	AP071524	341.55	212881REV	P13438	00131701	07/18/2024
MW OH	AIRGAP LABS LLC V012533	DIGITAL KVM W/ LCD DISPLAY	581573-6840 Machinery & Equipment	AP071524	3,175.72	212881REV	P13438	00131701	07/18/2024
MW OH	AIRGAP LABS LLC V012533	FORTISWITCH-148F-POE SWITCH	581573-6840 Machinery & Equipment	AP071524	831.20	212881REV	P13438	00131701	07/18/2024
MW OH	AIRGAP LABS LLC V012533	FORTICARE 5YR MAINTINANCE	581573-6840 Machinery & Equipment	AP071524	1,370.35	212881REV	P13438	00131701	07/18/2024
MW OH	AIRGAP LABS LLC V012533	PROFESSIONAL SERVICE HOURS	581573-6840 Machinery & Equipment	AP071524	1,980.00	212881REV	P13438	00131701	07/18/2024
MW OH	AIRGAP LABS LLC V012533	Sales Tax	581573-6840 Machinery & Equipment	AP071524	427.67	212881REV	P13438	00131701	07/18/2024
<b>Check Total:</b>					<b>8,126.49</b>				
MW OH	ALL CITY MANAGEMENT V000005	6/9-22 CROSSING GUARD SVS	103047-6290 Dept. Contract Services	AP071524	1,772.64	94385	P12977	00131702	07/18/2024
<b>Check Total:</b>					<b>1,772.64</b>				
MW OH	AMAZON CAPITAL SERVICES V012336	SUN - PW MAINTENANCE SUPPLIES	103658-6301 Special Department Expenses	AP071524	61.94	1R6L-NWCJ-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SUN - PW MAINTENANCE SUPPLIES	103658-6350 Small Tools/Equipment	AP071524	208.51	1R6L-NWCJ-		00131703	07/18/2024

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MW OH	AMAZON CAPITAL SERVICES V012336	SUN - PW MAINTENANCE SUPPLIES	103654-6130 Repair & Maint/Facilities	AP071524	-24.92	1R6L-NWCJ-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	OFFICE SUPPLIES	102020-6315 Office Supplies	AP071524	35.01	1WPK-WG69-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	PAPER	101513-6315 Office Supplies	AP071524	40.05	1XWD-RDRR-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	BC TAG BADGES	101513-6315 Office Supplies	AP071524	12.98	1XWD-RDRR-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	FILE FOLDERS	101513-6315 Office Supplies	AP071524	132.31	1XWD-RDRR-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	HARD DRIVE	799700-6368 Computer Peripheral/Accessory	AP071524	91.98	1XWD-RDRR-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	HDMI CABLE	799700-6368 Computer Peripheral/Accessory	AP071524	93.52	1XWD-RDRR-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SEAGATE HARD DRIVE	799700-6368 Computer Peripheral/Accessory	AP071524	237.50	1XWD-RDRR-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SALES TAX	799700-6368 Computer Peripheral/Accessory	AP071524	163.48	1XWD-RDRR-		00131703	07/18/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SCAN SNAP	799700-6364 Computer Hardware	AP071524	1,259.97	1XWD-RDRR-		00131703	07/18/2024
<b>Check Total:</b>					<b>2,312.33</b>				
MW OH	AMERICAN OFFICE V009212	ENV OFFICE COORD- FURNITURE	103654-6855 Furniture & Fixtures	AP071524	1,797.16	14811		00131704	07/18/2024
<b>Check Total:</b>					<b>1,797.16</b>				
MW OH	AMTECH ELEVATOR V012616	APR ELEVATOR MAINTENANCE SVS	103654-6290 Dept. Contract Services	AP071524	356.00	151401550255	P13013	00131705	07/18/2024
MW OH	AMTECH ELEVATOR V012616	MAY ELEVATOR MAINTENANCE SVS	103654-6290 Dept. Contract Services	AP071524	356.00	151401581149	P13013	00131705	07/18/2024

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					<b>Check Total:</b>	<b>712.00</b>			
MW OH	AUDI NORTH OC V012263	JUN -PLACENTIA VH REBATE PROGRAM	01534-6363 Resident Vehicle Rebate Prog	AP071524	500.00	JUNE 2024		00131706	07/18/2024
					<b>Check Total:</b>	<b>500.00</b>			
MW OH	AVENU INSIGHTS & V012574	APR-JUN UTILITY USER TAX	102020-6099 Professional Services	AP071524	5,089.94	INV06-018976	P13116	00131707	07/18/2024
					<b>Check Total:</b>	<b>5,089.94</b>			
MW OH	B & M LAWN & GARDEN V000127	LANDSCAPE SUPPLIES	103655-6301 Special Department Expenses	AP071524	465.47	641925		00131708	07/18/2024
MW OH	B & M LAWN & GARDEN V000127	LANDSCAPE SUPPLIES	103655-6301 Special Department Expenses	AP071524	266.67	642528		00131708	07/18/2024
					<b>Check Total:</b>	<b>732.14</b>			
MW OH	BARRON ROOFING V012006	C&D BOND REFUND 30-24-212	0044-2033 Construction & Demo Deposit	AP071524	100.00	B24-1580		00131709	07/18/2024
					<b>Check Total:</b>	<b>100.00</b>			
MW OH	BUREAU VERITAS V012759	MAR FACILITY ASSESSMENT SVS	799800-6770 / 24903-6770 Infrastructure - Major Studies	AP071524	3,060.55	INV00037929	P13278	00131710	07/18/2024
MW OH	BUREAU VERITAS V012759	FACILITY ASSESSMENT SVS	799800-6770 / 24903-6770 Infrastructure - Major Studies	AP071524	12,598.88	INV00039296	P13278	00131710	07/18/2024
					<b>Check Total:</b>	<b>15,659.43</b>			
MW OH	BUTTS, BRAD V002941	JUN FASTRACK REIMBURSEMENT	103040-6051 Toll Roads Expense	AP071524	444.19	JUNE 24		00131711	07/18/2024
					<b>Check Total:</b>	<b>444.19</b>			
MW OH	CALIFORNIA BUILDING V010984	APR-JUN CBSC FEES	0044-2036 CBSC State Fee	AP071524	531.50	07092024		00131712	07/18/2024
MW OH	CALIFORNIA BUILDING V010984	APR-JUN CBSC FEES	102532-4160 Building Permits	AP071524	-53.25	07092024		00131712	07/18/2024
MW OH	CALIFORNIA BUILDING	APR-JUN CBSC FEES	104076-6130	AP071524	1.00	07092024		00131712	07/18/2024

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	V010984		Repair & Maint/Facilities						
				<b>Check Total:</b>	<b>479.25</b>				
MW OH	CALMAT CO. V010007	PAVING MATERIALS	103652-6132 Repair & Maintenance/Streets	AP071524	769.61	74047056	P13098	00131713	07/18/2024
				<b>Check Total:</b>	<b>769.61</b>				
MW OH	CHARTER COMMUNICATIONS V004450	814-7/13 PHONE/INTERNET SVS	109595-6215 Telephone/Internet	AP071524	179.96	0717647061424		00131714	07/18/2024
				<b>Check Total:</b>	<b>179.96</b>				
MW OH	COMMERCIAL AQUATIC V005203	JUN FOUNTAIN MAINT.	103654-6290 Dept. Contract Services	AP071524	408.80	971466	P13046	00131715	07/18/2024
MW OH	COMMERCIAL AQUATIC V005203	JUN FOUNTAIN MAINT - LIBRARY	103654-6290 / 21008-6290 Dept. Contract Services	AP071524	291.20	971466	P13046	00131715	07/18/2024
				<b>Check Total:</b>	<b>700.00</b>				
MW OH	COUNTY OF ORANGE V005595	PENALTY FEES	103658-6257 Licenses & Permits	AP071524	35.00	IN1267751-5		00131716	07/18/2024
MW OH	COUNTY OF ORANGE V005595	UNDERGROUND TANK - REINSP FEE	103658-6257 Licenses & Permits	AP071524	287.50	IN1267751-6		00131716	07/18/2024
				<b>Check Total:</b>	<b>322.50</b>				
MW OH	DEPARTMENT OF V000184	APR-JUN STRONG MOTION FEES	104076-6130 Repair & Maint/Facilities	AP071524	1.83	07092024		00131717	07/18/2024
MW OH	DEPARTMENT OF V000184	APR-JUN STRONG MOTION FEES	102532-4160 Building Permits	AP071524	-78.36	07092024		00131717	07/18/2024
MW OH	DEPARTMENT OF V000184	APR-JUN STRONG MOTION FEES	0044-2035 Strong Motion Fees/Non-Res	AP071524	393.42	07092024		00131717	07/18/2024
MW OH	DEPARTMENT OF V000184	APR-JUN STRONG MOTION FEES	0044-2035 Strong Motion Fees/Non-Res	AP071524	3.50	07092024		00131717	07/18/2024
MW OH	DEPARTMENT OF V000184	APR-JUN STRONG MOTION FEES	0044-2030 Strong Motion Fees/Res.	AP071524	1,153.92	07092024		00131717	07/18/2024

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MW OH	DEPARTMENT OF V000184	APR-JUN STRONG MOTION FEES	0044-2030 Strong Motion Fees/Res.	AP071524	14.50	07092024		00131717	07/18/2024
				<b>Check Total:</b>	<b>1,488.81</b>				
MW OH	DISABILITY ACCESS V012852	JUN ADA PLAN SERVICES	109800-6770 / 24901-6770 Infrastructure - Major Studies	AP071524	5,810.00	24-218	P13434	00131718	07/18/2024
				<b>Check Total:</b>	<b>5,810.00</b>				
MW OH	DLW CONSULTING & V011427	MAY BACKGROUND SVS	101512-6099 Professional Services	AP071524	2,400.00	PFLS 24-02	P12996	00131719	07/18/2024
				<b>Check Total:</b>	<b>2,400.00</b>				
MW OH	EPIC LAND SOLUTIONS INC. V012586	MAY EASEMENT APPRAISAL	331801-6740 / 331801-6740 Infrastructure - Streets	AP071524	5,540.99	0524-1420	P13088	00131720	07/18/2024
				<b>Check Total:</b>	<b>5,540.99</b>				
MW OH	EPOWER NETWORK INC V011953	FD 1- GENERATOR REPAIRS	103654-6130 Repair & Maint/Facilities	AP071524	4,840.50	32341	P13332	00131721	07/18/2024
				<b>Check Total:</b>	<b>4,840.50</b>				
MW OH	FACTORY MOTOR PARTS V010842	PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP071524	20.12	102-213817	P13045	00131722	07/18/2024
				<b>Check Total:</b>	<b>20.12</b>				
MW OH	FASTSIGNS V007748	TENT/TABLE THROW CUSTOM PRINT	101514-6301 Special Department Expenses	AP071524	1,598.90	261-20108		00131723	07/18/2024
				<b>Check Total:</b>	<b>1,598.90</b>				
MW OH	FIFTH AVENUE CLEANERS V010431	JUN - PD DRY CEALNING SVS	103040-6290 Dept. Contract Services	AP071524	1,115.17	JUNE 24		00131724	07/18/2024
				<b>Check Total:</b>	<b>1,115.17</b>				
MW OH	FM THOMAS AIR V010634	KOCH COMM CTR-RESET	104076-6130 Repair & Maint/Facilities	AP071524	400.00	46659A		00131725	07/18/2024
MW OH	FM THOMAS AIR	HVAC - EMERGENCY REPAIRS CH	103654-6130	AP071524	2,813.11	46818	P13441	00131725	07/18/2024

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	V010634		Repair & Maint/Facilities						
				<b>Check Total:</b>	<b>3,213.11</b>				
MW OH	FOSTER MORRISON V012475	JUN CONSULTING SERVICE	799203-6770 / 799203-6770 Infrastructure - Major Studies	AP071524	608.42	IN11-23-4001	P12787	00131726	07/18/2024
				<b>Check Total:</b>	<b>608.42</b>				
MW OH	GROUP 4 ARCHITECTURE V012379	JUN DESIGN SVS- SR CENTER	105212-6850 / 229999-6850 Building & Facilities	AP071524	1,715.00	12339	P13124	00131727	07/18/2024
				<b>Check Total:</b>	<b>1,715.00</b>				
MW OH	HEALTHPOINTE MEDICAL V010713	APR-MAY PREEMPL PHYSICALS	101512-6099 Professional Services	AP071524	6,208.00	30601-4333123		00131728	07/18/2024
MW OH	HEALTHPOINTE MEDICAL V010713	JUN PREEMPL PHYSICAL/DRUG TEST	101512-6099 Professional Services	AP071524	984.00	30601-4346139		00131728	07/18/2024
				<b>Check Total:</b>	<b>7,192.00</b>				
MW OH	HF&H CONSULTANTS LLC V010575	MAY SB 1383 CONSULTING SVS	374386-6099 Professional Services	AP071524	3,295.00	9721266	P13109	00131729	07/18/2024
				<b>Check Total:</b>	<b>3,295.00</b>				
MW OH	HI-WAY SAFETY RENTALS V000459	TRAFFIC SUPPLIES	103652-6310 Street Signs	AP071524	2,352.26	158789		00131730	07/18/2024
				<b>Check Total:</b>	<b>2,352.26</b>				
MW OH	HINDERLITER DE LLAMAS & V000465	APR-JUN TRANSACTION TAX AUDIT	102020-6099 Professional Services	AP071524	348.49	SIN040020	P13141	00131731	07/18/2024
				<b>Check Total:</b>	<b>348.49</b>				
MW OH	HIRSCH & ASSOCIATES INC V012854	JUN LANDSCAPE/DESIGN SVS	507313-6760 / 507313-6760 Infrastructure - Parks	AP071524	10,342.25	2421 PB-1	P13440	00131732	07/18/2024
				<b>Check Total:</b>	<b>10,342.25</b>				
MW OH	HIRSCH PIPE AND SUPPLY V004494	PLUMBING SUPPLIES	103654-6301 Special Department Expenses	AP071524	447.85	9610814		00131733	07/18/2024

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				<b>Check Total:</b>	<b>447.85</b>				
MW OH	HR GREEN PACIFIC INC V010735	APR PLAN CHECK SVS	103551-6290 Dept. Contract Services	AP071524	1,957.75	174978	P13122	00131734	07/18/2024
MW OH	HR GREEN PACIFIC INC V010735	JUN PLAN CHECK SVS	103551-6290 Dept. Contract Services	AP071524	5,607.00	176797	P13122	00131734	07/18/2024
MW OH	HR GREEN PACIFIC INC V010735	JUN PLAN CHECK SVS	103551-6290 Dept. Contract Services	AP071524	819.50	176798	P13122	00131734	07/18/2024
				<b>Check Total:</b>	<b>8,384.25</b>				
MW OH	INFRASTRUCTURE V011245	MAY ARCHITECTURAL/ENG DESIGN	102532-6290 Dept. Contract Services	AP071524	16,790.00	436742	P13167	00131735	07/18/2024
				<b>Check Total:</b>	<b>16,790.00</b>				
MW OH	KOSMONT TRANSACTIONS V011935	PROFESSIONAL SERVICES	102020-6099 Professional Services	AP071524	1,285.60	040324-3		00131736	07/18/2024
MW OH	KOSMONT TRANSACTIONS V011935	JUN PORTFOLIO MGMT SVS	102020-6099 Professional Services	AP071524	2,472.11	2307-6-012	P13139	00131736	07/18/2024
				<b>Check Total:</b>	<b>3,757.71</b>				
MW OH	LAMPMAN, JENNIFER V012568	ICSC CONF - TRAVEL EXPENSES	102020-6235 Travel	AP071524	38.95	JL071024		00131737	07/18/2024
				<b>Check Total:</b>	<b>38.95</b>				
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - PERRY	103040-6360 Uniforms	AP071524	30.49	INV840370		00131738	07/18/2024
				<b>Check Total:</b>	<b>30.49</b>				
MW OH	MARTIN, ARMANDO V011735	JUN DEAD ANIMAL REMOVAL SVS	103045-6280 Animal Control Services	AP071524	600.00	0002647	P13131	00131739	07/18/2024
				<b>Check Total:</b>	<b>600.00</b>				
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6301 Special Department Expenses	AP071524	166.03	249657/5		00131740	07/18/2024
MW OH	MC FADDEN-DALE	PW FLEET SUPPLIES	103658-6301	AP071524	6.73	549608/5		00131740	07/18/2024

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	V000635		Special Department Expenses						
				<b>Check Total:</b>	<b>172.76</b>				
MW OH	MUNICIPAL EMERGENCY V011423	EQUIPMENT MAINTENANCE	103066-6137 Repair Maint/Equipment	AP071524	912.24	IN2078019		00131741	07/18/2024
				<b>Check Total:</b>	<b>912.24</b>				
MW OH	NAPA AUTO PARTS V011456	CITY VEHICLE REPAIR PARTS	103658-6134 Vehicle Repair & Maintenance	AP071524	170.47	126892		00131742	07/18/2024
MW OH	NAPA AUTO PARTS V011456	CITY VEHICLE REPAIR PARTS	103658-6134 Vehicle Repair & Maintenance	AP071524	117.44	127029		00131742	07/18/2024
MW OH	NAPA AUTO PARTS V011456	CITY VEHICLE REPAIR PARTS	103658-6134 Vehicle Repair & Maintenance	AP071524	23.19	127364		00131742	07/18/2024
				<b>Check Total:</b>	<b>311.10</b>				
MW OH	NV5 INC V011256	CIVIL ENGINEERING SVS	103650-6099 Professional Services	AP071524	1,870.00	394425	P13400	00131743	07/18/2024
				<b>Check Total:</b>	<b>1,870.00</b>				
MW OH	ORANGE COUNTY V007306	JUN '24 PARKING CITATIONS	0044-2038 Parking Fines	AP071524	9,834.00	063024		00131744	07/18/2024
				<b>Check Total:</b>	<b>9,834.00</b>				
MW OH	PCN3 INC V012642	JUN CONSTRUCTION SVS	109800-6850 / 105213-6850 Building & Facilities	AP071524	548,482.50	B2429-012	P13086	00131745	07/18/2024
				<b>Check Total:</b>	<b>548,482.50</b>				
MW OH	PRUDENTIAL OVERALL V000836	6/5 UNIFORM CLEANING SVS	103650-6360 Uniforms	AP071524	178.33	62918363	P12973	00131746	07/18/2024
MW OH	PRUDENTIAL OVERALL V000836	6/12 UNIFORM CLEANING SVS	103650-6360 Uniforms	AP071524	178.33	62920159	P12973	00131746	07/18/2024
MW OH	PRUDENTIAL OVERALL V000836	6/19 UNIFORM CLEANING SVS	103650-6360 Uniforms	AP071524	181.85	62921955	P12973	00131746	07/18/2024
MW OH	PRUDENTIAL OVERALL	6/26 UNIFORM CLEANING SVS	103650-6360	AP071524	186.47	62923840	P12973	00131746	07/18/2024

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	V000836		Uniforms						
				<b>Check Total:</b>	<b>724.98</b>				
MW OH	RBI TRAFFIC INC V010707	APR-JUN TRAFFIC CTRL	103590-6290 Dept. Contract Services	AP071524	4,087.50	3543	P13186	00131747	07/18/2024
				<b>Check Total:</b>	<b>4,087.50</b>				
MW OH	RHA LANDSCAPE V011993	APR DOG PARK DESIGN	109800-6760 / 24705-6760 Infrastructure - Parks	AP071524	1,000.00	01312326	P13388	00131748	07/18/2024
				<b>Check Total:</b>	<b>1,000.00</b>				
MW OH	RING CENTRAL INC V012026	JUN PHONE SYSTEM SVS	101523-6136 Software Maintenance	AP071524	8,761.65	CD_00832575	P13286	00131749	07/18/2024
				<b>Check Total:</b>	<b>8,761.65</b>				
MW OH	ROADLINE PRODUCTS V004083	ROADMAX PAINT	103652-6301 Special Department Expenses	AP071524	644.00	20100		00131750	07/18/2024
MW OH	ROADLINE PRODUCTS V004083	ROADMAX PAINT	103652-6301 Special Department Expenses	AP071524	1,345.19	20107		00131750	07/18/2024
				<b>Check Total:</b>	<b>1,989.19</b>				
MW OH	SAGECREST PLANNING AND V010576	JUN CONSULTING SVS	102532-6290 Dept. Contract Services	AP071524	3,053.18	4779	P13168	00131751	07/18/2024
				<b>Check Total:</b>	<b>3,053.18</b>				
MW OH	SELBERT PERKINS DESIGN V012172	JUN WAYFINDING DESIGN SVS	709201-6770 / 709201-6770 Infrastructure - Major Studies	AP071524	80.00	20240756	P13083	00131752	07/18/2024
MW OH	SELBERT PERKINS DESIGN V012172	JUN WAYFINDING DESIGN SVS	729201-6770 / 729201-6770 Infrastructure - Major Studies	AP071524	80.00	20240756	P13083	00131752	07/18/2024
				<b>Check Total:</b>	<b>160.00</b>				
MW OH	SHADER, RHONDA V010255	ICSC CONVENTION TRAVEL EXP	101001-6245 Meetings & Conferences	AP071524	191.60	060524		00131753	07/18/2024
				<b>Check Total:</b>	<b>191.60</b>				

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MW OH	SOUTHERN CALIFORNIA V009955	JUN - NEWSPAPER PUBLICATIONS	101002-6225 Advertising/Promotional	AP071524	966.20	594365		00131754	07/18/2024
MW OH	SOUTHERN CALIFORNIA V009955	JUN - NEWSPAPER PUBLICATIONS	286560-6225 Advertising/Promotional	AP071524	1,363.98	594365		00131754	07/18/2024
MW OH	SOUTHERN CALIFORNIA V009955	JUN - NEWSPAPER PUBLICATIONS	103550-6225 Advertising/Promotional	AP071524	1,195.04	594365		00131754	07/18/2024
MW OH	SOUTHERN CALIFORNIA V009955	JUN - NEWSPAPER PUBLICATIONS	103550-6230 Printing & Binding	AP071524	354.30	594365		00131754	07/18/2024
MW OH	SOUTHERN CALIFORNIA V009955	JUN - NEWSPAPER PUBLICATIONS	296561-6015 Engineering Services	AP071524	1,393.51	594365		00131754	07/18/2024
<b>Check Total:</b>					<b>5,273.03</b>				
MW OH	T-MOBILE USA V009215	CELL PHONE TIMING ADVANCE	103042-6290 Dept. Contract Services	AP071524	50.00	9572285209		00131755	07/18/2024
<b>Check Total:</b>					<b>50.00</b>				
MW OH	TALX UC eXpress V002944	UNEMPLOYMENT CLAIMS MGMT	404581-6025 Third Party Administration	AP071524	387.84	2060672545		00131756	07/18/2024
<b>Check Total:</b>					<b>387.84</b>				
MW OH	TANCO G.C. V012876	C&D BOND REFUND 40-23-51	0044-2033 Construction & Demo Deposit	AP071524	1,000.00	B23-3049		00131757	07/18/2024
<b>Check Total:</b>					<b>1,000.00</b>				
MW OH	THOMSON REUTERS - WEST V009649	APR PD SOFTWARE SERVICE	103042-6290 Dept. Contract Services	AP071524	389.57	850115696		00131758	07/18/2024
MW OH	THOMSON REUTERS - WEST V009649	JUN PD SOFTWARE SERVICE	103042-6290 Dept. Contract Services	AP071524	389.57	850409177		00131758	07/18/2024
<b>Check Total:</b>					<b>779.14</b>				
MW OH	TITAN ENVIRONMENTAL V011743	ASBESTOS SURVEY - MEINEKE BLDG	01534-6099 Professional Services	AP071524	1,735.00	11123644		00131759	07/18/2024
<b>Check Total:</b>					<b>1,735.00</b>				

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MW OH	TOTUM CORP V010229	JUN CONST, INSPECTION SVS	105213-6850 / 105213-6850 Building & Facilities	AP071524	11,687.50	206551	P13049	00131760	07/18/2024
<b>Check Total:</b>					<b>11,687.50</b>				
MW OH	YORBA LINDA WATER V006633	JUN SEWER WATER CHARGES	484356-6297 Billing Services	AP071524	1,068.33	561511		00131761	07/18/2024
<b>Check Total:</b>					<b>1,068.33</b>				
MW OH	ARAMARK REFRESHMENT V000081	2999 E LA JOLLA-COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	235.17	105838422		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	671.61	105838425		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	491.26	105838427		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	1530 VALENCIA -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	304.21	105838428		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	110 S BRADFORD -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	276.13	105838429		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	900 S MELROSE -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	143.49	105838431		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	2999 E LA JOLLA-COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	167.37	105840224		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	1530 VALENCIA -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	777.66	105840226		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	721.68	105840227		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	280.71	105840228		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN-COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	632.55	105840229		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT	110 S BRADFORD -COFFEE/WATER	109595-6215	AP072224	266.13	105840230		00131792	07/25/2024

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	V000081		Telephone/Internet						
MW OH	ARAMARK REFRESHMENT V000081	900 S MELROSE -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	78.75	8571658		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	143 S BRADFORD-COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	78.75	9571659		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	110 S BRADFORD -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	78.75	9571660		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	1530 VALENCIA -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	78.75	9571662		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	2999 E LA JOLLA-COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	78.75	9571663		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	120 S BRADFORD -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	73.50	9571711		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	1701 ATWOOD AVE - COFFEE/WAT	109595-6215 Telephone/Internet	AP072224	42.00	9571757		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	201 S BRADFORD -COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	42.00	9571758		00131792	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN-COFFEE/WATER	109595-6215 Telephone/Internet	AP072224	383.25	9572464		00131792	07/25/2024
				<b>Check Total:</b>	<b>5,902.47</b>				
MW OH	AT&T V004144	JUN PHONE CHARGES	109595-6215 / 21008-6215 Telephone/Internet	AP072224	12.11	071124		00131793	07/25/2024
MW OH	AT&T V004144	JUN PHONE CHARGES	109595-6215 / 21009-6215 Telephone/Internet	AP072224	14.56	071124		00131793	07/25/2024
MW OH	AT&T V004144	JUN PHONE CHARGES	109595-6215 Telephone/Internet	AP072224	31.57	071124		00131793	07/25/2024
				<b>Check Total:</b>	<b>58.24</b>				
MW OH	BAKER TILLY US LLP	JUN NAV CTR CONSULTING SVS	784070-6999	AP072224	2,060.30	BT2853180		00131794	07/25/2024

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	V012786		Other Expenditure						
				<b>Check Total:</b>	<b>2,060.30</b>				
MW OH	BIG BEN ENGINEERING V012820	RETENTION	799800-2046 / 243301-2046 Retentions Payable	AP072224	7,425.00	APP2-		00131795	07/25/2024
MW OH	BIG BEN ENGINEERING V012820	CONSTRUCTION SVS -RETENTION	103652-6133 R & M/Sewers/Storm Drains	AP072224	1,000.00	APP-2 RET	P13393	00131795	07/25/2024
				<b>Check Total:</b>	<b>8,425.00</b>				
MW OH	BIGGS CARDOSA V010461	MAY ENGINEERING SVS	331801-6740 / 331801-6740 Infrastructure - Streets	AP072224	7,653.14	89059	P13072	00131796	07/25/2024
				<b>Check Total:</b>	<b>7,653.14</b>				
MW OH	BRENNAN ESTIMATING V011259	ANNUAL ALARM TESTING	103654-6127 Alarm Monitoring	AP072224	4,800.00	11652	P13006	00131797	07/25/2024
				<b>Check Total:</b>	<b>4,800.00</b>				
MW OH	BRIGHTLY SOFTWARE INC V012251	SOFTWARE IMPLEMENTATION	109800-6770 / 24903-6770 Infrastructure - Major Studies	AP072224	26,093.62	INV-246242	P13277	00131798	07/25/2024
				<b>Check Total:</b>	<b>26,093.62</b>				
MW OH	CALIFORNIA YELLOW CAB V003323	APR SENIOR TRANSPORT SVS	194071-6401 Community Programs	AP072224	6,263.61	4487024	P13106	00131799	07/25/2024
MW OH	CALIFORNIA YELLOW CAB V003323	APR SENIOR TRANSPORT SVS	184071-6401 Community Programs	AP072224	25,054.44	4487024	P13106	00131799	07/25/2024
MW OH	CALIFORNIA YELLOW CAB V003323	MAY SENIOR TRANSPORT SVS	184071-6401 Community Programs	AP072224	18,867.40	5487024	P13106	00131799	07/25/2024
MW OH	CALIFORNIA YELLOW CAB V003323	MAY SENIOR TRANSPORT SVS	194071-6401 Community Programs	AP072224	4,716.85	5487024	P13106	00131799	07/25/2024
				<b>Check Total:</b>	<b>54,902.30</b>				
MW OH	CIRA V012072	APR-JUN CIRA LIABILITY	404582-6006 Litigation	AP072224	22,089.35	INV-2326		00131800	07/25/2024

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				<b>Check Total:</b>	<b>22,089.35</b>				
MW OH	CITY OF BREA V000125	BUSINESS CARDS - N. DRULIAS	101534-6230 Printing & Binding	AP072224	9.05	ASR0000342		00131801	07/25/2024
				<b>Check Total:</b>	<b>9.05</b>				
MW OH	COUNTY OF ORANGE V008881	JUN - MOBILE RADIO REPAIR	103066-6137 Repair Maint/Equipment	AP072224	914.87	STMM002353		00131802	07/25/2024
				<b>Check Total:</b>	<b>914.87</b>				
MW OH	DAVID TAUSSIG AND V001040	MAY CONSULTING SVS	109595-6999 Other Expenditure	AP072224	1,189.65	2405119	P13466	00131803	07/25/2024
				<b>Check Total:</b>	<b>1,189.65</b>				
MW OH	DEPARTMENT OF JUSTICE V000213	JUN LIVESCAN PROCESSING	101512-6099 Professional Services	AP072224	224.00	746776		00131804	07/25/2024
MW OH	DEPARTMENT OF JUSTICE V000213	JUN LIVESCAN PROCESSING	0044-2053 DOJ Livescan	AP072224	128.00	746776		00131804	07/25/2024
				<b>Check Total:</b>	<b>352.00</b>				
MW OH	DOBINE, JASON V012882	EDI CONFERENCE EXPENSES REIMB	103065-6245 Meetings & Conferences	AP072224	948.79	063024		00131805	07/25/2024
				<b>Check Total:</b>	<b>948.79</b>				
MW OH	EPIC LAND SOLUTIONS INC. V012586	JUN EASEMENT APPRAISAL SVS	331801-6740 / 331801-6740 Infrastructure - Streets	AP072224	1,099.09	0624-1420	P13088	00131806	07/25/2024
				<b>Check Total:</b>	<b>1,099.09</b>				
MW OH	EPOWER NETWORK INC V011953	BACKUP GENERATOR MAINT REPAIR	03654-6137 Repair Maint/Equipment	AP072224	819.45	32292		00131807	07/25/2024
				<b>Check Total:</b>	<b>819.45</b>				
MW OH	FIRST FOUNDATION BANK V012451	2022 LEASE AGREEMENT	105525-6915 Interest/Bonds/COP's/Leases	AP072224	15,642.38	INTEREST		00131808	07/25/2024
				<b>Check Total:</b>	<b>15,642.38</b>				

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MW OH	GEOCON WEST INC V011765	6/16 GEOTECHNICAL ENG SVS	109800-6850 / 105213-6850 Building & Facilities	AP072224	560.00	724060010	P13077	00131809	07/25/2024
<b>Check Total:</b>					<b>560.00</b>				
MW OH	GOLDEN STATE WATER V000928	MAY-JUN WATER CHARGES	109595-6335 Water	AP072224	7,248.26	071124		00131810	07/25/2024
MW OH	GOLDEN STATE WATER V000928	MAY-JUN WATER CHARGES	296561-6335 Water	AP072224	601.51	071124		00131810	07/25/2024
<b>Check Total:</b>					<b>7,849.77</b>				
MW OH	HR GREEN PACIFIC INC V010735	JUN ENG & LANDSCAPE DESIGN	799202-6770 / 229999-6770 Infrastructure - Major Studies	AP072224	29,656.50	176783	P13078	00131811	07/25/2024
MW OH	HR GREEN PACIFIC INC V010735	JUN ENG & LANDSCAPE DESIGN	109202-6770 / 229999-6770 Infrastructure - Major Studies	AP072224	30,000.00	176783	P13078	00131811	07/25/2024
<b>Check Total:</b>					<b>59,656.50</b>				
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP072224	51.48	0015849988-001	P13272	00131812	07/25/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP072224	81.95	0015981215-001	P13272	00131812	07/25/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP072224	1,023.05	0016086142-001	P13272	00131812	07/25/2024
<b>Check Total:</b>					<b>1,156.48</b>				
MW OH	INFRASTRUCTURE V012600	MAY PM SERVICES	331801-6740 / 331801-6740 Infrastructure - Streets	AP072224	6,204.00	512	P12987	00131813	07/25/2024
MW OH	INFRASTRUCTURE V012600	JUN PM SERVICES	331801-6740 / 331801-6740 Infrastructure - Streets	AP072224	7,520.00	513	P12987	00131813	07/25/2024
MW OH	INFRASTRUCTURE V012600	APR PM SERVICES	331801-6740 / 331801-6740 Infrastructure - Streets	AP072224	4,324.00	520	P12987	00131813	07/25/2024
<b>Check Total:</b>					<b>18,048.00</b>				
MW OH	JACOB GREEN & ASSOCIATES	FACILITATOR 2024 CITY COUNCIL	101001-6001	AP072224	4,290.00	2658	P13432	00131814	07/25/2024

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	V012276		Management Consulting Services						
				<b>Check Total:</b>	<b>4,290.00</b>				
MW OH	KRONOS SAASHR INC. V012554	JUN KRONOS SUBSCRIPTION	101512-6099 Professional Services	AP072224	5,506.75	12268253	P13211	00131815	07/25/2024
MW OH	KRONOS SAASHR INC. V012554	KRONOS SUBSCRIPTION	101512-6099 Professional Services	AP072224	240.98	12272296	P13211	00131815	07/25/2024
				<b>Check Total:</b>	<b>5,747.73</b>				
MW OH	MARIPOSA LANDSCAPES INC V000647	JUN MEDIANS & PKWY	173555-6115 Landscaping	AP072224	9,141.60	108518	P13264	00131816	07/25/2024
MW OH	MARIPOSA LANDSCAPES INC V000647	JUN LMD MAINTENANCE SVS	296561-6115 Landscaping	AP072224	5,736.44	108518	P13264	00131816	07/25/2024
MW OH	MARIPOSA LANDSCAPES INC V000647	JUN CROWTHER MEDIAN & PKWY	800000-6115 Landscaping	AP072224	133.55	108518	P13264	00131816	07/25/2024
MW OH	MARIPOSA LANDSCAPES INC V000647	JUN MEDIANS & PKWY	103655-6115 Landscaping	AP072224	2,795.92	108518	P13264	00131816	07/25/2024
MW OH	MARIPOSA LANDSCAPES INC V000647	JUN LIBRARY MAINTENANCE SVS	103655-6115 / 21008-6115 Landscaping	AP072224	1,519.81	108518	P13264	00131816	07/25/2024
MW OH	MARIPOSA LANDSCAPES INC V000647	JUN CALTRANS SLOPE ON 57 FWY	103655-6115 / 243601-6115 Landscaping	AP072224	133.55	108518	P13264	00131816	07/25/2024
				<b>Check Total:</b>	<b>19,460.87</b>				
MW OH	MS CONSTRUCTION V012613	RETENTION	101206-2046 Retentions Payable	AP072224	449.12	PLS-07		00131817	07/25/2024
MW OH	MS CONSTRUCTION V012613	CONSTRUCTION SVS	101206-6730 / 101206-6730 Improvements Othr Thn Bldgs	AP072224	21,086.71	PLS-07	P13003	00131817	07/25/2024
				<b>Check Total:</b>	<b>21,535.83</b>				
MW OH	NEWPORT URGENT CARE INC V012761	6/10 PHYSICALS EXAM	101512-6099 Professional Services	AP072224	75.00	160244		00131818	07/25/2024
MW OH	NEWPORT URGENT CARE INC	6/3 PHYSICALS EXAM	101512-6099	AP072224	75.00	161724		00131818	07/25/2024

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	V012761		Professional Services						
MW OH	NEWPORT URGENT CARE INC	67 TB TEST	101512-6099	AP072224	55.00	161999		00131818	07/25/2024
	V012761		Professional Services						
MW OH	NEWPORT URGENT CARE INC	67 PHYSICALS EXAM	101512-6099	AP072224	75.00	162026		00131818	07/25/2024
	V012761		Professional Services						
<b>Check Total:</b>					<b>280.00</b>				
MW OH	NV5 INC	JUN ENG & DESIGN SVS	105207-6850 / 105207-6850	AP072224	4,623.13	397889	P13082	00131819	07/25/2024
	V011256		Building & Facilities						
MW OH	NV5 INC	JUN ENG & DESIGN SVS	105209-6850 / 105209-6850	AP072224	4,623.12	397889	P13082	00131819	07/25/2024
	V011256		Building & Facilities						
MW OH	NV5 INC	FEB ENGINEERING DESIGN SVS	609800-6740 / 24104-6740	AP072224	26,258.24	381994	P13279	00131819	07/25/2024
	V011256		Infrastructure - Streets						
MW OH	NV5 INC	MAR ENGINEERING DESIGN SVS	609800-6740 / 24104-6740	AP072224	28,685.00	385284	P13279	00131819	07/25/2024
	V011256		Infrastructure - Streets						
MW OH	NV5 INC	APR ENGINEERING DESIGN SVS	609800-6740 / 24104-6740	AP072224	25,975.00	388859	P13279	00131819	07/25/2024
	V011256		Infrastructure - Streets						
MW OH	NV5 INC	MAY ENGINEERING DESIGN SVS	609800-6740 / 24104-6740	AP072224	18,025.00	393665	P13279	00131819	07/25/2024
	V011256		Infrastructure - Streets						
<b>Check Total:</b>					<b>108,189.49</b>				
MW OH	PACIFIC MH CONSTRUCTION	HUD PROJ - JOANN E MEAD	302535-6401	AP072224	6,425.00	192582	P13486	00131820	07/25/2024
	V009236		Community Programs						
<b>Check Total:</b>					<b>6,425.00</b>				
MW OH	PENNER PARTITIONS INC.	RESTROOM PARTITIONS FOR	104076-6139	AP072224	5,110.00	24-27173	P13437	00131821	07/25/2024
	V000827		Repair/Maint - Parks & Fields						
<b>Check Total:</b>					<b>5,110.00</b>				
MW OH	PLACENTIA-YORBA LINDA	JUN LIFEGUARD TRAINING	104071-6299	AP072224	1,288.00	9267		00131822	07/25/2024
	V007408		Other Purchased Services						
MW OH	PLACENTIA-YORBA LINDA	JUN LIFEGUARD TRAINING	104071-6299	AP072224	484.00	9268		00131822	07/25/2024

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	V007408		Other Purchased Services						
MW OH	PLACENTIA-YORBA LINDA V007408	JUN LIFEGUARD TRAINING	104071-6299 Other Purchased Services	AP072224	362.00	9271		00131822	07/25/2024
MW OH	PLACENTIA-YORBA LINDA V007408	JUN LIFEGUARD TRAINING	104071-6299 Other Purchased Services	AP072224	326.00	9273		00131822	07/25/2024
<b>Check Total:</b>					<b>2,460.00</b>				
MW OH	POWER PLUS V006730	6/6-7/3 - PSC TEMP POWER	105213-6850 / 105213-6850 Building & Facilities	AP072224	4,165.94	G133833-5	P13304	00131823	07/25/2024
<b>Check Total:</b>					<b>4,165.94</b>				
MW OH	RHA LANDSCAPE V011993	JUN DOG PARK DESIGN	109800-6760 / 24705-6760 Infrastructure - Parks	AP072224	200.00	01312392	P13388	00131824	07/25/2024
<b>Check Total:</b>					<b>200.00</b>				
MW OH	SC FUELS V012766	6/16-30 FUEL	103658-6345 Gasoline & Diesel Fuel	AP072224	12,048.69	0904902	P13320	00131825	07/25/2024
<b>Check Total:</b>					<b>12,048.69</b>				
MW OH	SIMONE, DEAN V009773	CONCERT IN THE PK - PERFORMER	104074-6299 Other Purchased Services	AP072224	1,000.00	07022024-4		00131826	07/25/2024
<b>Check Total:</b>					<b>1,000.00</b>				
MW OH	SO CAL GAS V000909	MAY-JUN GAS CHARGES	109595-6340 Natural Gas	AP072224	177.24	071124		00131827	07/25/2024
<b>Check Total:</b>					<b>177.24</b>				
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	109595-6330 Electricity	AP072224	50,764.96	071524		00131828	07/25/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	109595-6330 / 21009-6330 Electricity	AP072224	42.95	071524		00131828	07/25/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	109595-6330 / 21010-6330 Electricity	AP072224	14.52	071524		00131828	07/25/2024
MW OH	SOUTHERN CALIFORNIA	JUN ELECTRIC CHARGES	800000-6330	AP072224	107.45	071524		00131828	07/25/2024

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	V000910		Electricity						
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	286560-6330 Electricity	AP072224	21,710.47	071524		00131828	07/25/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	296561-6330 Electricity	AP072224	147.70	071524		00131828	07/25/2024
<b>Check Total:</b>					<b>72,788.05</b>				
MW OH	TROPICAL PLAZA NURSERY V012839	YL BLVD - MEDIAN PLANT INFILL	791304-6740 / 791304-6740 Infrastructure - Streets	AP072224	13,782.50	2838	P13419	00131829	07/25/2024
<b>Check Total:</b>					<b>13,782.50</b>				
MW OH	YORBA LINDA WATER V001148	MAY-JUN WATER CHARGES	109595-6335 Water	AP072224	257.72	071124		00131830	07/25/2024
<b>Check Total:</b>					<b>257.72</b>				
MW OH	ALL CITY MANAGEMENT V000005	CROSSING GUARD SVS	103047-6290 Dept. Contract Services	AP072924	4,426.68	93401	P12977	00131917	08/01/2024
<b>Check Total:</b>					<b>4,426.68</b>				
MW OH	AMTECH ELEVATOR V012616	10/03 EMERGENCY REPAIRS	103654-6290 Dept. Contract Services	AP072924	1,820.00	DVB17918001	P13013	00131918	08/01/2024
MW OH	AMTECH ELEVATOR V012616	3/26 EMERGENCY REPAIRS	103654-6290 Dept. Contract Services	AP072924	4,180.00	DVB19613001	P13013	00131918	08/01/2024
<b>Check Total:</b>					<b>6,000.00</b>				
MW OH	ARAMARK REFRESHMENT V000081	120 S BRADFORD -COFFEE/WATER	109595-6301 Special Department Expenses	AP072924	73.50	9051275		00131919	08/01/2024
<b>Check Total:</b>					<b>73.50</b>				
MW OH	BEAR ELECTRICAL V010997	JUN TS MAINTENANCE	103590-6099 Professional Services	AP072924	3,212.45	23240	P13120	00131920	08/01/2024
MW OH	BEAR ELECTRICAL V010997	JUN TS MAINTENANCE	103590-6099 / 21009-6099 Professional Services	AP072924	247.50	23240	P13120	00131920	08/01/2024
MW OH	BEAR ELECTRICAL	JUN TS MAINTENANCE	103590-6099 / 21010-6099	AP072924	120.05	23240	P13120	00131920	08/01/2024

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	V010997		Professional Services						
MW OH	BEAR ELECTRICAL V010997	JUN TS MAINTENANCE	103590-6099 / 21011-6099 Professional Services	AP072924	85.00	23240	P13120	00131920	08/01/2024
				<b>Check Total:</b>	<b>3,665.00</b>				
MW OH	BIGGS CARDOSA V010461	JUN - ENGINEERING SVS	331801-6740 / 331801-6740 Infrastructure - Streets	AP072924	28,202.15	89275	P13072	00131921	08/01/2024
				<b>Check Total:</b>	<b>28,202.15</b>				
MW OH	BLUE SCOPE CONSTRUCTION V012441	RETENTION - CONSTRUCTION SVS	105213-6850 / 105213-6850 Building & Facilities	AP072924	48,731.75	22740-	P13074	00131922	08/01/2024
				<b>Check Total:</b>	<b>48,731.75</b>				
MW OH	BRENNAN ESTIMATING V011259	JUN FIRE & SECURITY ALARM	103654-6127 Alarm Monitoring	AP072924	378.00	12316	P13006	00131923	08/01/2024
MW OH	BRENNAN ESTIMATING V011259	BUTLER BLDG - FIRE/SEC ALARM	105213-6850 Building & Facilities	AP072924	2,555.00	12013	P13467	00131923	08/01/2024
				<b>Check Total:</b>	<b>2,933.00</b>				
MW OH	DAVIS, ANTHONY V011637	EDI CONF - RENTAL CAR REIMB	103066-6245 Meetings & Conferences	AP072924	348.34	060724		00131924	08/01/2024
				<b>Check Total:</b>	<b>348.34</b>				
MW OH	DAY & NITE DOOR SERVICE V001616	FD2 - COMM DOOR OPERATOR	103654-6130 Repair & Maint/Facilities	AP072924	4,393.00	OC-96213	P13448	00131925	08/01/2024
				<b>Check Total:</b>	<b>4,393.00</b>				
MW OH	FAIRWAY FORD V000376	PD VEHICLE REPAIRS	103658-6144 Unplanned Repair & Maintenance	AP072924	685.27	C21897		00131926	08/01/2024
MW OH	FAIRWAY FORD V000376	JUN PLACENTIA VH REBATE PROGR	101534-6363 Resident Vehicle Rebate Prog	AP072924	3,000.00	JUNE 2024		00131926	08/01/2024
				<b>Check Total:</b>	<b>3,685.27</b>				
MW OH	FIS	JUN CREDIT CARD TRANS FEES	102020-6025	AP072924	451.04	24747611		00131927	08/01/2024

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	V008518		Third Party Administration						
MW OH	FIS	MAY CREDIT CARD TRANS FEES	102020-6025	AP072924	456.24	34743603		00131927	08/01/2024
	V008518		Third Party Administration						
				<b>Check Total:</b>	<b>907.28</b>				
MW OH	GLASBY MAINT. SUPPLY COJANITORIAL SUPPLIES		103654-6301	AP072924	894.04	342687A		00131928	08/01/2024
	V000445		Special Department Expenses						
MW OH	GLASBY MAINT. SUPPLY COWHITTEN - BATHROOM MAINT		104076-6130	AP072924	254.56	342890 A		00131928	08/01/2024
	V000445		Repair & Maint/Facilities						
				<b>Check Total:</b>	<b>1,148.60</b>				
MW OH	GOLDEN STATE WATER	JUN WATER CHARGES	109595-6335	AP072924	827.87	071824		00131929	08/01/2024
	V000928		Water						
MW OH	GOLDEN STATE WATER	JUN WATER CHARGES	296561-6335	AP072924	5,874.98	071824		00131929	08/01/2024
	V000928		Water						
				<b>Check Total:</b>	<b>6,702.85</b>				
MW OH	HDL COREN & CONE	2023-24 ACFR STATISTIC PACKAGE	102020-6099	AP072924	695.00	SIN041548		00131930	08/01/2024
	V001564		Professional Services						
				<b>Check Total:</b>	<b>695.00</b>				
MW OH	HI-WAY SAFETY RENTALS	TRAFFIC SUPPLIES	103652-6310	AP072924	339.56	158587		00131931	08/01/2024
	V000459		Street Signs						
				<b>Check Total:</b>	<b>339.56</b>				
MW OH	IMPERIAL SPRINKLER	SPRINKLER SUPPLIES	104076-6139	AP072924	151.21	0016214148-001 P13272		00131932	08/01/2024
	V006506		Repair/Maint - Parks & Fields						
				<b>Check Total:</b>	<b>151.21</b>				
MW OH	JMDIAZ INC	JUN ENG. & RAILROAD SVS	103551-6017	AP072924	1,400.00	004-24-157	P13280	00131933	08/01/2024
	V011920		Special Studies						
				<b>Check Total:</b>	<b>1,400.00</b>				
MW OH	KOSMONT COMPANIES	MAR - SUCCESSOR AGENCY	547525-6099	AP072924	169.00	1502.9-077		00131934	08/01/2024

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	V006131		Professional Services						
MW OH	KOSMONT COMPANIES V006131	APR- SUCCESSOR AGENCY SUPPORT	547525-6099 Professional Services	AP072924	712.40	1502.9-078		00131934	08/01/2024
				<b>Check Total:</b>	<b>881.40</b>				
MW OH	MAYO, BRAD V012035	APPARATUS CLEANING SUPPLIES	103066-6301 Special Department Expenses	AP072924	432.10	6202024		00131935	08/01/2024
				<b>Check Total:</b>	<b>432.10</b>				
MW OH	NAPA AUTO PARTS V012662	VEHICLE MAINT SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP072924	129.62	869202		00131936	08/01/2024
				<b>Check Total:</b>	<b>129.62</b>				
MW OH	NORTH NET TRAINING V012187	FIRE TRAINING FACILITY RENT	103066-6250 Staff Training	AP072924	750.00	2394	P13457	00131937	08/01/2024
MW OH	NORTH NET TRAINING V012187	FIRE TRAINING FACILITY RENT	103066-6250 Staff Training	AP072924	2,970.00	2417	P13457	00131937	08/01/2024
MW OH	NORTH NET TRAINING V012187	FIRE TRAINING FACILITY RENT	103066-6250 Staff Training	AP072924	1,125.00	2419	P13457	00131937	08/01/2024
				<b>Check Total:</b>	<b>4,845.00</b>				
MW OH	NV5 INC V011256	JUN - ENGINEERING DESIGN SVS	609800-6740 / 24104-6740 Infrastructure - Streets	AP072924	25,660.00	398960	P13279	00131938	08/01/2024
				<b>Check Total:</b>	<b>25,660.00</b>				
MW OH	PARKHOUSE TIRE INC V004472	TIRES	103658-6134 Vehicle Repair & Maintenance	AP072924	1,860.01	1020282628	P13405	00131939	08/01/2024
				<b>Check Total:</b>	<b>1,860.01</b>				
MW OH	PARS V006999	MAR PARS ARS/REP FEES	395083-6025 Third Party Administration	AP072924	471.22	55498		00131940	08/01/2024
MW OH	PARS V006999	APR - SUCCESSOR AGENCY SUPPORT	395083-6025 Third Party Administration	AP072924	479.31	55739		00131940	08/01/2024

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					<b>Check Total:</b>	<b>950.53</b>			
MW OH	PLACENTIA FOUNDERS V001568	BRADFORD HOUSE - INS REIMB	404582-6201 Liability Insurance Premiums	AP072924	7,500.00	001831		00131941	08/01/2024
					<b>Check Total:</b>	<b>7,500.00</b>			
MW OH	PLACEWORKS V012423	MAR - PROFESSIONAL SVS	509104-6017 / 509104-6017 Special Studies	AP072924	6,242.33	PLA-01.0-83115	P13054	00131942	08/01/2024
					<b>Check Total:</b>	<b>6,242.33</b>			
MW OH	PRESTIGE COLLISION AUTO	AUTOBODY REPAIRS	103658-6144 Unplanned Repair & Maintinance	AP072924	22,015.26	1680	P13485	00131943	08/01/2024
MW OH	PRESTIGE COLLISION AUTO	AUTOBODY REPAIRS	103658-6144 Unplanned Repair & Maintinance	AP072924	3,686.33	1680	P13485	00131943	08/01/2024
					<b>Check Total:</b>	<b>25,701.59</b>			
MW OH	PRIORITY DISPATCH CORP V011406	Pro QA License for medical and	101515-6137 Repair Maint/Equipment	AP072924	4,500.00	SIN375462	P13422	00131944	08/01/2024
					<b>Check Total:</b>	<b>4,500.00</b>			
MW OH	SELMAN CHEVROLET V009997	VEHICLE MAINT - CHEVY TAHOE	103658-6144 Unplanned Repair & Maintinance	AP072924	1,155.82	CTCS948803		00131945	08/01/2024
					<b>Check Total:</b>	<b>1,155.82</b>			
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	296561-6330 Electricity	AP072924	18.19	071824		00131946	08/01/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	109595-6330 Electricity	AP072924	975.55	071824		00131946	08/01/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	109595-6330 / 21009-6330 Electricity	AP072924	28.95	071824		00131946	08/01/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUN ELECTRIC CHARGES	109595-6330 / 21011-6330 Electricity	AP072924	172.25	071824		00131946	08/01/2024
					<b>Check Total:</b>	<b>1,194.94</b>			
MW OH	STATE CONTROLLER	FTB FEES	102020-6296	AP072924	95.86	FTB-00006836		00131947	08/01/2024

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	V009724		Admin Service Fee						
				<b>Check Total:</b>	<b>95.86</b>				
MW OH	STERICYCLE V000905	PAPER SHREDDING SVS	374386-6299 Other Purchased Services	AP072924	90.45	DA0710	P13129	00131948	08/01/2024
				<b>Check Total:</b>	<b>90.45</b>				
MW OH	YORBA LINDA WATER V001148	JUN WATER CHARGES	109595-6335 Water	AP072924	1,339.67	072424		00131949	08/01/2024
				<b>Check Total:</b>	<b>1,339.67</b>				
MW OH	1 CALL MATERIALS LLC V012894	INFIELD MIX - LOS NINOS PARK	104055-6139 Repair/Maint - Parks & Fields	AP080624	510.97	20240620-01		00131952	08/08/2024
				<b>Check Total:</b>	<b>510.97</b>				
MW OH	AMTECH ELEVATOR V012616	JUN ELEVATOR MAINTENANCE SVS	103654-6290 Dept. Contract Services	AP080624	356.00	151401617136	P13013	00131953	08/08/2024
MW OH	AMTECH ELEVATOR V012616	4/28 EMERGENCY REPAIRS	103654-6290 Dept. Contract Services	AP080624	637.50	DVB20138001	P13013	00131953	08/08/2024
MW OH	AMTECH ELEVATOR V012616	5/22 EMERGENCY REPAIRS	103654-6290 Dept. Contract Services	AP080624	912.50	DVB20371001	P13013	00131953	08/08/2024
				<b>Check Total:</b>	<b>1,906.00</b>				
MW OH	AUDI NORTH OC V012263	JUN PLACENTIA VH REBATE PROGR	101534-6363 Resident Vehicle Rebate Prog	AP080624	1,000.00	JULY 2024		00131954	08/08/2024
				<b>Check Total:</b>	<b>1,000.00</b>				
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	10,064.39	10026	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	3,517.03	10035	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10482	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL	STORM WATER PUMP ST MAINT	103652-6099	AP080624	975.00	10483	P13233	00131955	08/08/2024

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	V011183		Professional Services						
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10484	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10485	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10486	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10487	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10488	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10489	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10490	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10493	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10494	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10495	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10496	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10497	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10498	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10499	P13233	00131955	08/08/2024

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MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10500	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10501	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10502	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10503	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10504	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10505	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10506	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10508	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6099 Professional Services	AP080624	975.00	10509	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6133 R & M/Sewers/Storm Drains	AP080624	975.00	10510	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6133 R & M/Sewers/Storm Drains	AP080624	975.00	10511	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6133 R & M/Sewers/Storm Drains	AP080624	975.00	10512	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6133 R & M/Sewers/Storm Drains	AP080624	975.00	10513	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6133 R & M/Sewers/Storm Drains	AP080624	975.00	10514	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL	STORM WATER PUMP ST MAINT	103652-6133	AP080624	975.00	10515	P13233	00131955	08/08/2024

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	V011183		R & M/Sewers/Storm Drains						
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6133 R & M/Sewers/Storm Drains	AP080624	975.00	10516	P13233	00131955	08/08/2024
MW OH	AXIS GENERAL V011183	STORM WATER PUMP ST MAINT	103652-6133 R & M/Sewers/Storm Drains	AP080624	975.00	10517	P13233	00131955	08/08/2024
<b>Check Total:</b>					<b>45,756.42</b>				
MW OH	CENTURY BUSINESS V010180	1/28-4/27 PRINTER/COPIER SVS	109595-6175 Office Equipment Rental	AP080624	709.59	AR55774		00131957	08/08/2024
<b>Check Total:</b>					<b>709.59</b>				
MW OH	DEPARTMENT OF JUSTICE V000213	APR LIVE SCAN PROCESSING	101512-6099 Professional Services	AP080624	588.00	733122		00131958	08/08/2024
MW OH	DEPARTMENT OF JUSTICE V000213	APR LIVE SCAN PROCESSING	0044-2053 DOJ Livescan	AP080624	131.00	733122		00131958	08/08/2024
MW OH	DEPARTMENT OF JUSTICE V000213	APR LIVE SCAN PROCESSING	0044-2054 FBI Livescan	AP080624	34.00	733122		00131958	08/08/2024
<b>Check Total:</b>					<b>753.00</b>				
MW OH	DEROTIC EMERGENCY V011295	E2 REPAIRS/MAINTENANCE	103066-6134 Vehicle Repair & Maintenance	AP080624	2,335.49	SO-4613	P13386	00131959	08/08/2024
<b>Check Total:</b>					<b>2,335.49</b>				
MW OH	HEALTHPOINTE MEDICAL V010713	JUN - NEW HIRE PHYSICAL	101512-6099 Professional Services	AP080624	926.00	30601-4356014		00131960	08/08/2024
<b>Check Total:</b>					<b>926.00</b>				
MW OH	HF&H CONSULTANTS LLC V010575	APR SB 1383 CONSULTING SVS	374386-6099 Professional Services	AP080624	592.00	9721152	P13109	00131961	08/08/2024
<b>Check Total:</b>					<b>592.00</b>				
MW OH	INTEGRITY LANDSCAPE AND V012789	LANDSCAPE AND UN RETENTION	101206-2046 / 101206-2046 Retentions Payable	AP080624	-11,005.67	1587		00131962	08/08/2024
MW OH	INTEGRITY LANDSCAPE AND V012789	LANDSCAPE SERVICE	101206-6730 / 101206-6730	AP080624	220,113.33	1587	P13344	00131962	08/08/2024

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	V012789		Improvements Othr Thn Bldgs						
				<b>Check Total:</b>	<b>209,107.66</b>				
MW OH	LIEBERT CASSIDY V000597	APR PROFESSIONAL SVS	101512-6099 Professional Services	AP080624	43.50	266410		00131963	08/08/2024
MW OH	LIEBERT CASSIDY V000597	APR PROFESSIONAL SVS	101512-6099 Professional Services	AP080624	16,392.55	268028		00131963	08/08/2024
MW OH	LIEBERT CASSIDY V000597	MAY PROFESSIONAL SVS	101512-6099 Professional Services	AP080624	7,482.00	269144		00131963	08/08/2024
MW OH	LIEBERT CASSIDY V000597	JUN PROFESSIONAL SVS	101512-6099 Professional Services	AP080624	7,229.00	271613		00131963	08/08/2024
MW OH	LIEBERT CASSIDY V000597	JUN PPFMA GRIEVANCE	101512-6099 Professional Services	AP080624	391.50	271626		00131963	08/08/2024
				<b>Check Total:</b>	<b>31,538.55</b>				
MW OH	RED 88 MEDIA LLC V012180	MAY BROADCASTING SVS	581573-6290 Dept. Contract Services	AP080624	2,046.00	24-1025-0025	P13151	00131964	08/08/2024
MW OH	RED 88 MEDIA LLC V012180	JUN BROADCASTING SVS	581573-6290 Dept. Contract Services	AP080624	2,046.00	24-1025-0026	P13151	00131964	08/08/2024
				<b>Check Total:</b>	<b>4,092.00</b>				
MW OH	RJ NOBLE COMPANY V006779	JUN RETENTION	709800-2046 / 791301-2046 Retentions Payable	AP080624	-4,778.95	245635		00131965	08/08/2024
MW OH	RJ NOBLE COMPANY V006779	JUN RETENTION	799800-2046 / 791301-2046 Retentions Payable	AP080624	-2,469.31	245635		00131965	08/08/2024
MW OH	RJ NOBLE COMPANY V006779	JUN CONSTRUCTION SVS	709800-6740 / 791301-6740 Infrastructure - Streets	AP080624	95,578.93	245635	P13305	00131965	08/08/2024
MW OH	RJ NOBLE COMPANY V006779	JUN CONSTRUCTION SVS	799800-6740 / 791301-6740 Infrastructure - Streets	AP080624	49,386.24	245635	P13305	00131965	08/08/2024
				<b>Check Total:</b>	<b>137,716.91</b>				
MW OH	ROTH STAFFING COMPANIE	5/19 TEMP LABOR FOR HR DEP	101512-5010	AP080624	4,132.80	1615891	P13430	00131966	08/08/2024

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	V012845		Salaries/Temporary Employees						
MW OH	ROTH STAFFING COMPANIE V012845	6/9 TEMP LABOR FOR HR DEP	101512-5010 Salaries/Temporary Employees	AP080624	4,132.80	16167669	P13430	00131966	08/08/2024
MW OH	ROTH STAFFING COMPANIE V012845	6/21 TEMP LABOR FOR HR DEP	101512-5010 Salaries/Temporary Employees	AP080624	4,132.80	16170178	P13430	00131966	08/08/2024
<b>Check Total:</b>					<b>12,398.40</b>				
MW OH	STERICYCLE INC V012074	JUN PAPER SHREDDING SVS	374386-6299 Other Purchased Services	AP080624	2,277.02	8007704029	P13129	00131967	08/08/2024
<b>Check Total:</b>					<b>2,277.02</b>				
MW OH	TRILLIUM CNG (1720) V007952	JUN CNG FUEL	103658-6345 Gasoline & Diesel Fuel	AP080624	62.38	24924376		00131968	08/08/2024
<b>Check Total:</b>					<b>62.38</b>				
MW OH	B & M LAWN & GARDEN V000127	LANDSCAPE SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP081324	24.95	643753		00132039	08/15/2024
<b>Check Total:</b>					<b>24.95</b>				
MW OH	CALIFORNIA YELLOW CAB V003323	JUN SENIOR TRANSPORT SVS	184071-6401 Community Programs	AP081324	13,440.40	7487024	P13106	00132040	08/15/2024
MW OH	CALIFORNIA YELLOW CAB V003323	SENIOR TRANSPORT SVS	194071-6401 Community Programs	AP081324	3,360.10	7487024	P13106	00132040	08/15/2024
<b>Check Total:</b>					<b>16,800.50</b>				
MW OH	DISTINGUISHED PEST V003466	10/27 PEST CONTROL SVS	103654-6290 Dept. Contract Services	AP081324	1,090.00	17276	P13135	00132041	08/15/2024
MW OH	DISTINGUISHED PEST V003466	1/26 PEST CONTROL SVS	103654-6290 Dept. Contract Services	AP081324	1,090.00	17278	P13135	00132041	08/15/2024
MW OH	DISTINGUISHED PEST V003466	4/26 PEST CONTROL SVS	103654-6290 Dept. Contract Services	AP081324	1,090.00	17281	P13135	00132041	08/15/2024
MW OH	DISTINGUISHED PEST V003466	JAN PEST CONTROL	104076-6099 Professional Services	AP081324	620.00	17279	P13195	00132041	08/15/2024

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MW OH	DISTINGUISHED PEST V003466	APR PEST CONTROL	104076-6099 Professional Services	AP081324	855.00	17280	P13195	00132041	08/15/2024
					<b>Check Total:</b>	<b>4,745.00</b>			
MW OH	GLASBY MAINT. SUPPLY CODISPENSER V000445		104055-6139 Repair/Maint - Parks & Fields	AP081324	153.44	343612 A		00132042	08/15/2024
					<b>Check Total:</b>	<b>153.44</b>			
MW OH	HF&H CONSULTANTS LLC V010575	JUN SB 1383 CONSULTING SVS	374386-6099 Professional Services	AP081324	222.00	9721337	P13109	00132043	08/15/2024
					<b>Check Total:</b>	<b>222.00</b>			
MW OH	INFRASTRUCTURE V011245	JUN ARCHITECTURAL/ENG DESIGN	102532-6290 Dept. Contract Services	AP081324	14,375.00	441627	P13167	00132044	08/15/2024
					<b>Check Total:</b>	<b>14,375.00</b>			
MW OH	JOHN L HUNTER & V009056	MAY NPDES CONSULTING SVS	103593-6099 Professional Services	AP081324	5,506.25	PLA1MS412405	P13125	00132045	08/15/2024
MW OH	JOHN L HUNTER & V009056	JUN NPDES CONSULTING SVS	103593-6099 Professional Services	AP081324	8,673.75	PLA1MS412406	P13125	00132045	08/15/2024
					<b>Check Total:</b>	<b>14,180.00</b>			
MW OH	METASOURCE LLC V012853	JUN DIGITALIZATION SVS	105213-6850 Building & Facilities	AP081324	51,258.87	INV87516	P13546	00132046	08/15/2024
					<b>Check Total:</b>	<b>51,258.87</b>			
MW OH	ORANGE COUNTY V007306	APR-JUN ANIMAL CARE SVS	103045-6280 Animal Control Services	AP081324	103,647.15	AC2490100	P12979	00132047	08/15/2024
					<b>Check Total:</b>	<b>103,647.15</b>			
MW OH	PERIMETER PROTECTION V011153	CAMERA SURVELLIANCE -	103551-6017 Special Studies	AP081324	1,500.00	1117	P13547	00132048	08/15/2024
MW OH	PERIMETER PROTECTION V011153	CAMERA SURVELLIANCE -	103551-6017 Special Studies	AP081324	2,025.00	1147	P13547	00132048	08/15/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
				<b>Check Total:</b>	<b>3,525.00</b>				
MW OH	TOTUM CORP V010229	JUN INSPECTION SVS - SIFI	103551-6099 Professional Services	AP081324	16,784.00	206549	P13087	00132049	08/15/2024
				<b>Check Total:</b>	<b>16,784.00</b>				
MW OH	ADMINSURE V004980	MAY WC ADMINISTRATION	404580-6025 Third Party Administration	AP081924	4,995.00	17075	P13300	00132104	08/22/2024
MW OH	ADMINSURE V004980	JUN WC ADMINISTRATION	404580-6025 Third Party Administration	AP081924	4,995.00	17153	P13300	00132104	08/22/2024
				<b>Check Total:</b>	<b>9,990.00</b>				
MW OH	AMERICAN INTEGRATED V011314	5/21 CONFINED SPACE CLEAN UP	103040-6290 Dept. Contract Services	AP081924	27,476.00	1014602	P13564	00132105	08/22/2024
				<b>Check Total:</b>	<b>27,476.00</b>				
MW OH	BEAR ELECTRICAL V010997	APR TS RESPONSE MAINTENANCE	103590-6099 / 21010-6099 Professional Services	AP081924	737.75	22659	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	APR TS RESPONSE MAINTENANCE	103590-6099 Professional Services	AP081924	13,550.63	22659	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	APR TS RESPONSE MAINTENANCE	103590-6099 / 21009-6099 Professional Services	AP081924	526.88	22659	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS RESPONSE MAINTENANCE	103590-6099 Professional Services	AP081924	16,657.93	22954	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS RESPONSE MAINTENANCE	103590-6099 / 21009-6099 Professional Services	AP081924	14,168.06	22954	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS RESPONSE MAINTENANCE	103590-6099 / 21010-6099 Professional Services	AP081924	3,825.13	22954	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	MAY TS RESPONSE MAINTENANCE	103590-6099 / 21011-6099 Professional Services	AP081924	32.50	22954	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	JUN TS RESPONSE MAINTENANCE	103590-6099 Professional Services	AP081924	8,057.75	23322	P13120	00132106	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	BEAR ELECTRICAL V010997	JUN TS RESPONSE MAINTENANCE	103590-6099 / 21009-6099 Professional Services	AP081924	799.25	23322	P13120	00132106	08/22/2024
MW OH	BEAR ELECTRICAL V010997	JUN TS RESPONSE MAINTENANCE	103590-6099 / 21010-6099 Professional Services	AP081924	205.00	23322	P13120	00132106	08/22/2024
<b>Check Total:</b>					<b>58,560.88</b>				
MW OH	BRENNAN ESTIMATING V011259	PD FIRE ALARM PANEL REMOVAL	105213-6850 Building & Facilities	AP081924	455.00	12388		00132107	08/22/2024
<b>Check Total:</b>					<b>455.00</b>				
MW OH	CLIFTONLARSONALLEN LLIFVY 23/24 FINANCIAL AUDIT SVS V012348		102020-6010 Accounting & Auditing Service	AP081924	2,775.00	L241533552	P13138	00132108	08/22/2024
MW OH	CLIFTONLARSONALLEN LLIFVY 23/24 FINANCIAL AUDIT SVS V012348		102020-6010 Accounting & Auditing Service	AP081924	1,860.00	L241533567	P13138	00132108	08/22/2024
<b>Check Total:</b>					<b>4,635.00</b>				
MW OH	DATA TICKET INC. V006119	MAY CE CITATION PROCESSING	101523-6136 Software Maintenance	AP081924	2,806.17	165839	P13552	00132109	08/22/2024
MW OH	DATA TICKET INC. V006119	JUN CE CITATION PROCESSING	101523-6136 Software Maintenance	AP081924	2,666.64	166993	P13552	00132109	08/22/2024
<b>Check Total:</b>					<b>5,472.81</b>				
MW OH	DELL MARKETING L.P. V000301	DELL DOCKING STATIONS	799800-6364 / 241502-6364 Computer Hardware	AP081924	575.00	10751205177		00132110	08/22/2024
MW OH	DELL MARKETING L.P. V000301	MONITORS	799800-6364 / 241502-6364 Computer Hardware	AP081924	2,160.92	10755066570		00132110	08/22/2024
<b>Check Total:</b>					<b>2,735.92</b>				
MW OH	DFS FLOORING INC V000099	NOV CARPET CLEANING	103654-6290 Dept. Contract Services	AP081924	709.00	309757-29	P13243	00132111	08/22/2024
MW OH	DFS FLOORING INC V000099	JAN CARPET CLEANING	103654-6290 Dept. Contract Services	AP081924	744.00	311409-1	P13243	00132111	08/22/2024
MW OH	DFS FLOORING INC	FEB CARPET CLEANING	103654-6290	AP081924	744.00	311409-2	P13243	00132111	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount Invoice#	PO #	Check #	Check Date
	V000099		Dept. Contract Services					
MW OH	DFS FLOORING INC V000099	MAR CARPET CLEANING	103654-6290 Dept. Contract Services	AP081924	744.00 311409-3	P13243	00132111	08/22/2024
MW OH	DFS FLOORING INC V000099	APR CARPET CLEANING	103654-6290 Dept. Contract Services	AP081924	744.00 311409-4	P13243	00132111	08/22/2024
MW OH	DFS FLOORING INC V000099	MAY CARPET CLEANING	103654-6290 Dept. Contract Services	AP081924	744.00 311409-5	P13243	00132111	08/22/2024
MW OH	DFS FLOORING INC V000099	JUN CARPET CLEANING	103654-6290 Dept. Contract Services	AP081924	744.00 311409-6	P13243	00132111	08/22/2024
				<b>Check Total:</b>	<b>5,173.00</b>			
MW OH	EMPLOYMENT V000203	4/1-6/30 UI BENEFIT CHARGE	404581-5155 Employee Insurance Claims	AP081924	6,833.00 L1063653200		00132112	08/22/2024
				<b>Check Total:</b>	<b>6,833.00</b>			
MW OH	FM THOMAS AIR V010634	4/12 HVAC SERVICES	103654-6290 Dept. Contract Services	AP081924	261.99 46745	P13157	00132113	08/22/2024
MW OH	FM THOMAS AIR V010634	6/28 HVAC SERVICES	103654-6290 Dept. Contract Services	AP081924	300.00 46830	P13157	00132113	08/22/2024
				<b>Check Total:</b>	<b>561.99</b>			
MW OH	FOREMOST PROMOTIONS V011024	COMMUNITY OUTREACH ITEMS	101515-6401 Community Programs	AP081924	1,960.76 725234		00132114	08/22/2024
				<b>Check Total:</b>	<b>1,960.76</b>			
MW OH	GOLDEN STATE V012269	TWO-WAY RADIOS/AIRTIME	103042-6290 Dept. Contract Services	AP081924	4,200.00 RI29750	P13549	00132115	08/22/2024
				<b>Check Total:</b>	<b>4,200.00</b>			
MW OH	H&S ENERGY LLC V010680	JUN CAR WASH SVS	103658-6142 Vehicle Detailing	AP081924	753.00 080724	P13187	00132116	08/22/2024
				<b>Check Total:</b>	<b>753.00</b>			
MW OH	HOUSTON & HARRIS PCS IN	MAY SEWER LINE CLEANING/INSP	484356-6120	AP081924	14,323.97 24-26064	P13108	00132117	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V010110		R & M/Sewer & Storm Drain						
				<b>Check Total:</b>	<b>14,323.97</b>				
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP081924	768.61	0016265061-001	P13272	00132118	08/22/2024
				<b>Check Total:</b>	<b>768.61</b>				
MW OH	JMDIAZ INC V011920	JUN ENG/RAILROAD SVS BALANCE	103551-6017 Special Studies	AP081924	40.00	004-24-157A	P13280	00132119	08/22/2024
				<b>Check Total:</b>	<b>40.00</b>				
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	102531-6005 Legal Services	AP081924	100.83	123609		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	101005-6005 Legal Services	AP081924	180.04	123610		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	101005-6005 Legal Services	AP081924	1,348.90	123611		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	101005-6005 Legal Services	AP081924	403.34	123612		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LITIGATION SVS	101005-6006 Litigation	AP081924	217.17	123614		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	101005-6005 Legal Services	AP081924	420.00	123615		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LITIGATION SVS	101005-6006 Litigation	AP081924	271.48	123619		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	101005-6005 Legal Services	AP081924	1,574.53	123620		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LITIGATION SVS	101005-6006 Litigation	AP081924	1,927.44	123627		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LITIGATION SVS	101005-6006 Litigation	AP081924	4,770.23	123628		00132120	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	JONES & MAYER V009822	JUN LITIGATION SVS	101005-6006 Litigation	AP081924	217.18	123629		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LITIGATION SVS	101005-6006 Litigation	AP081924	271.47	123630		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN RETAINER	101005-6005 Legal Services	AP081924	28,225.83	123807		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	101005-6005 Legal Services	AP081924	12,024.21	12635		00132120	08/22/2024
MW OH	JONES & MAYER V009822	JUN LEGAL SERVICES	101005-6005 Legal Services	AP081924	277.28	12636		00132120	08/22/2024
<b>Check Total:</b>					<b>52,229.93</b>				
MW OH	JV PLUMBING V011345	FY 21/22 PLUMBING SERVICVES	103654-6130 Repair & Maint/Facilities	AP081924	279.00	2954		00132121	08/22/2024
MW OH	JV PLUMBING V011345	FY 22/23 PLUMBING SERVICVES	103654-6130 Repair & Maint/Facilities	AP081924	279.00	3088		00132121	08/22/2024
MW OH	JV PLUMBING V011345	FY 22/23 PLUMBING SERVICVES	103654-6130 Repair & Maint/Facilities	AP081924	436.10	3121		00132121	08/22/2024
MW OH	JV PLUMBING V011345	FY 22/23 PLUMBING SERVICVES	103654-6130 Repair & Maint/Facilities	AP081924	184.25	3295		00132121	08/22/2024
MW OH	JV PLUMBING V011345	FY 22/23 PLUMBING SERVICVES	103654-6130 Repair & Maint/Facilities	AP081924	184.25	3424		00132121	08/22/2024
MW OH	JV PLUMBING V011345	FY 22/23 PLUMBING SERVICVES	103654-6130 Repair & Maint/Facilities	AP081924	220.00	3572		00132121	08/22/2024
MW OH	JV PLUMBING V011345	PLUMBING SERVICES	103654-6130 Repair & Maint/Facilities	AP081924	2,225.92	3702		00132121	08/22/2024
<b>Check Total:</b>					<b>3,808.52</b>				
MW OH	MARISCAL, MONICA V012517	MAR- WALKING CHALLENGE PRIZE	109595-6999 Other Expenditure	AP081924	75.00	081324		00132122	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
				<b>Check Total:</b>	<b>75.00</b>				
MW OH	MCPEEKS CDJR OF ANAHEIM V011285	UNIT 26 REPAIRS	103658-6144 Unplanned Repair & Maintenance	AP081924	6,779.82	120819	P13533	00132123	08/22/2024
MW OH	MCPEEKS CDJR OF ANAHEIM V011285	UNIT 26 REPAIRS	103658-6144 Unplanned Repair & Maintenance	AP081924	3,088.23	31892	P13533	00132123	08/22/2024
				<b>Check Total:</b>	<b>9,868.05</b>				
MW OH	PARS V006999	JUN ARS/PARS FEES	395083-6025 Third Party Administration	AP081924	467.11	56155		00132124	08/22/2024
				<b>Check Total:</b>	<b>467.11</b>				
MW OH	POLEZHAEV, KATE V012708	JUN- WALKING CHALLENGE PRIZE	109595-6999 Other Expenditure	AP081924	75.00	081324		00132125	08/22/2024
				<b>Check Total:</b>	<b>75.00</b>				
MW OH	PSYCHOLOGICAL V009259	JUN PRE-EMPL PSYCH EVALUATIONS	01512-6099 Professional Services	AP081924	462.00	528052		00132126	08/22/2024
				<b>Check Total:</b>	<b>462.00</b>				
MW OH	RBI TRAFFIC INC V010707	JAN-MAR TRAFFIC CTRL	103590-6290 Dept. Contract Services	AP081924	6,337.50	3563	P13186	00132127	08/22/2024
				<b>Check Total:</b>	<b>6,337.50</b>				
MW OH	RUBALCAVA, OSBALDO V012739	APR WALKING CHALLENGE PRIZE	109595-6999 Other Expenditure	AP081924	64.10	081324		00132128	08/22/2024
				<b>Check Total:</b>	<b>64.10</b>				
MW OH	SCA OF CA LLC V012501	MAY STREET SWEEPING	374386-6290 Dept. Contract Services	AP081924	14,073.54	2512360DS	P13119	00132129	08/22/2024
MW OH	SCA OF CA LLC V012501	JUN STREET SWEEPING	374386-6290 Dept. Contract Services	AP081924	14,073.54	251295DS	P13119	00132129	08/22/2024
				<b>Check Total:</b>	<b>28,147.08</b>				
MW OH	SIMMONS, PETER	PLACENTIA CHORUS EXP REIMB	0044-2063	AP081924	109.00	081524		00132130	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V007953		Placentia Community Chorus						
				<b>Check Total:</b>	<b>109.00</b>				
MW OH	TAIT ENVIRONMENTAL V012524	EMERGENCY TANK INTEGRITY TEST	103658-6137 Repair Maint/Equipment	AP081924	3,490.00	955104	P13548	00132131	08/22/2024
				<b>Check Total:</b>	<b>3,490.00</b>				
MW OH	TURBO DATA SYSTEMS INC V001238	SALES TAX	103047-6301 Special Department Expenses	AP081924	61.25	42487A		00132132	08/22/2024
				<b>Check Total:</b>	<b>61.25</b>				
MW OH	VASQUEZ, MELANIE V012277	MAY- WALKING CHALLENGE PRIZE	109595-6999 Other Expenditure	AP081924	75.00	081324		00132133	08/22/2024
				<b>Check Total:</b>	<b>75.00</b>				
MW OH	WEST COAST ARBORISTS INC V001124	CAN TREE TRIMMING SVS	103655-6116 Tree Maintenance	AP081924	2,860.50	211142-A	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC V001124	EBB TREE TRIMMING SVS	173555-6116 Tree Maintenance	AP081924	21,527.50	211666	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC V001124	MAR TREE TRIMMING SVS	103655-6116 Tree Maintenance	AP081924	21,325.00	212472	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC V001124	MAR TREE TRIMMING SVS	173555-6116 Tree Maintenance	AP081924	8,480.00	213164	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC V001124	APR TREE TRIMMING SVS	173555-6116 Tree Maintenance	AP081924	390.00	213665	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC V001124	APR TREE TRIMMING SVS	173555-6116 Tree Maintenance	AP081924	4,765.00	213666	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC V001124	MAR TREE TRIMMING SVS	109800-6760 Infrastructure - Parks	AP081924	5,420.00	213671	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC V001124	APR TREE TRIMMING SVS	173555-6116 Tree Maintenance	AP081924	21,390.00	213913-A	P13061	00132134	08/22/2024
MW OH	WEST COAST ARBORISTS INC	APR TREE TRIMMING SVS	103655-6116	AP081924	390.00	213991	P13061	00132134	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V001124		Tree Maintenance						
MW OH	WEST COAST ARBORISTS INC	MAY TREE TRIMMING SVS	103655-6116	AP081924	390.00	214633	P13061	00132134	08/22/2024
	V001124		Tree Maintenance						
<b>Check Total:</b>					<b>86,938.00</b>				
<b>Type Total:</b>					<b>3,633,839.93</b>				
<b>Check Total:</b>					<b>3,633,839.93</b>				

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**FY 2023-24**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
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Grand Total: 619,687.74

Check Totals by ID

AP	619,687.74
EP	0.00
IP	0.00
OP	0.00

Void Total: 0.00

Check Total: 619,687.74

Fund Name	<u>Check Totals by Fund</u>
101-General Fund (0010)	218,138.29
117-Measure U Fund (0079)	1,901.19
208-Scssr Agney Ret Oblg (0054)	33.16
225-Asset Seizure (0021)	3,074.35
227-Explorer Grant NOC (0076)	142.45
231-Placentia Reg Nav Cent(0078)	238.62
242-Police Impact Fee (0067)	942.72
265-Landscape Maintenance (0029)	58.41
275-Sewer Maintenance (0048)	1,009.80
401-City Capital Projects (0033)	1,283.35
501-Refuse Administration (0037)	345,995.68
601-Employee Health & Wlfre (0039)	46,444.72
605-Risk Management (0040)	425.00

Check Total: 619,687.74

Electronic Disbursement Total: \$619,687.74

Funds will be transferred from the Cash Basis Fund as needed to fund the warrants included on this warrant register

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	CALIFORNIA DENTAL V008102	APR CA DENTAL NET INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,412.55	APR-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	APR CA DENTAL NET INS	395083-5162 Dental Insurance Premiums	ACH072924	132.63	APR-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	FEB CA DENTAL NET INS	395083-5162 Dental Insurance Premiums	ACH072924	132.63	FEB-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	FEB CA DENTAL NET INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,642.46	FEB-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	JUN CA DENTAL NET INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,368.34	JUN-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	JUN CA DENTAL NET INS	395083-5162 Dental Insurance Premiums	ACH072924	132.63	JUN-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	MAR CA DENTAL NET INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,324.13	MAR-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	MAR CA DENTAL NET INS	395083-5162 Dental Insurance Premiums	ACH072924	132.63	MAR-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	MAY CA DENTAL NET INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,384.77	MAY-24		00131950	08/01/2024
MW OH	CALIFORNIA DENTAL V008102	MAY CA DENTAL NET INS	395083-5162 Dental Insurance Premiums	ACH072924	132.63	MAY-24		00131950	08/01/2024
<b>Check Total:</b>					<b>7,795.40</b>				
MW OH	PRINCIPAL LIFE V008141	APR PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	ACH072924	792.00	APR-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	APR PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,445.40	APR-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	FEB PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,475.10	FEB-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	FEB PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	ACH072924	782.10	FEB-24		00131951	08/01/2024

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MW OH	PRINCIPAL LIFE V008141	JUN PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	ACH072924	792.00	JUN-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	JUN PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,445.40	JUN-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	MAR PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,435.50	MAR-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	MAR PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	ACH072924	782.10	MAR-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	MAY PRINCIPAL DENTAL INS	395083-5162 Dental Insurance Premiums	ACH072924	792.00	MAY-24		00131951	08/01/2024
MW OH	PRINCIPAL LIFE V008141	MAY PRINCIPAL DENTAL INS	395000-4720 ISF Dental Ins Reimbursement	ACH072924	1,445.40	MAY-24		00131951	08/01/2024
<b>Check Total:</b>					<b>11,187.00</b>				
MW OH	FIDELITY SECURITY LIFE V008132	JAN EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH080724	3,162.44	166098313		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	JAN EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH080724	1,141.53	166098313		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	FEB EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH080724	3,132.42	166144694		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	FEB EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH080724	1,141.53	166144694		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	MAR EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH080724	3,062.66	166189244		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	MAR EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH080724	1,141.53	166189244		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	APR EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH080724	1,141.53	166231785		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	APR EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH080724	3,139.30	166231785		00132033	08/08/2024

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MW OH	FIDELITY SECURITY LIFE V008132	MAY EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH080724	3,146.16	166274324		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	MAY EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH080724	1,141.53	166274324		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	JUN EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH080724	1,141.53	166316544		00132033	08/08/2024
MW OH	FIDELITY SECURITY LIFE V008132	JUN EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH080724	3,297.86	166316544		00132033	08/08/2024
<b>Check Total:</b>					<b>25,790.02</b>				
MW OH	PRINCIPAL FINANCIAL V000844	FEB LIFE INS	395083-5163 Life Insurance Premiums	ACH080724	334.46	124120445000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	FEB LIFE INS	109595-5110 Life Ins Allocation	ACH080724	1,414.61	124120445000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	MAR LIFE INS	109595-5110 Life Ins Allocation	ACH080724	1,414.61	124121478000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	MAR LIFE INS	395083-5163 Life Insurance Premiums	ACH080724	334.46	124121478000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	APR LIFE INS	395083-5163 Life Insurance Premiums	ACH080724	334.46	124122468000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	APR LIFE INS	109595-5110 Life Ins Allocation	ACH080724	1,470.55	124122468000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	MAY LIFE INS	109595-5110 Life Ins Allocation	ACH080724	1,470.55	124123432000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	MAY LIFE INS	395083-5163 Life Insurance Premiums	ACH080724	334.46	124123432000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	JUN LIFE INS	395083-5163 Life Insurance Premiums	ACH080724	334.46	124124489000-		00132034	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	JUN LIFE INS	109595-5110 Life Ins Allocation	ACH080724	1,470.55	124124489000-		00132034	08/08/2024

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				<b>Check Total:</b>	<b>8,913.17</b>				
MW OH	THE HARTFORD V012278	JUN LIFE INS	109595-5163 Life Insurance Premiums	ACH080724	4,707.92	120550888608		00132035	08/08/2024
MW OH	THE HARTFORD V012278	JUN STD INS	109595-5169 STD Ins Premium	ACH080724	4,189.41	120550888608		00132035	08/08/2024
MW OH	THE HARTFORD V012278	JUN LTD INS	109595-5169 STD Ins Premium	ACH080724	6,842.11	120550888608		00132035	08/08/2024
MW OH	THE HARTFORD V012278	JAN LIFE INS	109595-5163 Life Insurance Premiums	ACH080724	4,790.75	120551864521		00132035	08/08/2024
MW OH	THE HARTFORD V012278	JAN STD INS	109595-5169 STD Ins Premium	ACH080724	6,840.57	120551864521		00132035	08/08/2024
MW OH	THE HARTFORD V012278	JAN LTD INS	109595-5169 STD Ins Premium	ACH080724	4,188.47	120551864521		00132035	08/08/2024
MW OH	THE HARTFORD V012278	MAY STD INS	109595-5169 STD Ins Premium	ACH080724	6,852.23	120554835494		00132035	08/08/2024
MW OH	THE HARTFORD V012278	MAY LTD INS	109595-5169 STD Ins Premium	ACH080724	4,195.61	120554835494		00132035	08/08/2024
MW OH	THE HARTFORD V012278	MAY LIFE INS	109595-5163 Life Insurance Premiums	ACH080724	4,600.61	120554835494		00132035	08/08/2024
MW OH	THE HARTFORD V012278	FEB LIFE INS	109595-5163 Life Insurance Premiums	ACH080724	4,685.55	120555725158		00132035	08/08/2024
MW OH	THE HARTFORD V012278	FEB STD INS	109595-5169 STD Ins Premium	ACH080724	6,903.38	120555725158		00132035	08/08/2024
MW OH	THE HARTFORD V012278	FEB LTD INS	109595-5169 STD Ins Premium	ACH080724	4,226.93	120555725158		00132035	08/08/2024
MW OH	THE HARTFORD V012278	APR LIFE INS	109595-5163 Life Insurance Premiums	ACH080724	3,776.94	120557137272		00132035	08/08/2024
MW OH	THE HARTFORD V012278	APR STD INS	109595-5169 STD Ins Premium	ACH080724	6,852.23	120557137272		00132035	08/08/2024

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MW OH	THE HARTFORD V012278	APR LTD INS	109595-5169 STD Ins Premium	ACH080724	4,195.61	120557137272		00132035	08/08/2024
MW OH	THE HARTFORD V012278	MAR LIFE INS	109595-5163 Life Insurance Premiums	ACH080724	4,004.68	120557859718		00132035	08/08/2024
MW OH	THE HARTFORD V012278	MAR STD INS	109595-5169 STD Ins Premium	ACH080724	6,910.20	120557859718		00132035	08/08/2024
MW OH	THE HARTFORD V012278	MAR LTD INS	109595-5169 STD Ins Premium	ACH080724	4,231.10	120557859718		00132035	08/08/2024
<b>Check Total:</b>					<b>92,994.30</b>				
<b>Type Total:</b>					<b>146,679.89</b>				
<b>Check Total:</b>					<b>146,679.89</b>				

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MW OH	ELAN CORPORATE PAYMEN V012768	BREAKROOM MICROWAVE	101515-6052 Common Area Supplies	ELAN05062	118.69	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BROWN BAG	109595-6053 City Events	ELAN05062	760.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BROWN BAG HIGH FIVE AWARDS	109595-6053 City Events	ELAN05062	25.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	RIBBON CUTTING SUPPLIES	104071-6053 City Events	ELAN05062	53.84	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BASKETS FOR SISTER CITY VISIT	104071-6053 City Events	ELAN05062	25.85	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	SNACKS FOR SISTER CITY PROGRAM	104071-6053 City Events	ELAN05062	109.27	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	SISTER CITY VISIT	104071-6053 City Events	ELAN05062	575.84	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	SUPPLIES FOR PARK RIBBON EVENT	104071-6053 City Events	ELAN05062	136.12	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	SUPPLIES FOR PARK RIBBON EVENT	104071-6053 City Events	ELAN05062	39.92	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	ICE FOR SISTER CITY VISIT	104071-6053 City Events	ELAN05062	26.57	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	COOKIES FOR SISTER CITY VISIT	104071-6053 City Events	ELAN05062	84.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FOOD FOR RIBBON CUTTING EVENT	104071-6053 City Events	ELAN05062	785.88	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	RIBBON CUTTING SUPPLIES	104071-6053 City Events	ELAN05062	139.93	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	RIBBON CUTTING SUPPLIES	104071-6053 City Events	ELAN05062	69.67	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN	DISPATCH APPRECIATION MEAL	101515-6053	ELAN05062	66.10	APRIL 2024		00018859	07/16/2024

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	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	APPRECIATION WEEK GIFTCARDS	101515-6053	ELAN05062	110.00	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	DISPATCH APPRECIATION GIFTCARD	101515-6053	ELAN05062	30.00	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	DISPATCH APPRECIATION MEAL	101515-6053	ELAN05062	55.35	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	DISPATCH APPRECIATION MEAL	101515-6053	ELAN05062	80.70	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	DISPATCH APPRECIATION MEAL	101515-6053	ELAN05062	82.04	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	DISPATCH APPRECIATION MEAL	101515-6053	ELAN05062	75.14	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	APPRECIATION WEEK MEAL	101515-6053	ELAN05062	72.98	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	APPRECIATION WEEK MEAL	101515-6053	ELAN05062	69.08	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	DISPATCH WEEK MEA	103040-6053	ELAN05062	65.12	APRIL 2024		00018859	07/16/2024
	V012768		City Events						
MW OH	ELAN CORPORATE PAYMENT	WALMART MEMBERSHIP SEE REIMB	104071-6044	ELAN05062	14.08	APRIL 2024		00018859	07/16/2024
	V012768		Credit Card Disputes						
MW OH	ELAN CORPORATE PAYMENT	COFFEE SUPPLIES	109595-6052	ELAN05062	12.73	APRIL 2024		00018859	07/16/2024
	V012768		Common Area Supplies						
MW OH	ELAN CORPORATE PAYMENT	WATER	109595-6052	ELAN05062	36.95	APRIL 2024		00018859	07/16/2024
	V012768		Common Area Supplies						
MW OH	ELAN CORPORATE PAYMENT	4/22 TOLL ROAD DEA CHARGES	103042-6051	ELAN05062	1.15	APRIL 2024		00018859	07/16/2024
	V012768		Toll Roads Expense						
MW OH	ELAN CORPORATE PAYMENT	FD SNACK PROGRAM ITEMS	103040-6052	ELAN05062	39.92	APRIL 2024		00018859	07/16/2024
	V012768		Common Area Supplies						

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MW OH	ELAN CORPORATE PAYMEN V012768	BROWN BAG HIGH FIVE AWARDS	109595-6053 City Events	ELAN05062	125.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BREAKFAST FOR DISPATCH	103065-6053 City Events	ELAN05062	24.25	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	LUNCH: DISPATCH APP. WEEK	103065-6053 City Events	ELAN05062	46.96	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	TH / DOWNTOWN WORK ORDERS	103654-6130 Repair & Maint/Facilities	ELAN05062	158.93	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	CITY HALL WORK ORDERS	103654-6130 Repair & Maint/Facilities	ELAN05062	206.35	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	ANTI-SKID COATING FOR OLD CITY	103654-6130 Repair & Maint/Facilities	ELAN05062	106.69	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FACILITIES SUPPLIES-HEATER	103654-6130 Repair & Maint/Facilities	ELAN05062	54.36	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	CITY HALL LIGHTS	103654-6130 Repair & Maint/Facilities	ELAN05062	230.59	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	CITY HALL LIGHTS	103654-6130 Repair & Maint/Facilities	ELAN05062	141.83	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	CITY HALL MEMORIAL LIGHT REPAI	103654-6130 Repair & Maint/Facilities	ELAN05062	41.32	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	CITYHALL TRELLES REPAIR	103654-6130 Repair & Maint/Facilities	ELAN05062	88.57	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	WEED KILLER FOR STATIONS	103066-6130 Repair & Maint/Facilities	ELAN05062	91.52	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BOUGHT PAINT FOR GRAFFITI CREW	103652-6130 Repair & Maint/Facilities	ELAN05062	426.38	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BOUGH SUPPLIES FOR CONCRETE	103652-6130 Repair & Maint/Facilities	ELAN05062	36.37	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMEN	BOUGHT SUPPLIES FOR CONCRETE	103652-6130	ELAN05062	71.34	APRIL 2024		00018859	07/16/2024

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	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT V012768	CITYHALL LIGHT FIXTURE	103654-6130 Repair & Maint/Facilities	ELAN05062	150.26	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PLANTS	103654-6130 Repair & Maint/Facilities	ELAN05062	91.31	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DOOR REPAIR EXP	103654-6130 Repair & Maint/Facilities	ELAN05062	134.05	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ELECTRICAL TOOLS FOR	103654-6130 Repair & Maint/Facilities	ELAN05062	128.59	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SIGN FOR MONUMENT	103654-6130 Repair & Maint/Facilities	ELAN05062	134.69	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE REPAINTING CS MEERING R	103654-6130 Repair & Maint/Facilities	ELAN05062	82.98	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CS OFFICE WOOD STAIN	103654-6130 Repair & Maint/Facilities	ELAN05062	29.09	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY HALL LIGHTS	103654-6130 Repair & Maint/Facilities	ELAN05062	105.88	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MELROSE UNDER PASS	103654-6130 Repair & Maint/Facilities	ELAN05062	541.63	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	KREAMER PARK FOUNTAIN	103655-6130 Repair & Maint/Facilities	ELAN05062	43.34	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT SENIOR CENTER	104071-6130 Repair & Maint/Facilities	ELAN05062	25.24	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITY MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	100.04	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	125.83	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PAINT SUPPLIESFOR KOCH PARK	104076-6130 Repair & Maint/Facilities	ELAN05062	140.04	APRIL 2024		00018859	07/16/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	321.90	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR TUFFREE PARK	104076-6130 Repair & Maint/Facilities	ELAN05062	39.73	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITY MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	115.74	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FACILITY MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	44.10	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	POWER ELECTRICAL BREAKERS	104076-6130 Repair & Maint/Facilities	ELAN05062	53.87	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	62.52	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	269.26	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	28.38	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINT FOR LOVE PLACENTIA EVENT	104076-6130 Repair & Maint/Facilities	ELAN05062	750.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	89.80	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MAINT FOR LOVE PLACENTIA EVENT	104076-6130 Repair & Maint/Facilities	ELAN05062	311.91	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REPAIRS AT TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN05062	600.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PORTA POTTY FOR KOCH PARK	104076-6130 Repair & Maint/Facilities	ELAN05062	396.67	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	IRRIGATION SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN05062	68.86	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS	REPAIRS AT KOCH PARK	104076-6130	ELAN05062	51.33	APRIL 2024		00018859	07/16/2024

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	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT	CREDIT REFUND	104076-6130	ELAN05062	-143.74	APRIL 2024		00018859	07/16/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT	SUPPLIES FOR VAQUEROS PARK	104076-6130	ELAN05062	171.37	APRIL 2024		00018859	07/16/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT	TRAILER HITCH ADAPTER	104076-6139	ELAN05062	32.68	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	TRAILER HITCH PIN	104076-6139	ELAN05062	6.41	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	PAINT FOR LOVE PLACENTIA	104076-6139	ELAN05062	750.00	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	REPAIRS AT KOCH PARK	104076-6139	ELAN05062	33.38	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	SWING REPLACEMENT FOR	104076-6139	ELAN05062	245.74	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	SUPPLIES FOR TEEN CENTER	104076-6139	ELAN05062	439.79	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	SUPPLIES FOR VAQUEROS PARK	104076-6139	ELAN05062	183.46	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	CREDIT REFUND	104076-6139	ELAN05062	-87.78	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	CREDIT REFUND	104076-6139	ELAN05062	-93.15	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	BATHROOM REPAIRS AT VAQUEROS	104076-6139	ELAN05062	266.30	APRIL 2024		00018859	07/16/2024
	V012768		Repair/Maint - Parks & Fields						
MW OH	ELAN CORPORATE PAYMENT	CR REFUND	101512-6054	ELAN05062	-32.58	APRIL 2024		00018859	07/16/2024
	V012768		Recruitment Exp						
MW OH	ELAN CORPORATE PAYMENT	INTERVIEW PANEL MEALS	101512-6054	ELAN05062	116.01	APRIL 2024		00018859	07/16/2024
	V012768		Recruitment Exp						

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MW OH	ELAN CORPORATE PAYMENT V012768	INTERVIEW PANEL MEALS	101512-6054 Recruitment Exp	ELAN05062	113.89	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BATHROOM REPAIRS AT VAQUEROSI	04076-6139 Repair/Maint - Parks & Fields	ELAN05062	133.61	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BATHROOM REPAIRS AT VAQUEROSI	04076-6139 Repair/Maint - Parks & Fields	ELAN05062	102.83	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BATHROOM REPAIRS AT VAQUEROSI	04076-6139 Repair/Maint - Parks & Fields	ELAN05062	133.56	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT KOCH PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN05062	71.15	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACILITIES SUPPLIES	103654-6147 Janitorial Supplies	ELAN05062	16.28	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REFILL AIR TANKS	103043-6162 Range Training	ELAN05062	41.20	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TABLE CLOTH FOR CITY MARKETIN	01534-6225 Advertising/Promotional	ELAN05062	184.86	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PRINTING PURCHASE OF 12 COPIES	784070-6230 Printing & Binding	ELAN05062	39.12	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLIGHT FOR J. LAMBERT ICSC	102534-6235 Travel	ELAN05062	424.96	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MANHOLE COVER	484356-6132 Repair & Maintenance/Streets	ELAN05062	733.85	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SUPPLIES FOR STREET CREW	484356-6132 Repair & Maintenance/Streets	ELAN05062	134.64	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITYHALL PD AND CITY YARD STO	03658-6134 Vehicle Repair & Maintenance	ELAN05062	98.43	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	AUTO SIGNAL LAMP	103658-6134 Vehicle Repair & Maintenance	ELAN05062	140.70	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT	DISTILL WATER FOR BATTERIES	103658-6137	ELAN05062	6.75	APRIL 2024		00018859	07/16/2024

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	V012768		Repair Maint/Equipment						
MW OH	ELAN CORPORATE PAYMENT V012768	DOG FOOD	103041-6148 K9 Expenses	ELAN05062	76.50	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TAIL BLANKETS	103043-6149 Jail Supplies	ELAN05062	517.04	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE- RIDE TO HOTEL	101515-6235 Travel	ELAN05062	56.96	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE MEAL	101515-6235 Travel	ELAN05062	35.99	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE MEAL	101515-6235 Travel	ELAN05062	26.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE MEAL	101515-6235 Travel	ELAN05062	26.50	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE BREAKFAST	101515-6235 Travel	ELAN05062	4.51	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE LODGING	101515-6235 Travel	ELAN05062	1,336.96	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE- RIDE TO AIRPORT	101515-6235 Travel	ELAN05062	26.90	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BSN BUSINESS MEETING MEAL	109595-6245 Meetings & Conferences	ELAN05062	134.64	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING	109595-6245 Meetings & Conferences	ELAN05062	131.70	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6245 Meetings & Conferences	ELAN05062	12.23	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6245 Meetings & Conferences	ELAN05062	21.86	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6245 Meetings & Conferences	ELAN05062	13.31	APRIL 2024		00018859	07/16/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6245 Meetings & Conferences	ELAN05062	6.48	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6245 Meetings & Conferences	ELAN05062	18.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING EXPENSES	101511-6245 Meetings & Conferences	ELAN05062	67.64	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING EXPENSES	101511-6245 Meetings & Conferences	ELAN05062	65.01	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN05062	81.96	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION: ACC-OC	101511-6245 Meetings & Conferences	ELAN05062	240.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION-DAMIEN, ACC-OC	101511-6245 Meetings & Conferences	ELAN05062	-240.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING SUPPLIES	101511-6245 Meetings & Conferences	ELAN05062	39.84	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SISTER CITY DINNER	101511-6245 Meetings & Conferences	ELAN05062	622.09	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN05062	333.86	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COUNCIL, MGMNT, STAFF DINNERS	101001-6245 Meetings & Conferences	ELAN05062	12.28	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BUSINESS MEETING SUPPLIES	101001-6245 Meetings & Conferences	ELAN05062	50.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PRINCIPAL FOR THE DAY - YAMAGUI	101001-6245 Meetings & Conferences	ELAN05062	50.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION, RHONDA, ACC-OC	101001-6245 Meetings & Conferences	ELAN05062	-120.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT	TD TRAINING HOTEL - JUNG	213041-6235	ELAN05062	659.69	APRIL 2024		00018859	07/16/2024

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	V012768		Travel						
MW OH	ELAN CORPORATE PAYMENT V012768	PD TRAINING HOTEL - MACCUBBIN	213041-6235 Travel	ELAN05062	542.34	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MTG: CHIEFS ROESTI & MEDINA	103065-6245 Meetings & Conferences	ELAN05062	10.97	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAADD AWARDS REGIN	103040-6245 Meetings & Conferences	ELAN05062	280.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION: ACC-OC	102531-6245 Meetings & Conferences	ELAN05062	0.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REGISTRATION-DAMIEN, ACC-OC	102531-6245 Meetings & Conferences	ELAN05062	0.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	7/10 ROTARY MTG MEAL	103040-6245 Meetings & Conferences	ELAN05062	9.95	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	7/24 ROTARY MTG MEAL	103040-6245 Meetings & Conferences	ELAN05062	9.73	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEAOC REGISTRATION FEE G. GUER	103551-6245 Meetings & Conferences	ELAN05062	59.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEAOC REGISTRATION FEE C TANIO	103551-6245 Meetings & Conferences	ELAN05062	59.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CTEC REG - K. TAO	103590-6245 Meetings & Conferences	ELAN05062	20.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BREAKFAST FOR DISPATCH	103065-6245 Meetings & Conferences	ELAN05062	29.90	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EDI REGISTRATION - DOBINE	103065-6245 Meetings & Conferences	ELAN05062	1,125.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DONUTS FOR PD BRIEFING	103065-6245 Meetings & Conferences	ELAN05062	20.18	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CALED CONFERENCE - K.LOUIE	101534-6245 Meetings & Conferences	ELAN05062	533.52	APRIL 2024		00018859	07/16/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES - ICE FOR NAV	784070-6245 Meetings & Conferences	ELAN05062	4.12	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	NAV CENTER MEETING SUPPLIES	784070-6245 Meetings & Conferences	ELAN05062	50.37	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	784070-6245 Meetings & Conferences	ELAN05062	44.39	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOG JUICE FOR TRAINING PROP	103066-6250 Staff Training	ELAN05062	864.51	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MATERIALS FOR TRAINING PROP	103066-6250 Staff Training	ELAN05062	1,951.66	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAINING PROP MATERIALS	103066-6250 Staff Training	ELAN05062	998.79	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MATERIALS FOR TRAINING PROP	103066-6250 Staff Training	ELAN05062	1,951.66	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MATERIALS FOR TRAINING PROP	103066-6250 Staff Training	ELAN05062	994.25	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CPWA CPII APPLICATION KEVIN K	103551-6250 Staff Training	ELAN05062	145.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CONSTRUCTION MANUALS KEVIN	103551-6250 Staff Training	ELAN05062	163.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG - JUNG	213041-6250 Staff Training	ELAN05062	20.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING HOTEL - GILLIS	213041-6250 Staff Training	ELAN05062	492.90	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING - CONNELL, RADOMSK	213041-6250 Staff Training	ELAN05062	40.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG - LEMUS	213041-6250 Staff Training	ELAN05062	163.77	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT	CONCRETE PUMPER	103550-6255	ELAN05062	450.00	APRIL 2024		00018859	07/16/2024

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	V012768		Dues & Memberships						
MW OH	ELAN CORPORATE PAYMENT V012768	APA MEMBERSHIP J. LAMBERT	102531-6255 Dues & Memberships	ELAN05062	622.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	APA MEMBERSHIP FOR DEVAN	102531-6255 Dues & Memberships	ELAN05062	150.17	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	G.HOUN CSMFO MEMBERSHIP	102020-6255 Dues & Memberships	ELAN05062	55.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BALANCE DUE FOR POST COURSE	101515-6250 Staff Training	ELAN05062	24.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	POST TESTING SESSION SUPPLIES	101515-6250 Staff Training	ELAN05062	53.40	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAUMA TRAINING SUPPLIES	101514-6250 Staff Training	ELAN05062	10.42	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAUMA TRAINING SUPPLIES	101514-6250 Staff Training	ELAN05062	43.07	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	D TRAINING REG - CHAPMAN	103047-6250 Staff Training	ELAN05062	175.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICER MEAL SAFEGUARDING	103040-6301 Special Department Expenses	ELAN05062	10.86	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PRISONER MEAL DR 24-01222	103040-6301 Special Department Expenses	ELAN05062	7.17	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SHADOW BOX DELIVER-SPAIN	101001-6301 Special Department Expenses	ELAN05062	319.50	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DRY ERASE BOARDS FOR OCH	103065-6315 Office Supplies	ELAN05062	1,752.19	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	103040-6315 Office Supplies	ELAN05062	59.21	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FLASH DRIVES FOR INVESTIGATION	103040-6315 Office Supplies	ELAN05062	114.15	APRIL 2024		00018859	07/16/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	PORTABLE SSD FOR INVESTIGATION	103040-6315 Office Supplies	ELAN05062	172.39	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	MOUSE PAD MATS	103040-6315 Office Supplies	ELAN05062	20.22	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COPIES CEQA GUID	102531-6315 Office Supplies	ELAN05062	144.13	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	EMBOSSER/PLANS	102531-6315 Office Supplies	ELAN05062	192.82	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE EXPENSES	102532-6315 Office Supplies	ELAN05062	198.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	102020-6315 Office Supplies	ELAN05062	15.79	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	102020-6315 Office Supplies	ELAN05062	21.72	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	102020-6315 Office Supplies	ELAN05062	12.33	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	102020-6315 Office Supplies	ELAN05062	38.03	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BINDERS/ DIVIDERS FOR BUDGET	102020-6315 Office Supplies	ELAN05062	123.45	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COUNCIL MINTS OFFICE SUPPLY	101513-6315 Office Supplies	ELAN05062	21.99	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	COUNCIL MINTS OFFICE SUPPLY	101513-6315 Office Supplies	ELAN05062	19.99	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	101513-6315 Office Supplies	ELAN05062	13.02	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OFFICE SUPPLIES	101513-6315 Office Supplies	ELAN05062	40.19	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS	OFFICE SUPPLIES	101513-6315	ELAN05062	146.52	APRIL 2024		00018859	07/16/2024

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	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101513-6315 Office Supplies	ELAN05062	34.19	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101513-6315 Office Supplies	ELAN05062	18.80	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN05062	19.56	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN05062	-19.56	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	101511-6315 Office Supplies	ELAN05062	10.86	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	2X12 METAL MAP PRINT GONZALES	01511-6315 Office Supplies	ELAN05062	48.23	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	109595-6345 Gasoline & Diesel Fuel	ELAN05062	50.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	109595-6345 Gasoline & Diesel Fuel	ELAN05062	83.23	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	109595-6345 Gasoline & Diesel Fuel	ELAN05062	53.05	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GAS FOR TRUCK.	104076-6345 Gasoline & Diesel Fuel	ELAN05062	152.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	111.24	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	112.02	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN05062	31.09	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN05062	84.21	APRIL 2024		00018859	07/16/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN05062	67.60	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN05062	60.58	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN05062	19.64	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	60.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	72.49	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	74.80	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	107.76	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	118.34	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	65.15	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	124.11	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	77.76	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	76.91	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN05062	123.02	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TICKERS PMC REGULATION	103652-6310 Street Signs	ELAN05062	463.58	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT	OFFICE SUPPLIES	104070-6315	ELAN05062	33.50	APRIL 2024		00018859	07/16/2024

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	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	OFFICE SUPPLIES	104070-6315	ELAN05062	9.78	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	OFFICE SUPPLIES	104070-6315	ELAN05062	13.00	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	OFFICE SUPPLIES	104070-6315	ELAN05062	31.33	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	OFFICE SUPPLIES	104070-6315	ELAN05062	381.39	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	S OFFICE SUPPLIES	104072-6315	ELAN05062	88.91	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	S OFFICE SUPPLIES	104072-6315	ELAN05062	27.06	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	OFFICE SUPPLIES	101523-6315	ELAN05062	41.30	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	OFFICE SUPPLIES	101523-6315	ELAN05062	9.43	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	OFFICE SUPPLIES	784070-6315	ELAN05062	23.69	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	BINDERS	763041-6315	ELAN05062	115.08	APRIL 2024		00018859	07/16/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMEN	COFFEE FOR NAV CTR	784070-6245	ELAN05062	24.00	APRIL 2024		00018859	07/16/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMEN	SHIPPING CHARGES	103040-6325	ELAN05062	96.96	APRIL 2024		00018859	07/16/2024
	V012768		Postage						
MW OH	ELAN CORPORATE PAYMEN	Small Tools/Equipment	103658-6350	ELAN05062	590.47	APRIL 2024		00018859	07/16/2024
	V012768		Small Tools/Equipment						
MW OH	ELAN CORPORATE PAYMEN	DEPARTMENT HELMET STICKERS	103066-6360	ELAN05062	31.54	APRIL 2024		00018859	07/16/2024
	V012768		Uniforms						

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MW OH	ELAN CORPORATE PAYMENTS V012768	CHIEFS CLASS A SHIRTS	103065-6360 Uniforms	ELAN05062	184.26	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	HONOR GUARD UNIFORM	213041-6360 Uniforms	ELAN05062	780.65	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	FIRST AID SUPPLIES	101514-6362 Emergency Medical Supplies	ELAN05062	41.81	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PORTABLE SIDE MONITOR	103040-6364 Computer Hardware	ELAN05062	231.26	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TV PERMIT SOFTWARE	103041-6366 Web Based Service/Subscriptions	ELAN05062	300.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	4/20-5/19 MAPPING SVS	103041-6366 Web Based Service/Subscriptions	ELAN05062	15.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	4/27-5/26 MCV DIRECT TV SVS	103041-6366 Web Based Service/Subscriptions	ELAN05062	100.99	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SOFTWARE RENEWAL	103041-6366 Web Based Service/Subscriptions	ELAN05062	8.20	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TAED PATCHES FOR ALL STAFF	101515-6360 Uniforms	ELAN05062	100.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CLARION SUBSCRIPTION	103065-6366 Web Based Service/Subscriptions	ELAN05062	54.95	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	OC REGISTER - SUBSCRIPTION	101515-6366 Web Based Service/Subscriptions	ELAN05062	14.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	DIGITAL SUBSCRIPTION-4 WEEKS	101001-6366 Web Based Service/Subscriptions	ELAN05062	16.00	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	ETHERNET CABLES	105213-6399 Other Supplies	ELAN05062	20.34	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	NITRILE GLOVES	101514-6399 Other Supplies	ELAN05062	12.48	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS	EVAC MAPS	101514-6399	ELAN05062	294.96	APRIL 2024		00018859	07/16/2024

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	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMENTS	KEYS	103047-6399	ELAN05062	6.47	APRIL 2024		00018859	07/16/2024
	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMENTS	TOW HITCH FOR SPEED TRAILER	103047-6399	ELAN05062	26.06	APRIL 2024		00018859	07/16/2024
	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMENTS	DRAWER LOCKS	103043-6399	ELAN05062	54.38	APRIL 2024		00018859	07/16/2024
	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMENTS	DRY ICE FOR WALK IN FREEZER	103043-6399	ELAN05062	360.53	APRIL 2024		00018859	07/16/2024
	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMENTS	SENIOR CENTER SUPPLIES	104079-6401	ELAN05062	81.94	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS	SENIOR CENTER SUPPLIES	104079-6401	ELAN05062	101.39	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS	SENIOR CENTER SUPPLIES	104079-6401	ELAN05062	19.15	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS	SENIOR CENTER SUPPLIES	104079-6401	ELAN05062	29.36	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS	SENIOR CENTER SUPPLIES	104079-6401	ELAN05062	359.80	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS	SENIOR CENTER SUPPLIES	104079-6401	ELAN05062	31.60	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS	SENIOR CENTER SUPPLIES	104079-6401	ELAN05062	56.88	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS	STATE WATER RESOURCES	331801-6740	ELAN05062	1,249.00	APRIL 2024		00018859	07/16/2024
	V012768		Infrastructure - Streets						
MW OH	ELAN CORPORATE PAYMENTS	STATE WATER RESOURCES	331801-6740	ELAN05062	34.35	APRIL 2024		00018859	07/16/2024
	V012768		Infrastructure - Streets						
MW OH	ELAN CORPORATE PAYMENTS	PD CONF ROOM TV	795301-6845	ELAN05062	1,126.58	APRIL 2024		00018859	07/16/2024
	V012768		Office Equipment						

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MW OH	ELAN CORPORATE PAYMENT V012768	CABINET HANDLE	795301-6850 Building & Facilities	ELAN05062	22.28	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ERGONOMIC OFFICE CHAIRS	675308-6850 / 675308-6850 Building & Facilities	ELAN05062	942.72	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR CITIZENS ACADEMY	101534-6401 Community Programs	ELAN05062	450.70	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICE FOR CITIZENS ACADEMY	101534-6401 Community Programs	ELAN05062	4.30	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR CITIZENS ACADEMY	101534-6401 Community Programs	ELAN05062	349.32	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR CITIZENS ACADEMY	101534-6401 Community Programs	ELAN05062	301.88	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD FOR CITIZENS ACADEMY	101534-6401 Community Programs	ELAN05062	408.01	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVING BOXES	105213-6850 Building & Facilities	ELAN05062	90.48	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVING BOXES	105213-6850 Building & Facilities	ELAN05062	94.15	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVING BOXES	105213-6850 Building & Facilities	ELAN05062	47.08	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVING BOXES	105213-6850 Building & Facilities	ELAN05062	45.13	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEMORIAL DAY WREATH	103040-6999 Other Expenditure	ELAN05062	242.44	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN05062	66.35	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN05062	74.88	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENT	MUSIC SUBSCRIPTION	104071-6366	ELAN05062	16.99	APRIL 2024		00018859	07/16/2024

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	V012768		Web Based Service/Subscriptions						
MW OH	ELAN CORPORATE PAYMENT	MOVIE SUBSCRIPTION	104071-6366	ELAN05062	22.99	APRIL 2024		00018859	07/16/2024
	V012768		Web Based Service/Subscriptions						
MW OH	ELAN CORPORATE PAYMENT	EMPLOYEE SCHEDULING SOFTWARE	104070-6366	ELAN05062	193.98	APRIL 2024		00018859	07/16/2024
	V012768		Web Based Service/Subscriptions						
MW OH	ELAN CORPORATE PAYMENT	EQUIPMENT NEEDS FOR LOVE PLACE	104071-6399	ELAN05062	164.20	APRIL 2024		00018859	07/16/2024
	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMENT	MONTHLY CHARGES / APRIL 2024	101523-6366	ELAN05062	260.68	APRIL 2024		00018859	07/16/2024
	V012768		Web Based Service/Subscriptions						
MW OH	ELAN CORPORATE PAYMENT	MISC SUPPLIES	103040-6399	ELAN05062	40.93	APRIL 2024		00018859	07/16/2024
	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMENT	CHILD ID KITS	103040-6401	ELAN05062	98.00	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TET'S DANCE DINNER	104071-6401	ELAN05062	415.24	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TET'S DANCE DINNER	104071-6401	ELAN05062	102.15	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TINY TOT SUPPLIES	104071-6401 / 22401-6401	ELAN05062	91.30	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	SENIOR CENTER SUPPLIES	104071-6401	ELAN05062	151.49	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	NS FOOD PROGRAMS SUPPLIES	104072-6401	ELAN05062	565.48	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	SPRING DAY CAMP EXCURSION	104071-6401	ELAN05062	185.45	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	F.A.R.K.'S MAYCRAFT	104071-6401	ELAN05062	24.77	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	KOCH PARK RIBBON CUTTING SUP	104071-6401	ELAN05062	561.69	APRIL 2024		00018859	07/16/2024
	V012768		Community Programs						

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MW OH	ELAN CORPORATE PAYMENTS V012768	HOTDOG BUNS KOCH PARK RIBBON	104071-6401 Community Programs	ELAN05062	40.86	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	POPCORN FOR KOCH PARK RIBBON	104071-6401 Community Programs	ELAN05062	57.45	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOT SUPPLIES	104071-6401 / 22401-6401 Community Programs	ELAN05062	85.64	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TINY TOT PRINTING	104071-6401 / 22401-6401 Community Programs	ELAN05062	9.78	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PARKS CRAFT MATERIALS PARKS	104071-6401 Community Programs	ELAN05062	30.67	APRIL 2024		00018859	07/16/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PARKS CRAFT MATERIALS PARKS	104071-6401 Community Programs	ELAN05062	16.49	APRIL 2024		00018859	07/16/2024
<b>Check Total:</b>					<b>50,638.27</b>				
MW OH	AMERICAN FIDELITY V010011	FSA 4/27 PD5/3	0048-2188 Health Care SSA	ACH080724	0.39	2338016A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA 4/27 PD5/3	0054-2188 Health Care SSA	ACH080724	0.62	2338016A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA 4/27 PD5/3	0078-2188 Health Care SSA	ACH080724	0.78	2338016A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA 4/27 PD5/3	0010-2190 Dependent Care SSA	ACH080724	649.99	2338016A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA 4/27 PD5/3	0010-2188 Health Care SSA	ACH080724	1,871.50	2338016A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA 4/27 PD5/3	0029-2188 Health Care SSA	ACH080724	0.08	2338016A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA 4/27 PD5/3	0037-2188 Health Care SSA	ACH080724	1.09	2338016A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE5/11 PD5/17	0037-2188 Health Care SSA	ACH080724	1.09	2338017A		00018965	08/08/2024

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MW OH	AMERICAN FIDELITY V010011	FSA PE5/11 PD5/17	0029-2188 Health Care SSA	ACH080724	0.08	2338017A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE5/11 PD5/17	0048-2188 Health Care SSA	ACH080724	0.39	2338017A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE5/11 PD5/17	0010-2188 Health Care SSA	ACH080724	1,871.50	2338017A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE5/11 PD5/17	0078-2188 Health Care SSA	ACH080724	0.78	2338017A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE5/11 PD5/17	0054-2188 Health Care SSA	ACH080724	0.62	2338017A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE5/11 PD5/17	0010-2190 Dependent Care SSA	ACH080724	649.99	2338017A		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/8 PD6/14	0054-2188 Health Care SSA	ACH080724	0.62	2338018C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/8 PD6/14	0078-2188 Health Care SSA	ACH080724	0.78	2338018C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/8 PD6/14	0010-2190 Dependent Care SSA	ACH080724	649.99	2338018C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/8 PD6/14	0010-2188 Health Care SSA	ACH080724	1,871.50	2338018C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/8 PD6/14	0048-2188 Health Care SSA	ACH080724	0.39	2338018C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/8 PD6/14	0029-2188 Health Care SSA	ACH080724	0.08	2338018C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/8 PD6/14	0037-2188 Health Care SSA	ACH080724	1.09	2338018C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/22 PD6/28	0037-2188 Health Care SSA	ACH080724	1.09	2338019C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY	FSA PE6/22 PD6/28	0048-2188	ACH080724	0.39	2338019C		00018965	08/08/2024

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	V010011		Health Care SSA						
MW OH	AMERICAN FIDELITY V010011	FSA PE6/22 PD6/28	0029-2188 Health Care SSA	ACH080724	0.08	2338019C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/22 PD6/28	0010-2188 Health Care SSA	ACH080724	1,871.50	2338019C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/22 PD6/28	0054-2188 Health Care SSA	ACH080724	0.62	2338019C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/22 PD6/28	0078-2188 Health Care SSA	ACH080724	0.78	2338019C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	FSA PE6/22 PD6/28	0010-2190 Dependent Care SSA	ACH080724	649.99	2338019C		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0054-2187 Voluntary Plan Life	ACH080724	1.62	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0010-2155 Per Sec Plan - Opt. Life	ACH080724	3,974.30	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0029-2155 Per Sec Plan - Opt. Life	ACH080724	2.42	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0048-2155 Per Sec Plan - Opt. Life	ACH080724	5.94	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0037-2155 Per Sec Plan - Opt. Life	ACH080724	2.04	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0076-2155 Per Sec Plan - Opt. Life	ACH080724	0.00	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0078-2155 Per Sec Plan - Opt. Life	ACH080724	4.08	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0078-2155 Per Sec Plan - Opt. Life	ACH080724	5.44	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0054-2155 Per Sec Plan - Opt. Life	ACH080724	1.24	D722390		00018965	08/08/2024

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MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0037-2187 Voluntary Plan Life	ACH080724	0.24	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0048-2187 Voluntary Plan Life	ACH080724	6.50	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0029-2187 Voluntary Plan Life	ACH080724	1.26	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#9, PR#10	0010-2187 Voluntary Plan Life	ACH080724	3,996.38	D722390		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0010-2187 Voluntary Plan Life	ACH080724	3,937.83	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0029-2187 Voluntary Plan Life	ACH080724	19.65	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0054-2155 Per Sec Plan - Opt. Life	ACH080724	12.46	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0054-2187 Voluntary Plan Life	ACH080724	14.20	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0029-2155 Per Sec Plan - Opt. Life	ACH080724	34.76	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0010-2155 Per Sec Plan - Opt. Life	ACH080724	3,665.53	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0078-2155 Per Sec Plan - Opt. Life	ACH080724	1.65	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0078-2155 Per Sec Plan - Opt. Life	ACH080724	38.64	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0048-2155 Per Sec Plan - Opt. Life	ACH080724	58.94	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0037-2155 Per Sec Plan - Opt. Life	ACH080724	7.07	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY	PAYROLL PR#12, PR#13	0076-2155	ACH080724	27.37	D733519		00018965	08/08/2024

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	V010011		Per Sec Plan - Opt. Life						
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0048-2187 Voluntary Plan Life	ACH080724	60.67	D733519		00018965	08/08/2024
MW OH	AMERICAN FIDELITY V010011	PAYROLL PR#12, PR#13	0037-2187 Voluntary Plan Life	ACH080724	2.69	D733519		00018965	08/08/2024
<b>Check Total:</b>					<b>25,980.72</b>				
MW OH	INTERNAL REVENUE V010054	2024 Q2 941 BALANCE	0010-2115 Employee Medicare W/H	ACH080724	8.09	2024 Q2 941		00018966	08/08/2024
<b>Check Total:</b>					<b>8.09</b>				
MW OH	LEGAL SHIELD V008104	MAY LEGAL SHIELD	0010-2192 Police Legal Services	ACH080724	256.11	21561- MAY		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	MAY LEGAL SHIELD	0048-2192 Police Legal Services	ACH080724	0.82	21561- MAY		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	MAY LEGAL SHIELD	0054-2192 Police Legal Services	ACH080724	0.12	21561- MAY		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	APR LEGAL SHIELD	0054-2192 Police Legal Services	ACH080724	0.12	21561-APRIL		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	APR LEGAL SHIELD	0010-2192 Police Legal Services	ACH080724	256.11	21561-APRIL		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	APR LEGAL SHIELD	0048-2192 Police Legal Services	ACH080724	0.82	21561-APRIL		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	JUN LEGAL SHIELD	0010-2192 Police Legal Services	ACH080724	250.07	21561-JUN		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	JUN LEGAL SHIELD	0048-2192 Police Legal Services	ACH080724	6.06	21561-JUN		00018967	08/08/2024
MW OH	LEGAL SHIELD V008104	JUN LEGAL SHIELD	0054-2192 Police Legal Services	ACH080724	0.92	21561-JUN		00018967	08/08/2024
<b>Check Total:</b>					<b>771.15</b>				

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MW OH	REPUBLIC WASTE SERVICES V007205	SUN REFUSE COLLECTION SVS	374386-6101 Disposal	ACH081424	345,979.28	676-005635926	P13107	00018968	08/15/2024
<b>Check Total:</b>					<b>345,979.28</b>				
MW OH	ELAN CORPORATE PAYMENT V012768	PURCHASED MARKING PAINT FOR	SI03652-6130 Repair & Maint/Facilities	ELAN06062	21.51	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	T1714 LARKSPUR DR CEMENT REPA	103652-6130 Repair & Maint/Facilities	ELAN06062	103.91	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BROUGHT PAINT FOR GRAFFITI CREW	03652-6130 Repair & Maint/Facilities	ELAN06062	512.64	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR RECRUITMENT EXPENSES	101512-6054 Recruitment Exp	ELAN06062	83.48	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR RECRUITMENT	101512-6054 Recruitment Exp	ELAN06062	102.71	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HR RECRUITMENT	101512-6054 Recruitment Exp	ELAN06062	113.53	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	JANITORIAL SUPPLIES	103654-6147 Janitorial Supplies	ELAN06062	73.80	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	K9 DOG FOOD	103041-6148 K9 Expenses	ELAN06062	76.50	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	K9 DOG FOOD	103041-6148 K9 Expenses	ELAN06062	76.50	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	K9 DOG FOOD	103041-6148 K9 Expenses	ELAN06062	143.30	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	K9 DOG FOOD	103041-6148 K9 Expenses	ELAN06062	143.30	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT KOCH PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	-33.38	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SUPPLIES FOR LOS NINOS PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	43.10	MAY 2024		00018975	08/26/2024

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MW OH	ELAN CORPORATE PAYMENTS V012768	SUPPLIES FOR LOS NINOS PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	64.05	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	WOOD FOR TABLES AT SAMP PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	70.53	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PAINT FOR GOMEZ PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	74.57	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REPAIRS AT TUFFREE PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	91.40	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REPAIRS AT LOS NINOS PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	124.59	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SCREWS TO REPLACE TABLE SAMP	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	150.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PAINT FOR GOMEZ PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	192.15	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SINK REPAIRS AT KOCH PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	209.32	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	PAINT FOR GOMEZ PARK	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	526.95	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BLACK FLOW CAGE AT LA PLACITA	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	534.60	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	BACKFLOW CAGE FOR LA PLACITA	104076-6139 Repair/Maint - Parks & Fields	ELAN06062	1,000.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CREDIT REFUND	104076-6130 Repair & Maint/Facilities	ELAN06062	-591.55	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	REPAIRS AT TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN06062	-248.57	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	CREDIT REFUND	104076-6130 Repair & Maint/Facilities	ELAN06062	-108.45	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES	104076-6130	ELAN06062	4.63	MAY 2024		00018975	08/26/2024

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	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES	104076-6130	ELAN06062	12.35	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	FACILITY MAINTENANCE SUPPLIES	104076-6130	ELAN06062	30.57	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES	104076-6130	ELAN06062	31.53	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	WATER LINE FIXED AT THE TC	104076-6130	ELAN06062	32.86	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	WATER LINE FIXED AT THE TC	104076-6130	ELAN06062	32.89	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	SPRAY PAINT FOR WHITTEN CENTER	104076-6130	ELAN06062	34.93	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	FACILITY MAINTENANCE SUPPLIES	104076-6130	ELAN06062	39.78	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES	104076-6130	ELAN06062	39.78	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES STOCK	104076-6130	ELAN06062	50.70	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES	104076-6130	ELAN06062	74.23	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	FACILITY MAINTENANCE SUPPLIES	104076-6130	ELAN06062	87.79	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	FACILITY MAINTENANCE SUPPLIES	104076-6130	ELAN06062	88.21	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	PLUMBING SUPPLIES	104076-6130	ELAN06062	94.34	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENTS	MAINTENANCE SUPPLIES	104076-6130	ELAN06062	120.91	MAY 2024		00018975	08/26/2024
	V012768		Repair & Maint/Facilities						

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MW OH	ELAN CORPORATE PAYMENT V012768	FACILITY MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN06062	142.38	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARTS FOR RESTROOM REPAIRS	104076-6130 Repair & Maint/Facilities	ELAN06062	164.15	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MAINTENANCE SUPPLIES	104076-6130 Repair & Maint/Facilities	ELAN06062	190.62	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PAINT FOR TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN06062	240.83	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRASH CAN REPLACEMENT	104076-6130 Repair & Maint/Facilities	ELAN06062	295.98	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN06062	395.82	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN06062	419.65	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BACKFLOW CAGE FOR LA PLACITA	104076-6130 Repair & Maint/Facilities	ELAN06062	534.61	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN06062	700.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN06062	700.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT TEEN CENTER	104076-6130 Repair & Maint/Facilities	ELAN06062	700.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REPAIRS AT TEEN CENTER	104071-6130 Repair & Maint/Facilities	ELAN06062	449.97	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OLD CH MAIL BOX KEYS	103654-6130 Repair & Maint/Facilities	ELAN06062	18.53	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PURCHASED LEVELING COMPOUND	103654-6130 Repair & Maint/Facilities	ELAN06062	29.22	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT	CITYHALL SIGN REPAINTING AND DI	103654-6130	ELAN06062	34.56	MAY 2024		00018975	08/26/2024

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	V012768		Repair & Maint/Facilities						
MW OH	ELAN CORPORATE PAYMENT V012768	OLD CH DRYWALL REPAIR	103654-6130 Repair & Maint/Facilities	ELAN06062	37.11	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OLD CH FLOOR REPAIR	103654-6130 Repair & Maint/Facilities	ELAN06062	39.78	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITYHALL EXTERIOR SIGN REPAIR	103654-6130 Repair & Maint/Facilities	ELAN06062	49.30	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PURCHASED MATERIAL FOR STAT	103654-6130 Repair & Maint/Facilities	ELAN06062	53.77	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PURCHASED ITEMS FOR FAULTY	103654-6130 Repair & Maint/Facilities	ELAN06062	65.66	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PLACENTIA CHAMBER OF	103654-6130 Repair & Maint/Facilities	ELAN06062	80.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITYHALL ACOUSTIC CEILING REPAI	103654-6130 Repair & Maint/Facilities	ELAN06062	80.22	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PURCHASED MATERIAL FOR PLUM	103654-6130 Repair & Maint/Facilities	ELAN06062	100.92	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD PAINT PROJECT PURCH	103654-6130 Repair & Maint/Facilities	ELAN06062	107.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD	103654-6130 Repair & Maint/Facilities	ELAN06062	108.25	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITYYARD OFFICE PAINTING PUR	103654-6130 Repair & Maint/Facilities	ELAN06062	142.04	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BOUGHT SUPPLIES TO REPAIR FLOW	103654-6130 Repair & Maint/Facilities	ELAN06062	175.87	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FIRST RESPONDER BREAKFAST	103066-6053 City Events	ELAN06062	280.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	2024 PW APPRECIATION DEPTLUNCH	103550-6053 City Events	ELAN06062	620.00	MAY 2024		00018975	08/26/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	RECRUITMENT BROCHURES PRINTED	101515-6054 Recruitment Exp	ELAN06062	269.70	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FOOD EMPL APPRECIATION	109595-6053 City Events	ELAN06062	1,920.78	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BREAK ROOM UTENSILS	101515-6052 Common Area Supplies	ELAN06062	40.22	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TOASTER OVEN CONF ROOM	795301-6052 Common Area Supplies	ELAN06062	54.36	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE MAKER	795301-6052 Common Area Supplies	ELAN06062	119.61	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OVERCHARGED IN DISPUTE	CHARGE 03040-6044 Credit Card Disputes	ELAN06062	3.70	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	1ST RESPONDERS RECOGNITION REG	03040-6053 City Events	ELAN06062	40.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PLATES/UTENSILS FOR STAFF BREA	104072-6052 Common Area Supplies	ELAN06062	53.72	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6052 Common Area Supplies	ELAN06062	7.53	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6052 Common Area Supplies	ELAN06062	17.88	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6052 Common Area Supplies	ELAN06062	40.87	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6052 Common Area Supplies	ELAN06062	44.49	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	COFFEE SUPPLIES	109595-6052 Common Area Supplies	ELAN06062	68.78	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DEPT. SNACKS	109595-6052 Common Area Supplies	ELAN06062	222.24	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT	PARTY CITY SUPPLIES	104079-6401	ELAN06062	16.17	MAY 2024		00018975	08/26/2024

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	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	20.46	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	29.10	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	31.70	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	32.33	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	32.50	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	40.96	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	41.26	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	94.14	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	139.33	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	245.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	SENIOR CENTER SUPPLIES	104079-6401 Community Programs	ELAN06062	421.99	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TARP HOMELESS ARSON INVEST	103043-6399 Other Supplies	ELAN06062	43.06	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	GEAR CLIPS	103043-6399 Other Supplies	ELAN06062	72.66	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENTS V012768	TARPS HOMELESS ARSON INVES	103043-6399 Other Supplies	ELAN06062	244.98	MAY 2024		00018975	08/26/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	BATTERY JUMP STARTER	103043-6399 Other Supplies	ELAN06062	344.75	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MUSIC SUBSCRIPTION	104071-6366 Web Based Service/Subscriptions	ELAN06062	16.99	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVIE SUBSCRIPTION	104071-6366 Web Based Service/Subscriptions	ELAN06062	22.99	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	EMPLOYEE SCHEDULING SOFTWARE	104070-6366 Web Based Service/Subscriptions	ELAN06062	193.98	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CALLBRIDGE CHARGES	101523-6366 Web Based Service/Subscriptions	ELAN06062	260.68	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DRY CLEANERS FOR DEPT. CLOTHS	104071-6360 Uniforms	ELAN06062	89.79	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	NO MAPPING SOFTWARE	103040-6366 Web Based Service/Subscriptions	ELAN06062	57.08	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	D MAPPING SVS	103041-6366 Web Based Service/Subscriptions	ELAN06062	15.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICV DIRECT TV	103041-6366 Web Based Service/Subscriptions	ELAN06062	100.99	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	T GEAR FOR PAT N. VAUTRIN	103041-6360 / 50044-6360 Uniforms	ELAN06062	234.25	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CITY YARD HAND TOOLS	103654-6350 Small Tools/Equipment	ELAN06062	139.97	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SOCAL GAS FEE BACKS BUILDING S	109595-6340 Natural Gas	ELAN06062	68.72	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SOCAL GAS FEE CITY YARD SOCAL	109595-6340 Natural Gas	ELAN06062	120.41	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASB UPDATE WEBINAR MONICA M	102020-6250 Staff Training	ELAN06062	125.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT	D TRAINING REG KING, PEREZ	103041-6250	ELAN06062	250.00	MAY 2024		00018975	08/26/2024

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	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT V012768	POST TEST MATERIAL POSTAGE	101515-6325 Postage	ELAN06062	45.32	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DELIVERY; CUSTOMS FEE	101511-6325 Postage	ELAN06062	45.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CLIPBOARDS FOR CITY ENGINEERS	103593-6315 Office Supplies	ELAN06062	26.59	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	BNI GREEN BOOKS FOR ENGINEERS	103593-6315 Office Supplies	ELAN06062	278.82	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ADAPTER FOR DEPT. LAPTOP	104070-6315 Office Supplies	ELAN06062	23.69	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING IN PROGRESS SIGN	104070-6315 Office Supplies	ELAN06062	45.62	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	OFFICE SUPPLIES	104070-6315 Office Supplies	ELAN06062	158.33	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FACIAL TISSUES FOR STAFF FACI	104072-6315 Office Supplies	ELAN06062	17.39	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PAPER CUTTER AND BAKING SODA	104072-6315 Office Supplies	ELAN06062	50.97	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PAPER, OFFICE ORGANIZER, STAFF	104072-6315 Office Supplies	ELAN06062	77.17	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WHITTEN CTR OFFICE SUPPLIES T	104072-6315 Office Supplies	ELAN06062	172.36	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	30.51	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	32.25	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	47.37	MAY 2024		00018975	08/26/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	50.25	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN06062	59.90	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN06062	60.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	60.71	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	97.96	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN06062	101.60	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN06062	102.84	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	103.23	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	107.20	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	107.76	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN06062	108.15	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FUEL	103658-6345 Gasoline & Diesel Fuel	ELAN06062	108.19	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GASOLINE FOR PD	103658-6345 Gasoline & Diesel Fuel	ELAN06062	110.40	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TOOLS	103658-6350 Small Tools/Equipment	ELAN06062	430.99	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FW AC MACHINE PURCHASE OF AC	103658-6350	ELAN06062	3,700.75	MAY 2024		00018975	08/26/2024

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	V012768		Small Tools/Equipment						
MW OH	ELAN CORPORATE PAYMENT	OFFICE SUPPLIES	101511-6315	ELAN06062	4.99	MAY 2024		00018975	08/26/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENT	OFFICE SUPPLIES	101511-6315	ELAN06062	14.43	MAY 2024		00018975	08/26/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENT	CENTER WIPES AND TISSUES	101515-6315	ELAN06062	49.94	MAY 2024		00018975	08/26/2024
	V012768		Office Supplies						
MW OH	ELAN CORPORATE PAYMENT	FLOWERS MCCOY FAMILY FUNERAL	101001-6301	ELAN06062	60.00	MAY 2024		00018975	08/26/2024
	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT	FLOWERS FOR JEANNIE KIRWIN	101001-6301	ELAN06062	76.48	MAY 2024		00018975	08/26/2024
	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT	BOUGHT TREE CITY SIGNS TO REPL	103652-6310	ELAN06062	211.90	MAY 2024		00018975	08/26/2024
	V012768		Street Signs						
MW OH	ELAN CORPORATE PAYMENT	D TRAINING REG MCINERNEY	103047-6250	ELAN06062	125.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	D TRAINING REG GARZA	103047-6250	ELAN06062	125.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	COOKIES FOR OFFSITE TRAINING	103066-6250	ELAN06062	27.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	D. SORIANO CPR CERT	104071-6250	ELAN06062	295.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	EIFEGUARD TRAINING	104071-6250	ELAN06062	368.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	WSI CERTIFICATION FOR SWIM	104071-6250	ELAN06062	695.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	CPR TRAINING	104071-6250	ELAN06062	750.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	WSI CERTIFICATION FOR SWIM	104071-6250	ELAN06062	750.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						

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MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG TREJO	213041-6250 Staff Training	ELAN06062	125.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG MACCUBBIN	213041-6250 Staff Training	ELAN06062	125.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FD TRAINING REG CONNELL	213041-6250 Staff Training	ELAN06062	125.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FARMA MEMBERSHIP	404582-6255 Dues & Memberships	ELAN06062	300.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAY CAMP EXCURSION TO	104071-6270 Excursions	ELAN06062	150.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WALMART MEMBERSHIP CR	104071-6301 Special Department Expenses	ELAN06062	-14.08	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WALMART MEMBERSHIP	104071-6301 Special Department Expenses	ELAN06062	-14.08	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PLASTIC BAG FEE CREDIT PLASTI	104071-6301 Special Department Expenses	ELAN06062	-0.20	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FARKS END OF YEAR CELEBRATIONI	104071-6301 Special Department Expenses	ELAN06062	11.81	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FARKS END OF YEAR CELEBRATIONI	104071-6301 Special Department Expenses	ELAN06062	23.28	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	FARKS END OF YEAR CELEBRATIONI	104071-6301 Special Department Expenses	ELAN06062	37.28	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REFUND FOR PLASTIC BAGS REFU	104072-6301 Special Department Expenses	ELAN06062	-0.50	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REFUND FOR PLASTIC BAGS REFUN	104072-6301 Special Department Expenses	ELAN06062	-0.10	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	RAFFLE BASKET/LOT318 GOOD LIFE	104072-6301 Special Department Expenses	ELAN06062	53.24	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT	ITEMS FOR RAFFLE BASKET FOR LO	104072-6301	ELAN06062	200.03	MAY 2024		00018975	08/26/2024

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	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT	BIRTHDAY CAKE FOR CITY CLERK	109595-6301	ELAN06062	25.09	MAY 2024		00018975	08/26/2024
	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT	BIRTHDAY CAKE FOR WARD SMITH	109595-6301	ELAN06062	46.99	MAY 2024		00018975	08/26/2024
	V012768		Special Department Expenses						
MW OH	ELAN CORPORATE PAYMENT	RECERT FEE FOR 2ND ATTEMPT	101515-6250	ELAN06062	30.00	MAY 2024		00018975	08/26/2024
	V012768		Staff Training						
MW OH	ELAN CORPORATE PAYMENT	RISK MGMT MEETINGS & CONF	404582-6245	ELAN06062	125.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	FATAL T/C STAFF MEALS LUNCH F	103047-6245	ELAN06062	72.81	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	ROTARY MEETING MEAL	103040-6245	ELAN06062	8.64	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	EV DEMO MTG MEALS RIVAN EV DB	03040-6245	ELAN06062	90.86	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	ST RESPONDERS RECOGNITION REG	03040-6245	ELAN06062	160.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	DC CSMFO LUNCHEON- LAMPMAN,	102020-6245	ELAN06062	180.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	MEETING SUPPLIES	109595-6245	ELAN06062	13.31	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	MEETING SUPPLIES	109595-6245	ELAN06062	13.98	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	MEETING SUPPLIES	109595-6245	ELAN06062	14.98	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	TERRY GRIGGS WORKING LUNCH	109595-6245	ELAN06062	25.89	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	MEETING SUPPLIES	109595-6245	ELAN06062	36.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						

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MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6245 Meetings & Conferences	ELAN06062	79.51	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	STAFF WORKING LUNCH DAMIEN,	109595-6245 Meetings & Conferences	ELAN06062	124.68	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES	109595-6245 Meetings & Conferences	ELAN06062	141.71	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	REFRESHMENTS FOR MGMGT/STAFF	109595-6245 Meetings & Conferences	ELAN06062	62.48	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PUBLIC WORKS LUNCH	103550-6245 Meetings & Conferences	ELAN06062	98.43	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEAOC SEMINAR GABANY	103551-6245 Meetings & Conferences	ELAN06062	59.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEAOC SEMINAR R. GARCIA CONF	103551-6245 Meetings & Conferences	ELAN06062	59.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CEAOC SEMINAR C TANIO CONF	103551-6245 Meetings & Conferences	ELAN06062	59.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOMEMAID HOMELESS LUNCH MTG	104070-6245 Meetings & Conferences	ELAN06062	6.01	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LUNCH MEETING W/ DAMIEN, MADIE	104070-6245 Meetings & Conferences	ELAN06062	66.24	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOMEMAID HOMELESS LUNCH MTG	104070-6245 Meetings & Conferences	ELAN06062	95.35	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES WATER AND	104072-6245 Meetings & Conferences	ELAN06062	5.09	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEETING SUPPLIES WATERS AND	104072-6245 Meetings & Conferences	ELAN06062	26.45	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	STAFF MEALS, NO BREAK STAFF M	104072-6245 Meetings & Conferences	ELAN06062	89.95	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT	STAFF MEALS, NO BREAK STAFF M	104072-6245	ELAN06062	89.95	MAY 2024		00018975	08/26/2024

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	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMT, STAFF DINNERS	101001-6245	ELAN06062	20.54	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMNT, STAFF DINNERS	101001-6245	ELAN06062	26.57	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	BUSINESS MEETING KEVIN KIRWIN	101001-6245	ELAN06062	30.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMT, STAFF DINNERS	101001-6245	ELAN06062	123.88	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMT, STAFF DINNERS	101001-6245	ELAN06062	152.15	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMT, STAFF DINNERS	101001-6245	ELAN06062	168.46	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMNT, STAFF DINNERS	101001-6245	ELAN06062	182.54	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMT, STAFF DINNERS	101001-6245	ELAN06062	197.98	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	BUSINESS MEETING: KEVIN & WARD	101001-6245	ELAN06062	80.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	COUNCIL, MGMNT, STAFF DINNERS	101001-6245	ELAN06062	91.84	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	K RAMIREZ 1ST RESPONDER BFAS	101515-6245	ELAN06062	40.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	ST RESPONDER BREAKFAST FEES	101515-6245	ELAN06062	220.00	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	BUSINESS MEETING DAMIEN AND	101511-6245	ELAN06062	38.68	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						
MW OH	ELAN CORPORATE PAYMENT	BUSINESS MEETING DAMIEN AND	101511-6245	ELAN06062	58.30	MAY 2024		00018975	08/26/2024
	V012768		Meetings & Conferences						

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MW OH	ELAN CORPORATE PAYMEN V012768	BUSINESS MEETING FIRST RESP	101511-6245 Meetings & Conferences	ELAN06062	80.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BUSINESS MEETING OCCMA RETR	101511-6245 Meetings & Conferences	ELAN06062	90.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	BUSINESS MEETING DAMIEN, MA	101511-6245 Meetings & Conferences	ELAN06062	103.55	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HOTEL DEPOSIT R. SHADER ICSC	101001-6235 Travel	ELAN06062	261.91	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TAIL SUPPLIES	103043-6149 / 50085-6149 Jail Supplies	ELAN06062	451.99	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TAIL SUPPLIES	103043-6149 Jail Supplies	ELAN06062	804.92	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GLOVES FOR JAIL & PATROL	103043-6149 Jail Supplies	ELAN06062	1,066.82	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	GETAC REPAIRS	103041-6137 Repair Maint/Equipment	ELAN06062	799.95	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOTEL: DOBINE EDI CONF.	103065-6235 Travel	ELAN06062	272.91	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DOBINE: EDI FLIGHT	103065-6235 Travel	ELAN06062	562.96	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DINNER: DAVIS, DOBINE, LOMELI	103066-6235 Travel	ELAN06062	87.26	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOTEL: LOMELI EDI CONFERENCE	103066-6235 Travel	ELAN06062	226.43	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOTEL: DAVIS EDI CONF.	103066-6235 Travel	ELAN06062	277.14	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	DAVIS FLIGHT FOR EDI	103066-6235 Travel	ELAN06062	697.96	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LOMELI EDI FLIGHT LOMELI- ED	103066-6235	ELAN06062	725.96	MAY 2024		00018975	08/26/2024

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	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN V012768	HOTEL DEPOSIT L. ESTEVEZ	ICSC 103550-6235 Travel	ELAN06062	324.27	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	UBER FROM CAPIO CONFERENCE	101511-6235 Travel	ELAN06062	12.69	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	DINNER AT CAPIO CONFERENCE	101511-6235 Travel	ELAN06062	42.48	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	KIANA ICSC CONVENTION HOTEL	101511-6235 Travel	ELAN06062	232.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HOTEL DEP ICSC CONF K. LOUIE	101511-6235 Travel	ELAN06062	261.91	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HOTEL DEP ICSC CONF ORTEGA JEA	101511-6235 Travel	ELAN06062	261.91	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HOTEL STAY FOR CAPIO CONFERENCE	101511-6235 Travel	ELAN06062	779.34	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	PCO CONFERENCE CAR	101515-6235 Travel	ELAN06062	13.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HOTEL ICSC CONF.-J. LAMPMAN	102020-6235 Travel	ELAN06062	232.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	HOTEL ICSC CONF LAMPMAN ICSC	102020-6235 Travel	ELAN06062	261.91	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	FLIGHT CANC. GONZALES ICSC FL	101534-6235 Travel	ELAN06062	-404.98	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	ICSC LV DINNER TO HOTEL TIP	101534-6235 Travel	ELAN06062	2.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	MEALS ICSC CONF. GONZALES MEA	101534-6235 Travel	ELAN06062	8.93	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMEN V012768	MEALS ICSC CONF. LAMBERT MEAL	101534-6235 Travel	ELAN06062	9.78	MAY 2024		00018975	08/26/2024

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MW OH	ELAN CORPORATE PAYMENT V012768	ICSC LV DINNER TOHOTELALLSTAFF	101534-6235 Travel	ELAN06062	14.92	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	INCIDENTALS ICSC GONZALES TH	101534-6235 Travel	ELAN06062	16.02	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICSCRECEPTION	101534-6235 Travel	ELAN06062	19.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAB ICSC CONF. GONZALES CAB I	101534-6235 Travel	ELAN06062	25.78	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TRAVEL EXPENSES GROUP TAXI	101534-6235 Travel	ELAN06062	26.64	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAB ICSC CONF. LAMBERT CAB IC	101534-6235 Travel	ELAN06062	28.37	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAB ICSC CONF. LAMBERT CAB IC	101534-6235 Travel	ELAN06062	34.91	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	CAB ICSC CONF. LAMBERT CAB IC	101534-6235 Travel	ELAN06062	40.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	UBER ICSC CONF. LAMBERT UBER	101534-6235 Travel	ELAN06062	51.48	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICSC LV AIRPORT PARKINGJORTEGA	101534-6235 Travel	ELAN06062	60.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEALS ICSC CONF. LAMBERT MEAL	101534-6235 Travel	ELAN06062	87.20	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MEALS ICSC CONF. LAMBERT MEAL	101534-6235 Travel	ELAN06062	175.03	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	HOTEL ICSC CONF. LAMBERT HOTE	101534-6235 Travel	ELAN06062	232.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ICSC LV HOTEL J. ORTEGA	101534-6235 Travel	ELAN06062	232.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT	TRAVEL MEAL TEAM DINNER ON	101534-6235	ELAN06062	266.98	MAY 2024		00018975	08/26/2024

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	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN	HOTEL ICSC CONF. GONZALES	HOT 101534-6235	ELAN06062	268.42	MAY 2024		00018975	08/26/2024
	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN	MEALS ICSC CONF. GONZALES	MEAI01534-6235	ELAN06062	510.38	MAY 2024		00018975	08/26/2024
	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN	HOTEL DEPOSIT A. GONZALEZ	ICS 102531-6235	ELAN06062	261.91	MAY 2024		00018975	08/26/2024
	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN	HOTEL DEPOSIT J. LAMBERT	102531-6235	ELAN06062	261.91	MAY 2024		00018975	08/26/2024
	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN	D TRAINING HOTEL GILLIS	103041-6235	ELAN06062	512.90	MAY 2024		00018975	08/26/2024
	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN	D TRAINING HOTEL SERVIN	103041-6235	ELAN06062	605.60	MAY 2024		00018975	08/26/2024
	V012768		Travel						
MW OH	ELAN CORPORATE PAYMEN	LET'S DANCE SUPPLIES	104070-6401	ELAN06062	25.86	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMEN	ROTARY MEETING MEAL	103040-6401	ELAN06062	14.97	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMEN	DIGITAL SUBSCRIPTION 4 WEEKS	101001-6366	ELAN06062	10.00	MAY 2024		00018975	08/26/2024
	V012768		Web Based Service/Subscriptions						
MW OH	ELAN CORPORATE PAYMEN	DIGITAL SUBSCRIPTION 4 WEEKS	101001-6366	ELAN06062	16.00	MAY 2024		00018975	08/26/2024
	V012768		Web Based Service/Subscriptions						
MW OH	ELAN CORPORATE PAYMEN	FOSTER PAPER FOR LET'S DANCE A	104071-6399	ELAN06062	131.94	MAY 2024		00018975	08/26/2024
	V012768		Other Supplies						
MW OH	ELAN CORPORATE PAYMEN	TINY TOTS MUFFINS W/MOM	104071-6401 / 22401-6401	ELAN06062	-6.04	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMEN	TINY TOTS MUFFINS W/MOM	104071-6401 / 22401-6401	ELAN06062	5.82	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMEN	TINY TOTS MUFFINS W/MOM	104071-6401 / 22401-6401	ELAN06062	9.79	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						

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MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS MUFFINS W/MOM	104071-6401 / 22401-6401 Community Programs	ELAN06062	12.93	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	ADHESIVE FOAM STICKERS FOR CRA	104071-6401 Community Programs	ELAN06062	14.04	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKS CRAFT SUPPLIES TAPE NE	104071-6401 Community Programs	ELAN06062	16.10	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS MUFFINS W/MOM	104071-6401 / 22401-6401 Community Programs	ELAN06062	20.72	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOT PRINTING	104071-6401 / 22401-6401 Community Programs	ELAN06062	25.00	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SPRING CRAFT ACTIVITY FOR PARK	104071-6401 Community Programs	ELAN06062	33.51	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	PARKS SUPPLIES FLOWER'S FOR	104071-6401 Community Programs	ELAN06062	37.64	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS GRADUATION	104071-6401 / 22401-6401 Community Programs	ELAN06062	48.42	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	LET'S DANCE SUPPLIES	104071-6401 Community Programs	ELAN06062	48.93	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS MUFFINS W/MOM	104071-6401 / 22401-6401 Community Programs	ELAN06062	51.83	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS GRADUATION	104071-6401 / 22401-6401 Community Programs	ELAN06062	52.22	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS GRADUATION	104071-6401 / 22401-6401 Community Programs	ELAN06062	55.28	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	SUPPLIES FOR RIBBON CUTTING	104071-6401 Community Programs	ELAN06062	58.19	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	TINY TOTS GRADUATION	104071-6401 / 22401-6401 Community Programs	ELAN06062	69.63	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT	TINY TOTS MUFFINS W/MOM	104071-6401 / 22401-6401	ELAN06062	75.16	MAY 2024		00018975	08/26/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	BALLOONS FOR PARK CEREMONY	104071-6401	ELAN06062	87.03	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TINY TOT SUPPLIES	104071-6401 / 22401-6401	ELAN06062	87.26	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	PAINT AND BRUSHES, DISINFECTANT	104071-6401	ELAN06062	87.42	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TINY TOTS GRADUATION	104071-6401 / 22401-6401	ELAN06062	108.00	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TINY TOTS GRADUATION	104071-6401 / 22401-6401	ELAN06062	125.15	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	LET'S DANCE DINNER	104071-6401	ELAN06062	184.90	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	PARKS END OF THE YEAR PARTY	104071-6401	ELAN06062	189.20	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	C'S PROGRAM SUPPLIES PAINT AN	104071-6401	ELAN06062	222.66	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	SUMMER END OF THE YEAR PARTY	104071-6401	ELAN06062	228.55	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	CITIZEN'S ACADEMY FOOD	104071-6401	ELAN06062	292.78	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TINY TOTS GRADUATION	104071-6401 / 22401-6401	ELAN06062	352.55	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	FOOD FOR CITIZENS ACADEMY	101534-6401	ELAN06062	391.23	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	PLAQUES FROM CITIZENS ACADEMY	101534-6401	ELAN06062	426.69	MAY 2024		00018975	08/26/2024
	V012768		Community Programs						
MW OH	ELAN CORPORATE PAYMENT	TOGGLE SWITCH	795301-6850	ELAN06062	15.59	MAY 2024		00018975	08/26/2024
	V012768		Building & Facilities						

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	ELAN CORPORATE PAYMENT V012768	CONFERENCE ROOM SUPPLIES	795301-6850 Building & Facilities	ELAN06062	52.75	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	WATER COOLER DISPENSER	795301-6850 Building & Facilities	ELAN06062	184.86	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MICROWAVE CIP - CHIEFS CON	795301-6850 Building & Facilities	ELAN06062	325.16	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	66 E. LA JOLLA MOVER MEALS TO	105213-6850 Building & Facilities	ELAN06062	111.50	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	66 E. LA JOLLA MOVER MEALS TO	105213-6850 Building & Facilities	ELAN06062	164.29	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVING TRUCK RENTAL 166 E. L	105213-6850 Building & Facilities	ELAN06062	311.89	MAY 2024		00018975	08/26/2024
MW OH	ELAN CORPORATE PAYMENT V012768	MOVING TRUCK RENTAL 166 E. L	105213-6850 Building & Facilities	ELAN06062	466.12	MAY 2024		00018975	08/26/2024

**Check Total: 49,630.34**  
**Type Total: 473,007.85**  
**Check Total: 473,007.85**

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount Invoice#	PO #	Check #	Check Date
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Grand Total: 619,687.74

Check Totals by ID

AP	619,687.74
EP	0.00
IP	0.00
OP	0.00

Void Total: 0.00

Check Total: 619,687.74

Fund Name	<u>Check Totals by Fund</u>
101-General Fund (0010)	218,138.29
117-Measure U Fund (0079)	1,901.19
208-Scssr Agncy Ret Oblg (0054)	33.16
225-Asset Seizure (0021)	3,074.35
227-Explorer Grant NOC (0076)	142.45
231-Placentia Reg Nav Cent(0078)	238.62
242-Police Impact Fee (0067)	942.72
265-Landscape Maintenance (0029)	58.41
275-Sewer Maintenance (0048)	1,009.80
401-City Capital Projects (0033)	1,283.35
501-Refuse Administration (0037)	345,995.68
601-Employee Health & Wlfre (0039)	46,444.72
605-Risk Management (0040)	425.00

Check Total: 619,687.74

## City of Placentia Check Register

For 09/03/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
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Grand Total: 1,551,401.68

Check Totals by ID

AP	1,551,401.68
EP	0.00
IP	0.00
OP	0.00

Void Total: 137.47

Check Total: 1,551,264.21

Fund Name	<u>Check Totals by Fund</u>
101-General Fund (0010)	1,194,721.67
117-Measure U Fund (0079)	164,835.44
208-Sccssr Agncy Ret Oblg (0054)	2,500.01
211-PEG Fund (0058)	4,035.00
225-Asset Seizure (0021)	15,436.97
227-Explorer Grant NOC (0076)	4,443.37
231-Placentia Reg Nav Cent(0078)	13,748.00
233-Gen Plan Update Fees (0074)	620.73
234-Technology Impact Fees (0075)	14,756.82
260-Street Lighting Distret (0028)	21,797.16
265-Landscape Maintenance (0029)	41,324.26
275-Sewer Maintenance (0048)	2.19
280-Misc Grants Fund (0050)	4,886.96
401-City Capital Projects (0033)	246.82
501-Refuse Administration (0037)	280.76
601-Employee Health & Wlfre (0039)	888.60
605-Risk Management (0040)	39,929.89
610-Equipment Replacement (0041)	15,236.56
701-Special Deposits (0044)	11,573.00

Check Total: 1,551,264.21

Funds will be transferred from the Cash Basis Fund as needed to fund the warrants included on this warrant register

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
RV	MENDOZA, SERGIO V012220	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	68.19	MENDOZA7224		00131692	07/11/2024
				<b>Check Total:</b>	<b>68.19</b>				
RV	MC ELHINNEY, JAMES V003620	PD TRAINING MEALS, MILEAGE	103047-6250 Staff Training	AP080524	69.28	MCINERNEY72		00132005	08/08/2024
				<b>Check Total:</b>	<b>69.28</b>				
				<b>Type Total:</b>	<b>137.47</b>				
				<b>Void Total:</b>	<b>137.47</b>				

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	ANTHEM LIFE INSURANCE V000046	JUL - W. SMITH LIFE INSURANCE	395083-5163 Life Insurance Premiums	AP070924	5.00	JULY 2024		00131679	07/11/2024
				<b>Check Total:</b>	<b>5.00</b>				
MW OH	ASCAP V004439	FY24/25 MUSIC LICENSE	581573-6290 Dept. Contract Services	AP070924	441.00	500614332-		00131680	07/11/2024
				<b>Check Total:</b>	<b>441.00</b>				
MW OH	CLEVELAND, ALAN V012655	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	98.71	ALAN71524		00131681	07/11/2024
				<b>Check Total:</b>	<b>98.71</b>				
MW OH	COMCATE SOFTWARE INC V009760	CODE ENFORCEMENT SOFTWARE	750000-6366 Web Based Service/Subscriptions	AP070924	14,756.82	8418	P13447	00131682	07/11/2024
				<b>Check Total:</b>	<b>14,756.82</b>				
MW OH	COPWARE INC V000172	9/24-8/25 CA PEACE OFFICER LIC	103040-6320 Books & Periodicals	AP070924	1,725.00	86864		00131683	07/11/2024
				<b>Check Total:</b>	<b>1,725.00</b>				
MW OH	EVERTSEN, JACE V012102	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	34.04	EVERTSEN7224		00131684	07/11/2024
MW OH	EVERTSEN, JACE V012102	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	68.34	EVERTSEN7824		00131684	07/11/2024
				<b>Check Total:</b>	<b>102.38</b>				
MW OH	GARY L KUSUNOKI HEARING/3 V004347	HEARING EXAMINER SERVICES	103047-6290 Dept. Contract Services	AP070924	110.00	1738		00131685	07/11/2024
				<b>Check Total:</b>	<b>110.00</b>				
MW OH	HAZ PARTY RENTALS V000462	TABLECLOTH/DRAPES/NAPKINS	104071-6301 Special Department Expenses	AP070924	629.75	47328		00131686	07/11/2024
				<b>Check Total:</b>	<b>629.75</b>				
MW OH	JUNG, ALEXANDER	PD TRAINING MEALS, MILEAGE	213041-6250	AP070924	98.71	JUNG71524		00131687	07/11/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012387		Staff Training						
				<b>Check Total:</b>	<b>98.71</b>				
MW OH	LEE, DANIEL V012211	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	68.34	LEE070824		00131688	07/11/2024
				<b>Check Total:</b>	<b>68.34</b>				
MW OH	LOCALITY MEDIA INC V011549	FY24/25 FIRST DUE RENEWAL	103066-6136 Software Maintenance	AP070924	27,248.50	1875		00131689	07/11/2024
				<b>Check Total:</b>	<b>27,248.50</b>				
MW OH	LOPEZ, EDDIE V012872	CONCERTS IN THE PARK PERFORMER	104074-6299 Other Purchased Services	AP070924	1,500.00	04012024		00131690	07/11/2024
				<b>Check Total:</b>	<b>1,500.00</b>				
MW OH	MARTINEZ, JOHN V010060	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	68.34	MARTINEZ7824		00131691	07/11/2024
				<b>Check Total:</b>	<b>68.34</b>				
MW OH	MILLER MENDEL INC V012474	ESHOP FAX UNITS	103040-6299 Other Purchased Services	AP070924	7.80	7067		00131693	07/11/2024
				<b>Check Total:</b>	<b>7.80</b>				
MW OH	OFFICE INDUSTRIES V007477	OFFICE SUPPLIES	103040-6315 Office Supplies	AP070924	271.34	70601		00131694	07/11/2024
				<b>Check Total:</b>	<b>271.34</b>				
MW OH	ORANGE COUNTY CHIEFS V006857	FY 24/25 MEMBERSHIP - BUTTS	103040-6255 Dues & Memberships	AP070924	500.00	FY 2/25		00131695	07/11/2024
				<b>Check Total:</b>	<b>500.00</b>				
MW OH	ORANGE COUNTY SHERIFF'S V009715	DRIVER TRAINING/AWARNESS REG	213041-6250 Staff Training	AP070924	75.00	OCSD071124		00131696	07/11/2024
				<b>Check Total:</b>	<b>75.00</b>				
MW OH	QUENCH USA	JUL PD WATER/ICE MACHINE RENT	103041-6399	AP070924	69.59	INV7610813		00131697	07/11/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012472		Other Supplies						
				<b>Check Total:</b>	<b>69.59</b>				
MW OH	THE SAUCE CREATIVE V007476	NATIONAL NIGHT OUT BANNER	503040-6301 / 50015-6301 Special Department Expenses	AP070924	249.51	6986		00131698	07/11/2024
				<b>Check Total:</b>	<b>249.51</b>				
MW OH	TRICELL USA V012373	PSP FIREARMS - TRAINING REG	213041-6250 Staff Training	AP070924	3,000.00	TRICELL7124		00131699	07/11/2024
				<b>Check Total:</b>	<b>3,000.00</b>				
MW OH	WADE, SAMANTHA V012212	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	68.34	WADE070824		00131700	07/11/2024
MW OH	WADE, SAMANTHA V012212	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP070924	34.04	WADE7224		00131700	07/11/2024
				<b>Check Total:</b>	<b>102.38</b>				
MW OH	ALLIANCE BUSINESS V011660	7/1-30 FD INTERNET FIBER LINES	109595-6215 Telephone/Internet	AP071624	1,448.76	3384688		00131762	07/18/2024
				<b>Check Total:</b>	<b>1,448.76</b>				
MW OH	ARCHIVESOCIAL INC V012065	SOCIAL MEDIA ARCHIVING SUBSCR	101523-6136 Software Maintenance	AP071624	5,391.00	304483		00131763	07/18/2024
				<b>Check Total:</b>	<b>5,391.00</b>				
MW OH	B & C BURGERS V011560	CS RETIREMENT PARTY EXPENSES	104071-6301 Special Department Expenses	AP071624	1,800.00	0151		00131764	07/18/2024
				<b>Check Total:</b>	<b>1,800.00</b>				
MW OH	BLACKMAN, HAILE V007717	WK2 ENTERTAINER - CONCERTS	104074-6299 Other Purchased Services	AP071624	1,500.00	07022024-2		00131765	07/18/2024
				<b>Check Total:</b>	<b>1,500.00</b>				
MW OH	BMI V009377	FY24/25 MUSIC LICENSE FEES	581573-6290 Dept. Contract Services	AP071624	866.00	2082337		00131766	07/18/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
				<b>Check Total:</b>	<b>866.00</b>				
MW OH	CALIN, GABRIELA V012877	OFFICE SUPPLIES REIMBURSEMENT	102020-6315 Office Supplies	AP071624	9.15	070324		00131767	07/18/2024
				<b>Check Total:</b>	<b>9.15</b>				
MW OH	CARAVEZ, ISAIAS V011136	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP071624	36.00	V011136		00131768	07/18/2024
				<b>Check Total:</b>	<b>36.00</b>				
MW OH	CAVENAUGH & ASSOCIATES V012231	PD TRAINING REGISTRATION	213041-6250 Staff Training	AP071624	1,240.00	CAVNGH71124		00131769	07/18/2024
				<b>Check Total:</b>	<b>1,240.00</b>				
MW OH	CENTRAL SQUARE V011724	ANNUAL ACCES FEE - RENEWAL	796204-6840 / 796204-6840 Machinery & Equipment	AP071624	104,835.44	Q-153155		00131770	07/18/2024
				<b>Check Total:</b>	<b>104,835.44</b>				
MW OH	CHARTER COMMUNICATIONS V004450	31-30 GOMEZ CENTER INTERNET	109595-6215 Telephone/Internet	AP071624	149.99	12228860107012		00131771	07/18/2024
				<b>Check Total:</b>	<b>149.99</b>				
MW OH	COUNTY OF ORANGE V000715	FY 2024/25 ALLOCATION	101001-6255 Dues & Memberships	AP071624	8,398.57	GA24250024		00131772	07/18/2024
				<b>Check Total:</b>	<b>8,398.57</b>				
MW OH	DLW CONSULTING & V011427	JUL PROFESSIONAL SVS	101512-6099 Professional Services	AP071624	1,800.00	PFLS 24-03	P13481	00131773	07/18/2024
				<b>Check Total:</b>	<b>1,800.00</b>				
MW OH	EVERTSEN, JACE V012102	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP071624	36.00	EVERTSEN7112		00131774	07/18/2024
				<b>Check Total:</b>	<b>36.00</b>				
MW OH	FRANCHISE TAX BOARD V000404	FTB PE 7/6 PD 7/12	0010-2196 Garnishments W/H	AP071624	916.41	PR2401014		00131775	07/18/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
					<b>Check Total:</b>	<b>916.41</b>			
MW OH	GILLIS, JOSEPH V008160	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP071624	36.00	GILLIS71124		00131776	07/18/2024
					<b>Check Total:</b>	<b>36.00</b>			
MW OH	GLASBY MAINT. SUPPLY COJANTTORIAL SUPPLIES V000445		103654-6301 Special Department Expenses	AP071624	661.32	343705A		00131777	07/18/2024
MW OH	GLASBY MAINT. SUPPLY COJANTTORIAL SUPPLIES V000445		103654-6301 Special Department Expenses	AP071624	683.78	343706A		00131777	07/18/2024
					<b>Check Total:</b>	<b>1,345.10</b>			
MW OH	LYNCH EMS V011542	JUL EMERGENCY MEDICAL SVS	101516-6290 Dept. Contract Services	AP071624	91,447.58	24-17207	P13456	00131778	07/18/2024
					<b>Check Total:</b>	<b>91,447.58</b>			
MW OH	NETFILE INC V012631	FY24/25 SUBSCRIPTION	101523-6136 Software Maintenance	AP071624	6,800.00	9559		00131779	07/18/2024
					<b>Check Total:</b>	<b>6,800.00</b>			
MW OH	OFFICE INDUSTRIES V007477	OFFICE SUPPLIES	103040-6315 Office Supplies	AP071624	203.37	70604		00131780	07/18/2024
MW OH	OFFICE INDUSTRIES V007477	OFFICE SUPPLIES	103040-6315 Office Supplies	AP071624	35.25	B70601-1		00131780	07/18/2024
					<b>Check Total:</b>	<b>238.62</b>			
MW OH	ORANGE COUNTY V000699	OCEA PE 7/6 PD 7/12	0037-2176 PCEA/OCEA Assoc Dues	AP071624	0.06	PR2401014		00131781	07/18/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 7/6 PD 7/12	0048-2176 PCEA/OCEA Assoc Dues	AP071624	0.53	PR2401014		00131781	07/18/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 7/6 PD 7/12	0054-2176 PCEA/OCEA Assoc Dues	AP071624	0.01	PR2401014		00131781	07/18/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 7/6 PD 7/12	0010-2176 PCEA/OCEA Assoc Dues	AP071624	586.65	PR2401014		00131781	07/18/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	ORANGE COUNTY V000699	OCEA PE 7/6 PD 7/12	0029-2176 PCEA/OCEA Assoc Dues	AP071624	0.25	PR2401014		00131781	07/18/2024
					<b>Check Total:</b>	<b>587.50</b>			
MW OH	ORANGE COUNTY SHERIFF'S PD TRAINING REGISTRATION V008628		103041-6250 Staff Training	AP071624	40.00	OCSD71124		00131782	07/18/2024
MW OH	ORANGE COUNTY SHERIFF'S PD TRAINING REGISTRATION V008628		103042-6250 Staff Training	AP071624	20.00	OCSD71124		00131782	07/18/2024
					<b>Check Total:</b>	<b>60.00</b>			
MW OH	ORANGE COUNTY SHERIFF'S PD TRAINING REGISTRATION V009715		213041-6250 Staff Training	AP071624	450.00	OCSD71124		00131783	07/18/2024
					<b>Check Total:</b>	<b>450.00</b>			
MW OH	PCEA C/O NORTH ORANGE OCEA PE 7/6 PD 7/12 V000679		0010-2176 PCEA/OCEA Assoc Dues	AP071624	50.69	PR2401014		00131784	07/18/2024
MW OH	PCEA C/O NORTH ORANGE OCEA PE 7/6 PD 7/12 V000679		0029-2176 PCEA/OCEA Assoc Dues	AP071624	0.02	PR2401014		00131784	07/18/2024
MW OH	PCEA C/O NORTH ORANGE OCEA PE 7/6 PD 7/12 V000679		0048-2176 PCEA/OCEA Assoc Dues	AP071624	0.05	PR2401014		00131784	07/18/2024
					<b>Check Total:</b>	<b>50.76</b>			
MW OH	PULSE POINT FOUNDATION PULSE POINT SUBSCRIPTION V012469		103066-6136 Software Maintenance	AP071624	8,000.00	12727		00131785	07/18/2024
					<b>Check Total:</b>	<b>8,000.00</b>			
MW OH	REVAR, TAYLOR V011038	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP071624	36.00	REVAR71124		00131786	07/18/2024
					<b>Check Total:</b>	<b>36.00</b>			
MW OH	RING CENTRAL INC V012026	JUL PHONE SYST SERVICES	101523-6136 Software Maintenance	AP071624	7,902.89	CD_00855836	P13464	00131787	07/18/2024
					<b>Check Total:</b>	<b>7,902.89</b>			
MW OH	SANTA ANA (CENTRAL) CIVIL	HO-211-00456217-CL-UD-NJC	0010-2196	AP071624	393.46	PR2401014		00131788	07/18/2024

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	V012818		Garnishments W/H						
				<b>Check Total:</b>	<b>393.46</b>				
MW OH	TARGET SOLUTIONS V011621	ANNUAL SUBSCRIPTION FEE	103066-6136 Software Maintenance	AP071624	3,360.00	INV99079		00131789	07/18/2024
				<b>Check Total:</b>	<b>3,360.00</b>				
MW OH	TOWNSEND PUBLIC AFFAIRS V004165	SUL CONSULTING SVS	101001-6001 Management Consulting Services	AP071624	6,000.00	21905	P13459	00131790	07/18/2024
				<b>Check Total:</b>	<b>6,000.00</b>				
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE7/6 PD7/12	0010-2126 Employee PARS/ARS W/H	AP071624	2,735.99	PR2401014		00131791	07/18/2024
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE7/6 PD7/12	0010-2131 Employer PARS/ARS Payable	AP071624	2,735.99	PR2401014		00131791	07/18/2024
				<b>Check Total:</b>	<b>5,471.98</b>				
MW OH	AFTERMATH SERVICES LLC V009949	7/7 BIO-HAZARD CLEANING SVS	103043-6099 Professional Services	AP072324	400.00	JC2024-4621		00131831	07/25/2024
				<b>Check Total:</b>	<b>400.00</b>				
MW OH	ALCALA, JASON V006564	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	81.93	ALCALA71824		00131832	07/25/2024
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	ALVAREZ, OMAR V012054	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	81.93	ALVAREZ71824		00131833	07/25/2024
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	ARAMARK REFRESHMENT V000081	2999 E LA JOLLA-COFFEE/WATER	109595-6301 Special Department Expenses	AP072324	299.70	105841124		00131834	07/25/2024
MW OH	ARAMARK REFRESHMENT V000081	1530 VALENCIA -COFFEE/WATER	109595-6301 Special Department Expenses	AP072324	191.40	105841125		00131834	07/25/2024
MW OH	ARAMARK REFRESHMENT	401 E CHAPMAN-COFFEE/WATER	109595-6301	AP072324	103.45	105841126		00131834	07/25/2024

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	V000081		Special Department Expenses						
MW OH	ARAMARK REFRESHMENT V000081	120 S BRADFORD -COFFEE/WATER	109595-6301 Special Department Expenses	AP072324	65.63	105841127		00131834	07/25/2024
					<b>Check Total:</b>	<b>660.18</b>			
MW OH	ARRIZON, ELEANA V010751	DAMAGE DEPOSIT REFUND R3686	104071-4385 Facility Rental	AP072324	158.00	2004099.002		00131835	07/25/2024
					<b>Check Total:</b>	<b>158.00</b>			
MW OH	AT & T V008736	6/27-7/26 POWELL BLDG INTERNET	109595-6215 Telephone/Internet	AP072324	95.59	24-JULY		00131836	07/25/2024
MW OH	AT & T V008736	6/27-7/26 PD IMPOUND INTERNET	109595-6215 Telephone/Internet	AP072324	63.49	24-JULY		00131836	07/25/2024
MW OH	AT & T V008736	7/2-8/1 CITY HALL FIBER LINE	109595-6215 Telephone/Internet	AP072324	116.99	24-JULY/2		00131836	07/25/2024
					<b>Check Total:</b>	<b>276.07</b>			
MW OH	AT&T MOBILITY V011025	6/11-7/10 PW PHONE CHARGES	109595-6215 Telephone/Internet	AP072324	1,500.23	23471163		00131837	07/25/2024
MW OH	AT&T MOBILITY V011025	6/11-7/10 OUTSTA PHONE CHARGES	109595-6215 Telephone/Internet	AP072324	40.24	23471163		00131837	07/25/2024
MW OH	AT&T MOBILITY V011025	6/11-7/10 CS PHONE CHARGES	109595-6215 Telephone/Internet	AP072324	400.72	23471163		00131837	07/25/2024
MW OH	AT&T MOBILITY V011025	6/11-7/10 ADMIN PHONE CHARGES	109595-6215 Telephone/Internet	AP072324	154.79	23471163		00131837	07/25/2024
MW OH	AT&T MOBILITY V011025	6/14-7/13 PD FIRSTNET SVS	109595-6215 Telephone/Internet	AP072324	4,084.31	23478150		00131837	07/25/2024
MW OH	AT&T MOBILITY V011025	6/14-7/13 FD FIRSTNET SVS	109595-6215 Telephone/Internet	AP072324	447.44	23478150		00131837	07/25/2024
					<b>Check Total:</b>	<b>6,627.73</b>			
MW OH	AXXESS DOOR CORP	POWELL BLDG DOOR SERVICE	104076-6130	AP072324	265.00	9479		00131838	07/25/2024

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	V011113		Repair & Maint/Facilities						
				<b>Check Total:</b>	<b>265.00</b>				
MW OH	CIVIC PLUS V006674	AUDIOEYE WEBSITE SUBSCR	101523-6136 Software Maintenance	AP072324	5,100.00	310173		00131839	07/25/2024
				<b>Check Total:</b>	<b>5,100.00</b>				
MW OH	COUNTY OF ORANGE V011479	FLOOD AGREEMENTS REVIEW	331801-6740 Infrastructure - Streets	AP072324	246.82	Z2553715		00131840	07/25/2024
				<b>Check Total:</b>	<b>246.82</b>				
MW OH	DEKRA-LITE V003946	CHRISTMAS TREE - DEPOSIT	104071-6099 Professional Services	AP072324	2,808.45	SO071358		00131841	07/25/2024
				<b>Check Total:</b>	<b>2,808.45</b>				
MW OH	DENNIS GRUBB & V012137	7/1-15 FIRE PLAN CHEKS REVIEW	103066-6290 Dept. Contract Services	AP072324	3,095.00	002-30786	P13478	00131842	07/25/2024
				<b>Check Total:</b>	<b>3,095.00</b>				
MW OH	DREW, BRIAN V004950	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	81.93	DREW71824		00131843	07/25/2024
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	FIRST TWO INC V012406	VISUAL INTELLIGENCE LICENSE	103042-6366 Web Based Service/Subscriptions	AP072324	7,200.00	2467		00131844	07/25/2024
				<b>Check Total:</b>	<b>7,200.00</b>				
MW OH	GARZA, FRANK V009321	PD TRAINING MEALS, MILEAGE	103047-6250 Staff Training	AP072324	81.93	GARZA71824		00131845	07/25/2024
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	GRANICUS INC. V007659	7/1-9/30 SOFTWARE MAINTENANCE	101523-6136 Software Maintenance	AP072324	9,339.83	186396	P13475	00131846	07/25/2024
				<b>Check Total:</b>	<b>9,339.83</b>				
MW OH	HERREN, MATT	PD TRAINING MEALS, MILEAGE	103041-6250	AP072324	81.93	HERREN71824		00131847	07/25/2024

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	V009898		Staff Training						
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	HIRSCH PIPE AND SUPPLY V004494	PLUMBING SUPPLIES	104076-6139 Repair/Maint - Parks & Fields	AP072324	49.65	9628202		00131848	07/25/2024
				<b>Check Total:</b>	<b>49.65</b>				
MW OH	HOOTSUITE INC V012878	HOOTSUITE SUBSCRIPTION	101534-6366 Web Based Service/Subscriptions	AP072324	4,960.00	2010228506		00131849	07/25/2024
				<b>Check Total:</b>	<b>4,960.00</b>				
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP072324	296.67	0016564702-001 P13479		00131850	07/25/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP072324	187.27	001656630-001 P13479		00131850	07/25/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP072324	158.56	0016694893-001 P13479		00131850	07/25/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP072324	559.23	0016720441-001 P13479		00131850	07/25/2024
				<b>Check Total:</b>	<b>1,201.73</b>				
MW OH	JUNG, ALEXANDER V012387	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	98.71	JUNG717424		00131851	07/25/2024
				<b>Check Total:</b>	<b>98.71</b>				
MW OH	LEHR AUTO V009930	STRIP UNIT 25	213041-6842 Vehicles	AP072324	900.00	SI105801		00131852	07/25/2024
				<b>Check Total:</b>	<b>900.00</b>				
MW OH	MACCUBBIN, MICHAEL V007311	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	81.93	MAC71824		00131853	07/25/2024
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	MAKE IT FIT	EXPLORER UNIFORM ALTERATION	763041-6360	AP072324	38.00	178158		00131854	07/25/2024

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	V012223		Uniforms						
MW OH	MAKE IT FIT V012223	EXPLORER UNIFORM ALTERATION	763041-6360 Uniforms	AP072324	16.00	178241		00131854	07/25/2024
MW OH	MAKE IT FIT V012223	EXPLORER UNIFORM ALTERATION	763041-6360 Uniforms	AP072324	13.00	178243		00131854	07/25/2024
				<b>Check Total:</b>	<b>67.00</b>				
MW OH	MARK43 INC V010565	RMS/CAD SOFTWARE BALANCE	103041-6136 Software Maintenance	AP072324	400.92	INV1162A		00131855	07/25/2024
				<b>Check Total:</b>	<b>400.92</b>				
MW OH	MARTIN, JOSHUA V011745	EMT CERTIFICATION - REIMB	103066-6250 Staff Training	AP072324	162.00	071424		00131856	07/25/2024
				<b>Check Total:</b>	<b>162.00</b>				
MW OH	NORTH NET TRAINING V012187	7/6 FACILITY RENTAL	103066-6250 Staff Training	AP072324	270.00	2423		00131857	07/25/2024
				<b>Check Total:</b>	<b>270.00</b>				
MW OH	OCGIA V008130	MEMBERSHIP - EVERTSEN	103042-6245 Meetings & Conferences	AP072324	25.00	EVERSEN2024		00131858	07/25/2024
MW OH	OCGIA V008130	MEMBERSHIP GILLIS	103042-6245 Meetings & Conferences	AP072324	25.00	GILLIS 2024		00131858	07/25/2024
				<b>Check Total:</b>	<b>50.00</b>				
MW OH	ORANGE COUNTY COUNCIL V011014	ANNUAL MEMBERSHIP DUE	101001-6255 Dues & Memberships	AP072324	8,542.49	2024-124		00131859	07/25/2024
				<b>Check Total:</b>	<b>8,542.49</b>				
MW OH	ORANGE COUNTY SHERIFF'S PD V009715	TRAINING REGISTRATION	103041-6250 Staff Training	AP072324	300.00	OCSD72224		00131860	07/25/2024
				<b>Check Total:</b>	<b>300.00</b>				
MW OH	ORIGINAL WATERMEN	AQUATIC UNIFORMS	104071-6360	AP072324	104.80	90554		00131861	07/25/2024

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	V006320		Uniforms						
				<b>Check Total:</b>	<b>104.80</b>				
MW OH	PALUMBO, ZACHARY V000800	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	81.93	PALUMBO7182		00131862	07/25/2024
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	PATEL, RACHANA V004855	DAMAGE DEPOSIT REFUND R3730	104071-4385 Facility Rental	AP072324	158.00	2004090.002		00131863	07/25/2024
				<b>Check Total:</b>	<b>158.00</b>				
MW OH	PEREZ, RAMON V012879	ROOFING BOND REFUND 30-24-190	0044-2033 Construction & Demo Deposit	AP072324	100.00	B24-1543		00131864	07/25/2024
MW OH	PEREZ, RAMON V012879	ROOFING BOND REFUND 30-24-191	0044-2033 Construction & Demo Deposit	AP072324	100.00	B24-1544		00131864	07/25/2024
MW OH	PEREZ, RAMON V012879	roofing bond refund 30-24-192	0044-2033 Construction & Demo Deposit	AP072324	100.00	B24-1545		00131864	07/25/2024
MW OH	PEREZ, RAMON V012879	ROOFING BOND REFUND 30-24-193	0044-2033 Construction & Demo Deposit	AP072324	100.00	B24-1546		00131864	07/25/2024
MW OH	PEREZ, RAMON V012879	ROOFING BOND REFUND 30-24-194	0044-2033 Construction & Demo Deposit	AP072324	100.00	B24-1547		00131864	07/25/2024
				<b>Check Total:</b>	<b>500.00</b>				
MW OH	PRIORITY DISPATCH CORP V011406	TRAINING - S. CURIEL	101515-6250 Staff Training	AP072324	425.00	SIN377582		00131865	07/25/2024
MW OH	PRIORITY DISPATCH CORP V011406	TRAINING - S. CURIEL	101515-6250 Staff Training	AP072324	425.00	SIN377709		00131865	07/25/2024
				<b>Check Total:</b>	<b>850.00</b>				
MW OH	RING CENTRAL INC V012026	JUL PHONE SYST SERVICES	101523-6136 Software Maintenance	AP072324	7,902.89	CD_000855836	P13464	00131866	07/25/2024
				<b>Check Total:</b>	<b>7,902.89</b>				
MW OH	RIO HONDO COLLEGE	PD TRAINING REGISTRATION	213041-6250	AP072324	75.00	RIO72224		00131867	07/25/2024

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	V002275		Staff Training						
				<b>Check Total:</b>	<b>75.00</b>				
MW OH	ROBERTS, JULIE V012314	WATER - REIMBURSEMENT	109595-6301 Special Department Expenses	AP072324	39.69	ROBERTS71724		00131868	07/25/2024
				<b>Check Total:</b>	<b>39.69</b>				
MW OH	SO CAL LAND MAINTENANCE V011102	EL PARK LANDSC SERVICES	104055-6139 Repair/Maint - Parks & Fields	AP072324	30,000.00	11213	P13477	00131869	07/25/2024
				<b>Check Total:</b>	<b>30,000.00</b>				
MW OH	SOTO ENTERTAINMENT V010517	CONCERT IN THE PK - PERFORMER	104074-6299 Other Purchased Services	AP072324	2,000.00	07022024-5		00131870	07/25/2024
				<b>Check Total:</b>	<b>2,000.00</b>				
MW OH	SOUTHERN CALIFORNIA V000941	ANNUAL MEMBERSHIP DUES	101001-6255 Dues & Memberships	AP072324	7,389.00	SCAG FY250141		00131871	07/25/2024
				<b>Check Total:</b>	<b>7,389.00</b>				
MW OH	STRATTON, RAY V012880	CANCELLATION REFUND	104078-4346 Festival Revenue	AP072324	40.00	071624		00131872	07/25/2024
				<b>Check Total:</b>	<b>40.00</b>				
MW OH	T-MOBILE USA V009215	CELL PHONE TIMING DR24-01981	103042-6290 Dept. Contract Services	AP072324	200.00	9572750958		00131873	07/25/2024
				<b>Check Total:</b>	<b>200.00</b>				
MW OH	TECHNICOLOR PRINTING V010386	AQUATIC T-SHIRTS	104071-6360 Uniforms	AP072324	407.33	9038		00131874	07/25/2024
				<b>Check Total:</b>	<b>407.33</b>				
MW OH	TEJEDA, SERGIO V012388	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	81.93	TEJEDA71824		00131875	07/25/2024
				<b>Check Total:</b>	<b>81.93</b>				
MW OH	THE SAUCE CREATIVE	RETIREMENT BOOK - KAREN	104071-6301	AP072324	742.75	7004		00131876	07/25/2024

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	V007476		Special Department Expenses						
MW OH	THE SAUCE CREATIVE V007476	2024 HERITAGE FESTIVAL APP	104078-6230 Printing & Binding	AP072324	725.31	7011		00131876	07/25/2024
MW OH	THE SAUCE CREATIVE V007476	BILLBOARD LAYOUT	104071-6230 Printing & Binding	AP072324	150.00	7021		00131876	07/25/2024
MW OH	THE SAUCE CREATIVE V007476	COROPLAST SIGN	104071-6230 Printing & Binding	AP072324	312.31	7026		00131876	07/25/2024
<b>Check Total:</b>					<b>1,930.37</b>				
MW OH	THE SHERIDAN GROUP V012672	PSC OFFICE FURNISHING	105213-6840 / 105213-6840 Machinery & Equipment	AP072324	14,912.93	227864	P13172	00131877	07/25/2024
<b>Check Total:</b>					<b>14,912.93</b>				
MW OH	THINKSUPPLIES.COM V007047	PAPER	109595-6315 Office Supplies	AP072324	108.73	70607		00131878	07/25/2024
MW OH	THINKSUPPLIES.COM V007047	PAPER	109595-6315 Office Supplies	AP072324	108.73	70614		00131878	07/25/2024
MW OH	THINKSUPPLIES.COM V007047	PAPER	109595-6315 Office Supplies	AP072324	217.46	70623		00131878	07/25/2024
<b>Check Total:</b>					<b>434.92</b>				
MW OH	THREADCRAFT EMBROIDERYCS - SUMMER UNIFORMS V009962		104071-6360 Uniforms	AP072324	1,540.37	11508		00131879	07/25/2024
<b>Check Total:</b>					<b>1,540.37</b>				
MW OH	TRUIST GOVERNMENTAL V012073	2021 GAS FUND REFUND	105525-6905 Principal/Bonds/COP's/Leases	AP072324	182,923.00	99050003460001		00131880	07/25/2024
MW OH	TRUIST GOVERNMENTAL V012073	INTEREST	105525-6915 Interest/Bonds/COP's/Leases	AP072324	23,372.42	99050003460001		00131880	07/25/2024
MW OH	TRUIST GOVERNMENTAL V012073	2021 GAS TAX REFUND	105525-6905 Principal/Bonds/COP's/Leases	AP072324	95,934.92	99050003460002		00131880	07/25/2024
MW OH	TRUIST GOVERNMENTAL	2021 GAS TAX REFUND - INTEREST	105525-6915	AP072324	12,065.70	99050003460002		00131880	07/25/2024

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	V012073		Interest/Bonds/COP's/Leases						
				<b>Check Total:</b>	<b>314,296.04</b>				
MW OH	VALDEZ, FABIAN V012210	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP072324	435.10	VALDEZ71524		00131881	07/25/2024
				<b>Check Total:</b>	<b>435.10</b>				
MW OH	VIOLAS, PETER V012881	CONCERT IN PK - ENTERTAINER	104074-6299 Other Purchased Services	AP072324	1,500.00	07022024-3		00131882	07/25/2024
				<b>Check Total:</b>	<b>1,500.00</b>				
MW OH	WELLS FARGO VENDOR FIN7/15-8/14 PRINTER/COPIER SVS V010076		109595-6175 Office Equipment Rental	AP072324	296.09	5030410403	P13474	00131883	07/25/2024
MW OH	WELLS FARGO VENDOR FIN7/15-8/14 PRINTER/COPIER SVS V010076		109595-6175 Office Equipment Rental	AP072324	511.14	5030410404	P13474	00131883	07/25/2024
MW OH	WELLS FARGO VENDOR FIN7/15-8/14 PRINTER/COPIER SVS V010076		109595-6175 Office Equipment Rental	AP072324	141.38	5030410405	P13474	00131883	07/25/2024
MW OH	WELLS FARGO VENDOR FIN7/15-8/14 PRINTER/COPIER SVS V010076		109595-6175 Office Equipment Rental	AP072324	158.78	5030410406	P13474	00131883	07/25/2024
MW OH	WELLS FARGO VENDOR FIN7/15-8/14 PRINTER/COPIER SVS V010076		109595-6175 Office Equipment Rental	AP072324	439.78	5030410407	P13474	00131883	07/25/2024
MW OH	WELLS FARGO VENDOR FIN7/15-8/14 PRINTER/COPIER SVS V010076		109595-6175 Office Equipment Rental	AP072324	5,529.91	5030410408	P13474	00131883	07/25/2024
				<b>Check Total:</b>	<b>7,077.08</b>				
MW OH	WEST COAST LIGHTS & SIRENS V006106	VEHICLE LIGHT BAR REPAIR	213041-6842 Vehicles	AP072324	819.82	26356		00131884	07/25/2024
				<b>Check Total:</b>	<b>819.82</b>				
MW OH	AGUIRRE, REBECA V012887	DAMAGE DEPOSIT REFUND R3772	104071-4385 Facility Rental	AP073024	166.00	2004105.002		00131885	08/01/2024
MW OH	AGUIRRE, REBECA V012887	DAMAGE DEPOSIT REFUND R3772	104071-4385 Facility Rental	AP073024	306.00	2004106.002		00131885	08/01/2024

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				<b>Check Total:</b>	<b>472.00</b>				
MW OH	AIRGAS USA V004871	WELDING MATERIALS	103658-6137 Repair Maint/Equipment	AP073024	129.80	9151605857		00131886	08/01/2024
				<b>Check Total:</b>	<b>129.80</b>				
MW OH	AQUAMENTOR V012886	POOL MATS FOR SWIMMING	104071-6301 Special Department Expenses	AP073024	1,141.88	17825		00131887	08/01/2024
				<b>Check Total:</b>	<b>1,141.88</b>				
MW OH	AQUARIUM OF THE PACIFIC TINY TOTS EXCURSION V005549		104071-6270 / 22401-6270 Excursions	AP073024	900.00	9943895		00131888	08/01/2024
				<b>Check Total:</b>	<b>900.00</b>				
MW OH	ARAMARK REFRESHMENT V000081	110 S BRADFORD -COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	194.39	105841128		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	1530 VALENCIA -COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	442.28	105842212		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	110 S BRADFORD -COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	213.46	105842213		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	120 S BRADFORD -COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	109.44	105842214		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	2999 E LA JOLLA-COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	180.58	105842215		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN-COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	299.71	105842217		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN-COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	811.32	105842218		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	120 S BRADFORD -COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	10.86	2996876		00131889	08/01/2024
MW OH	ARAMARK REFRESHMENT V000081	143 S BRADFORD-COFFEE/WATER	109595-6301 Special Department Expenses	AP073024	163.30	3030745		00131889	08/01/2024

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MW OH	CMTA V012041	MEMBERSHIP - K. LARSON	101003-6255 Dues & Memberships	AP073024	95.00	300003486		00131890	08/01/2024
				<b>Check Total:</b>	<b>95.00</b>				
MW OH	COMMERCIAL AQUATIC V005203	CHEMICAL SERVICE	104076-6130 Repair & Maint/Facilities	AP073024	154.89	973640		00131891	08/01/2024
				<b>Check Total:</b>	<b>154.89</b>				
MW OH	FERGUSON, SCOTT V011709	FIRE OPERATION EXPENSES REIMB	103066-6301 Special Department Expenses	AP073024	185.10	072424		00131892	08/01/2024
MW OH	FERGUSON, SCOTT V011709	FUEL REIMBURSEMENT	103658-6345 Gasoline & Diesel Fuel	AP073024	50.29	072424		00131892	08/01/2024
				<b>Check Total:</b>	<b>235.39</b>				
MW OH	FRANCHISE TAX BOARD V000404	FTB PE7/20 PD7/26	0010-2196 Garnishments W/H	AP073024	430.73	PR2401015		00131893	08/01/2024
				<b>Check Total:</b>	<b>430.73</b>				
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP073024	490.06	0016729254-001 P13479		00131894	08/01/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP073024	48.47	0016732618-001 P13479		00131894	08/01/2024
				<b>Check Total:</b>	<b>538.53</b>				
MW OH	LEHR AUTO V009930	STRIP UNIT 13	213041-6137 Repair Maint/Equipment	AP073024	1,250.00	SI106526		00131895	08/01/2024
				<b>Check Total:</b>	<b>1,250.00</b>				
MW OH	LONG & SONS EQUIPMENT V012892	REFUND UP 2023-11, SPR 2023-04	740000-4302 General Plan Update Fee	AP073024	620.73	072424		00131896	08/01/2024
MW OH	LONG & SONS EQUIPMENT V012892	REFUND UP 2023-11, SPR 2023-04	100000-4305 Planning Division Fees	AP073024	6,534.00	072424		00131896	08/01/2024

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					<b>Check Total:</b>	<b>7,154.73</b>			
MW OH	MAKE IT FIT V012223	EXPLORER UNIFORM ALTERATION	763041-6360 Uniforms	AP073024	10.00	178187		00131897	08/01/2024
					<b>Check Total:</b>	<b>10.00</b>			
MW OH	ORANGE COUNTY V000699	OCEA PE 7/20 PD 7/26	0037-2176 PCEA/OCEA Assoc Dues	AP073024	0.10	PR2401015		00131898	08/01/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 7/20 PD 7/26	0048-2176 PCEA/OCEA Assoc Dues	AP073024	0.83	PR2401015		00131898	08/01/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 7/20 PD 7/26	0029-2176 PCEA/OCEA Assoc Dues	AP073024	1.57	PR2401015		00131898	08/01/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 7/20 PD 7/26	0010-2176 PCEA/OCEA Assoc Dues	AP073024	572.50	PR2401015		00131898	08/01/2024
					<b>Check Total:</b>	<b>575.00</b>			
MW OH	PCEA C/O NORTH ORANGE V000679	OCEA PE 7/20 PD 7/26	0029-2176 PCEA/OCEA Assoc Dues	AP073024	0.14	PR2401015		00131899	08/01/2024
MW OH	PCEA C/O NORTH ORANGE V000679	OCEA PE 7/20 PD 7/26	0010-2176 PCEA/OCEA Assoc Dues	AP073024	49.46	PR2401015		00131899	08/01/2024
MW OH	PCEA C/O NORTH ORANGE V000679	OCEA PE 7/20 PD 7/26	0037-2176 PCEA/OCEA Assoc Dues	AP073024	0.01	PR2401015		00131899	08/01/2024
MW OH	PCEA C/O NORTH ORANGE V000679	OCEA PE 7/20 PD 7/26	0048-2176 PCEA/OCEA Assoc Dues	AP073024	0.07	PR2401015		00131899	08/01/2024
					<b>Check Total:</b>	<b>49.68</b>			
MW OH	PEREZ, RAMON V012879	ROOFING BOND REFUND 30-24-189	0044-2033 Construction & Demo Deposit	AP073024	100.00	B24-1542		00131900	08/01/2024
					<b>Check Total:</b>	<b>100.00</b>			
MW OH	PLANETBIDS INC V012583	2024/25 PLANETBIDS SUBSCR	101523-6136 Software Maintenance	AP073024	27,212.09	1023579		00131901	08/01/2024
					<b>Check Total:</b>	<b>27,212.09</b>			

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MW OH	QUADIENT FINANCE USA INC V011439	POSTAGE - MAILING MACHINE	109595-6325 Postage	AP073024	4,808.00 07/18/24		00131902	08/01/2024
					<b>Check Total:</b>	<b>4,808.00</b>		
MW OH	RIVERSIDE COUNTY V008065	PD TRAINING REGISTRATION	103041-6250 Staff Training	AP073024	256.00 RCSD072524		00131903	08/01/2024
					<b>Check Total:</b>	<b>256.00</b>		
MW OH	SAN BERNARDINO COUNTY V005772	PD TRAINING REGISTRATION	103041-6250 Staff Training	AP073024	100.00 SBS072524		00131904	08/01/2024
					<b>Check Total:</b>	<b>100.00</b>		
MW OH	SANTA ANA (CENTRAL) CIV V012818	HTB PE7/20 PD7/26	0010-2196 Garnishments W/H	AP073024	393.46 PR2401015		00131905	08/01/2024
					<b>Check Total:</b>	<b>393.46</b>		
MW OH	STANLEY PEST CONTROL V012893	REFUND OVPMT LIC #930007863	100000-4101 Business License Fees	AP073024	76.00 073024		00131906	08/01/2024
					<b>Check Total:</b>	<b>76.00</b>		
MW OH	TAPIA, NELSON V012888	DAMAGE DEPOSIT REFUND R3776	104071-4385 Facility Rental	AP073024	650.00 2004110.002		00131907	08/01/2024
MW OH	TAPIA, NELSON V012888	DAMAGE DEPOSIT REFUND R3776	104071-4385 Facility Rental	AP073024	158.00 2004117.002		00131907	08/01/2024
					<b>Check Total:</b>	<b>808.00</b>		
MW OH	THINKSUPPLIES.COM V007047	STAMP FY2024-25	102020-6315 Office Supplies	AP073024	45.62 70594		00131908	08/01/2024
MW OH	THINKSUPPLIES.COM V007047	PAPER	109595-6315 Office Supplies	AP073024	108.73 70635		00131908	08/01/2024
					<b>Check Total:</b>	<b>154.35</b>		
MW OH	TOREDO, FERNANDO V012889	C&D BOND REFUND BOND 30-24-1200044-2033	Construction & Demo Deposit	AP073024	100.00 B24-1122		00131909	08/01/2024

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				<b>Check Total:</b>	<b>100.00</b>			
MW OH	UNIQUE PRINTING V010259	BUSINESS CARDS	103040-6230 Printing & Binding	AP073024	103.58 46062		00131910	08/01/2024
MW OH	UNIQUE PRINTING V010259	UNIFORM EMBROIDERY SVS	103041-6360 Uniforms	AP073024	233.81 46063		00131910	08/01/2024
				<b>Check Total:</b>	<b>337.39</b>			
MW OH	UNITED RENTALS NORTH V001082	CONCRETE TRAILER/MIXER RENTAL	103652-6132 Repair & Maintenance/Streets	AP073024	316.69 235824759-001		00131911	08/01/2024
				<b>Check Total:</b>	<b>316.69</b>			
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE 7/20 PD 7/26	0010-2126 Employee PARS/ARS W/H	AP073024	3,603.87 PR2401015		00131912	08/01/2024
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE 7/20 PD 7/26	0010-2131 Employer PARS/ARS Payable	AP073024	3,603.87 PR2401015		00131912	08/01/2024
				<b>Check Total:</b>	<b>7,207.74</b>			
MW OH	WEST COAST SAND & V001134	CRUSHED AGGREGATE BASE SAND	103652-6132 Repair & Maintenance/Streets	AP073024	775.07 74451		00131913	08/01/2024
				<b>Check Total:</b>	<b>775.07</b>			
MW OH	YORBA REGIONAL ANIMAL V008472	K9 MEDICAL SVS - ENZO	103041-6148 K9 Expenses	AP073024	143.30 5438697506		00131914	08/01/2024
				<b>Check Total:</b>	<b>143.30</b>			
MW OH	AMAZON CAPITAL SERVICES V012336	PLANNING - OFFICE SUPPLIES	102531-6315 Office Supplies	AP080524	51.75 1PQ7-K7W7-		00131969	08/08/2024
MW OH	AMAZON CAPITAL SERVICES V012336	BLDG DEPT - OFFICE SUPPLIES	102532-6315 Office Supplies	AP080524	75.99 1PQ7-K7W7-		00131969	08/08/2024
				<b>Check Total:</b>	<b>127.74</b>			
MW OH	ANTHEM LIFE INSURANCE V000046	AUG - SMITH, WARD LIFE INS	395083-5163 Life Insurance Premiums	AP080524	5.00 AUGUST 2024		00131970	08/08/2024

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					<b>Check Total:</b>	<b>5.00</b>			
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	55.16	104833887		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	900 S MELROSE -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	78.75	9817716		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	143 S BRADFORD -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	78.75	9817730		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	110 S BRADFORD -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	78.75	9817744		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	1530 VALENCIA -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	78.75	9817764		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	2999 E LA JOLLA -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	78.75	9817776		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	120 S BRADFORD -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	73.50	9817906		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	1701 ATWOOD AVE - COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	42.00	9817963		00131971	08/08/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN -COFFEE/WATER	109595-6052 Common Area Supplies	AP080524	383.25	9818762		00131971	08/08/2024
					<b>Check Total:</b>	<b>947.66</b>			
MW OH	AT & T MOBILITY V008709	7/8-8/7 IPAD CHARGES	109595-6215 Telephone/Internet	AP080524	1,142.41	X7152024		00131972	08/08/2024
					<b>Check Total:</b>	<b>1,142.41</b>			
MW OH	AT&T MOBILITY V011025	7/9-8/8 FD STA2 INTERNET	109595-6215 Telephone/Internet	AP080524	95.59	FD STA2 JUL		00131973	08/08/2024
MW OH	AT&T MOBILITY V011025	7/3-8/12 KOCH PARK INTERNET	109595-6215 Telephone/Internet	AP080524	63.49	KP JULY 2024		00131973	08/08/2024
					<b>Check Total:</b>	<b>159.08</b>			

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MW OH	BUTTS, BRAD V002941	JUL FASTRACK REIMBURSEMENT	103040-6051 Toll Roads Expense	AP080524	497.15 JULY 24		00131974	08/08/2024
					<b>Check Total:</b>	<b>497.15</b>		
MW OH	CALIFORNIA PARK & V000174	CPRS MEMBERSHIP -A. MUNOZ	104071-6255 Dues & Memberships	AP080524	165.00 07/19/2024 AM		00131975	08/08/2024
MW OH	CALIFORNIA PARK & V000174	CPRS MEMBERSHIP - D. ESCOBEDO	104071-6255 Dues & Memberships	AP080524	165.00 07/19/2024 DE		00131975	08/08/2024
MW OH	CALIFORNIA PARK & V000174	CPRS MEMBERSHIP - E. RODRIGUEZ	104071-6255 Dues & Memberships	AP080524	165.00 07/19/2024 ER		00131975	08/08/2024
MW OH	CALIFORNIA PARK & V000174	CPRS MEMBERSHIP - M. BRAND	104071-6255 Dues & Memberships	AP080524	165.00 07/19/2024 MB		00131975	08/08/2024
MW OH	CALIFORNIA PARK & V000174	CPRS MEMBERSHIP -M VILLAPANDOL	104071-6255 Dues & Memberships	AP080524	165.00 07/19/2024 MV		00131975	08/08/2024
					<b>Check Total:</b>	<b>825.00</b>		
MW OH	CHARTER COMMUNICATIONS V004450	14-8/13 PD FIBER INTERNET	109595-6215 Telephone/Internet	AP080524	619.00 0528002071424		00131976	08/08/2024
MW OH	CHARTER COMMUNICATIONS V004450	14-8/13 WHITTEN CTR FIBER LN	109595-6215 Telephone/Internet	AP080524	143.94 0619546071424		00131976	08/08/2024
MW OH	CHARTER COMMUNICATIONS V004450	18-8/13 CITY YARD INTERNET	109595-6215 Telephone/Internet	AP080524	178.92 0717647071424		00131976	08/08/2024
MW OH	CHARTER COMMUNICATIONS V004450	24-8/24 NAV CTR INTERNET	109595-6215 Telephone/Internet	AP080524	376.97 10907810107222		00131976	08/08/2024
MW OH	CHARTER COMMUNICATIONS V004450	24-8/24 CH FIBER LINE	109595-6215 Telephone/Internet	AP080524	2,343.06 10908010107222		00131976	08/08/2024
MW OH	CHARTER COMMUNICATIONS V004450	25-8/24 PD FIBER LINE INT	109595-6215 Telephone/Internet	AP080524	226.96 18908030107222		00131976	08/08/2024
MW OH	CHARTER COMMUNICATIONS V004450	24-8/24 WHITTEN CTR INTERNET	109595-6215 Telephone/Internet	AP080524	979.23 18908340107222		00131976	08/08/2024

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				<b>Check Total:</b>	<b>4,868.08</b>				
MW OH	CHARTER COMMUNICATIONS V007869	8/22-8/25 PS/EOC CABLE/INT	109595-6215 Telephone/Internet	AP080524	1,800.43	18791050107222		00131977	08/08/2024
				<b>Check Total:</b>	<b>1,800.43</b>				
MW OH	CHARTER COMMUNICATIONS V012060	8/21-8/20 BWC INTERNET	109595-6215 Telephone/Internet	AP080524	1,352.08	11980240107222		00131978	08/08/2024
				<b>Check Total:</b>	<b>1,352.08</b>				
MW OH	CHUNG, HYUN V012031	2023-24 TUITION REIMBURSEMENT	109595-5150 Tuition Reimbursement	AP080524	1,248.75	23-24		00131979	08/08/2024
				<b>Check Total:</b>	<b>1,248.75</b>				
MW OH	CITY OF ANAHEIM V010186	6/17-7/17 SHARED TS ELECTRIC	109595-6330 Electricity	AP080524	71.41	080124		00131980	08/08/2024
				<b>Check Total:</b>	<b>71.41</b>				
MW OH	CSUF EXTENSION AND V012864	HR TRAINING - C. ALVARENGA	101512-6250 Staff Training	AP080524	815.00	20240084		00131981	08/08/2024
				<b>Check Total:</b>	<b>815.00</b>				
MW OH	DENNIS GRUBB & V012137	7/16-31 FIRE PLAN CHEKS REVIEW	103066-6290 Dept. Contract Services	AP080524	1,020.00	002-32306	P13478	00131982	08/08/2024
				<b>Check Total:</b>	<b>1,020.00</b>				
MW OH	DIAMONDS SPORTS FIELD V011978	JUL - CHAMPION PK FIELD WORK	104055-6139 Repair/Maint - Parks & Fields	AP080524	1,000.00	6543		00131983	08/08/2024
				<b>Check Total:</b>	<b>1,000.00</b>				
MW OH	ENTENMANN-ROVIN CO V000342	PD BADGES	103040-6299 Other Purchased Services	AP080524	334.75	0182336-IN		00131984	08/08/2024
				<b>Check Total:</b>	<b>334.75</b>				
MW OH	ENTERPRISE FLEET V003312	JUL PD VH LEASE CHARGES	103658-6165 Vehicle Lease	AP080524	41,038.48	FBN5078828	P13494	00131985	08/08/2024

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					<b>Check Total:</b>	<b>41,038.48</b>		
MW OH	FAIRWAY FORD V000376	AUTO PARTS	103658-6134 Vehicle Repair & Maintenance	AP080524	962.39 289668		00131986	08/08/2024
MW OH	FAIRWAY FORD V000376	AUTO PARTS	103658-6134 Vehicle Repair & Maintenance	AP080524	218.78 289738		00131986	08/08/2024
					<b>Check Total:</b>	<b>1,181.17</b>		
MW OH	FIFTH AVENUE CLEANERS V010431	JUL PD DRY CLEANING SVS	103040-6290 Dept. Contract Services	AP080524	1,205.67 JULY 24		00131987	08/08/2024
					<b>Check Total:</b>	<b>1,205.67</b>		
MW OH	FLEET SERVICES INC V000400	MCV REPAIRS	103041-6137 Repair Maint/Equipment	AP080524	5,000.00 01S61872	P13495	00131988	08/08/2024
MW OH	FLEET SERVICES INC V000400	MCV REPAIRS	213041-6137 Repair Maint/Equipment	AP080524	5,210.81 01S61872	P13495	00131988	08/08/2024
					<b>Check Total:</b>	<b>10,210.81</b>		
MW OH	FLORES, MAURO V009606	DAMAGE DEPOSIT REFUND R3766	104071-4385 Facility Rental	AP080524	158.00 2044123.002		00131989	08/08/2024
					<b>Check Total:</b>	<b>158.00</b>		
MW OH	FULLER TRUCK V000422	HLO TRUCK LIFTGATE	508507-6842 Vehicles	AP080524	4,337.45 W-61480	P13458	00131990	08/08/2024
					<b>Check Total:</b>	<b>4,337.45</b>		
MW OH	GALLS LLC V000438	DISPATCH UNIFORMS	101515-6360 Uniforms	AP080524	97.91 028428445		00131991	08/08/2024
MW OH	GALLS LLC V000438	DISPATCH UNIFORMS - PATCH APPL	101515-6360 Uniforms	AP080524	9.90 028457423		00131991	08/08/2024
					<b>Check Total:</b>	<b>107.81</b>		
MW OH	GOLDEN STATE WATER V000928	JUN-JUL WATER CHARGES	296561-6335 Water	AP080524	19,611.32 073124		00131992	08/08/2024
MW OH	GOLDEN STATE WATER	JUN-JUL WATER CHARGES	109595-6335 / 21010-6335	AP080524	137.89 073124		00131992	08/08/2024

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	V000928		Water						
MW OH	GOLDEN STATE WATER V000928	JUN-JUL WATER CHARGES	109595-6335 Water	AP080524	7,688.36	073124		00131992	08/08/2024
				<b>Check Total:</b>	<b>27,437.57</b>				
MW OH	HALO CONFIDENTIAL V011712	JUL - PD TRAINING MGMT	103040-6290 Dept. Contract Services	AP080524	2,484.62	0236T	P13460	00131993	08/08/2024
				<b>Check Total:</b>	<b>2,484.62</b>				
MW OH	HDL COREN & CONE V001564	JUL-SEP PROPERTY TAX MGMT SVS	102020-6099 Professional Services	AP080524	4,058.40	SIN041342	P13513	00131994	08/08/2024
				<b>Check Total:</b>	<b>4,058.40</b>				
MW OH	HERREN, MATT V009898	TUITION REIMBURSEMENT	109595-5150 Tuition Reimbursement	AP080524	2,809.31	23-32		00131995	08/08/2024
				<b>Check Total:</b>	<b>2,809.31</b>				
MW OH	HIRSCH PIPE AND SUPPLY V004494	PLUMBING MATERIALS	103654-6137 Repair Maint/Equipment	AP080524	339.16	9644529		00131996	08/08/2024
				<b>Check Total:</b>	<b>339.16</b>				
MW OH	HOYT ROOFS INC V003476	ROOFING BOND REFUND 30-24-172	0044-2033 Construction & Demo Deposit	AP080524	100.00	B24-1426		00131997	08/08/2024
MW OH	HOYT ROOFS INC V003476	ROOFING BOND REFUND 30-24-173	0044-2033 Construction & Demo Deposit	AP080524	100.00	B24-1427		00131997	08/08/2024
				<b>Check Total:</b>	<b>200.00</b>				
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP080524	450.85	0016813086-001	P13479	00131998	08/08/2024
				<b>Check Total:</b>	<b>450.85</b>				
MW OH	INTOXIMETERS INC. V000524	DUI TESTING SUPPLIES	213041-6301 Special Department Expenses	AP080524	1,090.25	766218		00131999	08/08/2024
				<b>Check Total:</b>	<b>1,090.25</b>				

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MW OH	KEN GRODY FORD V012265	FORD F150	418509-6842 Vehicles	AP080524	15,236.56	2362	P13482	00132000	08/08/2024
MW OH	KEN GRODY FORD V012265	FORD F150	798509-6842 Vehicles	AP080524	60,000.00	2362	P13482	00132000	08/08/2024
					<b>Check Total:</b>	<b>75,236.56</b>			
MW OH	LEHR AUTO V009930	VEHICLE BATTERIES	103658-6137 Repair Maint/Equipment	AP080524	634.86	SI107143		00132001	08/08/2024
					<b>Check Total:</b>	<b>634.86</b>			
MW OH	LEXIPOL LLC V003511	FY24/25 LAW ENFORCEMENT SUBSCR	03040-6290 Dept. Contract Services	AP080524	6,549.96	INVLEX1123658		00132002	08/08/2024
					<b>Check Total:</b>	<b>6,549.96</b>			
MW OH	LN CURTIS & SONS V011267	PD EXPLORER UNIFORMS - CARAIG	763041-6360 Uniforms	AP080524	440.42	INV846193		00132003	08/08/2024
MW OH	LN CURTIS & SONS V011267	PD EXPLORER UNIFORMS - CARAIG	763041-6360 Uniforms	AP080524	395.99	INV848166		00132003	08/08/2024
MW OH	LN CURTIS & SONS V011267	PD EXPLORER UNIFORMS - SKULLR	763041-6360 Uniforms	AP080524	880.39	INV848630		00132003	08/08/2024
MW OH	LN CURTIS & SONS V011267	PD EXPLORER UNIFORMS - CRUZ	763041-6360 Uniforms	AP080524	804.69	INV849494		00132003	08/08/2024
					<b>Check Total:</b>	<b>2,521.49</b>			
MW OH	MAKE IT FIT V012223	EXPLORER UNIFORM ALTERATION	763041-6360 Uniforms	AP080524	10.00	17849		00132004	08/08/2024
					<b>Check Total:</b>	<b>10.00</b>			
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	18.43	549863/5		00132006	08/08/2024
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	68.25	549937/5		00132006	08/08/2024
MW OH	MC FADDEN-DALE	PW FLEET SUPPLIES	103658-6134	AP080524	17.89	550276/5		00132006	08/08/2024

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	V000635		Vehicle Repair & Maintenance						
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	73.16	550453/5		00132006	08/08/2024
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	82.86	551048/5		00132006	08/08/2024
<b>Check Total:</b>					<b>260.59</b>				
MW OH	MCPEEKS CDJR OF ANAHEIM V011285	AUTO PARTS	103658-6134 Vehicle Repair & Maintenance	AP080524	336.18	33079		00132007	08/08/2024
<b>Check Total:</b>					<b>336.18</b>				
MW OH	NAPA AUTO PARTS V011456	AUTO PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	547.91	128590		00132008	08/08/2024
MW OH	NAPA AUTO PARTS V011456	AUTO PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	104.27	129065		00132008	08/08/2024
MW OH	NAPA AUTO PARTS V011456	AUTO PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	9.56	129467		00132008	08/08/2024
<b>Check Total:</b>					<b>661.74</b>				
MW OH	NAPA AUTO PARTS V012662	AUTO PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	581.84	882815		00132009	08/08/2024
MW OH	NAPA AUTO PARTS V012662	AUTO PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	130.29	883605		00132009	08/08/2024
MW OH	NAPA AUTO PARTS V012662	AUTO PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	118.51	884268		00132009	08/08/2024
MW OH	NAPA AUTO PARTS V012662	AUTO PARTS & SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP080524	77.76	886786		00132009	08/08/2024
<b>Check Total:</b>					<b>908.40</b>				
MW OH	OCTMA V012376	FY 24/25 AGENCY MEMBERSHIP	103040-6255 Dues & Memberships	AP080524	100.00	FY 24/25		00132010	08/08/2024
<b>Check Total:</b>					<b>100.00</b>				

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MW OH	ORANGE COUNTY SHERIFF'S V009715	SPD- SUPERVISORY COURSE REG	103041-6250 Staff Training	AP080524	465.00 OCSD8124		00132011	08/08/2024
					<b>Check Total:</b>	<b>465.00</b>		
MW OH	OXNARD POLICE V012804	POLICE EXPLORER COMPETITION	763041-6301 Special Department Expenses	AP080524	725.00 081024		00132012	08/08/2024
					<b>Check Total:</b>	<b>725.00</b>		
MW OH	PEREZ, VICTOR DE LA CRUZ V012409	DAMAGE DEPOSIT REFUND R3755	104071-4385 Facility Rental	AP080524	158.00 2004126.002		00132013	08/08/2024
					<b>Check Total:</b>	<b>158.00</b>		
MW OH	POWERSTRIDE BATTERY CO V000785	BATTERY REPAIR	103654-6130 Repair & Maint/Facilities	AP080524	107.74 C69431		00132014	08/08/2024
MW OH	POWERSTRIDE BATTERY CO V000785	BATTERY REPAIR	103654-6130 Repair & Maint/Facilities	AP080524	252.51 C69456		00132014	08/08/2024
					<b>Check Total:</b>	<b>360.25</b>		
MW OH	QUENCH USA V012472	AUG PD WATER/ICE MACHINE RENT	103041-6399 Other Supplies	AP080524	69.59 INV07746074		00132015	08/08/2024
					<b>Check Total:</b>	<b>69.59</b>		
MW OH	REYES, STEFANIE ACOSTA V011470	DISPATCH MEALS	101515-6052 Common Area Supplies	AP080524	92.59 07/28/24		00132016	08/08/2024
					<b>Check Total:</b>	<b>92.59</b>		
MW OH	SAN BERNARDINO COUNTY V005772	PS RADAR OPERATOR/LIDAR REG	103041-6250 Staff Training	AP080524	500.00 SBS08124		00132017	08/08/2024
					<b>Check Total:</b>	<b>500.00</b>		
MW OH	SAN BERNARDINO COUNTY V005772	DRIVING PSP REGISTRATION	103041-6250 Staff Training	AP080524	100.00 SBS08124		00132018	08/08/2024
					<b>Check Total:</b>	<b>100.00</b>		
MW OH	SC FUELS	7/1-15 FUEL	103658-6345	AP080524	13,096.77 0911469	P13489	00132019	08/08/2024

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	V012766		Gasoline & Diesel Fuel						
				<b>Check Total:</b>	<b>13,096.77</b>				
MW OH	SO CAL GAS V000909	JUN-JUL WATER CHARGES	109595-6340 Natural Gas	AP080524	352.65	080124		00132020	08/08/2024
MW OH	SO CAL GAS V000909	JUN-JUL WATER CHARGES	109595-6340 / 61139-6340 Natural Gas	AP080524	16.47	080124		00132020	08/08/2024
				<b>Check Total:</b>	<b>369.12</b>				
MW OH	SOUTHERN CALIFORNIA V000910	JUL ELECTRICAL CHARGES	296561-6330 Electricity	AP080524	971.91	080124		00132021	08/08/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUL ELECTRICAL CHARGES	109595-6330 Electricity	AP080524	25,403.80	080124		00132021	08/08/2024
				<b>Check Total:</b>	<b>26,375.71</b>				
MW OH	SPECTRUM GAS PRODUCTS V011641	OXYGEN EQUIPMENT	103066-6362 Emergency Medical Supplies	AP080524	37.50	00621706		00132022	08/08/2024
MW OH	SPECTRUM GAS PRODUCTS V011641	OXYGEN EQUIPMENT	103066-6362 Emergency Medical Supplies	AP080524	350.00	00622396		00132022	08/08/2024
				<b>Check Total:</b>	<b>387.50</b>				
MW OH	THE BEE MAN V000117	BEE REMOVAL -1931 YOUNG DR	103654-6290 Dept. Contract Services	AP080524	245.00	130117		00132023	08/08/2024
				<b>Check Total:</b>	<b>245.00</b>				
MW OH	THINKSUPPLIES.COM V007047	PAPER	109595-6315 Office Supplies	AP080524	217.46	70638		00132024	08/08/2024
MW OH	THINKSUPPLIES.COM V007047	PAPER	109595-6315 Office Supplies	AP080524	108.73	70646		00132024	08/08/2024
				<b>Check Total:</b>	<b>326.19</b>				
MW OH	TOREDO, FERNANDO V012889	ROOFING BOND REFUND 30-24-119	0044-2033 Construction & Demo Deposit	AP080524	100.00	B24-1121		00132025	08/08/2024

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				<b>Check Total:</b>	<b>100.00</b>				
MW OH	TRAFFIC MANAGEMENT V008463	ROADMAX PAINT	103652-6310 Street Signs	AP080524	366.95	06-108680		00132026	08/08/2024
				<b>Check Total:</b>	<b>366.95</b>				
MW OH	TRANSUNION RISK & V009317	JUL PD DATABASE TRANSACTIONS	103042-6290 Dept. Contract Services	AP080524	179.00	49451-202407-1		00132027	08/08/2024
				<b>Check Total:</b>	<b>179.00</b>				
MW OH	TURBO DATA SYSTEMS INC V001238	PARKING CITATION PAPER ROLLS	103047-6230 Printing & Binding	AP080524	489.38	43429		00132028	08/08/2024
				<b>Check Total:</b>	<b>489.38</b>				
MW OH	UNIQUE PRINTING V010259	BUSINESS CARDS	103040-6230 Printing & Binding	AP080524	69.06	46101		00132029	08/08/2024
				<b>Check Total:</b>	<b>69.06</b>				
MW OH	UNITED RENTALS NORTH V001082	CONCRETE TRAILER/MIXER RENTAL	103652-6132 Repair & Maintenance/Streets	AP080524	277.22	36320620-001		00132030	08/08/2024
				<b>Check Total:</b>	<b>277.22</b>				
MW OH	VERIZON WIRELESS V008735	6/21-7/20 NEW COUNCIL IPADS	109595-6215 Telephone/Internet	AP080524	5,740.08	9969531928		00132031	08/08/2024
MW OH	VERIZON WIRELESS V008735	6/21-7/20 PD DEVICES INTERNET	109595-6215 Telephone/Internet	AP080524	116.88	9969531929		00132031	08/08/2024
MW OH	VERIZON WIRELESS V008735	6/21-7/20 IPAD CHARGES	109595-6215 Telephone/Internet	AP080524	180.87	9969531930		00132031	08/08/2024
				<b>Check Total:</b>	<b>6,037.83</b>				
MW OH	YORBA LINDA WATER V001148	JUL WATER CHARGES	109595-6335 Water	AP080524	1,739.49	080124		00132032	08/08/2024
				<b>Check Total:</b>	<b>1,739.49</b>				
MW OH	2 HOT UNIFORMS INC	FD UNIFORMS - SHIRTS/PANTS	103067-6360	AP081224	393.68	8334		00132050	08/15/2024

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	V012895		Uniforms						
				<b>Check Total:</b>	<b>393.68</b>				
MW OH	AFTERMATH SERVICES LLC 7/23 BIO HAZARD CLEANING SVS V009949		103043-6099 Professional Services	AP081224	400.00	JC2024-4620		00132051	08/15/2024
				<b>Check Total:</b>	<b>400.00</b>				
MW OH	ALVAREZ, OMAR V012054	PD TRAINING MILES REIMB	103041-6250 Staff Training	AP081224	68.34	ALVAREZ8624		00132052	08/15/2024
				<b>Check Total:</b>	<b>68.34</b>				
MW OH	AMAZON CAPITAL SERVICES V012336	REPAIRS & MAINT	103066-6130 Repair & Maint/Facilities	AP081224	525.35	13JK-RPDK-		00132053	08/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	VEHICLE SUPPLIES	103066-6134 Vehicle Repair & Maintenance	AP081224	342.47	13JK-RPDK-		00132053	08/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	FIRE OPERATION SUPPLIES	103066-6301 Special Department Expenses	AP081224	1,082.10	13JK-RPDK-		00132053	08/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	RETURN - FIRE OPERATION SUPPL	103066-6301 Special Department Expenses	AP081224	-197.03	19K4-JFFL-7DJP		00132053	08/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	TINY TOTS SUPPLIES	104071-6301 / 22401-6301 Special Department Expenses	AP081224	732.97	1D97-6CY9-		00132053	08/15/2024
MW OH	AMAZON CAPITAL SERVICES V012336	DAY CAMP SUPPLIES	104071-6301 Special Department Expenses	AP081224	686.53	1N9L-TLTC-		00132053	08/15/2024
				<b>Check Total:</b>	<b>3,172.39</b>				
MW OH	B & M LAWN & GARDEN V000127	LANDSCAPE EQUIP/SUPPLIES	103655-6130 Repair & Maint/Facilities	AP081224	96.12	647614		00132054	08/15/2024
MW OH	B & M LAWN & GARDEN V000127	LANDSCAPE SUPPLIES	104055-6130 Repair & Maint/Facilities	AP081224	51.01	648598		00132054	08/15/2024
				<b>Check Total:</b>	<b>147.13</b>				
MW OH	BIG ASS FANS V012883	EVAPORATIVE COOLERS	103658-6137 Repair Maint/Equipment	AP081224	6,270.33	10342094	P13497	00132055	08/15/2024

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				<b>Check Total:</b>	<b>6,270.33</b>				
MW OH	BOA ARCHITECTURE V010118	ARCHITECT DESIGN 100 W CHAPMAN	09595-6999 Other Expenditure	AP081224	4,900.00	24-3102-1	P13545	00132056	08/15/2024
				<b>Check Total:</b>	<b>4,900.00</b>				
MW OH	CALBO V000200	H. MORGANO - TRAINING	102532-2049 Health & Safety Collection	AP081224	1,095.00	17697		00132057	08/15/2024
				<b>Check Total:</b>	<b>1,095.00</b>				
MW OH	CALIFORNIA FORENSIC V000232	JUL BLOOD DRAWS	103040-6055 Medical Services	AP081224	1,180.00	2646	P13480	00132058	08/15/2024
				<b>Check Total:</b>	<b>1,180.00</b>				
MW OH	CAMACHO, KASSANDRA V012599	TUITION REIMBURSEMENT	109595-5150 Tuition Reimbursement	AP081224	1,873.54	23-33		00132059	08/15/2024
				<b>Check Total:</b>	<b>1,873.54</b>				
MW OH	CHEMEX INDUSTRIES INC. V004683	GRAFFITI REMOVER	103652-6146 Paint Supplies	AP081224	596.37	35949		00132060	08/15/2024
				<b>Check Total:</b>	<b>596.37</b>				
MW OH	CICCS/EAP V012670	JUL 2024 EAP	395083-5199 Other Employee Benefits	AP081224	439.30	2024-7		00132061	08/15/2024
MW OH	CICCS/EAP V012670	AUG 2024 EAP	395083-5199 Other Employee Benefits	AP081224	439.30	2024-8		00132061	08/15/2024
				<b>Check Total:</b>	<b>878.60</b>				
MW OH	CIRA V012072	FY24/25 PASS THROUGH PREMIUM	404582-6201 Liability Insurance Premiums	AP081224	39,929.89	INV-2273		00132062	08/15/2024
				<b>Check Total:</b>	<b>39,929.89</b>				
MW OH	CITY OF BREA V000125	PROMOTIONAL FLYERS	101534-6230 Printing & Binding	AP081224	52.25	ASR0000351		00132063	08/15/2024
MW OH	CITY OF BREA	STATE OF THE CITY INVITATIONS	101001-6301	AP081224	49.77	ASR0000352		00132063	08/15/2024

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	V000125		Special Department Expenses						
MW OH	CITY OF BREA V000125	PREPRINTED FORMS	102531-6315 Office Supplies	AP081224	995.73	ASR0000355		00132063	08/15/2024
MW OH	CITY OF BREA V000125	PREPRINTED FORMS	102532-6315 Office Supplies	AP081224	500.00	ASR0000355		00132063	08/15/2024
				<b>Check Total:</b>	<b>1,597.75</b>				
MW OH	CITY OF LA HABRA V000600	Q3 COURT LIAISON SVS	103043-6290 Dept. Contract Services	AP081224	11,140.25	1000001	P13463	00132064	08/15/2024
				<b>Check Total:</b>	<b>11,140.25</b>				
MW OH	COAST EMS LLC V011441	EMERGENCY MEDICAL SUPPLIES	103066-6362 Emergency Medical Supplies	AP081224	307.65	15793		00132065	08/15/2024
				<b>Check Total:</b>	<b>307.65</b>				
MW OH	COMLOCK V003166	CITY HALL - DOOR REP MATERIALS	103654-6137 Repair Maint/Equipment	AP081224	177.16	850173		00132066	08/15/2024
MW OH	COMLOCK V003166	KEYS	104055-6130 Repair & Maint/Facilities	AP081224	108.93	850178		00132066	08/15/2024
MW OH	COMLOCK V003166	CITY HALL - DOOR REP MATERIALS	103654-6137 Repair Maint/Equipment	AP081224	872.77	850188		00132066	08/15/2024
MW OH	COMLOCK V003166	CITY HALL - DOOR REP MATERIALS	103654-6137 Repair Maint/Equipment	AP081224	150.41	850196		00132066	08/15/2024
				<b>Check Total:</b>	<b>1,309.27</b>				
MW OH	COMMERCIAL AQUATIC V005203	POOL SUPPLIES	104055-6130 Repair & Maint/Facilities	AP081224	463.04	975223		00132067	08/15/2024
				<b>Check Total:</b>	<b>463.04</b>				
MW OH	CONTRERAS, JOSHUA V011352	PD TRAINING MILEAGE	103041-6250 Staff Training	AP081224	68.34	CONTRETAS81		00132068	08/15/2024
				<b>Check Total:</b>	<b>68.34</b>				
MW OH	COSTAR REALTY	JUL REAL ESTATE/PROP DATA	109595-6999	AP081224	567.00	121004527	P13544	00132069	08/15/2024

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	V012340		Other Expenditure						
				<b>Check Total:</b>	<b>567.00</b>				
MW OH	COUNTY OF ORANGE V005595	UNDERGROUND STORAGE TANK FE	03658-6257 Licenses & Permits	AP081224	603.00	IN2701534		00132070	08/15/2024
				<b>Check Total:</b>	<b>603.00</b>				
MW OH	DIAZ, ALEXANDER V010598	8/5 LET'S DANCE DJ	104071-6299 Other Purchased Services	AP081224	200.00	115		00132071	08/15/2024
				<b>Check Total:</b>	<b>200.00</b>				
MW OH	FRANCHISE TAX BOARD V000404	FTB PE 8/3 PD 8/9	0010-2196 Garnishments W/H	AP081224	278.13	PR2401016		00132072	08/15/2024
				<b>Check Total:</b>	<b>278.13</b>				
MW OH	GALVAN, ARACELY V008966	EXPAND THE FOREST - REIMB	0044-2039 Tree Trimming Deposits	AP081224	390.00	080724		00132073	08/15/2024
				<b>Check Total:</b>	<b>390.00</b>				
MW OH	GILLIS, JOSEPH V008160	FUEL	103658-6345 Gasoline & Diesel Fuel	AP081224	60.00	GILLIS8624		00132074	08/15/2024
				<b>Check Total:</b>	<b>60.00</b>				
MW OH	GOGOVAPPS INC V010559	10/1/24-9/30/25 SUBSCRIPTION	101523-6136 Software Maintenance	AP081224	13,848.00	24-403		00132075	08/15/2024
				<b>Check Total:</b>	<b>13,848.00</b>				
MW OH	GONZALEZ, SANDRA V010618	LANDSCAPE PLANS -	102531-6047 / 22252-6047 Landscape Review Expense	AP081224	490.00	024-13		00132076	08/15/2024
				<b>Check Total:</b>	<b>490.00</b>				
MW OH	HERC RENTALS INC V010786	A/C RENTAL	103654-6170 Equipment & Tool Rental	AP081224	814.20	34702808-001		00132077	08/15/2024
				<b>Check Total:</b>	<b>814.20</b>				
MW OH	HIRSCH PIPE AND SUPPLY	PLUMBING SUPPLIES	103654-6137	AP081224	225.46	9663464		00132078	08/15/2024

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	V004494		Repair Maint/Equipment					
MW OH	HIRSCH PIPE AND SUPPLY V004494	WHITTEN CENTER SUPPLIES	104055-6130 Repair & Maint/Facilities	AP081224	98.83 9669121		00132078	08/15/2024
MW OH	HIRSCH PIPE AND SUPPLY V004494	PLUMBING SUPPLIES	103654-6137 Repair Maint/Equipment	AP081224	282.19 9670782		00132078	08/15/2024
					<b>Check Total:</b>	<b>606.48</b>		
MW OH	LAZARO, ROBERTO V012896	ROOFING BOND REFUND	0044-2033 Construction & Demo Deposit	AP081224	100.00 B24-1693		00132079	08/15/2024
					<b>Check Total:</b>	<b>100.00</b>		
MW OH	LN CURTIS & SONS V011267	PD EXPLORER UNIFORMS	763041-6360 Uniforms	AP081224	494.54 INV849958		00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD EXPLORER UNIFORMS	763041-6360 Uniforms	AP081224	520.07 INV849968		00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD EXPLORER UNIFORMS	763041-6360 Uniforms	AP081224	95.27 INV849973		00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - VALDEZ	103041-6360 Uniforms	AP081224	964.72 INV841820	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - EATON	103041-6360 Uniforms	AP081224	97.35 INV842603	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - TITUS	103041-6360 Uniforms	AP081224	424.12 INV843333	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - DREW	103041-6360 Uniforms	AP081224	54.15 INV843862	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - EILEY	103041-6360 Uniforms	AP081224	182.32 INV844089	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - KIM	103041-6360 Uniforms	AP081224	113.59 INV844594	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS	PD UNIFORMS - TEJEDA	103041-6360	AP081224	113.59 INV844606	P13512	00132080	08/15/2024

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	V011267		Uniforms						
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - PERRY	103041-6360 Uniforms	AP081224	290.91	INV844998	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - MCELHINNEY	103041-6360 Uniforms	AP081224	290.91	INV845002	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - MENDOZA	103041-6360 Uniforms	AP081224	659.29	INV846927	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - RUVALCABA	103041-6360 Uniforms	AP081224	26.52	INV849978	P13512	00132080	08/15/2024
MW OH	LN CURTIS & SONS V011267	PD UNIFORMS - RUVALCABA	103041-6360 Uniforms	AP081224	801.58	INV849987	P13512	00132080	08/15/2024
				<b>Check Total:</b>	<b>5,128.93</b>				
MW OH	MARK43 INC V010565	FY 24/25 FIRE CAD SYSTEM RENEW	103066-6366 Web Based Service/Subscriptions	AP081224	37,000.00	INV1163		00132081	08/15/2024
				<b>Check Total:</b>	<b>37,000.00</b>				
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP081224	104.63	55029/5		00132082	08/15/2024
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP081224	51.07	551154/5		00132082	08/15/2024
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP081224	65.18	551570/5		00132082	08/15/2024
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP081224	229.62	551728/5		00132082	08/15/2024
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP081224	88.87	552140/5		00132082	08/15/2024
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP081224	87.88	552147/5		00132082	08/15/2024
MW OH	MC FADDEN-DALE	PW FLEET SUPPLIES	103658-6134	AP081224	28.12	552290/5		00132082	08/15/2024

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	V000635		Vehicle Repair & Maintenance					
MW OH	MC FADDEN-DALE V000635	PW FLEET SUPPLIES	103658-6134 Vehicle Repair & Maintenance	AP081224	168.52 552411/5		00132082	08/15/2024
				<b>Check Total:</b>	<b>823.89</b>			
MW OH	MCINERNEY, BRIAN V010193	PD TRAINING MEALS, MILEAGE	103047-6250 Staff Training	AP081224	69.28 MCINERNEY72		00132083	08/15/2024
				<b>Check Total:</b>	<b>69.28</b>			
MW OH	METASOURCE LLC V012853	JUL CITYWIDE SCANNING PROJ	105213-6850 / 105213-6850 Building & Facilities	AP081224	3,645.53 INV88378	P13526	00132084	08/15/2024
				<b>Check Total:</b>	<b>3,645.53</b>			
MW OH	MUNICIPAL EMERGENCY V011423	PERSONAL PROTECTIVE EQUIPMENT	03066-6360 Uniforms	AP081224	595.21 IN2027550		00132085	08/15/2024
MW OH	MUNICIPAL EMERGENCY V011423	PERSONAL PROTECTIVE EQUIPMENT	03066-6360 Uniforms	AP081224	279.86 IN2043184		00132085	08/15/2024
				<b>Check Total:</b>	<b>875.07</b>			
MW OH	ORANGE COUNTY V000699	OCEA PE 8/3 PD 8/9	0010-2176 PCEA/OCEA Assoc Dues	AP081224	573.94 PR2401016		00132086	08/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 8/3 PD 8/9	0029-2176 PCEA/OCEA Assoc Dues	AP081224	0.30 PR2401016		00132086	08/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 8/3 PD 8/9	0037-2176 PCEA/OCEA Assoc Dues	AP081224	0.10 PR2401016		00132086	08/15/2024
MW OH	ORANGE COUNTY V000699	OCEA PE 8/3 PD 8/9	0048-2176 PCEA/OCEA Assoc Dues	AP081224	0.66 PR2401016		00132086	08/15/2024
				<b>Check Total:</b>	<b>575.00</b>			
MW OH	ORANGE COUNTY V007306	JUL PARKING CITATIONS	0044-2038 Parking Fines	AP081224	9,779.00 073124		00132087	08/15/2024
				<b>Check Total:</b>	<b>9,779.00</b>			
MW OH	ORIGINAL WATERMEN	AQUATIC UNIFORMS	104071-6360	AP081224	120.71 91254		00132088	08/15/2024

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	V006320		Uniforms						
MW OH	ORIGINAL WATERMEN V006320	AQUATIC UNIFORMS	104071-6360 Uniforms	AP081224	71.78	91309		00132088	08/15/2024
				<b>Check Total:</b>	<b>192.49</b>				
MW OH	PAVELOFF, RON V009875	ROOFING BOND REFUND	0044-2033 Construction & Demo Deposit	AP081224	100.00	B24-1526		00132089	08/15/2024
				<b>Check Total:</b>	<b>100.00</b>				
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE 8/3 PD 8/9	0029-2176 PCEA/OCEA Assoc Dues	AP081224	0.03	PR2401016		00132090	08/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE 8/3 PD 8/9	0010-2176 PCEA/OCEA Assoc Dues	AP081224	49.59	PR2401016		00132090	08/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE 8/3 PD 8/9	0048-2176 PCEA/OCEA Assoc Dues	AP081224	0.05	PR2401016		00132090	08/15/2024
MW OH	PCEA C/O NORTH ORANGE V000679	PCEA PE 8/3 PD 8/9	0037-2176 PCEA/OCEA Assoc Dues	AP081224	0.01	PR2401016		00132090	08/15/2024
				<b>Check Total:</b>	<b>49.68</b>				
MW OH	POWERSTRIDE BATTERY V000785	COBATTERY REPAIR	103658-6134 Vehicle Repair & Maintenance	AP081224	287.84	C69468		00132091	08/15/2024
				<b>Check Total:</b>	<b>287.84</b>				
MW OH	PREMIER FIRST RESPONDER V011754	JUL OFFICER THERAPY SERVICES	503040-6301 / 233004-6301 Special Department Expenses	AP081224	300.00	1520		00132092	08/15/2024
				<b>Check Total:</b>	<b>300.00</b>				
MW OH	RING CENTRAL INC V012026	CR - JUL PHONE SYST SVS	101523-6136 Software Maintenance	AP081224	-7,902.89	CB_00855836CRP13464		00132093	08/15/2024
MW OH	RING CENTRAL INC V012026	AUG PHONE SYST SERVICES	101523-6136 Software Maintenance	AP081224	7,905.98	CD_000878871 P13464		00132093	08/15/2024
				<b>Check Total:</b>	<b>3.09</b>				
MW OH	ROADLINE PRODUCTS	ROADMAX PAINT	103652-6146	AP081224	705.55	20241		00132094	08/15/2024

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	V004083		Paint Supplies						
				<b>Check Total:</b>	<b>705.55</b>				
MW OH	SAN BERNARDINO COUNTY PD TRAINING REGISTRATION V005772		103041-6250 Staff Training	AP081224	200.00	SBSD81224		00132095	08/15/2024
				<b>Check Total:</b>	<b>200.00</b>				
MW OH	SANTA ANA (CENTRAL) CIVIL V012818		0010-2196 Garnishments W/H	AP081224	393.46	PR2401016		00132096	08/15/2024
				<b>Check Total:</b>	<b>393.46</b>				
MW OH	SANTIAGO ROOFING V001614	ROOFING BOND REFUND	0044-2033 Construction & Demo Deposit	AP081224	100.00	B24-1703		00132097	08/15/2024
				<b>Check Total:</b>	<b>100.00</b>				
MW OH	THE SHERWIN WILLIAMS V009928	PAINT	103654-6146 Paint Supplies	AP081224	428.89	0458-7		00132098	08/15/2024
				<b>Check Total:</b>	<b>428.89</b>				
MW OH	TRICELL USA V012373	PD TRAINING REGISTRATION	103041-6250 Staff Training	AP081224	3,600.00	TRICELL81224		00132099	08/15/2024
				<b>Check Total:</b>	<b>3,600.00</b>				
MW OH	TURNKEY CLEANING V012885	PEST CTRL CLEANING SVS - NAV	784070-6999 Other Expenditure	AP081224	13,748.00	2759	P13500	00132100	08/15/2024
				<b>Check Total:</b>	<b>13,748.00</b>				
MW OH	US BANK V003824	2013 SUCCESSOR AGENCY TARB	547525-6030 Trustee Fees	AP081224	2,500.00	7409233		00132101	08/15/2024
				<b>Check Total:</b>	<b>2,500.00</b>				
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE 8/3 PD 8/9	0010-2126 Employee PARS/ARS W/H	AP081224	3,047.61	PR2401016		00132102	08/15/2024
MW OH	US BANK PARS #6746022400 V008781	PARS PT EE/ER PE 8/3 PD 8/9	0010-2131 Employer PARS/ARS Payable	AP081224	3,047.61	PR2401016		00132102	08/15/2024

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				<b>Check Total:</b>	<b>6,095.22</b>				
MW OH	YORBA REGIONAL ANIMAL V008472	K9 MEDICAL SERVICES - CHAMP	103041-6148 K9 Expenses	AP081224	299.40	5438701554		00132103	08/15/2024
				<b>Check Total:</b>	<b>299.40</b>				
MW OH	ALCALA, JASON V006564	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP082024	75.00	ALCALA8124		00132135	08/22/2024
				<b>Check Total:</b>	<b>75.00</b>				
MW OH	ALLIANCE BUSINESS V011660	AUG FD INTERNET FIBER LINES	109595-6215 Telephone/Internet	AP082024	1,427.35	3412747		00132136	08/22/2024
				<b>Check Total:</b>	<b>1,427.35</b>				
MW OH	AMAZON CAPITAL SERVICES V012336	COMMUNITY SERV SUPPLIES	104071-6301 Special Department Expenses	AP082024	23.81	1W3L-HV6X-		00132137	08/22/2024
MW OH	AMAZON CAPITAL SERVICES V012336	SUMMER PROGRAMS SUPPLIES	104074-6301 Special Department Expenses	AP082024	347.10	1W3L-HV6X-		00132137	08/22/2024
MW OH	AMAZON CAPITAL SERVICES V012336	ISS SUPPLIES	104072-6301 Special Department Expenses	AP082024	221.51	1W3L-HV6X-		00132137	08/22/2024
MW OH	AMAZON CAPITAL SERVICES V012336	PARK MAINT SUPPLIES	104076-6315 Office Supplies	AP082024	106.43	1W3L-HV6X-		00132137	08/22/2024
				<b>Check Total:</b>	<b>698.85</b>				
MW OH	ARAMARK REFRESHMENT V000081	2999 E LA JOLLA-COFFEE/WATER	109595-6052 Common Area Supplies	AP082024	290.82	105843622		00132138	08/22/2024
MW OH	ARAMARK REFRESHMENT V000081	1530 VALENCIA -COFFEE/WATER	109595-6052 Common Area Supplies	AP082024	266.13	105843623		00132138	08/22/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN-COFFEE/WATER	109595-6052 Common Area Supplies	AP082024	698.97	105843624		00132138	08/22/2024
MW OH	ARAMARK REFRESHMENT V000081	401 E CHAPMAN-COFFEE/WATER	109595-6052 Common Area Supplies	AP082024	548.60	1058436256		00132138	08/22/2024
MW OH	ARAMARK REFRESHMENT	110 S BRADFORD -COFFEE/WATER	109595-6052	AP082024	138.23	105843626		00132138	08/22/2024

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	V000081		Common Area Supplies						
MW OH	ARAMARK REFRESHMENT V000081	120 S BRADFORD -COFFEE/WATER	109595-6052 Common Area Supplies	AP082024	43.81	105843627		00132138	08/22/2024
MW OH	ARAMARK REFRESHMENT V000081	201 S BRADFORD -COFFEE/WATER	109595-6052 Common Area Supplies	AP082024	42.00	9817964		00132138	08/22/2024
<b>Check Total:</b>					<b>2,028.56</b>				
MW OH	AT & T V008736	8/1-31 PD IMPOUND INTERNET	109595-6215 Telephone/Internet	AP082024	63.49	24-AUG		00132139	08/22/2024
MW OH	AT & T V008736	8/2-9/1 CH FIBER LINE	109595-6215 Telephone/Internet	AP082024	151.99	24-AUG A		00132139	08/22/2024
MW OH	AT & T V008736	7/28-8/27 POWELL BLDG INTERNET	109595-6215 Telephone/Internet	AP082024	95.59	24-AUG B		00132139	08/22/2024
MW OH	AT & T V008736	8/8-9/7 IPAD CHARGES	109595-6215 Telephone/Internet	AP082024	571.33	X08152024		00132139	08/22/2024
<b>Check Total:</b>					<b>882.40</b>				
MW OH	AT&T V004144	JUL PHONE CHARGES	109595-6215 Telephone/Internet	AP082024	110.31	080824		00132140	08/22/2024
MW OH	AT&T V004144	JUL PHONE CHARGES	109595-6215 / 21008-6215 Telephone/Internet	AP082024	36.75	080824		00132140	08/22/2024
MW OH	AT&T V004144	JUL PHONE CHARGES	109595-6215 / 21009-6215 Telephone/Internet	AP082024	58.72	080824		00132140	08/22/2024
<b>Check Total:</b>					<b>205.78</b>				
MW OH	AT&T MOBILITY V011025	7/11-8/10 PW INTERNET	109595-6215 Telephone/Internet	AP082024	1,502.55	23629347		00132141	08/22/2024
MW OH	AT&T MOBILITY V011025	7/10-8/10 PW OUTS INTERNET	109595-6215 Telephone/Internet	AP082024	40.24	23629347		00132141	08/22/2024
MW OH	AT&T MOBILITY V011025	7/11-8/10 CS MOBILE SVS	109595-6215 Telephone/Internet	AP082024	400.87	23629347		00132141	08/22/2024

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MW OH	AT&T MOBILITY V011025	7/11-8/10 ADMIN PHONE SVS	109595-6215 Telephone/Internet	AP082024	160.96	23629347		00132141	08/22/2024
<b>Check Total:</b>					<b>2,104.62</b>				
MW OH	BRUCE, SCOT V010907	8/16 EVENT PERFORMER	104079-6301 Special Department Expenses	AP082024	600.00	081224		00132142	08/22/2024
<b>Check Total:</b>					<b>600.00</b>				
MW OH	CAMELOT GOLFLAND V000225	8/23 CAMP GOLFLAND EXCURSION	104071-6270 Excursions	AP082024	684.27	005808		00132143	08/22/2024
<b>Check Total:</b>					<b>684.27</b>				
MW OH	CHARTER COMMUNICATIONS V004450	8/25-8/24 CITY YARD INTERNET	109595-6215 Telephone/Internet	AP082024	149.99	12228860108012		00132144	08/22/2024
MW OH	CHARTER COMMUNICATIONS V004450	8/31-31 GOMEZ CENTER INTERNET	109595-6215 Telephone/Internet	AP082024	1,565.77	18907820107222		00132144	08/22/2024
<b>Check Total:</b>					<b>1,715.76</b>				
MW OH	CITY OF BREA V000125	B. CARDS - RODRIGUEZ, NIEVES,	104071-6230 Printing & Binding	AP082024	48.00	ASR0000353		00132145	08/22/2024
MW OH	CITY OF BREA V000125	B. CARDS - F. PEREZ	104078-6301 Special Department Expenses	AP082024	8.53	ASR0000354		00132145	08/22/2024
<b>Check Total:</b>					<b>56.53</b>				
MW OH	COMMERCIAL AQUATIC V005203	JUL GOMEZ POOL MAINTENANCE	104055-6130 Repair & Maint/Facilities	AP082024	2,600.00	980662	P13505	00132146	08/22/2024
MW OH	COMMERCIAL AQUATIC V005203	JUL WHITTEN POOL MAINTENANCE	104055-6130 Repair & Maint/Facilities	AP082024	2,600.00	980663	P13505	00132146	08/22/2024
<b>Check Total:</b>					<b>5,200.00</b>				
MW OH	CONTRERAS, JOSHUA V011352	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP082024	75.00	CONTRERAS81		00132147	08/22/2024
<b>Check Total:</b>					<b>75.00</b>				
MW OH	COSTAR REALTY	AUG REAL ESTATE/PROP DATA	109595-6999	AP082024	567.00	121116139	P13544	00132148	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V012340		Other Expenditure						
				<b>Check Total:</b>	<b>567.00</b>				
MW OH	DAVIS, COREY V009996	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP082024	68.19	DAVIS81224		00132149	08/22/2024
				<b>Check Total:</b>	<b>68.19</b>				
MW OH	ENVIRONMENTAL MOLD LLDISPATCH - MOLD INSPECTION V012521		103654-6130 Repair & Maint/Facilities	AP082024	1,250.00	07222024		00132150	08/22/2024
				<b>Check Total:</b>	<b>1,250.00</b>				
MW OH	FAIRWAY FORD V000376	JUL PLACENTIA VH REBATE PROGR	101534-6363 Resident Vehicle Rebate Prog	AP082024	2,500.00	JULY 2024		00132151	08/22/2024
				<b>Check Total:</b>	<b>2,500.00</b>				
MW OH	FIESTA IMPERIAL V005035	FOOD - BACKPACK FOR SUCCESS	104072-6301 Special Department Expenses	AP082024	1,305.00	86		00132152	08/22/2024
				<b>Check Total:</b>	<b>1,305.00</b>				
MW OH	FM THOMAS AIR V010634	HVAC REPAIR - WHITTEN CTR	104055-6130 Repair & Maint/Facilities	AP082024	490.87	47045		00132153	08/22/2024
				<b>Check Total:</b>	<b>490.87</b>				
MW OH	GILLIS, JOSEPH V008160	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP082024	322.79	GILLIS8124		00132154	08/22/2024
MW OH	GILLIS, JOSEPH V008160	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP082024	95.44	GILLIS8524		00132154	08/22/2024
				<b>Check Total:</b>	<b>418.23</b>				
MW OH	GOLDEN STATE WATER V000928	JUL WATER CHARGES	109595-6335 Water	AP082024	53,751.67	080824		00132155	08/22/2024
MW OH	GOLDEN STATE WATER V000928	JUL WATER CHARGES	296561-6335 Water	AP082024	20,738.72	080824		00132155	08/22/2024
				<b>Check Total:</b>	<b>74,490.39</b>				

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	GRANICUS INC. V007659	PEAK ONLINE TRAINING	101523-6099 Professional Services	AP082024	4,000.00	187743	P13556	00132156	08/22/2024
					<b>Check Total:</b>	<b>4,000.00</b>			
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP082024	148.45	0016497129-001	P13479	00132157	08/22/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP082024	665.10	0017038039-001	P13479	00132157	08/22/2024
MW OH	IMPERIAL SPRINKLER V006506	SPRINKLER SUPPLIES	104055-6139 Repair/Maint - Parks & Fields	AP082024	645.25	0017155868-001	P13479	00132157	08/22/2024
					<b>Check Total:</b>	<b>1,458.80</b>			
MW OH	IRVINE, JEFFREY V009851	PD TRAINING MEALS, MILEAGE	103041-6250 Staff Training	AP082024	68.19	IRVINE81224		00132158	08/22/2024
					<b>Check Total:</b>	<b>68.19</b>			
MW OH	KIM, JONATHAN V012898	DEPOSIT REFUND	104071-4385 Facility Rental	AP082024	106.00	2004161.002		00132159	08/22/2024
					<b>Check Total:</b>	<b>106.00</b>			
MW OH	LEMUS, SELENA V010756	PD TRAINING MEALS, MILEAGE	213041-6250 Staff Training	AP082024	75.00	SLEMUS8124		00132160	08/22/2024
					<b>Check Total:</b>	<b>75.00</b>			
MW OH	LEXIPOL LLC V003511	FY24/25 FIRE POLICY SUBSCR	103066-6136 Software Maintenance	AP082024	2,151.39	INVLEX1123545		00132161	08/22/2024
					<b>Check Total:</b>	<b>2,151.39</b>			
MW OH	LYNCH EMS V011542	AUG EMERGENCY MEDICAL SVS	101516-6290 Dept. Contract Services	AP082024	91,447.58	24-20401	P13456	00132162	08/22/2024
					<b>Check Total:</b>	<b>91,447.58</b>			
MW OH	MUNOZ, AILEEN V010724	VERONICA'S FAREWELL EXP REIMB	104071-6301 Special Department Expenses	AP082024	172.89	10200207453		00132163	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
				<b>Check Total:</b>	<b>172.89</b>				
MW OH	NEWPORT URGENT CARE INC V012761	JUL PHYSICAL EXAM - D. CASTRO	101512-6099 Professional Services	AP082024	75.00	163006		00132164	08/22/2024
MW OH	NEWPORT URGENT CARE INC V012761	JUL DOT PHYSICAL - N. BUCK	101512-6099 Professional Services	AP082024	75.00	164469		00132164	08/22/2024
				<b>Check Total:</b>	<b>150.00</b>				
MW OH	OMEGA INDUSTRIAL SUPPL V011740	MAINTENANCE SUPPLIES	104055-6130 Repair & Maint/Facilities	AP082024	969.64	158280		00132165	08/22/2024
				<b>Check Total:</b>	<b>969.64</b>				
MW OH	PERMIT MANAGEMENT V009865	REFUND - DUPL PMT LIC#9300078	100000-4101 Business License Fees	AP082024	83.00	081924		00132166	08/22/2024
MW OH	PERMIT MANAGEMENT V009865	REFUND - DUPL PMT LIC#9300078	0044-2032 SB 1186 BL State Fee	AP082024	4.00	081924		00132166	08/22/2024
				<b>Check Total:</b>	<b>87.00</b>				
MW OH	PLACENTIA YORBA LINDA V000794	8/9 DAY CAMP TRANSPOTATION	104071-6270 Excursions	AP082024	507.50	39913		00132167	08/22/2024
				<b>Check Total:</b>	<b>507.50</b>				
MW OH	PLACENTIA YORBA LINDA V000794	ENVELOPES	109595-6315 Office Supplies	AP082024	1,087.50	82UI0049		00132168	08/22/2024
				<b>Check Total:</b>	<b>1,087.50</b>				
MW OH	QUADIENT LEASING USA INC V011416	POSTAGE MACHINE LEASING	109595-6175 Office Equipment Rental	AP082024	1,736.43	Q1431583		00132169	08/22/2024
				<b>Check Total:</b>	<b>1,736.43</b>				
MW OH	RED 88 MEDIA LLC V012180	JUL BROADCASTING SVS	581573-6290 Dept. Contract Services	AP082024	2,728.00	24-1025-0027	P13553	00132170	08/22/2024
				<b>Check Total:</b>	<b>2,728.00</b>				
MW OH	REYES, STEFANIE ACOSTA	APCO CONF - TRAVEL REIMB	101515-6235	AP082024	617.21	082024		00132171	08/22/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V011470		Travel						
				<b>Check Total:</b>	<b>617.21</b>				
MW OH	SAN BERNARDINO COUNTY PD - DRIVING PSP REGISTRATION V005772		103041-6250 Staff Training	AP082024	100.00	SBSD81924		00132172	08/22/2024
				<b>Check Total:</b>	<b>100.00</b>				
MW OH	SERRATO, LILIANA V012899	ROOFING BOND REFUND 30-24-2033	0044-2033 Construction & Demo Deposit	AP082024	100.00	B24-1692		00132173	08/22/2024
				<b>Check Total:</b>	<b>100.00</b>				
MW OH	SO CAL GAS V000909	JUL GAS CHARGES	109595-6340 Natural Gas	AP082024	190.79	080824		00132174	08/22/2024
				<b>Check Total:</b>	<b>190.79</b>				
MW OH	SOUTHERN CALIFORNIA V000910	JUL ELECTRICAL CHARGES	109595-6330 Electricity	AP082024	59,672.11	080824		00132175	08/22/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUL ELECTRICAL CHARGES	109595-6330 / 21009-6330 Electricity	AP082024	93.51	080824		00132175	08/22/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUL ELECTRICAL CHARGES	109595-6330 / 21010-6330 Electricity	AP082024	621.44	080824		00132175	08/22/2024
MW OH	SOUTHERN CALIFORNIA V000910	JUL ELECTRICAL CHARGES	286560-6330 Electricity	AP082024	21,797.16	080824		00132175	08/22/2024
				<b>Check Total:</b>	<b>82,184.22</b>				
MW OH	SOUTHERN CALIFORNIA V009955	JUL NEWSPAPER PUBLICATIONS	374386-6099 Professional Services	AP082024	280.48	596796		00132176	08/22/2024
				<b>Check Total:</b>	<b>280.48</b>				
MW OH	T-MOBILE V004339	7/1-30 IPADS INTERNET	109595-6215 Telephone/Internet	AP082024	622.24	JULY 2024		00132177	08/22/2024
				<b>Check Total:</b>	<b>622.24</b>				
MW OH	THINKSUPPLIES.COM	PAPER	109595-6315	AP082024	163.09	70652		00132178	08/22/2024

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**Check Register**  
**For 08/27/2024**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
	V007047		Office Supplies						
				<b>Check Total:</b>	<b>163.09</b>				
MW OH	TOWNSEND PUBLIC AFFAIRS	AUG CONSULTING SVS	101001-6001	AP082024	6,000.00	22058	P13459	00132179	08/22/2024
	V004165		Management Consulting Services						
				<b>Check Total:</b>	<b>6,000.00</b>				
MW OH	TURBO DATA SYSTEMS INC	PARKING CITATION ENVELOPES	103047-6301	AP082024	815.63	TURBO81524		00132180	08/22/2024
	V001238		Special Department Expenses						
				<b>Check Total:</b>	<b>815.63</b>				
MW OH	WELLS FARGO VENDOR FIN	8/15-9/14 PRINTER/COPIER SVS	109595-6175	AP082024	188.36	5030793064	P13474	00132181	08/22/2024
	V010076		Office Equipment Rental						
MW OH	WELLS FARGO VENDOR FIN	8/15-9/14 PRINTER/COPIER SVS	109595-6175	AP082024	255.57	5030793065	P13474	00132181	08/22/2024
	V010076		Office Equipment Rental						
MW OH	WELLS FARGO VENDOR FIN	8/15-9/14 PRINTER/COPIER SVS	109595-6175	AP082024	70.69	5030793066	P13474	00132181	08/22/2024
	V010076		Office Equipment Rental						
MW OH	WELLS FARGO VENDOR FIN	8/15-9/14 PRINTER/COPIER SVS	109595-6175	AP082024	79.39	5030793067	P13474	00132181	08/22/2024
	V010076		Office Equipment Rental						
MW OH	WELLS FARGO VENDOR FIN	8/15-9/14 PRINTER/COPIER SVS	109595-6175	AP082024	219.89	5030793068	P13474	00132181	08/22/2024
	V010076		Office Equipment Rental						
MW OH	WELLS FARGO VENDOR FIN	8/15-9/24 PRINTER/COPIER SVS	109595-6175	AP082024	5,529.91	5030793069	P13474	00132181	08/22/2024
	V010076		Office Equipment Rental						
				<b>Check Total:</b>	<b>6,343.81</b>				
				<b>Type Total:</b>	<b>1,551,264.21</b>				
				<b>Check Total:</b>	<b>1,551,264.21</b>				

**City of Placentia**  
**ACH Check Register**  
For 09/03/2024

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
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Grand Total: 1,865,943.88

Check Totals by ID

AP	1,865,943.88
EP	0.00
IP	0.00
OP	0.00

Void Total: 0.00

Check Total: 1,865,943.88

Fund Name

Check Totals by Fund

101-General Fund (0010)	618,620.39
208-Sccssr Agncy Ret Oblg (0054)	164,190.59
231-Placentia Reg Nav Cent(0078)	407.04
265-Landscape Maintenance (0029)	93.30
275-Sewer Maintenance (0048)	288.64
401-City Capital Projects (0033)	312.83
501-Refuse Administration (0037)	323.41
601-Employee Health & Wlfre (0039)	1,078,759.56
605-Risk Management (0040)	2,948.12

Check Total: 1,865,943.88

ACH Payroll Direct Deposit for 07/12/2024:	735,183.24
ACH Payroll Direct Deposit for 07/26/2024:	736,691.91
ACH Payroll Direct Deposit for 08/09//2024:	683,690.46
ACH Payroll Direct Deposit for 08/23//2024:	705,145.21

Electronic Disbursement Total: 4,726,554.70

Funds will be transferred from the Cash Basis Fund as needed to fund the warrants included on this warrant register

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**Check Register**  
**For 08/28/2024**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	PRINCIPAL LIFE V008141	JUL DENTAL INS PREMIUM	395000-4720 ISF Dental Ins Reimbursement	ACH073124	1,435.50	07012024		00131915	08/01/2024
MW OH	PRINCIPAL LIFE V008141	JUL DENTAL INS PREMIUM	395083-5162 Dental Insurance Premiums	ACH073124	792.00	07012024		00131915	08/01/2024
<b>Check Total:</b>					<b>2,227.50</b>				
MW OH	US BANK ST PAUL V010025	2013 TARB SUCCESSOR AGENCY	0054-1150 Cash w/Fiscal Agent	ACH073124	164,148.28	2599747		00131916	08/01/2024
<b>Check Total:</b>					<b>164,148.28</b>				
MW OH	CALIFORNIA DENTAL V008102	AUG CA NETWORK DENTAL	395000-4720 ISF Dental Ins Reimbursement	ACH080624	1,335.48	AUG 2024		00132036	08/08/2024
MW OH	CALIFORNIA DENTAL V008102	AUG CA NETWORK DENTAL	395083-5162 Dental Insurance Premiums	ACH080624	132.63	AUG 2024		00132036	08/08/2024
MW OH	CALIFORNIA DENTAL V008102	JUL CA NETWORK DENTAL	395083-5162 Dental Insurance Premiums	ACH080624	132.63	JULY 2024		00132036	08/08/2024
MW OH	CALIFORNIA DENTAL V008102	JUL CA NETWORK DENTAL	395000-4720 ISF Dental Ins Reimbursement	ACH080624	842.15	JULY 2024		00132036	08/08/2024
<b>Check Total:</b>					<b>2,442.89</b>				
MW OH	PRINCIPAL FINANCIAL V000844	AUG LIFE INSURANCE	109595-5110 Life Ins Allocation	ACH080624	971.90	124126459000-		00132037	08/08/2024
MW OH	PRINCIPAL FINANCIAL V000844	AUG LIFE INSURANCE	395083-5163 Life Insurance Premiums	ACH080624	390.40	124126459000-		00132037	08/08/2024
<b>Check Total:</b>					<b>1,362.30</b>				
MW OH	THE HARTFORD V012278	JUL SHORT TERM DIS INSURANCE	109595-5169 STD Ins Premium	ACH080624	4,189.41	120552896885		00132038	08/08/2024
MW OH	THE HARTFORD V012278	JUL LTD INSURANCE	109595-5169 STD Ins Premium	ACH080624	6,842.11	120552896885		00132038	08/08/2024
MW OH	THE HARTFORD V012278	JUL LIFE INSURANCE	109595-5163 Life Insurance Premiums	ACH080624	4,598.08	120552896885		00132038	08/08/2024

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**Check Register**  
**For 08/28/2024**

Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
				Check Total:	15,629.60				
				Type Total:	185,810.57				
				Check Total:	185,810.57				

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	REDIFER, KIM R E000022	JUL MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETJUL24B	873.00	JUL24B		00018860	07/18/2024
				<b>Check Total:</b>	<b>873.00</b>				
MW OH	PLACENTIA FIREFIGHTERS V011878	PPFA PE7/6 PD7/12	0010-2189 Fire Association Dues	EFT071624	900.00	PR2401014		00018861	07/18/2024
				<b>Check Total:</b>	<b>900.00</b>				
MW OH	PLACENTIA POLICE V000839	PPFMA PE7/6 PD7/12	0010-2180 Police Mgmt Assn Dues	EFT071624	1,402.93	PR2401014		00018862	07/18/2024
				<b>Check Total:</b>	<b>1,402.93</b>				
MW OH	PLACENTIA POLICE V003519	PPOA PE7/6 PD7/12	0010-2178 Placentia Police Assoc Dues	EFT071624	3,165.35	PR2401014		00018863	07/18/2024
MW OH	PLACENTIA POLICE V003519	PPOA PE7/6 PD7/12	0078-2178 Placentia Police Assoc Dues	EFT071624	9.47	PR2401014		00018863	07/18/2024
				<b>Check Total:</b>	<b>3,174.82</b>				
MW OH	CALIFORNIA PUBLIC V006234	JUL MEDICAL INSURANCE	395000-4715 ISF Health Ins Reimbursement	ACH071824	225,805.45	10000001757586		00018864	07/18/2024
MW OH	CALIFORNIA PUBLIC V006234	JUL MEDICAL INSURANCE	395083-5161 Health Insurance Premiums	ACH071824	15,530.63	10000001757586		00018864	07/18/2024
MW OH	CALIFORNIA PUBLIC V006234	JUL NON-PERS MEDICAL INS	395000-4715 ISF Health Ins Reimbursement	ACH071824	41,437.14	10000001757586		00018864	07/18/2024
MW OH	CALIFORNIA PUBLIC V006234	AUG FIRE UAL PMT	105525-6916 CalPERS-Fire Term Interest	ACH071824	459.35	AUGUST-24		00018864	07/18/2024
MW OH	CALIFORNIA PUBLIC V006234	AUG FIRE UAL PMT	105525-6906 CalPERS-Fire Term. Principal	ACH071824	31,204.61	AUGUST-24		00018864	07/18/2024
MW OH	CALIFORNIA PUBLIC V006234	JUL FIRE UAL PMT	105525-6906 CalPERS-Fire Term. Principal	ACH071824	31,153.99	JULY-24		00018864	07/18/2024
MW OH	CALIFORNIA PUBLIC V006234	JUL FIRE UAL PMT	105525-6916 CalPERS-Fire Term Interest	ACH071824	509.97	JULY-24		00018864	07/18/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MMW OH	WASHINGTON STATE V011597	WA CHILD SUPP PE7/6 PD7/12	0010-2196 Garnishments W/H	Check Total: ACH071824	346,101.14	823.09	PR2401014	00018865	07/18/2024
MMW OH	CALIFORNIA STATE V004813	CA CHILD SUPP PE7/6 PD7/12	0010-2196 Garnishments W/H	Check Total: ACH071824	823.09	1,812.44	V004813	00018866	07/18/2024
MMW OH	EMPLOYMENT V010052	CA TAX 07.11.21 DA PTO BB	0010-2135 Calif Income Tax W/H	Check Total: ACH071824	1,812.44	2,133.74	2024.07.11 DA	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0010-2135 Calif Income Tax W/H	ACH071824	46,457.18		PR2401014	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0037-2135 Calif Income Tax W/H	ACH071824	31.65		PR2401014	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0040-2135 Calif Income Tax W/H	ACH071824	451.47		PR2401014	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0029-2135 Calif Income Tax W/H	ACH071824	3.73		PR2401014	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0033-2135 Calif Income Tax W/H	ACH071824	34.71		PR2401014	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0078-2135 Calif Income Tax W/H	ACH071824	36.43		PR2401014	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0054-2135 Calif Income Tax W/H	ACH071824	7.70		PR2401014	00018867	07/18/2024
MMW OH	EMPLOYMENT V010052	CA W/H PE7/6 PD7/12	0048-2135 Calif Income Tax W/H	ACH071824	30.14		PR2401014	00018867	07/18/2024
MMW OH	INTERNAL REVENUE V010054	FED TAX 07.11.21 DA PTO BB	0010-2110 Federal Income Tax W/H	Check Total: ACH071824	49,186.75	5,547.72	2024.07.11 DA	00018868	07/18/2024

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Type	Vendor Name/ID	Description	Account/Description	Batch ID	Amount	Invoice#	PO #	Check #	Check Date
MW OH	INTERNAL REVENUE V010054	FED TAX 07.11.21 DA PTO BB	0010-2115 Employee Medicare W/H	ACH071824	501.43	2024.07.11 DA		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0010-2120 Employer Medicare Payable	ACH071824	309.39	2024.07.11 DA		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0010-2120 Employer Medicare Payable	ACH071824	15,121.66	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0029-2120 Employer Medicare Payable	ACH071824	1.19	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0033-2120 Employer Medicare Payable	ACH071824	7.33	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0054-2120 Employer Medicare Payable	ACH071824	2.34	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0010-2115 Employee Medicare W/H	ACH071824	15,243.17	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0054-2115 Employee Medicare W/H	ACH071824	2.52	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0037-2115 Employee Medicare W/H	ACH071824	8.02	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0033-2115 Employee Medicare W/H	ACH071824	7.33	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0029-2115 Employee Medicare W/H	ACH071824	1.19	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0010-2110 Federal Income Tax W/H	ACH071824	114,060.11	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0037-2110 Federal Income Tax W/H	ACH071824	75.58	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0040-2110 Federal Income Tax W/H	ACH071824	706.31	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE	FED TAX PE7/6 PD7/12	0048-2110	ACH071824	73.46	PR2401014		00018868	07/18/2024

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	V010054		Federal Income Tax W/H						
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0048-2115 Employee Medicare W/H	ACH071824	8.84	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0040-2115 Employee Medicare W/H	ACH071824	100.21	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0078-2110 Federal Income Tax W/H	ACH071824	123.86	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0054-2110 Federal Income Tax W/H	ACH071824	21.35	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0029-2110 Federal Income Tax W/H	ACH071824	5.04	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0033-2110 Federal Income Tax W/H	ACH071824	105.40	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0078-2115 Employee Medicare W/H	ACH071824	9.54	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0078-2120 Employer Medicare Payable	ACH071824	9.54	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0037-2120 Employer Medicare Payable	ACH071824	7.71	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0048-2120 Employer Medicare Payable	ACH071824	8.62	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0040-2120 Employer Medicare Payable	ACH071824	100.21	PR2401014		00018868	07/18/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/6 PD7/12	0010-2125 Employee Social Sec W/H	ACH071824	37.00	PR2401014		00018868	07/18/2024
				<b>Check Total:</b>	<b>152,206.07</b>				
MW OH	MISSION SQUARE 100091 V012393	401A PE7/6 PD7/12	0010-2170 Deferred Comp Payable - ICMA	ACH071824	10,204.31	PR2401014		00018869	07/18/2024

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<b>Check Total:</b>					<b>10,204.31</b>				
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0029-2170 Deferred Comp Payable - ICMA	ACH071824	0.86	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0048-2170 Deferred Comp Payable - ICMA	ACH071824	11.47	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0010-2170 Deferred Comp Payable - ICMA	ACH071824	40,319.04	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0054-2170 Deferred Comp Payable - ICMA	ACH071824	5.51	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0078-2170 Deferred Comp Payable - ICMA	ACH071824	5.20	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0033-2170 Deferred Comp Payable - ICMA	ACH071824	0.03	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0037-2170 Deferred Comp Payable - ICMA	ACH071824	13.26	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	EE/ER/EE LOANS PE7/6 PD7/12	0040-2170 Deferred Comp Payable - ICMA	ACH071824	300.00	301387-PY2414		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	401A PE7/6 PD7/12	0037-2170 Deferred Comp Payable - ICMA	ACH071824	22.27	PR2401014		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	401A PE7/6 PD7/12	0054-2170 Deferred Comp Payable - ICMA	ACH071824	2.84	PR2401014		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	401A PE7/6 PD7/12	0029-2170 Deferred Comp Payable - ICMA	ACH071824	1.05	PR2401014		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	401A PE7/6 PD7/12	0010-2170 Deferred Comp Payable - ICMA	ACH071824	3,222.75	PR2401014		00018870	07/18/2024
MW OH	MISSION SQUARE 301387 V012394	401A PE7/6 PD7/12	0048-2170 Deferred Comp Payable - ICMA	ACH071824	8.30	PR2401014		00018870	07/18/2024
<b>Check Total:</b>					<b>43,912.58</b>				
MW OH	ALDWIR, MAMOUN	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	870.44	AUG-24		00018871	07/31/2024

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	E000113		Health Insurance Premiums						
				<b>Check Total:</b>	<b>870.44</b>				
MW OH	ANDERSON, MARLA E000071	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018872	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	ARMSTRONG, JOHN T E000046	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,137.00	AUG-24		00018873	07/31/2024
				<b>Check Total:</b>	<b>1,137.00</b>				
MW OH	AUDISS, JAY SCOTT E000125	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	2,256.00	AUG-24		00018874	07/31/2024
				<b>Check Total:</b>	<b>2,256.00</b>				
MW OH	BABCOCK, CHARLES A E000015	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	308.00	AUG-24		00018875	07/31/2024
				<b>Check Total:</b>	<b>308.00</b>				
MW OH	BEALS, SHARLENE E000076	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018876	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	BERMUDEZ, ALBERT E000124	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	547.69	AUG-24		00018877	07/31/2024
				<b>Check Total:</b>	<b>547.69</b>				
MW OH	BUNNELL, DONALD E000062	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018878	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	BURGNER, ARTHUR E000074	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018879	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	BUSSE, MICHAEL	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	1,612.85	AUG-24		00018880	07/31/2024

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	E000131		Health Insurance Premiums						
				<b>Check Total:</b>	<b>1,612.85</b>				
MW OH	CHANDLER, JOHN P E000109	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,879.80	AUG-24		00018881	07/31/2024
				<b>Check Total:</b>	<b>1,879.80</b>				
MW OH	CHANG, ROBERT E000107	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,282.00	AUG-24		00018882	07/31/2024
				<b>Check Total:</b>	<b>1,282.00</b>				
MW OH	COBBETT, GEOFFREY E000007	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018883	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	COOK, ARLENE M E000018	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018884	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	D'AMATO, ROBERT E000056	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018885	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	DAVID, PRESTON E000112	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018886	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	DAVIS, CAROLYN E000005	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018887	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	DEAN, ANDREW E000135	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,815.00	AUG-24		00018888	07/31/2024
				<b>Check Total:</b>	<b>1,815.00</b>				
MW OH	DELOS SANTOS, JAMIE	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	229.55	AUG-24		00018889	07/31/2024

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	E000045		Health Insurance Premiums						
				<b>Check Total:</b>	<b>229.55</b>				
MW OH	DICKSON, ROBERTA JO E000011	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018890	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	DOWNEY, CAROL E000082	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018891	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	ECKENRODE, NORMAN E000029	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018892	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	ESCOBOSA, LILLIAN E000055	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	291.15	AUG-24		00018893	07/31/2024
				<b>Check Total:</b>	<b>291.15</b>				
MW OH	ESPINOZA, ROSALINDA E000016	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	565.00	AUG-24		00018894	07/31/2024
				<b>Check Total:</b>	<b>565.00</b>				
MW OH	FRICKE, JUERGEN E000075	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	873.00	AUG-24		00018895	07/31/2024
				<b>Check Total:</b>	<b>873.00</b>				
MW OH	FULLER, GLENN H E000081	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	873.00	AUG-24		00018896	07/31/2024
				<b>Check Total:</b>	<b>873.00</b>				
MW OH	GALLANT, KAREN E000008	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018897	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	GARNER, JO ANN	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	185.39	AUG-24		00018898	07/31/2024

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	E000047		Health Insurance Premiums						
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	GARNER, KITTY E000080	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	870.44	AUG-24		00018899	07/31/2024
				<b>Check Total:</b>	<b>870.44</b>				
MW OH	GRIMM, DENNIS L E000042	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	308.00	AUG-24		00018900	07/31/2024
				<b>Check Total:</b>	<b>308.00</b>				
MW OH	HOLTSCRAW, KATHERINE E000121	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	565.00	AUG-24		00018901	07/31/2024
				<b>Check Total:</b>	<b>565.00</b>				
MW OH	IRVINE, SUZETTE E000019	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018902	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	JENKINS, ROBERT E000084	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	739.30	AUG-24		00018903	07/31/2024
				<b>Check Total:</b>	<b>739.30</b>				
MW OH	JOHNSON, SHARON E000099	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018904	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	JONES, ROBERT E000053	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	184.72	AUG-24		00018905	07/31/2024
				<b>Check Total:</b>	<b>184.72</b>				
MW OH	JUAREZ, JANET E000134	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	184.72	AUG-24		00018906	07/31/2024
				<b>Check Total:</b>	<b>184.72</b>				
MW OH	JUDD, TERRELL	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	870.44	AUG-24		00018907	07/31/2024

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	E000115		Health Insurance Premiums						
				<b>Check Total:</b>	<b>870.44</b>				
MW OH	KIRKLAND, RICHARD L E000110	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	184.72	AUG-24		00018908	07/31/2024
				<b>Check Total:</b>	<b>184.72</b>				
MW OH	LITTLE, DIANE M E000098	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	291.15	AUG-24		00018909	07/31/2024
				<b>Check Total:</b>	<b>291.15</b>				
MW OH	LOOMIS, CORINNE E000122	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	565.00	AUG-24		00018910	07/31/2024
				<b>Check Total:</b>	<b>565.00</b>				
MW OH	LOWREY, B J E000041	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	308.00	AUG-24		00018911	07/31/2024
				<b>Check Total:</b>	<b>308.00</b>				
MW OH	MAERTZWEILER, MICHAEL E000032	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018912	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	MILANO, JAMES E000054	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018913	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	MILLER, RICHARD E000106	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	308.00	AUG-24		00018914	07/31/2024
				<b>Check Total:</b>	<b>308.00</b>				
MW OH	NAJERA, JOSEPH D. E000136	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	565.00	AUG-24		00018915	07/31/2024
				<b>Check Total:</b>	<b>565.00</b>				
MW OH	OLEA, ARLENE J	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	527.78	AUG-24		00018916	07/31/2024

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	E000014		Health Insurance Premiums						
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	PALMER, GEORGE E000094	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	873.00	AUG-24		00018917	07/31/2024
				<b>Check Total:</b>	<b>873.00</b>				
MW OH	PASCARELLA, RICHARD E000129	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	2,095.45	AUG-24		00018918	07/31/2024
				<b>Check Total:</b>	<b>2,095.45</b>				
MW OH	PASCUA, RAYNALD E000114	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,720.00	AUG-24		00018919	07/31/2024
				<b>Check Total:</b>	<b>1,720.00</b>				
MW OH	PASPALL, MIHAJLO E000085	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	526.44	AUG-24		00018920	07/31/2024
				<b>Check Total:</b>	<b>526.44</b>				
MW OH	PEREZ, ROBERT E000111	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	184.72	AUG-24		00018921	07/31/2024
				<b>Check Total:</b>	<b>184.72</b>				
MW OH	PICHON, WALTER E000103	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	291.15	AUG-24		00018922	07/31/2024
				<b>Check Total:</b>	<b>291.15</b>				
MW OH	PINEDA, MATEO E000127	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	492.58	AUG-24		00018923	07/31/2024
				<b>Check Total:</b>	<b>492.58</b>				
MW OH	PISCHEL, STEPHEN E000130	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	870.44	AUG-24		00018924	07/31/2024
				<b>Check Total:</b>	<b>870.44</b>				
MW OH	POINT, ERIC	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	2,256.00	AUG-24		00018925	07/31/2024

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	E000133		Health Insurance Premiums						
				<b>Check Total:</b>	<b>2,256.00</b>				
MW OH	REDIFER, KIM R E000022	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	873.00	AUG-24		00018926	07/31/2024
				<b>Check Total:</b>	<b>873.00</b>				
MW OH	RENDEN, BRIAN E000083	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	526.44	AUG-24		00018927	07/31/2024
				<b>Check Total:</b>	<b>526.44</b>				
MW OH	REYES, ROGER T E000024	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018928	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	REYNOLDS, MATTHEW E000132	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	565.00	AUG-24		00018929	07/31/2024
				<b>Check Total:</b>	<b>565.00</b>				
MW OH	RICE, RUSSELL J E000059	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,385.00	AUG-24		00018930	07/31/2024
				<b>Check Total:</b>	<b>1,385.00</b>				
MW OH	RIVERA, AIDA E000026	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018931	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	ROACH, MICHAEL E000105	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,879.80	AUG-24		00018932	07/31/2024
				<b>Check Total:</b>	<b>1,879.80</b>				
MW OH	ROBB, SANDRA E000043	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018933	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	ROSE, RICHARD D	AUG MEDICAL REIMBURSEMENT	395083-5161	RETAUG24	870.44	AUG-24		00018934	07/31/2024

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	E000050		Health Insurance Premiums						
				<b>Check Total:</b>	<b>870.44</b>				
MW OH	RUIZ, ARNULFO E000138	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,287.00	AUG-24		00018935	07/31/2024
				<b>Check Total:</b>	<b>1,287.00</b>				
MW OH	SALE, LEE R E000031	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018936	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	SANCHEZ, LAURA E000058	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018937	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	SCHLIEDER, BEVERLY E000120	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	870.44	AUG-24		00018938	07/31/2024
				<b>Check Total:</b>	<b>870.44</b>				
MW OH	SMITH, WARD E000128	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	284.75	AUG-24		00018939	07/31/2024
MW OH	SMITH, WARD E000128	JUL MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	284.75	AUG-24		00018939	07/31/2024
MW OH	SMITH, WARD E000128	JUN MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	284.75	AUG-24		00018939	07/31/2024
				<b>Check Total:</b>	<b>854.25</b>				
MW OH	SOTO, PHILIP J E000052	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018940	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	SPRAGUE, GARY A E000064	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,381.00	AUG-24		00018941	07/31/2024
				<b>Check Total:</b>	<b>1,381.00</b>				

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MW OH	STEPHEN, JEFFREY E000119	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	870.44	AUG-24		00018942	07/31/2024
				<b>Check Total:</b>	<b>870.44</b>				
MW OH	TAYLOR, DAVID M E000088	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	578.00	AUG-24		00018943	07/31/2024
				<b>Check Total:</b>	<b>578.00</b>				
MW OH	TAYLOR, LINDA E000126	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	565.00	AUG-24		00018944	07/31/2024
				<b>Check Total:</b>	<b>565.00</b>				
MW OH	THOMANN, DARYLL L E000101	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018945	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				
MW OH	TRIFOS, WILLIAM E000104	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	873.00	AUG-24		00018946	07/31/2024
				<b>Check Total:</b>	<b>873.00</b>				
MW OH	VALENTINE, THOMAS E000118	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,879.80	AUG-24		00018947	07/31/2024
				<b>Check Total:</b>	<b>1,879.80</b>				
MW OH	VERSTYNEN, WILLIAM E000092	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	184.72	AUG-24		00018948	07/31/2024
				<b>Check Total:</b>	<b>184.72</b>				
MW OH	WAHL, KATHLEEN A E000030	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	185.39	AUG-24		00018949	07/31/2024
				<b>Check Total:</b>	<b>185.39</b>				
MW OH	WIEST, STEPHEN E000079	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	527.78	AUG-24		00018950	07/31/2024
				<b>Check Total:</b>	<b>527.78</b>				

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MW OH	WORDEN, LARRY M E000116	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	578.00	AUG-24		00018951	07/31/2024
					<b>Check Total:</b>	<b>578.00</b>			
MW OH	YAMAGUCHI, BRIAN E000123	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	1,174.90	AUG-24		00018952	07/31/2024
					<b>Check Total:</b>	<b>1,174.90</b>			
MW OH	ZINN, JOHN E000009	AUG MEDICAL REIMBURSEMENT	395083-5161 Health Insurance Premiums	RETAUG24	408.00	AUG-24		00018953	07/31/2024
					<b>Check Total:</b>	<b>408.00</b>			
MW OH	PLACENTIA FIREFIGHTERS V011878	PPFA PE 7/20 PD 7/26	0010-2189 Fire Association Dues	PY2401015	900.00	PR2401015		00018954	08/01/2024
					<b>Check Total:</b>	<b>900.00</b>			
MW OH	PLACENTIA POLICE V000839	PPFMA PE 7/20 PD 7/26	0010-2180 Police Mgmt Assn Dues	PY2401015	1,402.93	PR2401015		00018955	08/01/2024
					<b>Check Total:</b>	<b>1,402.93</b>			
MW OH	PLACENTIA POLICE V003519	PPOA PE 7/20 PD 7/26	0010-2178 Placentia Police Assoc Dues	PY2401015	3,164.90	PR2401015		00018956	08/01/2024
MW OH	PLACENTIA POLICE V003519	PPOA PE 7/20 PD 7/26	0078-2178 Placentia Police Assoc Dues	PY2401015	9.92	PR2401015		00018956	08/01/2024
					<b>Check Total:</b>	<b>3,174.82</b>			
MW OH	CALIFORNIA PUBLIC V006234	AUG MED INS PREMIUM	395000-4715 ISF Health Ins Reimbursement	ACH073124	217,438.90	10000001761329		00018957	08/01/2024
MW OH	CALIFORNIA PUBLIC V006234	AUG MED INS PREMIUM	395083-5161 Health Insurance Premiums	ACH073124	16,251.27	10000001761329		00018957	08/01/2024
MW OH	CALIFORNIA PUBLIC V006234	AUG NON-PERS MED INS	395000-4715 ISF Health Ins Reimbursement	ACH073124	42,191.26	10000001761329		00018957	08/01/2024
					<b>Check Total:</b>	<b>275,881.43</b>			
MW OH	WASHINGTON STATE	WA CHILD SUPP PE7/20 PD7/26	0010-2196	ACH073124	823.09	PR2401015		00018958	08/01/2024

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	V011597		Garnishments W/H						
				<b>Check Total:</b>	<b>823.09</b>				
MW OH	CALIFORNIA STATE V004813	CA CHILD SUPP PE7/20 PD7/26	0010-2196 Garnishments W/H	ACH073124	1,812.44	PR2401015		00018959	08/01/2024
				<b>Check Total:</b>	<b>1,812.44</b>				
MW OH	CALPERS V003986	24/25 UAL PAYMENT	395000-5144 Employer CalPERS UAL	ACH073124	13,441.00	10000001758870		00018960	08/01/2024
MW OH	CALPERS V003986	24/25 UAL PAYMENT	395000-5144 Employer CalPERS UAL	ACH073124	134,671.00	10000001758910		00018960	08/01/2024
MW OH	CALPERS V003986	24/25 UAL PAYMENT	395000-5144 Employer CalPERS UAL	ACH073124	280,470.00	10000001758911		00018960	08/01/2024
MW OH	CALPERS V003986	24/25 UAL PAYMENT	395000-5144 Employer CalPERS UAL	ACH073124	5,649.00	10000001758912		00018960	08/01/2024
MW OH	CALPERS V003986	24/25 UAL PAYMENT	395000-5144 Employer CalPERS UAL	ACH073124	12,338.00	10000001758913		00018960	08/01/2024
				<b>Check Total:</b>	<b>446,569.00</b>				
MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0048-2135 Calif Income Tax W/H	ACH073124	30.38	PR2401015		00018961	08/01/2024
MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0029-2135 Calif Income Tax W/H	ACH073124	30.52	PR2401015		00018961	08/01/2024
MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0010-2135 Calif Income Tax W/H	ACH073124	45,449.02	PR2401015		00018961	08/01/2024
MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0033-2135 Calif Income Tax W/H	ACH073124	35.41	PR2401015		00018961	08/01/2024
MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0078-2135 Calif Income Tax W/H	ACH073124	38.04	PR2401015		00018961	08/01/2024
MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0040-2135 Calif Income Tax W/H	ACH073124	344.08	PR2401015		00018961	08/01/2024

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MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0037-2135 Calif Income Tax W/H	ACH073124	27.95	PR2401015		00018961	08/01/2024
MW OH	EMPLOYMENT V010052	PE7/20 PD7/26	0010-2135 Calif Income Tax W/H	ACH073124	18.50	PR2401016		00018961	08/01/2024
<b>Check Total:</b>					<b>45,973.90</b>				
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0037-2120 Employer Medicare Payable	ACH073124	7.88	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0040-2120 Employer Medicare Payable	ACH073124	85.24	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0048-2120 Employer Medicare Payable	ACH073124	9.80	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0078-2115 Employee Medicare W/H	ACH073124	10.02	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0029-2110 Federal Income Tax W/H	ACH073124	30.21	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0033-2110 Federal Income Tax W/H	ACH073124	107.57	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0078-2110 Federal Income Tax W/H	ACH073124	129.59	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0048-2110 Federal Income Tax W/H	ACH073124	70.06	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0040-2115 Employee Medicare W/H	ACH073124	85.24	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0037-2115 Employee Medicare W/H	ACH073124	8.19	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0037-2110 Federal Income Tax W/H	ACH073124	67.58	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0040-2110 Federal Income Tax W/H	ACH073124	475.36	PR2401015		00018962	08/01/2024

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MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0010-2110 Federal Income Tax W/H	ACH073124	120,888.56	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0010-2115 Employee Medicare W/H	ACH073124	15,539.01	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0033-2115 Employee Medicare W/H	ACH073124	7.51	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0029-2115 Employee Medicare W/H	ACH073124	7.91	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0048-2115 Employee Medicare W/H	ACH073124	10.02	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0078-2120 Employer Medicare Payable	ACH073124	10.02	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0010-2120 Employer Medicare Payable	ACH073124	15,425.37	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0029-2120 Employer Medicare Payable	ACH073124	7.91	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/20 PD7/26	0033-2120 Employer Medicare Payable	ACH073124	7.51	PR2401015		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/22 PD7/22	0010-2120 Employer Medicare Payable	ACH073124	17.85	PR2401016		00018962	08/01/2024
MW OH	INTERNAL REVENUE V010054	FED TAX PE7/22 PD7/22	0010-2115 Employee Medicare W/H	ACH073124	17.85	PR2401016		00018962	08/01/2024
<b>Check Total:</b>					<b>153,026.26</b>				
MW OH	MISSION SQUARE 100091 V012393	401A PE7/20 PD7/26	0010-2170 Deferred Comp Payable - ICMA	ACH073124	11,041.21	PR2401015		00018963	08/01/2024
MW OH	MISSION SQUARE 100091 V012393	401A #100417 PE7/20 PD7/26	0010-2170 Deferred Comp Payable - ICMA	ACH073124	3,323.53	PR2401015B		00018963	08/01/2024
MW OH	MISSION SQUARE 100091 V012393	401A #100417 PE7/20 PD7/26	0029-2170 Deferred Comp Payable - ICMA	ACH073124	1.29	PR2401015B		00018963	08/01/2024

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MW OH	MISSION SQUARE 100091 V012393	401A #100417 PE7/20 PD7/26	0048-2170 Deferred Comp Payable - ICMA	ACH073124	10.20	PR2401015B		00018963	08/01/2024
MW OH	MISSION SQUARE 100091 V012393	401A #100417 PE7/20 PD7/26	0037-2170 Deferred Comp Payable - ICMA	ACH073124	27.64	PR2401015B		00018963	08/01/2024
<b>Check Total:</b>					<b>14,403.87</b>				
MW OH	MISSION SQUARE 301387 V012394	301387 EE/ER CONTR PE7/20 PD7/	0033-2170 Deferred Comp Payable - ICMA	ACH073124	0.03	301387-PY2415		00018964	08/01/2024
MW OH	MISSION SQUARE 301387 V012394	301387 EE/ER CONTR PE7/20 PD7/	0037-2170 Deferred Comp Payable - ICMA	ACH073124	25.68	301387-PY2415		00018964	08/01/2024
MW OH	MISSION SQUARE 301387 V012394	301387 EE/ER CONTR PE7/20 PD7/	0040-2170 Deferred Comp Payable - ICMA	ACH073124	300.00	301387-PY2415		00018964	08/01/2024
MW OH	MISSION SQUARE 301387 V012394	301387 EE/ER CONTR PE7/20 PD7/	0048-2170 Deferred Comp Payable - ICMA	ACH073124	16.64	301387-PY2415		00018964	08/01/2024
MW OH	MISSION SQUARE 301387 V012394	301387 EE/ER CONTR PE7/20 PD7/	0078-2170 Deferred Comp Payable - ICMA	ACH073124	5.49	301387-PY2415		00018964	08/01/2024
MW OH	MISSION SQUARE 301387 V012394	301387 EE/ER CONTR PE7/20 PD7/	0010-2170 Deferred Comp Payable - ICMA	ACH073124	50,336.23	301387-PY2415		00018964	08/01/2024
MW OH	MISSION SQUARE 301387 V012394	301387 EE/ER CONTR PE7/20 PD7/	0029-2170 Deferred Comp Payable - ICMA	ACH073124	2.40	301387-PY2415		00018964	08/01/2024
<b>Check Total:</b>					<b>50,686.47</b>				
MW OH	FIDELITY SECURITY LIFE V008132	JUL EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH081224	3,085.35	166358988		00018969	08/15/2024
MW OH	FIDELITY SECURITY LIFE V008132	JUL EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH081224	1,141.53	166358988		00018969	08/15/2024
MW OH	FIDELITY SECURITY LIFE V008132	AUG EYEMED VISION INS	395083-5164 Optical Insurance Premiums	ACH081224	1,141.53	166402049		00018969	08/15/2024
MW OH	FIDELITY SECURITY LIFE V008132	AUG EYEMED VISION INS	395000-4740 ISF Employee Optical Costs	ACH081224	3,146.33	166402049		00018969	08/15/2024

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				<b>Check Total:</b>	<b>8,514.74</b>				
MW OH	LEGAL SHIELD V008104	JUL LEGAL SHIELD	0010-2192 Police Legal Services	ACH081224	256.29	21561-JUL		00018970	08/15/2024
MW OH	LEGAL SHIELD V008104	JUL LEGAL SHIELD	0048-2192 Police Legal Services	ACH081224	0.71	21561-JUL		00018970	08/15/2024
MW OH	LEGAL SHIELD V008104	JUL LEGAL SHIELD	0054-2192 Police Legal Services	ACH081224	0.05	21561-JUL		00018970	08/15/2024
				<b>Check Total:</b>	<b>257.05</b>				
MW OH	PRINCIPAL FINANCIAL V000844	JUL LIFE INS	109595-5110 Life Ins Allocation	ACH081224	1,470.55	124125409000-		00018971	08/15/2024
MW OH	PRINCIPAL FINANCIAL V000844	JUL LIFE INS	395083-5163 Life Insurance Premiums	ACH081224	334.46	124125409000-		00018971	08/15/2024
				<b>Check Total:</b>	<b>1,805.01</b>				
MW OH	PLACENTIA FIREFIGHTERS V011878	PPFA PE 8/3 PD 8/9	0010-2189 Fire Association Dues	PY2401016	900.00	PR241016		00018972	08/15/2024
				<b>Check Total:</b>	<b>900.00</b>				
MW OH	PLACENTIA POLICE V000839	PPFMA PE 8/3 PD 8/9	0010-2180 Police Mgmt Assn Dues	PY2401016	1,402.93	PR2401016		00018973	08/15/2024
				<b>Check Total:</b>	<b>1,402.93</b>				
MW OH	PLACENTIA POLICE V003519	PPOA PE 8/3 PD 8/9	0078-2178 Placentia Police Assoc Dues	PY2401016	9.92	PR2401016		00018974	08/15/2024
MW OH	PLACENTIA POLICE V003519	PPOA PE 8/3 PD 8/9	0010-2178 Placentia Police Assoc Dues	PY2401016	3,239.40	PR2401016		00018974	08/15/2024
				<b>Check Total:</b>	<b>3,249.32</b>				
				<b>Type Total:</b>	<b>1,680,133.31</b>				
				<b>Check Total:</b>	<b>1,680,133.31</b>				



## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Samantha Byfield

From: Public Works

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### **Subject:**

Purchase of One (1) New Loader for the Public Works Department

### **Financial Impact:**

#### Fiscal Impact:

Expense: \$289,036.44 Total Purchase Price

Budgeted: \$290,000.00 FY 2024-25 CIP Budget (Measure U 798504-6842)

### **Summary:**

Annually, the Public Works Department evaluates the City's fleet and recommends the replacement of existing vehicles and equipment based upon their useful service life and the needs of City operations. As part of the approved Fiscal Year (FY) 2024-25 Capital Improvement Program (CIP) Budget, the City Council budgeted funds to replace several vehicles and equipment including one new loader for the Public Works Department.

During the FY 2024-25 Budget development process, Staff identified the need to replace the loader. The current loader was purchased in 1991 and has exceeded its useful service life. Sourcing parts for repairs for the existing loader has become increasingly difficult due to its age. The loader is used frequently by Staff at the Corporate Yard as well as for dig outs in the street to capture asphalt and transfer it to dump trucks. If approved, the replacement loader will be purchased from Sonsray Machinery. The total cost of the loader amounts to \$289,036.44 which is based upon the Sourcewell Cooperative Purchasing price and reflects a 29% savings from standard pricing. A total of \$290,000 was budgeted in the FY 2024-25 CIP Budget for this purpose. The recommended actions will approve the purchase of the proposed equipment using the available budgeted funds.

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Approve the purchase of one (1) 2024 Case 721G Wheel Loader from Sonsray Machinery in the amount of \$289,036.44; and
2. Authorize the City Administrator to approve invoice changes up to 10% of the quoted amount; and
3. Authorize the City Administrator and/or his designee to issue a purchase order to Sonsray Machinery for this equipment and execute all necessary documents in a form approved by the City Attorney.

**Strategic Plan Statement:**

There is no specific strategic planning goal or objective associated with this agenda item.

**Discussion:**

The City Council budgeted funds in the current fiscal year to purchase a new loader for the Public Works Department. For this purchase, Staff selected a 2024 Case 721G Wheel Loader as a suitable replacement due to its comparable size and available equipment options.

Pursuant to the City of Placentia Municipal Code, Section 3.08.070, purchases of supplies, services and equipment may forego bid procedures when participating in an established governmental cooperative purchasing program. The quote solicited from Sonsray Machinery is reflective of a Sourcewell cooperative purchasing agreement with Case Construction which specifies a 29% discount off the list price of equipment. Sonsray Machinery is the authorized Case Construction dealer for the western region in the United States. The City of Placentia is a member of Sourcewell and has used Sourcewell contracts in the past. Therefore, under the City's purchasing policy, the City may award the contract without competitive procurement and may use the Sourcewell's Purchase Contract No. 011723-CNH-1 with Case Construction for the proposed purchase.

As such, Staff recommends the purchase of a 2024 721G Wheel Loader from Sonsray Machinery in the amount of \$289,036.44, utilizing budgeted funds within the Fiscal Year (FY) 2024-25 Capital Improvement Program (CIP) Budget.

**Fiscal Impact Summary:**

A total of \$290,000 in Measure U funds were budgeted in the FY 2024-25 CIP Budget for this purchase. The quote from Sonsray Machinery to purchase one (1) 2024 Case 721G Wheel Loader is for a total of \$289,036.44. As such, sufficient funds exist for the recommended actions.

**Attachments**

[Attachment 1 - Quote from Sonsray Machinery.pdf](#)

[Attachment 2 - Sourcewell Contract No. 011723-CNH-1](#)



**WE MOVE MOUNTAINS** © ARIZONA CALIFORNIA NEVADA OREGON WASHINGTON



10950 South Norwalk Blvd. · Santa Fe Springs · CA · 90670 TEL: (562) 903-7377  
[www.SonsrayMachinery.com](http://www.SonsrayMachinery.com)

Ship To: CITY OF PLACENTIA  
401 E. CHAPMAN AVE  
PLACENTIA CA 92870  
Invoice To: CITY OF PLACENTIA  
401 E. CHAPMAN AVE  
PLACENTIA CA 92870

Santa Fe Springs  
July 17, 2024  
PLACE009

nfinn-0170  
714-238-2423  
Purchase Order:

Sales Person: Nicole Finn

Attention: Saul Nungaray

**EQUIPMENT QUOTE/SALES ORDER**

2024 CASE 721G T4F ZBAR Serial #: Factory Order Stock #: N.I.S. \$223,101.17

\*\*\* SOURCEWELL DISCOUNT APPLIED \*\*\* ACCOUNT #103576 \*\*\* \$314,227.00 - 29% = \$223,101.17

734152 Enhanced Cab Comfort / 734154 Enhanced Visibility Bundle / 782441 Standard Hydraulic Steering / 424224 4-speed Transmission

734054 Joystick with 1 AUX Function / 482585 Cooling System w/Reversing Fan / 734201 HD - LSD Front - LSD Rear  
Standard Fenders w/LH/RH Steps / 424911 Locking Hydraulic for Coupler / 47721072 721G JRB Z-bar/XR Coupler  
482444 Standard Weather Package / 9420540 20.5 25 L2 Bias Galaxy  
TELEMATIC SUB 734038 3 Year Advanced Subscription / TELEMATICS 734168 Sitewatch Verizon

\*\*\* Quote Expires 08 /31/2024 \*\*\* Financing Available on Approved Credit (OAC) \*\*\* Unit Based on Availability  
PRICE IS NOT GUARANTEED & SUBJECT TO MANUFACTURER'S PRICE INCREASES, INCLUDING ANY ADDITIONAL SURCHARGES  
SONSRAY SIGNATURE SERVICE – A commitment to providing excellent service and care when you purchase a new piece of equipment from Sonsray Machinery.

Hyd Grapple Bucket w/Hoses and Coupler	\$28,313.75
Factory Freight	\$9,992.25
PDI - Predelivery and Inspection, Fuel and wash	\$3,347.50
Freight Out To Customer	\$ 850.00
Labor to install Grapple, Hoses, QD's, Bulk Head	\$ 675.00
Quoted Price	\$266,279.67
Sales Tax 8.75%	\$22,350.77
Processing Fee	\$ 399.00
CA Tire Tax	\$ 7.00
Cash Due or Finance Amount	\$289,036.44

**NOTICE TO PURCHASER**

Caution. Do not sign this contract before you thoroughly read both pages 1 and 2 of it or if it contains blank spaces, even if otherwise advised.

You are entitled to an exact and completely filled in copy of this Sales Order when you sign it. Keep it to protect your legal rights.

Store Manager signature required for final acceptance of Sales Order.

**THIS AGREEMENT IS SUBJECT TO THE ADDITIONAL TERMS AND CONDITIONS ON THE REVERSE SIDE. CUSTOMER HAS HAD THE OPPORTUNITY TO READ THE TERMS OF THIS AGREEMENT PRIOR TO SIGNING.**

Purchaser's Signature \_\_\_\_\_ Sales Consultant \_\_\_\_\_ Date \_\_\_\_\_

Print Name \_\_\_\_\_ Date \_\_\_\_\_ Accepted By \_\_\_\_\_ Date \_\_\_\_\_

1. This is a cash transaction. If the Purchaser so requests prior to acceptance, the Cash Due on Delivery may be financed as a time sale transaction, subject to credit approval. If this transaction becomes a time sale, Purchaser agrees (1) to make payments pursuant to the Sonsray Machinery Accounts Receivable System Agreement, which is incorporated into this Purchase Order by reference, and (2) that Seller retains a security interest in the goods described herein until all obligations of Purchaser are paid in full and discharged.
2. When trade-in equipment is not to be delivered to the Seller until delivery of the equipment purchased by this order, the trade-in equipment may be reappraised at that time and such reappraisal value shall determine the allowance made for such trade-in equipment. When the reappraised value is less than the original trade-in allowance shown on this form, the purchaser may terminate this order; however, this right of termination must be exercised prior to delivery of the equipment by Seller and surrender of the trade-in equipment to Seller.
3. The prices which Purchaser will pay for the new equipment set forth on the reverse side hereof shall be based upon the Case dealer price in effect on date of delivery of the new equipment. In the event Case dealer's price is changed prior to delivery, the purchase price shall be adjusted accordingly. If such price change results in an increase, purchaser has the option of canceling the order in writing immediately on being notified thereof.
4. The Seller shall be excused if delivery is delayed or rendered impossible by differences with workmen, strikes, work stoppages, car shortages, delays in transportation, inability to obtain labor or materials and also by any cause beyond the reasonable control of Seller, including but not restricted to acts of God, floods, fire, storms, acts of civil and military authorities, war and insurrections.
5. Purchaser shall keep the property free of all liens, taxes, encumbrances and seizure or levy, shall not use same illegally, shall not damage, abuse, misuse, abandon or lose said property, shall not part with possession thereof, whether voluntarily or involuntarily or transfer any interest therein or remove same out of the county or filing district in which Purchaser resides as indicated herein without the prior written consent of Seller, shall keep said property insured in such amounts and with such insurer as may be acceptable to Seller with any loss payable to Seller as his interest in the property may appear.
6. Time is of the essence of this contract and if purchaser fails to comply with any of the terms and conditions hereof or defaults in the payment of any installment hereunder or under any renewal or renewals hereof, or in the payment of interest or defaults in the payment of any installment due under any other indebtedness of contract held by the Seller or Assignee, or if proceedings are instituted against Purchaser under any bankruptcy or insolvency law or Purchaser makes an assignment for the benefit of creditors or if for any reason the Seller deems himself insecure and so declares all payments heretofore made by Purchaser shall be retained by the seller and all indebtedness hereunder shall become immediately due and payable, with or without notice, together with all expenses of collection by suit or otherwise, including reasonable attorney fees and Seller may, without notice or demand, take possession of the equipment set forth on the reverse hereof, or any additions to, replacements of, or any proceeds from said equipment or may render the property unusable or Seller may require Purchaser to assemble the property and make it available at a place designated by Seller. Seller may resell the retaken property at public or private Sale in accordance with the Uniform Commercial Code or applicable state or provincial law. After deducting reasonable expenses for retaking, repairing, holding, preparing for sale, other selling expenses including attorney fees and legal expenses, the remaining proceeds of Sale shall be credited upon the amount of indebtedness remaining unpaid hereunder, and Purchaser agrees to pay any deficiency upon demand by Seller, any surplus, however, shall be paid to Purchaser. Said retaking or repossession shall not be deemed rescission of the contract. Seller may exercise any other rights and remedies provided by applicable law.
7. No waivers or modifications hereof shall be valid unless written upon or attached to this contract. Waiver or conditions of any breach or default hereunder shall not constitute a waiver of any other or subsequent breach or default. Payments received by Seller are to be applied first to delinquent interest and then to principal.
8. The remedies provided for herein are not exclusive and any action to enforce payment shall not waive or affect any of the holder's rights to have recourse to the property. The transfer of this contract shall operate to pass a security interest in the property as security for the payment hereof.
9. Any provision of this contract prohibited by the laws of any state, the United States, any province of Canada, shall be ineffective to the extent of such prohibition without invalidating the remaining portions of the contract.
10. Each maker, endorser, guarantor and surety hereon severally waives presentment, demand protest, and notice of non-payment and all defenses of want of diligence in collection and bringing suit. This contract shall be binding upon and shall insure to the benefit of the parties hereto and their respective heirs, personal representative, successors, and signs.
11. Buyer authorizes Seller to insert the Serial and/or model numbers of the goods set forth on the reverse side hereof for the purposes of identifying said goods. The seller may correct patent errors herein.



## Sourcewell - Construction Equipment Contract

Contract Number: [011723 - CNH](#)

Contract Period: 04/04/2023 - 04/14/2027

Pricing Revised: [5/20/2024](#)

**Eligible Customers:** All Sourcewell members in United States

Members Include: Government  
 Education (K-12 and higher)  
 Non-profit agencies  
 States that have adopted the contract (see below)

**States that have Adopted Sourcewell as their term contract:**

	<b>Member #</b>
New York PC6265	4652
Delaware GSS15750-Equip_HD	38542
Arkansas 4600046991	1089
Washington Master Contract 01020	888
Ohio RSC008252	956

Member list: <https://www.sourcewell-mn.gov/member-lookup>

Need to Join? <https://sourcewell-mn.gov/>

<b>CONTRACT DETAILS</b>	
Contract Pricing	Specified discount off List Price/MSRP plus freight and setup and local delivery. Also surcharge but this must be placed on a separate line item. These discounts are not allowed with wholesale and/or retail discount(s).
Multiple Unit Discount	Not applicable.
Third Party Items	Allowed. Third party equipment and/or accessories must be listed on individual line(s) below the contract items.
Trade-In	Allowed. The value is determined by the agency and the local dealer.
Payment	Contact your local Case CE dealer for payment options.
Dealer Locator Tool	<a href="https://www.casece.com/northamerica/en-us/resources/dealer-locator">https://www.casece.com/northamerica/en-us/resources/dealer-locator</a>



See [www.casece.com](http://www.casece.com) for product information

**SOURCEWELL PRICE LIST DISCOUNTS-- New Contract 011723 Valid until 04/14/2027**

Pricing Revised: **5/20/2024**

**FOR USA MARKET ONLY**

PRODUCT / MODEL	PRICE LIST (Updated)	USA SOURCEWELL MEMBER DISCOUNT OFF LIST PRICE
<b>TRACTOR LOADER</b>		
570N EP	Current Pricing	21.00%
<b>TRACTOR LOADER BACKHOE</b>		
575N EP	Current Pricing	27.00%
580SN	Current Pricing	28.00%
580SN WT	Current Pricing	28.00%
580SV	Current Pricing	28.00%
590SN	Current Pricing	28.00%
695SV	Current Pricing	28.00%
580EV	Current Pricing	30.00%
<b>FORKLIFT</b>		
586H	Current Pricing	20.00%
588H	Current Pricing	20.00%
<b>Compact Dozer Loader</b>		
DL550	Current Pricing	16.00%
<b>CRAWLER DOZER</b>		
650M	Current Pricing	21.00%
750M	Current Pricing	27.00%
850M	Current Pricing	27.00%
1150M	Current Pricing	27.00%
1650M	Current Pricing	27.00%
2050M	Current Pricing	23.00%
<b>COMPACT WHEEL LOADER</b>		
21F	Current Pricing	18.00%
121F	Current Pricing	21.00%
221F	Current Pricing	21.00%
321F	Current Pricing	21.00%
<b>WHEEL LOADER</b>		
521G	Current Pricing	28.00%
621G	Current Pricing	29.00%
651G	Current Pricing	29.00%
721G	Current Pricing	29.00%
821G	Current Pricing	29.00%
921G	Current Pricing	29.00%
1021G	Current Pricing	23.00%
1121G	Current Pricing	23.00%

Freight FOB North America plant or import distribution location.

CASE CE dealer can add delivery freight and PDI costs.

Price quotes only valid for 30 days (maximum).



See [www.casece.com](http://www.casece.com) for product information

**SOURCEWELL PRICE LIST DISCOUNTS-- New Contract 011723 Valid until 04/14/2027**

Pricing Revised: **5/20/2024**

**FOR USA MARKET ONLY**

PRODUCT / MODEL	PRICE LIST (Updated)	USA SOURCEWELL MEMBER DISCOUNT OFF LIST PRICE
<b>COMPACT TRACK LOADER</b>		
TR270	Current Pricing	22.00%
TR310	Current Pricing	18.00%
TR340	Current Pricing	18.00%
TV370	Current Pricing	18.00%
TV450	Current Pricing	18.00%
TV620	Current Pricing	18.00%
<b>COMPACT EXCAVATOR</b>		
CX15EV	Current Pricing	17.00%
CX17C	Current Pricing	17.00%
CX26C	Current Pricing	17.00%
CX30C	Current Pricing	17.00%
CX37C	Current Pricing	17.00%
CX42D	Current Pricing	17.00%
CX50D	Current Pricing	17.00%
CX57C	Current Pricing	17.00%
CX60C	Current Pricing	17.00%
<b>EXCAVATOR</b>		
CX75C	Current Pricing	18.00%
CX80C	Current Pricing	18.00%
CX140E	Current Pricing	18.00%
CX145D	Current Pricing	18.00%
CX170E	Current Pricing	18.00%
CX190E	Current Pricing	18.00%
CX220E	Current Pricing	18.00%
CX245D	Current Pricing	18.00%
CX260E	Current Pricing	18.00%
CX290D	Current Pricing	18.00%
CX300E	Current Pricing	18.00%
CX350D	Current Pricing	18.00%
CX365E	Current Pricing	18.00%
CX490D	Current Pricing	18.00%
CX500D	Current Pricing	18.00%
CX750D	Current Pricing	18.00%
<b>SKID STEER LOADER</b>		
SR160	Current Pricing	16.00%
SR175	Current Pricing	18.00%
SV185	Current Pricing	18.00%
SR210	Current Pricing	18.00%
SR240	Current Pricing	18.00%
SR270	Current Pricing	18.00%
SV280	Current Pricing	19.00%
SV340	Current Pricing	22.00%

Freight FOB North America plant or import distribution location.

CASE CE dealer can add delivery freight and PDI costs.

Price quotes only valid for 30 days (maximum).



See [www.casece.com](http://www.casece.com) for product information

**SOURCEWELL PRICE LIST DISCOUNTS-- New Contract 011723 Valid until 04/14/2027**

Pricing Revised: **5/20/2024**

**FOR USA MARKET ONLY**

PRODUCT / MODEL	PRICE LIST (Updated)	USA SOURCEWELL MEMBER DISCOUNT OFF LIST PRICE
<b>MOTOR GRADER</b>		
836C 4WD / AWD	Current Pricing	21.00%
856C 4WD / AWD	Current Pricing	21.00%
<b>COMPACTION</b>		
DV23	Current Pricing	17.00%
DV26	Current Pricing	17.00%
DV36	Current Pricing	17.00%
DV45	Current Pricing	17.00%
DV209	Current Pricing	17.00%
DV210	Current Pricing	17.00%
SV207	Current Pricing	17.00%
SV211	Current Pricing	17.00%
SV213	Current Pricing	17.00%
SV215	Current Pricing	17.00%
SV217	Current Pricing	17.00%
PT240D	Current Pricing	17.00%
CNH Parts	Current Pricing	LIST PRICE
<b>MINI TRACK LOADERS (MTLS)</b>		
TL100	Current Pricing	21.00%
<b>SMALL ARTICULATED LOADERS (SALS)</b>		
SL12	Current Pricing	22.00%
SL12TR	Current Pricing	22.00%
SL15	Current Pricing	22.00%
SL22EV	Current Pricing	22.00%
SL23	Current Pricing	22.00%
SL27	Current Pricing	22.00%
SL27TR	Current Pricing	22.00%
SL35TR	Current Pricing	22.00%
SL50TR	Current Pricing	22.00%
<b>WHEELED EXCAVATORS (WHEX)</b>		
WX140E	Current Pricing	25.00%
WX155E	Current Pricing	25.00%
WX160E	Current Pricing	25.00%
WX175E	Current Pricing	25.00%
WX210E	Current Pricing	25.00%

Freight FOB North America plant or import distribution location.

CASE CE dealer can add delivery freight and PDI costs.

Price quotes only valid for 30 days (maximum).



## **Solicitation Number: RFP # 011723**

### **CONTRACT**

This Contract is between Sourcewell, 202 12th Street Northeast, P.O. Box 219, Staples, MN 56479 (Sourcewell) and CNH Industrial America LLC, 700 State Street, Racine, WI 53404 (Supplier).

Sourcewell is a State of Minnesota local government unit and service cooperative created under the laws of the State of Minnesota (Minnesota Statutes Section 123A.21) that offers cooperative procurement solutions to government entities. Participation is open to eligible federal, state/province, and municipal governmental entities, higher education, K-12 education, nonprofit, tribal government, and other public entities located in the United States and Canada. Sourcewell issued a public solicitation for Heavy Construction Equipment with Related Attachments and Technology from which Supplier was awarded a contract.

Supplier desires to contract with Sourcewell to provide equipment, products, or services to Sourcewell and the entities that access Sourcewell's cooperative purchasing contracts (Participating Entities).

#### **1. TERM OF CONTRACT**

- A. **EFFECTIVE DATE.** This Contract is effective upon the date of the final signature below.
- B. **EXPIRATION DATE AND EXTENSION.** This Contract expires April 14, 2027, unless it is cancelled sooner pursuant to Article 22. This Contract may be extended one additional year upon the request of Sourcewell and written agreement by Supplier.
- C. **SURVIVAL OF TERMS.** Notwithstanding any expiration or termination of this Contract, all payment obligations incurred prior to expiration or termination will survive, as will the following: Articles 11 through 14 survive the expiration or cancellation of this Contract. All other rights will cease upon expiration or termination of this Contract.

#### **2. EQUIPMENT, PRODUCTS, OR SERVICES**

- A. **EQUIPMENT, PRODUCTS, OR SERVICES.** Supplier will provide the Equipment, Products, or Services as stated in its Proposal submitted under the Solicitation Number listed above.

Supplier's Equipment, Products, or Services Proposal (Proposal) is attached and incorporated into this Contract.

All Equipment and Products provided under this Contract must be new and the current model. Supplier may offer close-out or refurbished Equipment or Products if they are clearly indicated in Supplier's product and pricing list. Unless agreed to by the Participating Entities in advance, Equipment or Products must be delivered as operational to the Participating Entity's site.

This Contract offers an indefinite quantity of sales, and while substantial volume is anticipated, sales and sales volume are not guaranteed.

B. **WARRANTY.** Supplier warrants that all Equipment, Products, and Services furnished are free from liens and encumbrances, and are free from defects in design, materials, and workmanship. In addition, Supplier warrants the Equipment, Products, and Services are suitable for and will perform in accordance with the ordinary use for which they are intended. Supplier's dealers and distributors must agree to assist the Participating Entity in reaching a resolution in any dispute over warranty terms with the manufacturer. Any manufacturer's warranty that extends beyond the expiration of the Supplier's warranty will be passed on to the Participating Entity.

C. **DEALERS, DISTRIBUTORS, AND/OR RESELLERS.** Upon Contract execution and throughout the Contract term, Supplier must provide to Sourcewell a current means to validate or authenticate Supplier's authorized dealers, distributors, or resellers relative to the Equipment, Products, and Services offered under this Contract, which will be incorporated into this Contract by reference. It is the Supplier's responsibility to ensure Sourcewell receives the most current information.

### **3. PRICING**

All Equipment, Products, or Services under this Contract will be priced at or below the price stated in Supplier's Proposal.

When providing pricing quotes to Participating Entities, all pricing quoted must reflect a Participating Entity's total cost of acquisition. This means that the quoted cost is for delivered Equipment, Products, and Services that are operational for their intended purpose, and includes all costs to the Participating Entity's requested delivery location.

Regardless of the payment method chosen by the Participating Entity, the total cost associated with any purchase option of the Equipment, Products, or Services must always be disclosed in the pricing quote to the applicable Participating Entity at the time of purchase.

A. **SHIPPING AND SHIPPING COSTS.** All delivered Equipment and Products must be properly packaged. Damaged Equipment and Products may be rejected. If the damage is not readily apparent at the time of delivery, Supplier must permit the Equipment and Products to be returned within a reasonable time at no cost to Sourcewell or its Participating Entities.

Participating Entities reserve the right to inspect the Equipment and Products at a reasonable time after delivery where circumstances or conditions prevent effective inspection of the Equipment and Products at the time of delivery. In the event of the delivery of nonconforming Equipment and Products, the Participating Entity will notify the Supplier as soon as possible and the Supplier will replace nonconforming Equipment and Products with conforming Equipment and Products that are acceptable to the Participating Entity.

Supplier must arrange for and pay for the return shipment on Equipment and Products that arrive in a defective or inoperable condition.

Sourcwell may declare the Supplier in breach of this Contract if the Supplier intentionally delivers substandard or inferior Equipment or Products.

B. SALES TAX. Each Participating Entity is responsible for supplying the Supplier with valid tax-exemption certification(s). When ordering, a Participating Entity must indicate if it is a tax-exempt entity.

C. HOT LIST PRICING. At any time during this Contract, Supplier may offer a specific selection of Equipment, Products, or Services at discounts greater than those listed in the Contract. When Supplier determines it will offer Hot List Pricing, it must be submitted electronically to Sourcwell in a line-item format. Equipment, Products, or Services may be added or removed from the Hot List at any time through a Sourcwell Price and Product Change Form as defined in Article 4 below.

Hot List program and pricing may also be used to discount and liquidate close-out and discontinued Equipment and Products as long as those close-out and discontinued items are clearly identified as such. Current ordering process and administrative fees apply. Hot List Pricing must be published and made available to all Participating Entities.

#### **4. PRODUCT AND PRICING CHANGE REQUESTS**

Supplier may request Equipment, Product, or Service changes, additions, or deletions at any time. All requests must be made in writing by submitting a signed Sourcwell Price and Product Change Request Form to the assigned Sourcwell Supplier Development Administrator. This approved form is available from the assigned Sourcwell Supplier Development Administrator. At a minimum, the request must:

- Identify the applicable Sourcwell contract number;
- Clearly specify the requested change;
- Provide sufficient detail to justify the requested change;
- Individually list all Equipment, Products, or Services affected by the requested change, along with the requested change (e.g., addition, deletion, price change); and

- Include a complete restatement of pricing documentation in Microsoft Excel with the effective date of the modified pricing, or product addition or deletion. The new pricing restatement must include all Equipment, Products, and Services offered, even for those items where pricing remains unchanged.

A fully executed Sourcewell Price and Product Request Form will become an amendment to this Contract and will be incorporated by reference.

## **5. PARTICIPATION, CONTRACT ACCESS, AND PARTICIPATING ENTITY REQUIREMENTS**

A. PARTICIPATION. Sourcewell's cooperative contracts are available and open to public and nonprofit entities across the United States and Canada; such as federal, state/province, municipal, K-12 and higher education, tribal government, and other public entities.

The benefits of this Contract should be available to all Participating Entities that can legally access the Equipment, Products, or Services under this Contract. A Participating Entity's authority to access this Contract is determined through its cooperative purchasing, interlocal, or joint powers laws. Any entity accessing benefits of this Contract will be considered a Service Member of Sourcewell during such time of access. Supplier understands that a Participating Entity's use of this Contract is at the Participating Entity's sole convenience and Participating Entities reserve the right to obtain like Equipment, Products, or Services from any other source.

Supplier is responsible for familiarizing its sales and service forces with Sourcewell contract use eligibility requirements and documentation and will encourage potential participating entities to join Sourcewell. Sourcewell reserves the right to add and remove Participating Entities to its roster during the term of this Contract.

B. PUBLIC FACILITIES. Supplier's employees may be required to perform work at government-owned facilities, including schools. Supplier's employees and agents must conduct themselves in a professional manner while on the premises, and in accordance with Participating Entity policies and procedures, and all applicable laws.

## **6. PARTICIPATING ENTITY USE AND PURCHASING**

A. ORDERS AND PAYMENT. To access the contracted Equipment, Products, or Services under this Contract, a Participating Entity must clearly indicate to Supplier that it intends to access this Contract; however, order flow and procedure will be developed jointly between Sourcewell and Supplier. Typically, a Participating Entity will issue an order directly to Supplier or its authorized subsidiary, distributor, dealer, or reseller. If a Participating Entity issues a purchase order, it may use its own forms, but the purchase order should clearly note the applicable Sourcewell contract number. All Participating Entity orders under this Contract must be issued prior to expiration or cancellation of this Contract; however, Supplier performance, Participating Entity

payment obligations, and any applicable warranty periods or other Supplier or Participating Entity obligations may extend beyond the term of this Contract.

Supplier's acceptable forms of payment are included in its attached Proposal. Participating Entities will be solely responsible for payment and Sourcewell will have no liability for any unpaid invoice of any Participating Entity.

**B. ADDITIONAL TERMS AND CONDITIONS/PARTICIPATING ADDENDUM.** Additional terms and conditions to a purchase order, or other required transaction documentation, may be negotiated between a Participating Entity and Supplier, such as job or industry-specific requirements, legal requirements (e.g., affirmative action or immigration status requirements), or specific local policy requirements. Some Participating Entities may require the use of a Participating Addendum, the terms of which will be negotiated directly between the Participating Entity and the Supplier or its authorized dealers, distributors, or resellers, as applicable. Any negotiated additional terms and conditions must never be less favorable to the Participating Entity than what is contained in this Contract.

**C. SPECIALIZED SERVICE REQUIREMENTS.** In the event that the Participating Entity requires service or specialized performance requirements not addressed in this Contract (such as e-commerce specifications, specialized delivery requirements, or other specifications and requirements), the Participating Entity and the Supplier may enter into a separate, standalone agreement, apart from this Contract. Sourcewell, including its agents and employees, will not be made a party to a claim for breach of such agreement.

**D. TERMINATION OF ORDERS.** Participating Entities may terminate an order, in whole or in part, immediately upon notice to Supplier in the event of any of the following events:

1. The Participating Entity fails to receive funding or appropriation from its governing body at levels sufficient to pay for the equipment, products, or services to be purchased; or
2. Federal, state, or provincial laws or regulations prohibit the purchase or change the Participating Entity's requirements.

**E. GOVERNING LAW AND VENUE.** The governing law and venue for any action related to a Participating Entity's order will be determined by the Participating Entity making the purchase.

## **7. CUSTOMER SERVICE**

**A. PRIMARY ACCOUNT REPRESENTATIVE.** Supplier will assign an Account Representative to Sourcewell for this Contract and must provide prompt notice to Sourcewell if that person is changed. The Account Representative will be responsible for:

- Maintenance and management of this Contract;

- Timely response to all Sourcwell and Participating Entity inquiries; and
- Business reviews to Sourcwell and Participating Entities, if applicable.

B. BUSINESS REVIEWS. Supplier must perform a minimum of one business review with Sourcwell per contract year. The business review will cover sales to Participating Entities, pricing and contract terms, administrative fees, sales data reports, performance issues, supply issues, customer issues, and any other necessary information.

## **8. REPORT ON CONTRACT SALES ACTIVITY AND ADMINISTRATIVE FEE PAYMENT**

A. CONTRACT SALES ACTIVITY REPORT. Each calendar quarter, Supplier must provide a contract sales activity report (Report) to the Sourcwell Supplier Development Administrator assigned to this Contract. Reports are due no later than 45 days after the end of each calendar quarter. A Report must be provided regardless of the number or amount of sales during that quarter (i.e., if there are no sales, Supplier must submit a report indicating no sales were made).

The Report must contain the following fields:

- Participating Entity Name (e.g., City of Staples Highway Department);
- Participating Entity Physical Street Address;
- Participating Entity City;
- Participating Entity State/Province;
- Participating Entity Zip/Postal Code;
- Participating Entity Contact Name;
- Participating Entity Contact Email Address;
- Participating Entity Contact Telephone Number;
- Sourcwell Assigned Entity/Participating Entity Number;
- Item Purchased Description;
- Item Purchased Price;
- Sourcwell Administrative Fee Applied; and
- Date Purchase was invoiced/sale was recognized as revenue by Supplier.

B. ADMINISTRATIVE FEE. In consideration for the support and services provided by Sourcwell, the Supplier will pay an administrative fee to Sourcwell on all Equipment, Products, and Services provided to Participating Entities. The Administrative Fee must be included in, and not added to, the pricing. Supplier may not charge Participating Entities more than the contracted price to offset the Administrative Fee.

The Supplier will submit payment to Sourcwell for the percentage of administrative fee stated in the Proposal multiplied by the total sales of all Equipment, Products, and Services purchased by Participating Entities under this Contract during each calendar quarter. Payments should

note the Supplier's name and Sourcewell-assigned contract number in the memo; and must be mailed to the address above "Attn: Accounts Receivable" or remitted electronically to Sourcewell's banking institution per Sourcewell's Finance department instructions. Payments must be received no later than 45 calendar days after the end of each calendar quarter.

Supplier agrees to cooperate with Sourcewell in auditing transactions under this Contract to ensure that the administrative fee is paid on all items purchased under this Contract.

In the event the Supplier is delinquent in any undisputed administrative fees, Sourcewell reserves the right to cancel this Contract and reject any proposal submitted by the Supplier in any subsequent solicitation. In the event this Contract is cancelled by either party prior to the Contract's expiration date, the administrative fee payment will be due no more than 30 days from the cancellation date.

## **9. AUTHORIZED REPRESENTATIVE**

Sourcewell's Authorized Representative is its Chief Procurement Officer.

Supplier's Authorized Representative is the person named in the Supplier's Proposal. If Supplier's Authorized Representative changes at any time during this Contract, Supplier must promptly notify Sourcewell in writing.

## **10. AUDIT, ASSIGNMENT, AMENDMENTS, WAIVER, AND CONTRACT COMPLETE**

A. **AUDIT.** Pursuant to Minnesota Statutes Section 16C.05, subdivision 5, the books, records, documents, and accounting procedures and practices relevant to this Contract are subject to examination by Sourcewell or the Minnesota State Auditor for a minimum of six years from the end of this Contract. This clause extends to Participating Entities as it relates to business conducted by that Participating Entity under this Contract.

B. **ASSIGNMENT.** Neither party may assign or otherwise transfer its rights or obligations under this Contract without the prior written consent of the other party and a fully executed assignment agreement. Such consent will not be unreasonably withheld. Any prohibited assignment will be invalid.

C. **AMENDMENTS.** Any amendment to this Contract must be in writing and will not be effective until it has been duly executed by the parties.

D. **WAIVER.** Failure by either party to take action or assert any right under this Contract will not be deemed a waiver of such right in the event of the continuation or repetition of the circumstances giving rise to such right. Any such waiver must be in writing and signed by the parties.

E. **CONTRACT COMPLETE.** This Contract represents the complete agreement between the parties. No other understanding regarding this Contract, whether written or oral, may be used to bind either party. For any conflict between the attached Proposal and the terms set out in Articles 1-22 of this Contract, the terms of Articles 1-22 will govern.

F. **RELATIONSHIP OF THE PARTIES.** The relationship of the parties is one of independent contractors, each free to exercise judgment and discretion with regard to the conduct of their respective businesses. This Contract does not create a partnership, joint venture, or any other relationship such as master-servant, or principal-agent.

### **11. INDEMNITY AND HOLD HARMLESS**

Supplier must indemnify, defend, save, and hold Sourcewell and its Participating Entities, including their agents and employees, harmless from any claims or causes of action, including attorneys' fees incurred by Sourcewell or its Participating Entities, arising out of any act or omission in the performance of this Contract by the Supplier or its agents or employees; this indemnification includes injury or death to person(s) or property alleged to have been caused by some defect in the Equipment, Products, or Services under this Contract to the extent the Equipment, Product, or Service has been used according to its specifications. Sourcewell's responsibility will be governed by the State of Minnesota's Tort Liability Act (Minnesota Statutes Chapter 466) and other applicable law.

### **12. GOVERNMENT DATA PRACTICES**

Supplier and Sourcewell must comply with the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13, as it applies to all data provided by or provided to Sourcewell under this Contract and as it applies to all data created, collected, received, maintained, or disseminated by the Supplier under this Contract.

### **13. INTELLECTUAL PROPERTY, PUBLICITY, MARKETING, AND ENDORSEMENT**

#### **A. INTELLECTUAL PROPERTY**

1. *Grant of License.* During the term of this Contract:
  - a. Sourcewell grants to Supplier a royalty-free, worldwide, non-exclusive right and license to use the trademark(s) provided to Supplier by Sourcewell in advertising and promotional materials for the purpose of marketing Sourcewell's relationship with Supplier.
  - b. Supplier grants to Sourcewell a royalty-free, worldwide, non-exclusive right and license to use Supplier's trademarks in advertising and promotional materials for the purpose of marketing Supplier's relationship with Sourcewell.
2. *Limited Right of Sublicense.* The right and license granted herein includes a limited right of each party to grant sublicenses to their respective subsidiaries, distributors, dealers, resellers, marketing representatives, and agents (collectively "Permitted Sublicensees") in

advertising and promotional materials for the purpose of marketing the Parties' relationship to Participating Entities. Any sublicense granted will be subject to the terms and conditions of this Article. Each party will be responsible for any breach of this Article by any of their respective sublicensees.

*3. Use; Quality Control.*

- a. Neither party may alter the other party's trademarks from the form provided and must comply with removal requests as to specific uses of its trademarks or logos.
- b. Each party agrees to use, and to cause its Permitted Sublicensees to use, the other party's trademarks only in good faith and in a dignified manner consistent with such party's use of the trademarks. Upon written notice to the breaching party, the breaching party has 30 days of the date of the written notice to cure the breach or the license will be terminated.

*4. Termination.* Upon the termination of this Contract for any reason, each party, including Permitted Sublicensees, will have 30 days to remove all Trademarks from signage, websites, and the like bearing the other party's name or logo (excepting Sourcewell's pre-printed catalog of suppliers which may be used until the next printing). Supplier must return all marketing and promotional materials, including signage, provided by Sourcewell, or dispose of it according to Sourcewell's written directions.

B. **PUBLICITY.** Any publicity regarding the subject matter of this Contract must not be released without prior written approval from the Authorized Representatives. Publicity includes notices, informational pamphlets, press releases, research, reports, signs, and similar public notices prepared by or for the Supplier individually or jointly with others, or any subcontractors, with respect to the program, publications, or services provided resulting from this Contract.

C. **MARKETING.** Any direct advertising, marketing, or offers with Participating Entities must be approved by Sourcewell. Send all approval requests to the Sourcewell Supplier Development Administrator assigned to this Contract.

D. **ENDORSEMENT.** The Supplier must not claim that Sourcewell endorses its Equipment, Products, or Services.

#### **14. GOVERNING LAW, JURISDICTION, AND VENUE**

The substantive and procedural laws of the State of Minnesota will govern this Contract. Venue for all legal proceedings arising out of this Contract, or its breach, must be in the appropriate state court in Todd County, Minnesota or federal court in Fergus Falls, Minnesota.

## 15. FORCE MAJEURE

Neither party to this Contract will be held responsible for delay or default caused by acts of God or other conditions that are beyond that party's reasonable control. A party defaulting under this provision must provide the other party prompt written notice of the default.

## 16. SEVERABILITY

If any provision of this Contract is found by a court of competent jurisdiction to be illegal, unenforceable, or void then both parties will be relieved from all obligations arising from that provision. If the remainder of this Contract is capable of being performed, it will not be affected by such determination or finding and must be fully performed.

## 17. PERFORMANCE, DEFAULT, AND REMEDIES

A. **PERFORMANCE.** During the term of this Contract, the parties will monitor performance and address unresolved contract issues as follows:

1. *Notification.* The parties must promptly notify each other of any known dispute and work in good faith to resolve such dispute within a reasonable period of time. If necessary, Sourcewell and the Supplier will jointly develop a short briefing document that describes the issue(s), relevant impact, and positions of both parties.
2. *Escalation.* If parties are unable to resolve the issue in a timely manner, as specified above, either Sourcewell or Supplier may escalate the resolution of the issue to a higher level of management. The Supplier will have 30 calendar days to cure an outstanding issue.
3. *Performance while Dispute is Pending.* Notwithstanding the existence of a dispute, the Supplier must continue without delay to carry out all of its responsibilities under the Contract that are not affected by the dispute. If the Supplier fails to continue without delay to perform its responsibilities under the Contract, in the accomplishment of all undisputed work, the Supplier will bear any additional costs incurred by Sourcewell and/or its Participating Entities as a result of such failure to proceed.

B. **DEFAULT AND REMEDIES.** Either of the following constitutes cause to declare this Contract, or any Participating Entity order under this Contract, in default:

1. Nonperformance of contractual requirements, or
2. A material breach of any term or condition of this Contract.

The party claiming default must provide written notice of the default, with 30 calendar days to cure the default. Time allowed for cure will not diminish or eliminate any liability for liquidated or other damages. If the default remains after the opportunity for cure, the non-defaulting party may:

- Exercise any remedy provided by law or equity, or
- Terminate the Contract or any portion thereof, including any orders issued against the Contract.

## 18. INSURANCE

A. REQUIREMENTS. At its own expense, Supplier must maintain insurance policy(ies) in effect at all times during the performance of this Contract with insurance company(ies) licensed or authorized to do business in the State of Minnesota having an "AM BEST" rating of A- or better, with coverage and limits of insurance not less than the following:

1. *Workers' Compensation and Employer's Liability.*

Workers' Compensation: As required by any applicable law or regulation.

Employer's Liability Insurance: must be provided in amounts not less than listed below:

Minimum limits:

\$500,000 each accident for bodily injury by accident

\$500,000 policy limit for bodily injury by disease

\$500,000 each employee for bodily injury by disease

2. *Commercial General Liability Insurance.* Supplier will maintain insurance covering its operations, with coverage on an occurrence basis, and must be subject to terms no less broad than the Insurance Services Office ("ISO") Commercial General Liability Form CG0001 (2001 or newer edition), or equivalent. At a minimum, coverage must include liability arising from premises, operations, bodily injury and property damage, independent contractors, products-completed operations including construction defect, contractual liability, blanket contractual liability, and personal injury and advertising injury. All required limits, terms and conditions of coverage must be maintained during the term of this Contract.

Minimum Limits:

\$1,000,000 each occurrence Bodily Injury and Property Damage

\$1,000,000 Personal and Advertising Injury

\$2,000,000 aggregate for products liability-completed operations

\$2,000,000 general aggregate

3. *Commercial Automobile Liability Insurance.* During the term of this Contract, Supplier will maintain insurance covering all owned, hired, and non-owned automobiles in limits of liability not less than indicated below. The coverage must be subject to terms no less broad than ISO Business Auto Coverage Form CA 0001 (2010 edition or newer), or equivalent.

Minimum Limits:

\$1,000,000 each accident, combined single limit

4. *Umbrella Insurance*. During the term of this Contract, Supplier will maintain umbrella coverage over Employer's Liability, Commercial General Liability, and Commercial Automobile.

Minimum Limits:  
\$2,000,000

5. *Network Security and Privacy Liability Insurance*. During the term of this Contract, Supplier will maintain coverage for network security and privacy liability. The coverage may be endorsed on another form of liability coverage or written on a standalone policy. The insurance must cover claims which may arise from failure of Supplier's security resulting in, but not limited to, computer attacks, unauthorized access, disclosure of not public data – including but not limited to, confidential or private information, transmission of a computer virus, or denial of service.

Minimum limits:  
\$2,000,000 per occurrence  
\$2,000,000 annual aggregate

Failure of Supplier to maintain the required insurance will constitute a material breach entitling Sourcewell to immediately terminate this Contract for default.

B. CERTIFICATES OF INSURANCE. Prior to commencing under this Contract, Supplier must furnish to Sourcewell a certificate of insurance, as evidence of the insurance required under this Contract. Prior to expiration of the policy(ies), renewal certificates must be mailed to Sourcewell, 202 12th Street Northeast, P.O. Box 219, Staples, MN 56479 or sent to the Sourcewell Supplier Development Administrator assigned to this Contract. The certificates must be signed by a person authorized by the insurer(s) to bind coverage on their behalf.

Failure to request certificates of insurance by Sourcewell, or failure of Supplier to provide certificates of insurance, in no way limits or relieves Supplier of its duties and responsibilities in this Contract.

C. ADDITIONAL INSURED ENDORSEMENT AND PRIMARY AND NON-CONTRIBUTORY INSURANCE CLAUSE. Supplier agrees to list Sourcewell and its Participating Entities, including their officers, agents, and employees, as an additional insured under the Supplier's commercial general liability insurance policy with respect to liability arising out of activities, "operations," or "work" performed by or on behalf of Supplier, and products and completed operations of Supplier. The policy provision(s) or endorsement(s) must further provide that coverage is primary and not excess over or contributory with any other valid, applicable, and collectible insurance or self-insurance in force for the additional insureds.

D. WAIVER OF SUBROGATION. Supplier waives and must require (by endorsement or otherwise) all its insurers to waive subrogation rights against Sourcewell and other additional

insureds for losses paid under the insurance policies required by this Contract or other insurance applicable to the Supplier or its subcontractors. The waiver must apply to all deductibles and/or self-insured retentions applicable to the required or any other insurance maintained by the Supplier or its subcontractors. Where permitted by law, Supplier must require similar written express waivers of subrogation and insurance clauses from each of its subcontractors.

E. UMBRELLA/EXCESS LIABILITY/SELF-INSURED RETENTION. The limits required by this Contract can be met by either providing a primary policy or in combination with umbrella/excess liability policy(ies), or self-insured retention.

## **19. COMPLIANCE**

A. LAWS AND REGULATIONS. All Equipment, Products, or Services provided under this Contract must comply fully with applicable federal laws and regulations, and with the laws in the states and provinces in which the Equipment, Products, or Services are sold.

B. LICENSES. Supplier must maintain a valid and current status on all required federal, state/provincial, and local licenses, bonds, and permits required for the operation of the business that the Supplier conducts with Sourcewell and Participating Entities.

## **20. BANKRUPTCY, DEBARMENT, OR SUSPENSION CERTIFICATION**

Supplier certifies and warrants that it is not in bankruptcy or that it has previously disclosed in writing certain information to Sourcewell related to bankruptcy actions. If at any time during this Contract Supplier declares bankruptcy, Supplier must immediately notify Sourcewell in writing.

Supplier certifies and warrants that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from programs operated by the State of Minnesota; the United States federal government or the Canadian government, as applicable; or any Participating Entity. Supplier certifies and warrants that neither it nor its principals have been convicted of a criminal offense related to the subject matter of this Contract. Supplier further warrants that it will provide immediate written notice to Sourcewell if this certification changes at any time.

## **21. PROVISIONS FOR NON-UNITED STATES FEDERAL ENTITY PROCUREMENTS UNDER UNITED STATES FEDERAL AWARDS OR OTHER AWARDS**

Participating Entities that use United States federal grant or FEMA funds to purchase goods or services from this Contract may be subject to additional requirements including the procurement standards of the Uniform Administrative Requirements, Cost Principles and Audit Requirements for Federal Awards, 2 C.F.R. § 200. Participating Entities may have additional

requirements based on specific funding source terms or conditions. Within this Article, all references to “federal” should be interpreted to mean the United States federal government. The following list only applies when a Participating Entity accesses Supplier’s Equipment, Products, or Services with United States federal funds.

A. **EQUAL EMPLOYMENT OPPORTUNITY.** Except as otherwise provided under 41 C.F.R. § 60, all contracts that meet the definition of “federally assisted construction contract” in 41 C.F.R. § 60-1.3 must include the equal opportunity clause provided under 41 C.F.R. §60-1.4(b), in accordance with Executive Order 11246, “Equal Employment Opportunity” (30 FR 12319, 12935, 3 C.F.R. §, 1964-1965 Comp., p. 339), as amended by Executive Order 11375, “Amending Executive Order 11246 Relating to Equal Employment Opportunity,” and implementing regulations at 41 C.F.R. § 60, “Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor.” The equal opportunity clause is incorporated herein by reference.

B. **DAVIS-BACON ACT, AS AMENDED (40 U.S.C. § 3141-3148).** When required by federal program legislation, all prime construction contracts in excess of \$2,000 awarded by non-federal entities must include a provision for compliance with the Davis-Bacon Act (40 U.S.C. § 3141-3144, and 3146-3148) as supplemented by Department of Labor regulations (29 C.F.R. § 5, “Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction”). In accordance with the statute, contractors must be required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor. In addition, contractors must be required to pay wages not less than once a week. The non-federal entity must place a copy of the current prevailing wage determination issued by the Department of Labor in each solicitation. The decision to award a contract or subcontract must be conditioned upon the acceptance of the wage determination. The non-federal entity must report all suspected or reported violations to the federal awarding agency. The contracts must also include a provision for compliance with the Copeland “Anti-Kickback” Act (40 U.S.C. § 3145), as supplemented by Department of Labor regulations (29 C.F.R. § 3, “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”). The Act provides that each contractor or subrecipient must be prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. The non-federal entity must report all suspected or reported violations to the federal awarding agency. Supplier must be in compliance with all applicable Davis-Bacon Act provisions.

C. **CONTRACT WORK HOURS AND SAFETY STANDARDS ACT (40 U.S.C. § 3701-3708).** Where applicable, all contracts awarded by the non-federal entity in excess of \$100,000 that involve the employment of mechanics or laborers must include a provision for compliance with 40 U.S.C. §§ 3702 and 3704, as supplemented by Department of Labor regulations (29 C.F.R. § 5). Under 40 U.S.C. § 3702 of the Act, each contractor must be required to compute the wages of every mechanic and laborer on the basis of a standard work week of 40 hours. Work in excess

of the standard work week is permissible provided that the worker is compensated at a rate of not less than one and a half times the basic rate of pay for all hours worked in excess of 40 hours in the work week. The requirements of 40 U.S.C. § 3704 are applicable to construction work and provide that no laborer or mechanic must be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence. This provision is hereby incorporated by reference into this Contract. Supplier certifies that during the term of an award for all contracts by Sourcewell resulting from this procurement process, Supplier must comply with applicable requirements as referenced above.

D. RIGHTS TO INVENTIONS MADE UNDER A CONTRACT OR AGREEMENT. If the federal award meets the definition of “funding agreement” under 37 C.F.R. § 401.2(a) and the recipient or subrecipient wishes to enter into a contract with a small business firm or nonprofit organization regarding the substitution of parties, assignment or performance of experimental, developmental, or research work under that “funding agreement,” the recipient or subrecipient must comply with the requirements of 37 C.F.R. § 401, “Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements,” and any implementing regulations issued by the awarding agency. Supplier certifies that during the term of an award for all contracts by Sourcewell resulting from this procurement process, Supplier must comply with applicable requirements as referenced above.

E. CLEAN AIR ACT (42 U.S.C. § 7401-7671Q.) AND THE FEDERAL WATER POLLUTION CONTROL ACT (33 U.S.C. § 1251-1387). Contracts and subgrants of amounts in excess of \$150,000 require the non-federal award to agree to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act (42 U.S.C. § 7401- 7671q) and the Federal Water Pollution Control Act as amended (33 U.S.C. § 1251- 1387). Violations must be reported to the Federal awarding agency and the Regional Office of the Environmental Protection Agency (EPA). Supplier certifies that during the term of this Contract will comply with applicable requirements as referenced above.

F. DEBARMENT AND SUSPENSION (EXECUTIVE ORDERS 12549 AND 12689). A contract award (see 2 C.F.R. § 180.220) must not be made to parties listed on the government wide exclusions in the System for Award Management (SAM), in accordance with the OMB guidelines at 2 C.F.R. §180 that implement Executive Orders 12549 (3 C.F.R. § 1986 Comp., p. 189) and 12689 (3 C.F.R. § 1989 Comp., p. 235), “Debarment and Suspension.” SAM Exclusions contains the names of parties debarred, suspended, or otherwise excluded by agencies, as well as parties declared ineligible under statutory or regulatory authority other than Executive Order 12549. Supplier certifies that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation by any federal department or agency.

G. BYRD ANTI-LOBBYING AMENDMENT, AS AMENDED (31 U.S.C. § 1352). Suppliers must file any required certifications. Suppliers must not have used federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any federal contract, grant, or any other award covered by 31 U.S.C. § 1352. Suppliers must disclose any lobbying with non-federal funds that takes place in connection with obtaining any federal award. Such disclosures are forwarded from tier to tier up to the non-federal award. Suppliers must file all certifications and disclosures required by, and otherwise comply with, the Byrd Anti-Lobbying Amendment (31 U.S.C. § 1352).

H. RECORD RETENTION REQUIREMENTS. To the extent applicable, Supplier must comply with the record retention requirements detailed in 2 C.F.R. § 200.333. The Supplier further certifies that it will retain all records as required by 2 C.F.R. § 200.333 for a period of 3 years after grantees or subgrantees submit final expenditure reports or quarterly or annual financial reports, as applicable, and all other pending matters are closed.

I. ENERGY POLICY AND CONSERVATION ACT COMPLIANCE. To the extent applicable, Supplier must comply with the mandatory standards and policies relating to energy efficiency which are contained in the state energy conservation plan issued in compliance with the Energy Policy and Conservation Act.

J. BUY AMERICAN PROVISIONS COMPLIANCE. To the extent applicable, Supplier must comply with all applicable provisions of the Buy American Act. Purchases made in accordance with the Buy American Act must follow the applicable procurement rules calling for free and open competition.

K. ACCESS TO RECORDS (2 C.F.R. § 200.336). Supplier agrees that duly authorized representatives of a federal agency must have access to any books, documents, papers and records of Supplier that are directly pertinent to Supplier's discharge of its obligations under this Contract for the purpose of making audits, examinations, excerpts, and transcriptions. The right also includes timely and reasonable access to Supplier's personnel for the purpose of interview and discussion relating to such documents.

L. PROCUREMENT OF RECOVERED MATERIALS (2 C.F.R. § 200.322). A non-federal entity that is a state agency or agency of a political subdivision of a state and its contractors must comply with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act. The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at 40 C.F.R. § 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition, where the purchase price of the item exceeds \$10,000 or the value of the quantity acquired during the preceding fiscal year exceeded \$10,000; procuring solid waste management services in a manner that maximizes energy and resource recovery;

and establishing an affirmative procurement program for procurement of recovered materials identified in the EPA guidelines.

M. FEDERAL SEAL(S), LOGOS, AND FLAGS. The Supplier cannot use the seal(s), logos, crests, or reproductions of flags or likenesses of Federal agency officials without specific pre-approval.

N. NO OBLIGATION BY FEDERAL GOVERNMENT. The U.S. federal government is not a party to this Contract or any purchase by a Participating Entity and is not subject to any obligations or liabilities to the Participating Entity, Supplier, or any other party pertaining to any matter resulting from the Contract or any purchase by an authorized user.

O. PROGRAM FRAUD AND FALSE OR FRAUDULENT STATEMENTS OR RELATED ACTS. The Contractor acknowledges that 31 U.S.C. 38 (Administrative Remedies for False Claims and Statements) applies to the Supplier's actions pertaining to this Contract or any purchase by a Participating Entity.

P. FEDERAL DEBT. The Supplier certifies that it is non-delinquent in its repayment of any federal debt. Examples of relevant debt include delinquent payroll and other taxes, audit disallowance, and benefit overpayments.

Q. CONFLICTS OF INTEREST. The Supplier must notify the U.S. Office of General Services, Sourcewell, and Participating Entity as soon as possible if this Contract or any aspect related to the anticipated work under this Contract raises an actual or potential conflict of interest (as described in 2 C.F.R. Part 200). The Supplier must explain the actual or potential conflict in writing in sufficient detail so that the U.S. Office of General Services, Sourcewell, and Participating Entity are able to assess the actual or potential conflict; and provide any additional information as necessary or requested.

R. U.S. EXECUTIVE ORDER 13224. The Supplier, and its subcontractors, must comply with U.S. Executive Order 13224 and U.S. Laws that prohibit transactions with and provision of resources and support to individuals and organizations associated with terrorism.

S. PROHIBITION ON CERTAIN TELECOMMUNICATIONS AND VIDEO SURVEILLANCE SERVICES OR EQUIPMENT. To the extent applicable, Supplier certifies that during the term of this Contract it will comply with applicable requirements of 2 C.F.R. § 200.216.

T. DOMESTIC PREFERENCES FOR PROCUREMENTS. To the extent applicable, Supplier certifies that during the term of this Contract will comply with applicable requirements of 2 C.F.R. § 200.322.

**22. CANCELLATION**

Sourcwell or Supplier may cancel this Contract at any time, with or without cause, upon 60 days' written notice to the other party. However, Sourcwell may cancel this Contract immediately upon discovery of a material defect in any certification made in Supplier's Proposal. Cancellation of this Contract does not relieve either party of financial, product, or service obligations incurred or accrued prior to cancellation.

**Sourcwell**

**CNH Industrial America LLC**

DocuSigned by:  
*Jeremy Schwartz*  
By: C0FD2A139D06489...  
Jeremy Schwartz  
Title: Chief Procurement Officer  
  
Date: 4/4/2023 | 2:29 PM CDT

DocuSigned by:  
*Amy Swett*  
By: 7FCB6D1BF7F04C0...  
Amy Swett  
Title: Government & Fleet Sales Account  
Manager–New Holland CE brand  
  
Date: 4/4/2023 | 2:31 PM CDT

Approved:  
DocuSigned by:  
*Chad Coauette*  
By: 7E42B8F817A64CC...  
Chad Coauette  
Title: Executive Director/CEO  
  
Date: 4/4/2023 | 2:39 PM CDT

# RFP 011723 - Heavy Construction Equipment with Related Attachments and Technology

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## Vendor Details

Company Name: CNH Industrial America LLC  
Address: 700 State Street  
Racine, WI 53404  
Contact: Clint Jenkins  
Email: Clinton.jenkins@caseih.com  
Phone: 937-218-1701  
Fax: 877-764-1369  
HST#: 760433811

## Submission Details

Created On: Wednesday November 16, 2022 13:07:37  
Submitted On: Tuesday January 17, 2023 12:55:10  
Submitted By: Amy Swett  
Email: amy.swett@newholland.com  
Transaction #: a0423bfd-2f16-47ee-b66d-446ac499cd78  
Submitter's IP Address: 159.61.192.15

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## Specifications

**Table 1: Proposer Identity & Authorized Representatives**

**General Instructions** (applies to all Tables) Sourcewell prefers a brief but thorough response to each question. Do not merely attach additional documents to your response without also providing a substantive response. Do not leave answers blank; respond "N/A" if the question does not apply to you (preferably with an explanation).

Line Item	Question	Response *
1	Proposer Legal Name (one legal entity only): (In the event of award, will execute the resulting contract as "Supplier")	CNH Industrial America LLC
2	Identify all subsidiary entities of the Proposer whose equipment, products, or services are included in the Proposal.	CNH America LLC
3	Identify all applicable assumed names or DBA names of the Proposer or Proposer's subsidiaries in Line 1 or Line 2 above.	CNH Industrial America LLC does not have any assumed names or DBA.
4	Provide your CAGE code or Unique Entity Identifier (SAM):	10988
5	Proposer Physical Address:	700 State Street Racine, Wisconsin 53402
6	Proposer website address (or addresses):	<a href="https://www.cnhindustrial.com">https://www.cnhindustrial.com</a> <a href="https://www.casece.com">https://www.casece.com</a> <a href="https://construction.newholland.com">https://construction.newholland.com</a> <a href="http://www.newholland.com">www.newholland.com</a>
7	Proposer's Authorized Representative (name, title, address, email address & phone) (The representative must have authority to sign the "Proposer's Assurance of Compliance" on behalf of the Proposer and, in the event of award, will be expected to execute the resulting contract):	Amy Swett Government & Fleet Sales Account Manager – New Holland CE brand 500 Diller Avenue New Holland, PA 17557 Amy.swett@newholland.com 717-715-2489
8	Proposer's primary contact for this proposal (name, title, address, email address & phone):	Amy Swett Government & Fleet Sales Account Manager – New Holland CE brand 500 Diller Avenue New Holland, PA 17557 Amy.swett@newholland.com 717-715-2489
9	Proposer's other contacts for this proposal, if any (name, title, address, email address & phone):	Tony Simpson Government Affairs 6021 State Street Racine, WI 53142 262-631-0881 tony.simpson@cnhind.com

**Table 2: Company Information and Financial Strength**

Line Item	Question	Response *
10	Provide a brief history of your company, including your company's core values, business philosophy, and industry longevity related to the requested equipment, products or services.	<p>The origins of Case date to 1842, when Jerome Increase Case (born in 1819) created Racine Threshing Machine Works in Racine, Wisconsin. The company produced its first portable steam engine in 1876, which is now on display at the Smithsonian Institution.</p> <p>In 1957 Case made the 320 Construction King backhoe loader. Since 1969 Case has manufactured skid steers, starting in Burlington, Iowa and later moving production to Wichita.</p> <p>The company evolved into the Case Corporation, which merged with New Holland in 1999 to become CNH Global which in 2011 became CNH Industrial.</p>

2005: Case made its 500,000th backhoe loader and in 2010 made its 250,000th skid steer loader.

2016: Case released the new G-Series wheel loader lineup consisting of seven new models from 521G thru 1121G.

2017: In its 175th year in business, Case announced its facility in Wichita produced its 300,000th skid-steer loader.

2017: At Conexpo-Con/Agg 2017 Case released the CX750D excavator.

As of May 2017, Case "sells a full line of construction equipment around the world, including the number one loader/backhoes, excavators, motor graders, wheel loaders, vibratory compaction rollers, crawler dozers, skid steers, compact track loaders and rough-terrain forklifts.

New Holland Construction was founded in 1895 in New Holland, Pennsylvania; in 1966 New Holland's first backhoe loader was introduced; in 2005 New Holland Construction Brand was created with a global full-line product offering of Skid steer loaders, compact track loaders, tractor loader backhoes, tractor loaders, wheel loaders and excavators. Since 1999, New Holland is a brand of CNH, which was demerged from Fiat Group to Fiat Industrial at the start of 2011.

2007 New Holland made 200,000 Skid Steer loaders and celebrated 35 years of designing and building its highly successful skid steer loader. They are the preferred choice of landscapers around the world and #1 in lift and carry compact machines.

2008 New Holland's "green" engine. New Holland launched the E215B crawler excavator, which mounts a brand-new engine which dramatically reduces emissions well below the levels required by regulations.

New Holland equipment is built all around the world; the headquarters is in Turin, Italy and with ten plants and ten research and development centers spread globally, more than 800 dealers and 2,100 outlets. It is present in 100 countries worldwide.

New Holland produces thirteen product families, five in the heavy range and eight in the light range; products include dozers, mini excavators, graders, wheel loaders, crawler excavators, backhoe loaders, skid steer loaders.

Productivity, safety, and environmental responsibility are the cornerstones of New Holland's offering built around our customers. We are a key player in the global construction equipment industry born of the rich heritage of brands that made the history of this sector.

In partnership with our worldwide network of dealers, we deliver products and services that meet our customers' requirements for productivity, safety, environmental performance, and fuel and cost efficiency. We know our customers' business and we provide them with a full line of innovative products and services designed for the specific applications of their industry.

CNH Industrial is committed to delivering the highest ethical standards and supporting its dealers and customers through a diverse and inclusive workforce, industry-leading technology, exceptional safety and quality, and unmatched innovation.

At CNH Industrial, we pride ourselves on delivering the best. That means strengthening our product portfolio with dedicated financing, tools and components and selecting the best partners to support us in delivering value to our customers.

We are proud of the work we do at CNH Industrial, where a focus on innovation has helped us to maintain our competitive edge and our position of global leadership.

In 2014 we have a new licensing agreement with Sumitomo Construction Machinery to manufacture Sumitomo designed crawler excavators from 13 to 35 tons. In 2016 we entered an exclusive mini-excavator alliance with Hyundai Heavy Industries.

The full integration of environmental and social considerations with economic objectives enables the Group to identify potential risks and seize additional development opportunities, resulting in a process of continuous, and sustainable, improvement that creates value over the long-term. We recognize the real importance of promoting a circular product life cycle in which resources are used fully and for as long as possible, and products and materials are recovered and regenerated at the end of their service life. For this reason, the Company offers a range of products able to run on fuels derived from renewable sources and is committed to adopting sustainability criteria from the design stage to develop more environmentally friendly products. To maximize product life, CNH Industrial also offers

its customers a range of remanufactured spare parts, in line with its circular economy approach. In manufacturing processes, emphasis is given to improvements that increase waste recovery and reuse.

Living and working in cooperation with the surrounding area, and collaborating on projects that benefit the community, contribute to enhancing the satisfaction of employees (who often live close to plants) and their sense of belonging to the Company, while bringing economic advantages to both the Company and the community. Projects are measured in three fundamental areas. These areas are: Improving food availability, combating climate change & reducing environmental impact and supporting youth training.

A key priority at CNH Industrial is to improve food availability. In the USA, CNH Industrial supports the FFA (formerly known as Future Farmers of America), an association active in farming education since 1928. In 2018, to further its commitment, the Company chartered its own FFA Alumni and Supporters Chapter<sup>1</sup>, through which employees can engage with students pursuing agriculture degrees and with members of other FFA Chapters nationwide. In 2021, the Company continued to be heavily involved with the FFA. Case IH, New Holland Agriculture, and CNH Industrial Capital continued their Silver Sponsorship of the National FFA Foundation, including its national convention with over 60,000 attendees. Furthermore, employees continued to engage with FFA students at professional development events, and again raised funds towards the purchase of approximately 70 FFA uniforms for students in need.

CNH Industrial also continued its We Care We Share outreach program, holding an educational event at the Thai Sa Kao College of Agriculture and Technology aimed at raising agricultural technology standards in the country while creating a new generation of agricultural experts.

In 2021, given the ongoing pandemic, CNH Industrial continued to support more vulnerable sections of society, including through food where needed. Located near the Company's sites in Racine (USA), the Hunger Task Force Farm yields over 226,000 kilos of fresh produce each harvest season to feed the hungry and create a reliable source of healthy food for its network of food banks. In 2017, the farm added a New Holland Agriculture tractor (donated by CNH Industrial Capital) to its operation. In 2021, the Company made a cash donation to the organization to purchase Thanksgiving turkeys for community members in need, while employees provided additional support by volunteering on the farm.

A key priority at CNH Industrial is to combat climate change, whose negative impact on ecosystems affects the quality of life for people in local communities and consumer choices. The Company has initiated several projects to tackle this global issue, which are also aligned with SDG 13 'Climate Action'. These projects are increasingly focusing on reducing the environmental impact of Company plants, including on local communities, and on helping protect the latter against the effects of climate change such as desertification, water scarcity, and the loss of biodiversity. Other initiatives are in place to promote responsible behavior to minimize environmental impact. Participation in the projects associated with this key priority allows CNH Industrial's brands to enhance their profile and increase their visibility among potential customers and strengthens Company employees' sense of belonging.

At CNH Industrial, a key priority is to engage local communities. To this end, and in line with stakeholders' expectations, the Company prioritizes initiatives that support local community development, especially youth training. In addition to the awards and scholarships given to employees' children, the Company works hard to promote young people's education by collaborating with private and public institutions and other stakeholders. Projects are also aligned with SDG 10 'Reduce inequality within and among countries', as they promote training in Emerging Markets with the aim of developing qualified potential recruits for the Company's sales and service networks.

TechPro2, a joint project with schools run by the Don Bosco Salesian Society, aims at training mechatronics specialists to meet a growing demand for skilled personnel, thus offering young people greater employment opportunities – especially within the Company's sales and service network. Training includes theory and hands-on learning at Salesian centers, followed by targeted internships in the field. The goal of TechPro2 is two-fold: on the one hand, to ensure students have a future vocation; on the other, to enhance the quality of specialized technical assistance for the brands' products while meeting the demand for qualified technicians at authorized dealers and workshops. The Company provides expertise by training the teachers, who pass on the knowledge to the classroom students. It also offers financial aid, tools, and essential parts (such as complementary vehicles, engines, drives, and diagnostic tools) for classroom training and practice.

CNH Industrial believes that operating in a socially responsible and ethical manner,

		<p>and in compliance with the laws of the countries in which it operates, is crucial to its long-term success. The Company's Code of Conduct summarizes its policies on various compliance and ethics issues (such as conflicts of interest, corruption, competition, and health and safety). Such policies reflect, among other things, the Company's commitment to adopting fair employment practices, ensuring safety in the workplace, supporting, and fostering environmental awareness, and respecting the communities in which it operates, in compliance with applicable laws. The Company is also committed to the creation of long-term sustainable value for all its stakeholders and is firmly convinced that respect for fundamental human rights and for basic working conditions is a prerequisite to achieving this. The Board of Directors is responsible for creating a culture that fosters such long-term value creation – a task that requires compliance with all applicable laws. To this end, and to clarify and make explicit the Company's values and expectations, the Board has adopted both a Code of Conduct and a Supplier Code of Conduct.</p> <p>Our vast network of CNHi dealers will provide local product technical support at the dealership or out on the road to the members along with providing the start-up and operations training compliant with OSHA regulations, which the members need to get to receive the max. performance and efficiencies out of their products. The customers can also purchase OEM parts from our dealer network to support the members and to ensure their equipment obtains the max. amount of run time. Our financial services to the members include leasing options and extended warranties which are handled directly at the dealership. Members who are on a budget can rent or demo equipment from the dealership. The equipment will be a unit that has not been retailed and comes with full warranty (less than 250 hrs) or pro-rated warranty (if the unit has over 250 hrs). The customer will receive the member list discount and demo/lease adjustment based on rent for sale program rates less any service or clean up fees dealer would have incurred.</p>	
11	What are your company's expectations in the event of an award?	<p>When CNH Industrial is awarded the Sourcewell contract, we expect to continue to achieve an overall sales growth of over 10%. Throughout the pandemic and component parts not reaching our plants in a timely manner, we still saw growth in our Sourcewell contract. We plan to continue this growth cycle in 2023. CNH Industrial announce a culture transformation where everyone's voice will be heard. We have five new beliefs Customer first, grow together, one team, make it simple, be the best. This is exactly what we are planning to do with this contract. We want our customers to walk into our dealerships and be heard. Get the product they want and make it an effortless process with Sourcewell. We will continue to partner with Government Solutions Team (GST) where we have done more training in 2022 and plan to continue to follow that process in 2023. Their training includes web training, ride-a-longs to help educate the sales teams and the customers in addition to training new or re-train dealers within their first 60 days. Additional emphasis will go to getting our dealers to attend GTKU's and universities to round out their knowledge of the contract and how to use it to drive the contract's need. We are also going to target and engage with the government entities to get our Sourcewell contract adopted versus these entities having their own contract.</p>	*
12	Demonstrate your financial strength and stability with meaningful data. This could include such items as financial statements, SEC filings, credit and bond ratings, letters of credit, and detailed reference letters. Upload supporting documents (as applicable) in the document upload section of your response.	<p>CNH Industrial reported strong full year performance in 2021, its final year of operations as a combined Off- and On-Highway entity. We delivered consolidated revenues of \$33.5 billion, up 29% from the previous year. Both our adjusted EBIT from our Industrial Activities at \$2,086 million(1) and our full year Net Income at \$1.8 billion (which translates to \$1.28 in earnings per share) were the highest in our Company's history. Market driven volume and disciplined pricing were key drivers of our record earnings, alongside the team's successful execution, which they achieved while often managing very challenging supply chain and logistics issues. We also recorded another very strong year for positive free cash flow of Industrial Activities(1), at over \$1.8 billion as our operational execution improved. For additional information see our Annual Financial Report 2021</p>	*
13	What is your US market share for the solutions that you are proposing?	<p>Model Year 2021 CNH Industrial market share 9.5%</p> <p>Case Construction 7.9%</p> <p>New Holland Construction 1.6%</p>	*
14	What is your Canadian market share for the solutions that you are proposing?	<p>Model Year 2021 CNH Industrial market share 12.6%</p> <p>Case Construction 12.1%</p> <p>New Holland Construction .5%</p>	*
15	Has your business ever petitioned for bankruptcy protection? If so, explain in detail.	NO	*

<p>16</p>	<p>How is your organization best described: is it a manufacturer, a distributor/dealer/reseller, or a service provider? Answer whichever question (either a) or b) just below) best applies to your organization.                  a) If your company is best described as a distributor/dealer/reseller (or similar entity), provide your written authorization to act as a distributor/dealer/reseller for the manufacturer of the products proposed in this RFP. If applicable, is your dealer network independent or company owned?                  b) If your company is best described as a manufacturer or service provider, describe your relationship with your sales and service force and with your dealer network in delivering the products and services proposed in this RFP. Are these individuals your employees, or the employees of a third party?</p>	<p>CNH Industrial is the manufacturer of the equipment offered in this proposal. Our sales and service force is provided through our network of 1107 North American dealers. Our dealerships are independently owned and operated so they are positioned to provide sales and post support for our customers. Through the post-sale support our dealers offer parts and service. CNH Industrial imposes strict contract regulations and standards (Pinnacle), to hold dealers accountable for all interactions a customer has. This would include sales, service, parts, marketing, and operations.</p>
<p>17</p>	<p>If applicable, provide a detailed explanation outlining the licenses and certifications that are both required to be held, and actually held, by your organization (including third parties and subcontractors that you use) in pursuit of the business contemplated by this RFP.</p>	<p>CNH Industrial adopts the World Class Manufacturing (WCM) management system, a program for innovation based on continuous improvement, developed to eliminate all types of waste and loss through the rigorous application of specific methods and standards (see page 165). Given the customers' demand for ever-higher quality and the level of excellence required by the WCM, the focus is on the quality of every aspect of the manufacturing process, which has led plants to also adopt a quality management system compliant with ISO 9001. As of December 31, 2021, 57 CNH Industrial plants were ISO 9001 certified, collectively accounting for 98% of revenues from sales of products manufactured at the Company's plants<sup>1</sup>. To achieve its quality standards, CNH Industrial devised a robust supply chain management process (see page 151) to ensure the procurement of quality components, which are essential to produce vehicles that meet the high standards demanded by customers. CNH INDUSTRIAL completed an initiative, known as Technology Days, gives suppliers a chance to display their innovative products in terms of innovation, technology, and quality, while addressing specific topics and sharing information on recent technological developments. In 2021, the event was as always attended by CNH Industrial employees but held virtually. As of December 31, 2021, 220 supplier plants had adopted the World Class Manufacturing (WCM) program, with no increase compared to 2020 due to pandemic-related restrictions and strategy changes to the WCM supplier program itself. The WCM adoption process entails several activities that take place in two distinct yet equally important phases, and that are meant to provide suppliers with the necessary knowledge to apply the intrinsic concepts of Lean Production. Firstly, various training sessions led by CNH Industrial's WCM program specialists are delivered to suppliers. Secondly, supplier WCM teams are given the opportunity to visit selected CNH Industrial plants to learn about the Company's best practices.</p> <p>Safety is a priority across the Company, as evidenced by the compliance of management systems with the ISO 45001 international standard, as well as with the continuous improvement principles of World Class Manufacturing (WCM) and its specific Safety pillar (see page 165). CNH Industrial's approach to occupational health and safety is based on effective preventive and protective measures, implemented both collectively and individually, aimed at minimizing risk of injury in the workplace. The Company endeavors to ensure optimal working conditions, applying principles of industrial hygiene and ergonomics to managing processes at an organizational and operational level. Additionally, it adopts the highest standards in the countries in which it operates, even where regulatory requirements are less stringent, believing this to be the best way to achieve excellence. In addition, the central Environment, Health, and Safety (EHS) function (which serves as a reference point for sustainability) coordinates and manages health and safety issues as per CNH Industrial's Health and Safety Policy. It periodically verifies performance against targets, proposes new initiatives, and defines health and safety policies. The Company's certification of its occupational health and safety management systems as per the ISO 45001 international standard is voluntary and covers 58 CNH Industrial manufacturing plants worldwide, accounting for 45,521 employees. In 2021, the Company completed its transition to the new ISO 45001:2018 Occupational Health and Safety Management standard, which supersedes the OHSAS 18001:2007 standard. Certifications are awarded by accredited international bodies (in turn continuously and rigorously monitored by other international organizations) that review and certify the high levels of reliability and of operational and procedural standards. In 2021, the occupational health and safety management systems at some non-manufacturing sites were ISO 45001 certified, accounting for 5,684 employees at 12 different sites and locations. In total, 70 CNH Industrial sites worldwide (manufacturing and non-manufacturing) are now ISO 45001 compliant – covering 51,205 employees (about 75.9% of the employees within the reporting scope), 5,388</p>

		<p>contractors, and 7,190 agency workers (representing, respectively, 97% and 91% of the relative populations within the reporting scope) – as are all joint venture plants in which CNH Industrial has at least a 51% interest.</p> <p>World Class Manufacturing (WCM) data (see page 165) relates to 51 plants, representing 99% of revenues from sales of products manufactured at CNH Industrial plants<sup>4</sup>. Occupational health and safety data (see page 82) relates to 66,129 employees, or about 98% of the workforce within the reporting scope. There are 58 ISO 45001 certified plants, accounting for 95% of Company plants and representing approximately 100% of revenues from sales of products manufactured at CNH Industrial plants<sup>4</sup>. Information on environmental performance (including VOC<sup>5</sup>, water, and waste) and management systems (see pages 167; 170) relates to 54 fully consolidated plants, accounting for 89% of Company plants and representing 99.5% of revenues from sales of products manufactured at CNH Industrial plants<sup>4</sup>. There are 58 ISO 14001 certified plants, accounting for 95% of Company plants, representing approximately 100% of revenues from sales of products manufactured at CNH Industrial plants<sup>4</sup>, and relating to 44,682 employees (or about 97% of the workforce at the plants within the reporting scope<sup>4</sup>). Information on energy performance (including CO<sub>2</sub>, NO<sub>x</sub>, SO<sub>x</sub>, and dust emissions) and management systems (see pages 171; 179; 181) relates to 55 fully consolidated plants, accounting for 90% of Company plants and representing 99.7% of revenues from sales of products manufactured at CNH Industrial plants<sup>4</sup>. There are 54 ISO 50001 certified plants, accounting for 89% of Company plants, representing 99.5% of revenues from sales of products manufactured at CNH Industrial plants<sup>4</sup>, and relating to 44,146 employees (or about 95.5% of the workforce at the plants within the reporting scope<sup>4</sup>).</p> <p>Moreover, there are 57 ISO 9001 certified plants, accounting for 93% of Company plants, representing 98% of revenues from sales of products manufactured at CNH Industrial plants<sup>4</sup>, and relating to 44,256 employees (or about 96% of the workforce at the plants within the reporting scope<sup>4</sup>).</p> <p>CNH Industrial also holds its suppliers to a high standard in human resources and sustainability. Please see the attached files for CNH Industrial’s Sustainability Plan and Supplier Code of Conduct for more information.</p>
18	Provide all “Suspension or Debarment” information that has applied to your organization during the past ten years.	<p>CNH Industrial has not been Suspended or debarred</p>

**Table 3: Industry Recognition & Marketplace Success**

Line Item	Question	Response *
19	Describe any relevant industry awards or recognition that your company has received in the past five years	<p>CNH Industrial (NYSE: CNH INDUSTRIAL / MI: CNH INDUSTRIAL) received a 2022 Manufacturing Leadership Award for outstanding achievement in the Sustainability Leadership category, which honors manufacturers that are shaping the future of the sector through digital transformation. This is the third consecutive year that the Company has earned recognition from the Manufacturing Leadership Council, which is a division of the National Association of Manufacturers.</p> <p>CNH Industrial’s award-winning project, Smart Pretreatment for the Paint Shop, was executed by the manufacturing team at the Case IH and STEYR agricultural production plant in St. Valentin, Austria. The project enhanced operator safety while ensuring optimum paint quality and sustainable use of additives.</p> <p>The T6 Methane Power also won the prestigious Sustainable Tractor of the Year 2022 award at the EIMA International<sup>4</sup> trade show held in Bologna (Italy), assigned by a jury panel of top European journalists specializing in farm equipment.</p> <p>Other awards include Innovative Iron for our DL550 Compact Dozer loader in 2022, Top 100 in 2022 for DL550 Compact Dozer loader, TV620B CTL, E. Series Excavators. Top 50 award in 2022 for TV620B CTL. This is just to name a few. Please see entire list in attached documents.</p>

20	What percentage of your sales are to the governmental sector in the past three years	<p>Case Construction -</p> <p>2021 –14%</p> <p>2020 –15%</p> <p>2019 –20%</p> <p>New Holland Construction -</p> <p>2021 – 9%</p> <p>2020 – 10%</p> <p>2019 – 20%</p>
21	What percentage of your sales are to the education sector in the past three years	<p>CNH Industrial Construction brands does not have the capability to pull out the educational percentage, but it is calculated into our sales to the government below.</p>
22	List any state, provincial, or cooperative purchasing contracts that you hold. What is the annual sales volume for each of these contracts over the past three years?	<p>New Holland Construction (CE) Contract Sales</p> <p>Sourcewell CE Contract</p> <p>2019 \$2,906,112</p> <p>2020 \$2,125,345</p> <p>2021 \$3,851,787</p> <p>Michigan CE contract no sales from 2019-2021</p> <p>Pennsylvania CE</p> <p>2019 &lt;\$200,000</p> <p>2020 &lt;\$300,000</p> <p>2021 &lt; \$400,000</p> <p>Ohio CE</p> <p>2019 \$158,736</p> <p>2020 \$206,926</p> <p>2021 \$98,665</p> <p>Iowa CE</p> <p>2019 \$59,043</p> <p>2020 \$104,200</p> <p>2021 &lt;\$100,000</p> <p>State of Louisiana</p> <p>2019 \$330,000</p> <p>2020 \$0</p> <p>2021 &lt;\$100,000</p> <p>State of Georgia</p> <p>2019 \$0</p> <p>2020 \$170,000</p> <p>2021 &lt;\$100,000</p> <p>NASPO</p> <p>2019 \$303,000</p> <p>2020 \$150,000</p>

		2021 \$351,000 BuyBoard 2019 \$938,000 2020 \$547,000 2021 \$331,000 HGAC – No Activity  Case Construction Contract Sales Sourcewell Case Construction contract 2019 \$24,000,000 2020 \$18,000,000 2021 \$11,000,000 State of Michigan Case CE 2020 \$ 176,027 2021 \$ \$82,070 2022 \$ \$321,663 NASPO Case Construction Contract 2019 \$1,200,000 2020 \$1,600,000 2021 \$2,240,000	
23	List any GSA contracts or Standing Offers and Supply Arrangements (SOSA) that you hold. What is the annual sales volume for each of these contracts over the past three years?	CNH Industrial Construction brands do not hold any of these contracts.	*

**Table 4: References/Testimonials**

**Line Item 24.** Supply reference information from three customers who are eligible to be Sourcewell participating entities.

Entity Name *	Contact Name *	Phone Number *	
Erie Water Works	Ann Whipple	814-870-8016	*
State Procurement Standards Analyst, OH	Stephanie Klingler	614-387-1130	*
Central Procurement-Enterprise Sourcing – MI	Yvon Dufour	517-249-0455	*

**Table 5: Top Five Government or Education Customers**

**Line Item 25.** Provide a list of your top five government, education, or non-profit customers (entity name is optional), including entity type, the state or province the entity is located in, scope of the project(s), size of transaction(s), and dollar volumes from the past three years.

Entity Name	Entity Type *	State / Province *	Scope of Work *	Size of Transactions *		Dollar Volume Past Three Years *	
na	Government	Indiana - IN	Mowing	YR	QTY	2019	\$ 112,418
				2019	1	2020	\$3,064,492
				2020	21	2021	\$2,083,958
				2021	11		
na	Government	New York - NY	Mowing	YR	QTY	2019	\$4,405,899
				2019	25	2020	\$5,039,273
				2020	28	2021	\$ 0
				2021	0		
na	Government	BC - British Columbia	Mowing/snow removal	YR	QTY	2019	\$1,510,557
				2019	10	2020	\$ 951,797
				2020	6	2021	\$1,353,325
				2021	6		
na	Non-Profit	ON - Ontario	Mowing/snow removal	YR	QTY	2019	\$3,647,150
				2019	16	2020	\$ 0
				2020	0	2021	\$ 137,142
				2021	1		
na	Government	South Carolina - SC	Mowing	YR	QTY	2019	\$2,391,487
				2019	19	2020	\$1,064,046
				2020	8	2021	\$ 771,893
				2021	6		

**Table 6: Ability to Sell and Deliver Service**

Describe your company's capability to meet the needs of Sourcewell participating entities across the US and Canada, as applicable. Your response should address in detail at least the following areas: locations of your network of sales and service providers, the number of workers (full-time equivalents) involved in each sector, whether these workers are your direct employees (or employees of a third party), and any overlap between the sales and service functions.

Line Item	Question	Response *
26	Sales force.	CNH Industrial field sales force is comprised of employees of the company as well as third party employees of our dealer network who cover the entire US and Canada. Our Field Sales Force are fully focused on the sale of CNH Industrial through our Dealer Networks to our end user. The New Holland Construction Field Sales team is comprised of 5 Region Sales Directors, 44 Territory Business Managers, 5 Business Sales Specialists, 5 Dealer Development Managers, 8 Regional Product Specialists and 40 Technical and Specialty Field Managers. Case Construction is made up of 3 Regional Sales Directors, 21 Field Sales Specialist, 10 Business Managers, 6 Sale Support Managers, and 2 Product & Application Training Specialist. Each independent CNH Industrial dealer supports its local customer base with its own sales, product support and service personnel.

27	Dealer network or other distribution methods.	<p>Case Construction and New Holland Construction has a dedicated dealer network strategically located across North America, and we are continually looking to see where new locations can be opened. Our dealer locations are fully trained and dedicated to sell and support Case Construction and New Holland Construction products covered in this RFP. Many of the principals, their staff and customers hold positions on their local city, village, township, county boards, school boards and positions within their churches, non-profit camps and Fair Boards and non-profit organizations such as Scouts, 4-H, Ducks Unlimited, etc. The efforts and plans of GST to engage New Holland construction dealers from the top down carries the value of our Sourcewell contract through to these community officials who need to purchase equipment efficiently.</p> <p>Our company supports our dealer network with professional Field Service Managers. Each dealership is staffed with parts and service personnel trained to support the products in their area of responsibility. Our company supports the entire United States, along with Hawaii, Alaska, and Canada. Our dealer service personnel are factory trained as well as have access to "Assist," a technical database that helps technicians quickly diagnosis failures through CNH Industrial technical advisors and fellow dealers. We have further support by the Customer Care contact phone numbers: New Holland Construction 1-888-365-6423 and Case Construction 1-866-542-2736.</p>	*
28	Service force.	<p>Our Field service force is comprised of employees as well as third party employees of our dealer network that covers the US and Canada. All employees must meet annual service training requirements provided on-site by our company, including our service school and online technical training program. Our Field Service force are fully focused on the service of CNH Industrial through our Dealer Networks to the end user. Each one of our independent dealer supports its local customer base with its own sales, product support and service personnel. We value their position as the local support to the members and provide them with the tools, training and support they need so they are a well- rounded team when it comes to the members.</p>	*
29	Describe the ordering process. If orders will be handled by distributors, dealers or others, explain the respective roles of the Proposer and others.	<p>CNH Industrial ordering process will be handled by our dealer network. The members will go directly to their local dealership when the PO is approved. Their local dealer will then place the order through the eEquipment program which then is sent to the plant and our Order Management department. From there it will be placed into a production schedule. Dealers can monitor the orders from eEquipment to see when the product will be scheduled and when it will be shipping.</p>	*
30	Describe in detail the process and procedure of your customer service program, if applicable. Include your response-time capabilities and commitments, as well as any incentives that help your providers meet your stated service goals or promises.	<p>Customer service begins with our dedicated dealer network. Each one of our dealerships is fully trained and supported by CNH Industrial so they are committed to immediately addressing all customer needs. Each one of our brand dealerships is supported by the Corporate Customer Service team, "Assist" and factory training.</p> <p>CNH Industrial interacts with and assists its customers to give them an experience that meets their expectations. The Company's Customer Care departments specialize in developing, managing, and promoting customer service solutions, fostering long-lasting relationships, and satisfying customer needs and expectations. Customers may request information or report an issue via the brands' websites, toll-free numbers, smartphone applications, or via email – 24 hours a day, 7 days a week. Customer Care staff manage the entire process, from initial customer contact to final feedback to the customer, ensuring resolutions in the timeliest manner.</p> <p>New Holland Construction's incentive program is the Dealer Standards Program. CASE Construction Equipment's incentive program is the Partnership Program. These programs are designed to assess dealers and reward best-in-class performance across a wide range of operational and performance criteria.</p> <p>Case Construction provides the Tomahawk Customer Center which has been serving its customers for more than 60 years. Sitting on more than 500 acres in Wisconsin's Northwoods, the CASE Tomahawk Customer Center is a premier year-round demonstration facility and business retreat. Enjoy a fully interactive experience with personalized training, state-of-the-art product demonstrations, hands-on equipment operation, and a healthy dose of our trademark hospitality. Like our company and our dealers, our Tomahawk staff is here to provide you with expert guidance and education to help you make informed operating and maintenance decisions</p>	*
31	Describe your ability and willingness to provide your products and services to Sourcewell participating entities in the United States.	<p>CNH Industrial has been selling and servicing members in the United States through our Sourcewell contract for 12 years. We offer a full array of Construction products and services through our network of local dealers.</p>	*

32	Describe your ability and willingness to provide your products and services to Sourcewell participating entities in Canada.	CNH Industrial has been selling and servicing members in Canada through our Sourcewell contract for 12 years. Our company offers a price book series in Canadian dollars. We also offer a full array of Construction products and services through our network of local dealers. Our financing and leasing teams live in Canada. This ensures the members are working within the regulations of the Canadian rules. With the assistance of Sourcewell and Canoe Procurement Group and GST, we are expanding our marketing and training efforts and dealer presence throughout Canada. There is a scheduled webinar with Canoe Procurement Group in March 2023.	*
33	Identify any geographic areas of the United States or Canada that you will NOT be fully serving through the proposed contract.	CNH Industrial will be serving all locations of the United States and Canada.	*
34	Identify any Sourcewell participating entity sectors (i.e., government, education, not-for-profit) that you will NOT be fully serving through the proposed contract. Explain in detail. For example, does your company have only a regional presence, or do other cooperative purchasing contracts limit your ability to promote another contract?	CNH Industrial will be serving all Sourcewell and CANOE Procurement Group of Canada members.	*
35	Define any specific contract requirements or restrictions that would apply to our participating entities in Hawaii and Alaska and in US Territories.	CNH Industrial will service all of Hawaii, Alaska, US, and Canada in all market segments. Shipping and delivery expense calculation method will be used for offshore transactions, Alaska, and Hawaii.	*

**Table 7: Marketing Plan**

Line Item	Question	Response *	
36	Describe your marketing strategy for promoting this contract opportunity. Upload representative samples of your marketing materials (if applicable) in the document upload section of your response.	We will promote Sourcewell to our sales team and government dealers of over 1,000 to our customers. Our sales teams will attend regional training, webinars or in-person training. They will then help to promote and work through a potential sale through the Sourcewell contract with the local dealership. Our dealers will be trained by CNH Industrial government sales manager or their territory business manager. On-insight training, webinars or phone calls can be completed for training. We also have a partnership with Government Solutions Team for New Holland Construction that will also conduct webinars and on-sight training. We want our dealers to have a vast amount of support and success while being trained on the contract. All training is free to the dealers and goes through our Web University for tracking and awarding the teams for their participation. We work with Sourcewell and Canoe Procurement Group to provide marketing materials to the dealers. This material is also used by the dealers for customer visits, shows and other events where our brands and the contract are being promoted. New Holland Construction is also in the process of updating the Buyer's Guide that promotes our products to our government customers. We list our cooperative contracts at the back of the guide. This guide will be distributed to our dealers which in turn will provide to their customers. I have provided a picture of the back page for reference.	*
37	Describe your use of technology and digital data (e.g., social media, metadata usage) to enhance marketing effectiveness.	CNH Industrial incorporates several uses of technology, digital data, social media, and data to drive market awareness, target prospective sales, train our teams and customers, and perform community outreach. CNH Industrial has a dedicated website for our products and services. New Holland's website allows prospects to build equipment to their specifications, locate dealers and have direct contact information to each government representative. Case Construction website allows prospective customers to locate dealers. Our social media presence spans from Instagram, Facebook, Twitter and LinkedIn. We follow, like and share Sourcewell media along with other industry leaders to promote a full support system to our teams, dealers, and the community. By doing this, it keeps our brands at the top of our prospects' minds. We also utilize data from the Association of Equipment Manufacturers (AEM) on governmental and non-profit sales. The data shows sales activities and high-density sales areas. This also allows us to understand our effectiveness in the marketplace compared to our competitors. We also have a governmental bid service. By investing in this service it allows for an advantage over our competitors and directs opportunities to the Sourcewell contract. This also allows us to see the future requirements of a member so our dealers can reach out and build a relationship with them and offer the Sourcewell as a solution to their bid process. We also conduct training and post videos online to reach a maximum audience and to keep our teams "in the know" as soon as possible. We want to get the information out quickly, so our members have the most current information. New Holland Construction government sales managers along with GST work with our teams daily through these trainings, videos, and emails to help them understand their market and the opportunities that exist.	*

38	In your view, what is Sourcewell's role in promoting contracts arising out of this RFP? How will you integrate a Sourcewell-awarded contract into your sales process?	<p>We expect Sourcewell to promote the contract through social media, digital media, shows and events. Also, to allow members to easily locate our contracts on the landing page on Sourcewell's website and keep the member's list current. Communicating how the contracts are adopted and by whom is another significant role Sourcewell can provide. The H20 conference is an excellent tool where vendors can come together and share lessons learned, wins and best practices. When members contact Sourcewell, we expect them to directly thank them, answer any questions they have, and provide our contract information to the members. We would like our contract manager to follow up with an email or call to us on who called and their contact information and what was needed. This will allow us to continue the sales process by reaching out to them and showing them, we have a team with Sourcewell and CNH Industrial.</p> <p>We will continue to train our Territory Business Managers and dealers at our sectional and regional CNH dealer and sales meetings on this contract. We will continue to educate our dealers through webinars, phone calls and in-person training. When the contract is awarded, we will be sending out a letter with the new matrix to our dealers letting them know of the newly awarded contract. New Holland Construction will also be utilizing the GST team to train our members on the contract. They have a novel approach on touch points with the dealers during training. Our dealers are notified in several diverse ways through mail, email, and phone calls which then leads up to training. The focus does not stop after the training. GST continues to contact them after that process, so we do not lose touch with them. GST provides our dealers with a listing of Sourcewell members located in their area.</p> <p>This contract is particularly important to each one of our brands and is highly expressed to our CNH Industrial employees and dealers. Therefore, we have continued to grow the contract even through the Covid period. We plan to stay the course and continue with our message to our employees and dealers which is, "you should not have to bid for low dollars or a product you do not want, use Sourcewell and get what you deserve."</p>
39	Are your products or services available through an e-procurement ordering process? If so, describe your e-procurement system and how governmental and educational customers have used it.	<p>Not now. Our contract is awarded through our dealer level, and this places too many variables. We have had conversations with NASPO to see if there is a way to work on an industry standard. Some of the states have already started going to the e-procurement system but with our highly configured products, it is difficult to work within their perimeters. We are willing to work with Sourcewell and the team you have put together to produce a process for e-procurement, whether this be through an EDI system or finding a company that has already created a process.</p>

**Table 8: Value-Added Attributes**

Line Item	Question	Response *
40	Describe any product, equipment, maintenance, or operator training programs that you offer to Sourcewell participating entities. Include details, such as whether training is standard or optional, who provides training, and any costs that apply.	<p>We hold product training and customer experience events throughout the year. Any dealer current customer or potential customer can attend these events.</p> <p>At the corporate training facilities or the servicing dealer level, Operator and Maintenance training can be specifically structured for the customer. The servicing dealer provides base machine operation and maintenance training as part of the purchase and delivery. Additional training can be purchased through the local dealership.</p>

41	Describe any technological advances that your proposed products or services offer.	<p>New Holland Construction has announced the E15X first electric vehicle which has no air or sound pollution.</p> <p>New Holland Construction included an 8" LCD Multifunction Display in the 300 Series Skid Steer Loader and Compact Track Loader products. This brings the operator input and functionality to another level over what we had in the past. Particularly, the addition of a factory fit reverse camera, and improved EZ EH control adjustability.</p> <p>Meet the CASE Minotaur™ DL550 — an all-new, industry-first equipment category: the compact dozer loader. The integrated C-frame delivers true dozer performance and the agility and finesse of a loader. CASE Construction Universal Machine Control allows you to use the precision construction technology you prefer*. It's compatible with hundreds of attachments, and the addition of an industry-exclusive fully integrated ripper makes this machine one-of-a-kind. It has the strength, attitude and intelligence to stake a claim as the industry's most versatile and powerful compact machine.</p> <p>Minotaur demonstrates CASE Construction's commitment to delivering real-world innovation rooted in customer need. With 29 patents**, more than 10,000 field test hours, multiple customer clinics, countless operator evaluations, product refinements and even more evaluations after that — we've put this machine to the test to deliver you the highest standard in quality.</p> <p>THE INDUSTRY'S FIRST FULLY ELECTRIC BACKHOE LOADER — THE CASE 580 EV</p> <p>The CASE 580 EV (electric vehicle) delivers backhoe power and performance equivalent to its diesel counterpart while also providing instant torque, lower jobsite noise, lower daily and lifetime operating costs, reduced maintenance demands and absolutely zero emissions. This will be anticipated to launch in 2024.</p> <p>The CASE 580 EV Delivers Ultimate Power and Sustainability</p> <ul style="list-style-type: none"> <li>- Zero Emissions: Lower your carbon footprint and achieve incentives/greater consideration for new projects with electrified additions to your fleet.</li> <li>- All the Performance: The battery separately powers the drivetrain and hydraulic motors, resulting in hydraulic breakout forces equal to diesel-powered machines and improved performance during simultaneous loader and drivetrain operation.</li> <li>- Long-Lasting Power: The machine's lithium-ion battery provides enough power for the typical 8-hour workday.</li> <li>- Lower Operating Costs: Save as much as 90 percent in annual vehicle, fuel, and maintenance costs.</li> <li>- Classic CASE Performance: The 580 EV retains the precision and efficiency of diesel-powered CASE backhoes with features such as ProControl, which allows for extremely precise boom movement and placement, as well as Comfort Steer, which significantly improves steering while working in tight quarters or in truck loading operations.</li> </ul> <p>The CASE CX15 EV (Electric Vehicle) is a 2,900-pound mini excavator powered by a 16-KW electric motor — it features retractable tracks that get machine width down to about 31 inches for going through doors and working in confined spaces. It can also work close to structures and obstacles with a minimum swing radius design. The 21.5 kWh lithium-ion battery is charged either by the 110V/220V on-board charger, or via an external rapid charger that can have the machine charged extremely fast, typically within 90 minutes. Depending on the type of work, unit will provide enough power to work through a full eight-hour workday.</p>
42	Describe any "green" initiatives that relate to your company or to your products or services, and include a list of the certifying agency for each.	<p>In compliance with its Environmental Policy, CNH Industrial is committed to minimizing the environmental impact of its ICT activities by using energy-efficient products and solutions. Indeed, the Company implemented the Green ICT plan precisely to reduce energy consumption and CO2 emissions. In 2021, approximately 8,200 personal computers and 1,083 technical workstations were replaced with new equipment featuring more efficient power supply units, optimizing the consumption of electricity drawn from the grid. The Company also replaced around 1,100 computer monitors with new units that comply with environmental requirements regarding product energy consumption and efficiency, the use of hazardous substances, recyclability, packaging materials, and low-impact manufacturing methods.</p> <p>Within the scope of Brands4Sustainability3, CNH Industrial supported a project called Capri Circolare - A Sustainable Tourism Model, an in-depth analysis of potential areas of intervention to position the island of Capri at the forefront of environmental sustainability. The goal is to turn Capri into a green destination by developing a model that promotes a circular economy and the implementation of good practices to protect the local region, resources, and biodiversity. In Córdoba (Argentina), IVECO created an Ecological Island where carpenters use recycled materials to make parts that are then used in various plant production and logistics processes. In broad terms, the company applied the 5Rs of waste management (refuse, reduce, reuse, recycle, recover) to enable the reuse of approximately 4,800 kilos of reclaimed wood and around 3,600 kilos of corrugated plastic per year.</p> <p>The Company also contributed to creating policies in support of alternative fuels – and a circular economy – in the agriculture sector, particularly promoting the use of biomethane and Agriculture 4.0 programs through specific initiatives in many countries. As a long-</p>

standing member of the European Automobile Manufacturers' Association (ACEA), while also holding a seat on its board, the Company has actively contributed to the debate on EU (European Union) policies to lower CO2 emissions and achieve net-zero emissions in the future. Moreover, with a seat on the association's Commercial Vehicles Board, IVECO actively contributed to the discussions on how manufacturers can help achieve the EU's 2050 Greenhouse Gas Emissions (GHG) goal, highlighting the role that both liquid and gas renewable fuels can play in the transition towards net-zero CO2 emissions in transport. As regards light-duty vehicles, IVECO is actively involved in the ongoing discussions and advocacy activities regarding the revision of the post-2020 CO2 emission standard for cars and vans.

CNH Industrial is also a member of the Committee for European Construction Equipment (CECE) and of the European Agricultural Machinery Association (CEMA), trade associations for construction equipment and agricultural machinery manufacturers, respectively. Throughout 2021, the Company collaborated with the associations' committees and project teams to bring forward EU legislation on the safety and environmental aspects of off-road machinery. Following the European Green Deal plan presented by the European Commission, CNH Industrial contributed to further discussions within CECE's and CEMA's High-Level Groups on CO2 concerning ways to reduce GHG emissions and decarbonize both the agriculture and construction sectors in Europe.

CNH Industrial is also a board member of the European Association of Internal Combustion Engine Manufacturers (EUROMOT). In 2021, particularly through its brand FPT Industrial, the Company contributed to the association's activities centered on Non-Road Mobile Machinery (NRMM) exhaust emissions, proposing the creation of a new working group within the association focused on alternative powertrains and advanced energy resources. The aim was to further promote alternative and more sustainable powertrain solutions within non-road sectors as well (such as marine applications or mobile equipment) considering the EU's most recent sustainability and climate goals. The Company holds a seat on the board of the Natural & biogas Vehicle Association (NGVA Europe), which advocates and fosters the use of natural gas and biomethane for transport in Europe. In 2021, in collaboration with several other national associations for natural gas, IVECO and FPT Industrial promoted debate in Europe on natural gas strategy (considering the EU's targets for 2030 and beyond) and its advancement in Europe, in line with EU legislation on the development of natural gas infrastructures.

CNH Industrial is member of the board of Hydrogen Europe, representing the hydrogen and fuel cell industry, national associations, and research centers in Europe, and of the Hydrogen Council, a global initiative among leading energy, transport, and industry enterprises that focuses on the contribution and potential of hydrogen in the transport sector while contributing to policymaking and the ongoing debate, working towards the future commercialization of fuel cell vehicles. In this regard, the Company also participates in the European Clean Hydrogen Alliance, an initiative by the European Commission and Hydrogen Europe that brings investors together with governmental, institutional, and industrial partners, aimed at steering and coordinating the ambitious plan to deploy hydrogen technologies by 2030, and at rapidly upscaling clean hydrogen production and use in Europe.

New Holland Agriculture was one of the main stakeholders at the event Seeding the Future of Sustainable Farming: Advanced Farm Machines & Solutions to Deliver on the European Green Deal, a summit organized by the European Agricultural Machinery Association (CEMA) in Brussels (Belgium). The focus was on how digital farming tools, modern farm machines, and farm data management systems will drive the European agriculture sector in taking on the double challenge of producing sufficient quality food and safeguarding biodiversity.

The importance of sustainable planning to the Company lies not only in time and cost efficiencies, but also in emissions reduction, resource use, packaging management, and, not least, in their indirect impact on human health and traffic congestion. To coordinate its efforts effectively towards improvements in this area, CNH Industrial published its Green Logistics Principles, available on the Company's website; intended to coordinate the Company's initiatives on promoting sustainable behaviors, they help both corporate functions and suppliers effectively monitor their performance and meet improvement targets.

In North America, the Agriculture and Construction segments continued to engage their logistics partners in the SmartWay transport program. Launched in 2003, the program is sponsored by the Environmental Protection Agency (EPA) to improve efficiency, reduce greenhouse gas, and air pollutant emissions along the transport chain. SmartWay provides its partners with a set of EPA-tested tools that help make informed transportation choices, measure, and report CO2 emissions, and improve supply chain efficiency and environmental performance.

More information can be found on our 2021 Sustainability Report

43	Identify any third-party issued eco-labels, ratings or certifications that your company has received for the equipment or products included in your Proposal related to energy efficiency or conservation, life-cycle design (cradle-to-cradle), or other green/sustainability factors.	<p>Several CNH Industrial plants continued to implement initiatives to reduce packaging waste, according to the 5 Rs11 of waste management (in particular, the Reuse principle). Improvement measures involved several plants, including New Holland (USA), Annonay (France), Zedelgem (Belgium), Córdoba (Argentina), and Curitiba, Piracicaba, and Sorocaba (Brazil), reducing overall packaging waste by more than 1,000 tons and saving approximately \$650,000. As per existing guidelines on packaging-waste compactors, aimed at mitigating the environmental impact and management costs associated with waste, CNH Industrial plants continued to reduce the volume of stored waste, thus requiring less frequent collection and disposal services by third-party providers. For example, the plant in Rorthais (France) installed a cardboard compactor, saving over \$9,200.</p> <p>New Holland Agriculture was one of the main stakeholders at the event Seeding the Future of Sustainable Farming: Advanced Farm Machines &amp; Solutions to Deliver on the European Green Deal, a summit organized by the European Agricultural Machinery Association (CEMA) in Brussels (Belgium). The focus was on how digital farming tools, modern farm machines, and farm data management systems will drive the European agriculture sector to take on the double challenge of producing sufficient quality food and safeguarding biodiversity.</p> <p>See all the green initiatives stated on #43. We continue to support conservation efforts with third parties.</p>	*
44	Describe any Women or Minority Business Entity (WMBE), Small Business Entity (SBE), or veteran owned business certifications that your company or hub partners have obtained. Upload documentation of certification (as applicable) in the document upload section of your response.	<p>CNH Industrial is proud to partner with Small Business, Veteran Owned, Women or Minority Owned, Native American Owned and other Disadvantaged Business Enterprises.</p> <p>Monroe Tractor 1001 Lehigh Station Road, Henrietta, NY 14667 – WBE Certified noted on website <a href="http://www.monroetractor.com">www.monroetractor.com</a></p> <p>Yukon Equipment in AK is Native Owned. It was established under the Alaska Native Claims Settlement Act of 1971. <a href="https://yukoneq.com/about-us/">https://yukoneq.com/about-us/</a></p>	*
45	What unique attributes does your company, your products, or your services offer to Sourcwell participating entities? What makes your proposed solutions unique in your industry as it applies to Sourcwell participating entities?	<p>We are dedicated to our Clean Energy Leader® strategy, launched in 2006, which promotes the use of renewable fuels, systems to reduce emissions, technological tools, and sustainable agricultural practices. We recognize today as a global leader in powerful, reliable, and highly efficient equipment that helps our members meet the challenges of modern-day tasks. We have numerous models in several product lines which speak to understanding member needs and proving them with the correct solution. This is accomplished by our strong dealer network and our field teams working together to help our members define their needs. Our dealers are measured on technical, financial and sales performance levels and maintain certifications to back up these performance levels. Our focus is to align with what our members' needs are while controlling costs. We also have our unique demo/rental program available to members under this proposal. A member can use the product in advance and receive additional discounts if they choose to purchase the equipment. This allows the member to make sure they are getting the right product for the job. New Holland Construction partnership with Government Solutions Team (GST) will continue to have an impact on the members through the education and speaking opportunities they are afforded during our meetings and events as well as during events taking place at all levels throughout North America which they are invited to attend. Their vast array of knowledge and experience working with members in this sector compliments our team in the field with getting the Sourcwell contract utilized and talked about. Their ability to speak to the members as a third party has been of great value in successfully helping members understand how to utilize the contract.</p>	*

## Table 9: Warranty

**Describe in detail your manufacturer warranty program, including conditions and requirements to qualify, claims procedure, and overall structure. You may upload representative samples of your warranty materials (if applicable) in the document upload section of your response in addition to responding to the questions below.**

Line Item	Question	Response *	
46	Do your warranties cover all products, parts, and labor?	New Holland Construction and Case Construction covers all products, parts and labor. This is defined in our Warranty and Limitation of Liability agreements for both brands. For Case Construction this is defined in the Dealer Operating guide.	*

47	Do your warranties impose usage restrictions or other limitations that adversely affect coverage?	<p>Both New Holland Construction and Case Construction have items that are not covered such as:</p> <ul style="list-style-type: none"> <li>• Repairs arising from storage deterioration, failure to maintain the equipment, negligence, alteration, improper use of the equipment, collision or other accident, vandalism, or other casualty, or operation beyond rated capacity or specification.</li> <li>• Repairs arising from abuse or neglect, including but not limited to: operation without adequate coolant or lubricants, adjustments to the fuel system outside equipment specifications, over-speeding, improper storage, starting, warm-up, or shutdown practices, incorrect fuel or contaminated fuel, oil or other fluids.</li> <li>• Normal maintenance services, such as engine tune-ups, engine fuel system cleaning, checks, adjustments, shimming, etc.</li> <li>• Replacement of non-defective wear items expected to be replaced during the warranty period, including but not limited to light bulbs, spark plugs, brake or clutch linings, slip clutches, belts, chains, knives, bucket cutting edges and teeth, crawler track pads and track components, crop processing and cutting components, external drive sprockets and chains, soil engaging tools and accessories.</li> </ul> <p>For other items please see the Warranty and Limitation of Liability agreements for both brands.</p>	*
48	Do your warranties cover the expense of technicians' travel time and mileage to perform warranty repairs?	Case Construction does reimburse on some Heavy Construction products.	*
49	Are there any geographic regions of the United States or Canada (as applicable) for which you cannot provide a certified technician to perform warranty repairs? How will Sourcewell participating entities in these regions be provided service for warranty repair?	Both New Holland Construction and Case Construction dealer network provide technicians for repair and the network covers the entire of North America.	*
50	Will you cover warranty service for items made by other manufacturers that are part of your proposal, or are these warranties issues typically passed on to the original equipment manufacturer?	We will cover certain items made by other manufacturers. Certain items are covered by some OEM's such as engines manufactured by Deutz, Kubota, Yanmar, etc. We do not cover warranty for items made by other manufacturers. Coverage detail is provide in the Warranty and Limitation of Liability agreement form which the customer signs at the time of delivery.	*
51	What are your proposed exchange and return programs and policies?	<p>CNH Industrial's responsibilities include, but are not limited to:</p> <ul style="list-style-type: none"> <li>- Deliver a unit that is free of defects in material and workmanship</li> <li>- Reimburse for costs for repairs that are the result of defects in material and workmanship</li> <li>- Provide warranty payment to dealers per policy in a timely manner</li> <li>- Provide service information to dealers via the Technical Help Desk</li> <li>- Identify product deficiencies and corrective action by Product Improvement Programs</li> <li>- Make determinations of premature wear</li> <li>- Provide operators manuals</li> </ul> <p>If for some reason defects/failures arise, CNH Industrial will take corrective action under the warranty policy. Returns/Exchanges are not allowed.</p>	*
52	Describe any service contract options for the items included in your proposal.	We do provide services under ProCare Program for Heavy Construction equipment; where a customer receives Extended Warranty coverage, and it includes planned maintenance for 3 years & SiteWatch subscriptions.	*

**Table 10: Payment Terms and Financing Options**

Line Item	Question	Response *
53	Describe your payment terms and accepted payment methods.	Payment terms are Net 30, after receipt of invoice. Acceptable payment methods would be at the local dealer's discretion, but most would accept cash, ACH, Check and P-Card.
54	Describe any leasing or financing options available for use by educational or governmental entities.	Financing options and leasing solutions are available from CNH Industrial Capital America LLC. Sourcwell members should contact the local CNH brand construction equipment dealer to see what options are available.
55	Describe any standard transaction documents that you propose to use in connection with an awarded contract (order forms, terms and conditions, service level agreements, etc.). Upload a sample of each (as applicable) in the document upload section of your response.	CNH Industrial will administer a matrix that will be published on our Dealer Portal and/or sent to our dealers notifying them of the contract period, products awarded, and discounts off list price so they can quote equipment to members. The sample matrix will be uploaded for your reference. We provide the dealers with a matrix which provides the Sourcwell member with the product, discount off list and pricing available to them.
56	Do you accept the P-card procurement and payment process? If so, is there any additional cost to Sourcwell participating entities for using this process?	Acceptance would be at the local dealer's discretion.

**Table 11: Pricing and Delivery**

Provide detailed pricing information in the questions that follow below. Keep in mind that reasonable price and product adjustments can be made during the term of an awarded Contract as described in the RFP, the template Contract, and the Sourcwell Price and Product Change Request Form.

Line Item	Question	Response *
57	Describe your pricing model (e.g., line-item discounts or product-category discounts). Provide detailed pricing data (including standard or list pricing and the Sourcwell discounted price) on all of the items that you want Sourcwell to consider as part of your RFP response. If applicable, provide a SKU for each item in your proposal. Upload your pricing materials (if applicable) in the document upload section of your response.	We are offering discounts off the product category. The total purchase price will include a discount off the list with freight, setup, surcharge, and any other extra costs associated with the final sale on separate line items.  CNH Industrial Discounts off List price: Skid Steer Loaders 35% Compact Track Loaders 32% New Holland Tractor Loader Backhoe 35% Case CE Tractor Loader Backhoe 37% Tractor Loader 32% Compact Wheel Loader 32% Crawler Excavator 32% Rough Terrain Forklifts 32% Compact Dozer Loader 32% Crawler Dozer 37% Heavy Wheel Loader 37% Heavy Excavator 32% Motor Grader 32% Compaction 32%
58	Quantify the pricing discount represented by the pricing proposal in this response. For example, if the pricing in your response represents a percentage discount from MSRP or list, state the percentage or percentage range.	CNH Industrial discounts are off list price ranging from 32% to 37%.

59	Describe any quantity or volume discounts or rebate programs that you offer.	CNH Industrial does not offer any additional discounts currently. Our local dealers are authorized at their discretion to provide additional discounts.	*
60	Propose a method of facilitating "sourced" products or related services, which may be referred to as "open market" items or "nonstandard options". For example, you may supply such items "at cost" or "at cost plus a percentage," or you may supply a quote for each such request.	The proposed pricing for sourced equipment or services will be "open market." CNH Industrial will provide a quote for each request. Dealers may provide additional discounts at their discretion on the unit in question.	*
61	Identify any element of the total cost of acquisition that is NOT included in the pricing submitted with your response. This includes all additional charges associated with a purchase that are not directly identified as freight or shipping charges. For example, list costs for items like pre-delivery inspection, installation, set up, mandatory training, or initial inspection. Identify any parties that impose such costs and their relationship to the Proposer.	Additional cost that maybe associated with each transaction that dealers may include: -Set-up/pre delivery inspection -Surcharges if applicable -additional manuals -freight -training	*
62	If freight, delivery, or shipping is an additional cost to the Sourcewell participating entity, describe in detail the complete freight, shipping, and delivery program.	Freight, both from manufacturing facilities, distribution points, or transfers from other dealers' inventory will be added as a separate line item. This cost is FOB, but CNH Industrial often subsidizes it to remain competitive in the marketplace.	*
63	Specifically describe freight, shipping, and delivery terms or programs available for Alaska, Hawaii, Canada, or any offshore delivery.	Shipping and delivery expenses calculation method will be used for offshore delivery as well as Alaska, Hawaii, and Canada.	*
64	Describe any unique distribution and/or delivery methods or options offered in your proposal.	We do offer the option for equipment to be coded "will call." This allows the customer to pick up the equipment from the manufacturing/distribution points. This can lower the cost of the transaction.	*

**Table 12: Pricing Offered**

Line Item	The Pricing Offered in this Proposal is: *	Comments
65	c. better than the Proposer typically offers to GPOs, cooperative procurement organizations, or state purchasing departments.	

**Table 13: Audit and Administrative Fee**

Line Item	Question	Response *
66	Specifically describe any self-audit process or program that you plan to employ to verify compliance with your proposed Contract with Sourcewell. This process includes ensuring that Sourcewell participating entities obtain the proper pricing, that the Vendor reports all sales under the Contract each quarter, and that the Vendor remits the proper administrative fee to Sourcewell. Provide sufficient detail to support your ability to report quarterly sales to Sourcewell as described in the Contract template.	Our dealers are required to upload documents when they purchase equipment. They will upload the customer's purchase order, dealer's invoice to customer, and authorization letter. Each month Government Sales Manager audits the Sourcewell documents and verifies membership, pricing, discount, etc. Each quarter a report is generated on all Sourcewell sales and sent to the buyer.
67	If you are awarded a contract, provide a few examples of internal metrics that will be tracked to measure whether you are having success with the contract.	Market Share is important to our business. Each month we run reports from AEM to understand our position in the marketplace. This report includes total government sales, and from the percentage of government sales going into Sourcewell is determined. Our goal is to continue to grow this matrix in the percentage of government sales to increase Sourcewell sales. We also are looking at our year over year and quarter-over-quarter results in sales volume dollars. This will show us if we are on target for growth vs that of last year's quarter.
68	Identify a proposed administrative fee that you will pay to Sourcewell for facilitating, managing, and promoting the Sourcewell Contract in the event that you are awarded a Contract. This fee is typically calculated as a percentage of Vendor's sales under the Contract or as a per-unit fee; it is not a line-item addition to the Member's cost of goods. (See the RFP and template Contract for additional details.)	CNH Industrial agrees to continue to pay Sourcewell a 0.75% contract fee. Our contract has continued to grow, which results in profit for all parties involved.

**Table 14A: Depth and Breadth of Offered Equipment Products and Services**

Line Item	Question	Response *
69	Provide a detailed description of the equipment, products, and services that you are offering in your proposal.	<p>New Holland Construction Equipment:  <b>MEET YOUR CHALLENGES HEAD-ON</b>  New Holland's ongoing commitment to making the most dependable and innovative construction equipment brings you the 300 Series skid steer loaders. They provide enhanced productivity, comfort and ease, while still delivering outstanding lift and breakout force and rock-solid stability. Customize your machine for your specific demands with a wide array of versatile attachments and options. The patented Super Boom® vertical lift linkage delivers maximum reach at maximum height to allow you to place loads precisely in the center of high-sided truck boxes or hoppers. New Holland Tier 4 Final engines deliver powerful performance, use less fuel and are easy to maintain to decrease your operating costs. The reliable hydraulic system delivers fast cycle times. In-line hydraulic pumps produce less noise and provide extra-smooth operation. Add the optional high-flow hydraulics to run attachments hour after hour. The 300 Series dual-range transmission provides travel speeds of more than 11 mph to save time on and between job sites. It is standard on the L320, L321, L328, and L334. New Holland's long wheelbase gives you stability and smooth riding comfort. A new available creep mode (EH models only) gives you greater control for slow-speed operations like trenching.</p> <p>New Holland's 300 Series loaders make your workday more productive and comfortable with a compact track loader from New Holland. These 60 to 114 gross HP loaders are tough models that deliver incomparable performance and craftsmanship. Whether you are a farmer, contractor, or landscaper, the 300 Series loaders are built to support you and your operation. They hold fast to steep slopes and move easily through muddy or sandy terrain to complete jobs quickly and efficiently.</p> <p>New Holland's D Series loader backhoes represent a huge step forward in operator comfort and productivity while delivering Tier 4 Final emission compliance without compromise. A new cab design featuring 10% more space, new rear side windows, vastly improved clearance when turning the seat for backhoe operation, and hugely improved in-cab storage capacity guarantees an enhanced operator experience and increased operator productivity. Many customers need a loader that offers the versatility to do a lot more than just move bulk material, including grading and leveling as well as grabbing heavy items like tree trunks and concrete pillars. They also need a tractor unit offering the traction and power to push materials into place or out of the way. With a 4-in-1 bucket, a D Series loader backhoe delivers exceptional performance with just a single attachment. Choose a 6-in-1 bucket and you have the option to flip down adjustable pallet forks for handling palletized loads without a dedicated vehicle. The backhoe can be equipped with a wide choice of buckets to match excavation, water-course clearance, trenching and other demands. You can also fit post hole diggers, hydraulically extendable dipper and countless other tools. The long, nearly 23-ft. reach of both the standard and telescopic dipper allows digging depth comparable to many conventional dedicated excavators. Add the new updated cab featuring a new heated seat and up to ten LED lights and exterior side lights on the cab roof, and there are no performance compromises with a New Holland D Series loader backhoe.</p> <p><b>CLASS-LEADING POWER AT BUCKET AND HITCH</b>  The U80D tractor loader from New Holland delivers 74 gross horsepower of clean power with its Tier 4 Final certified engine. You get responsive power at both bucket and hitch, so the U80D pays its way by loading, stacking, scraping and leveling. Add the Glide Ride option, and the boom cylinders become the equivalent of giant shock absorbers to stabilize the load while traveling. The curved-arm loader linkage provided on the U80D tractor loader provides hydraulic bucket leveling for less spillback, as well as excellent reach at maximum dump height for truck loading. The unique reverse-mounted loader arm cylinders give you maximum bucket breakout force and superior dump speed on the bucket. Rugged Class II three-point hitch with controllable down pressure provides excellent scraping and leveling performance. The synchromesh transmission with power shuttle gives you smooth control and easy forward-reverse shuttling.</p> <p>New Holland compact wheel loaders do more than load. With dependable engine and hydraulic power and a choice of buckets and attachments, you can easily scrape, grade, haul and more. Z-Bar linkage design provides maximum breakout force, digging and lifting power for high-production load-and-carry applications. For applications where self-leveling is needed, like forklift work, consider the W50C TC Tool Carrier model. A stable compact design allows you to work and maneuver easily in restricted spaces. A lower machine height and lower center of gravity increases the stability of New Holland compact wheel loaders so you can lift and move larger loads, travel smoothly and quickly, and operate with more confidence.</p>

You can work next to buildings, foundations, and roads with greater confidence in a New Holland Construction C Series compact excavators. They combine power, performance, and versatility to make the very most of every minute of your day. C Series excavators deliver big digging and grading performance with SAE bucket breakout forces up to 8,490 lbf and dig depth up to 12.5 feet. Their compact design and zero/short tail swing mean you can dig, fill, and grade in the most confined, congested areas. You can offset the excavator boom left or right within the operating range to match the situation. The C Series also offers more ground clearance and excellent dozer blade lift height for maneuvering and working in tough conditions. With seven models from 1.7 to 6 tons, there is nothing small about the performance of New Holland compact excavators. All models offer an increase in horsepower compared to previous models, powered by quiet, fuel-efficient Tier 4 Final engines up to 66.9 horsepower. Ease and comfort equate with operator productivity, so the wide C Series cab is designed for spaciousness, all-around visibility, comfortable seating, and smooth control. New Holland's Auto Shift traveling system automatically downshifts when load increases to enhance travel torque on slopes and in difficult conditions, then shifts back up to secure a faster travel speed after the load decreases. The Auto Idle system activates when you are not using the operating levers to improve fuel efficiency.

#### Case Construction Equipment:

The CASE B Series skid steers build on more than 50 years of engineering and field experience to provide the most intuitive operator experience and comfortable working environment ever built into a CASE skid steer — including an eight-inch LCD multi-function display and simple electro-hydraulic controls. The design simplifies operation and puts more power and control into the hands of the operator. Match that with productivity-enhancing horsepower and torque, powerful auxiliary hydraulics, and industry-leading visibility — and CASE B Series skid steers allow you to get more done every day.

The CASE skid steer lineup features the sizes, lift patterns, power, and emissions solutions to match any application. Five radial-lift and three vertical-lift skid steers across numerous horsepower and size classes ensure that you will find the right solution for your operation. CASE B Series skid steers also provide operators with the most feature-rich operator experience ever found in a CASE skid steer, including electro-hydraulic controls, "Creep Speed" functionality, an automotive-style information display with improved fault codes and troubleshooting, as well as Economy Modes with engine protection. The eight-inch LCD multi-function display serves as the command center for the machine and includes the industry's only backup camera visible in a split screen display with machine data.

The CASE B Series compact track loaders offer a completely re-imagined operator interface and environment to simplify operation and put more power and control into the hands of the operator — including an 8-inch LCD multi-function display and simple electro-hydraulic controls. Match that with industry-leading visibility, productivity-enhancing horsepower and torque, extreme attachment versatility, and lift geometries and size classes to meet every demand — and CASE B Series compact track loaders have the strength and performance to handle your toughest jobs. Jobsite productivity and awareness are driven by industry-leading visibility — further improved with the backup camera and a cab-wide rearview mirror. Operators have the industry's best perspective of the job through large front and side windows, a low entry threshold for greater visibility down to the bucket, a low sloping rear hood and 360-degree lighting.

CASE backhoe loaders – extra power when you want it, precise control where you need it and a sophisticated-yet-simple machine that needs less from you to get more done, more quickly. When your backhoe legacy dates to the world's first fully integrated production backhoe loader, you know they are expected to do everything. So, you engineer them to be stronger and more responsive, roading, loading, or digging. That is the Tier 4 Final N Series backhoe. Give your backhoe a shot in the arm. At the push of a button, Power Boost provides a temporary surge of power – up to 8% more breakout – without decreasing RPMs (Revolutions Per Minute) so you can quickly muscle through obstacles and tough or frozen ground. (Not available on 580N EP or 580N backhoes).

The CASE 570N EP tractor loader combines unbeatable lifting strength, ground speeds as fast as 24mph, and user-friendly features to provide contractors with a skip loader that is impressively cost effective, and incredibly easy to own and operate. It is available with a rear 540-RPM PTO (Power Take Off) or 3-point hitch, as well as a hydraulic front quick coupler for optimal versatility. The CASE 570N EP tractor loader has a full height lifting capacity of 6,503 LB., giving you more than three tons of lifting strength to move, load and stock more piles, palletes, and material. Loader arms have heavy-duty in-line parallel linkage with a solid thru-pin design, dual bucket cylinders and a standard material retention feature to evenly transfer bucket stress up and through full dump. It all works together to provide faster cycles with less spillage.

The enhanced CASE G Series wheel loaders simplify operation through a touchscreen display and give operators even greater control with adjustable electro-hydraulic controls, optimized power modes and programmable configurable buttons near the joystick. These buttons put your most common settings and functions mere inches away from the joystick, further simplifying operation. All while delivering — and improving — the power, productivity, and efficiency you already expect from CASE G Series wheel loaders. Extreme fuel efficiency, lower engine operating temperatures and a no DPF/no regen emissions solution are matched with features designed to shorten cycle times, increase uptime, and make you even more efficient. An optional, factory-integrated payload system drives greater accuracy and loading efficiency in operations from quarries and job sites to feedlots and supply yards — and makes the investment/deployment in a payload system entirely turnkey (no separate financing/installation/etc.).

C Series motor graders expand the CASE lineup with well-equipped models ideally suited for small-to-mid-size grading operations for municipalities, road maintenance and general construction. Their SCR-only Tier 4 Final engine solution delivers fuel-saving performance with minimal cost or maintenance from the operator and with the product assurance of ProCare, ownership and upkeep has never been easier. Models come standard with the productivity-boosting features operators want and are available as standard drive or AWD, and as machine control-ready for integrating into precision fleets. C Series graders deliver smooth, automatic shifting thanks to an Ergopower transmission and torque converter. And with the hydraulic differential lock and automatic power splitting, torque is instantly transferred from a slipping tire to one with more traction, providing constant traction without throttle adjustment necessary.

The CASE H Series rough terrain forklifts get it done smoother, easier, and faster. With fast lifting speeds, roading speeds of up to 24 mph (38.6 km/h), lifting capacities of up to 8,000 lbs. and a slew of unique features that keep loads level and forklift operators comfortable, these high-performance, Tier 4 Final forklifts truly do raise the bar. Rough terrain forklifts are designed for two things: lifting and moving loads. We have engineered the H Series forklifts to be the best at both. With lifting speeds of 107 feet per minute and roading speeds of 24 mph, you will be able to raise, haul and place quicker to finish the job faster.

The all-new E Series excavators build on that legacy with seven new models - including two new class sizes - designed from the ground up to revolutionize the operator experience through laser focus on the things operators care about most: reliability, cab comfort and performance. We give you a full line-up of solutions for every size and type of jobsite, whether you are trenching in open fields or working a single lane on the highway. And the growing list of OEM-fit machine control technologies available throughout the new E Series lineup shows our commitment to always delivering improved performance, precision, and profitability.

The CASE M Series dozers are among the most powerful and efficient — and now even more precise with factory-fit machine control. This makes it easier than ever to get into machine control and to experience its benefits: increased productivity, improved performance, and reduced wear-and-tear on your dozer fleet. Match that with industry leading power, extreme visibility to the work area, an intuitive operator interface/experience, and the full support of CASE and its dealer network — and CASE M Series Dozers will drive your success from heavy bulldozer work to fine grading. It is all about the drawbar pull — and the tractive effort and related pushing power it creates. CASE M Series dozers provide best-in-class drawbar pull (varies by model), and a powerful and robust undercarriage with a variety of track and extended life options to meet your pushing needs.

CASE Minotaur™ DL550 — an all-new, industry-first equipment category: the compact dozer loader. The integrated C-frame delivers true dozer performance and the agility and finesse of a loader. CASE Universal Machine Control allows you to use the precision construction technology you prefer\*. It is compatible with hundreds of attachments, and the addition of an industry-exclusive fully integrated ripper makes this machine one-of-a-kind. It has the strength, attitude, and intelligence to stake a claim as the industry's most versatile and powerful compact machine.

Minotaur demonstrates CASE's commitment to delivering real-world innovation rooted in customer need. With 29 patents\*\*, more than 10,000 field test hours, multiple customer clinics, countless operator evaluations, product refinements and even more evaluations after that — we've put this machine to the test to deliver you the highest standard in quality. Built mean for tough conditions and smart for precision grading, you can take it all on with confidence. Transform your operation with CASE Construction Equipment.

\*Machine control solution of your choice sold separately

\*\*21 patents granted, 8 pending

		No two compaction jobs are the same. All three series of CASE vibratory rollers — double drum, single drum, and pneumatic tire — provide operators with the right combination of brute compaction force and precise control for all materials, lift profiles and jobsites. Double drum. Combi. Compact. Large Frame. CASE offers compaction solutions for every asphalt job, from driveways and bike paths to highways and commercial parking lots. Industry-leading climbing up to 67 percent grade matches with a design for powerful compaction while remaining versatile, easy to transport and fuel efficient. The PT240D provides the flexibility for both sub-base and asphalt compaction in large-scale paving projects, improving compaction quality and completing the work in fewer passes — all in a Tier 4 Final machine.
70	Within this RFP category there may be subcategories of solutions. List subcategory titles that best describe your products and services.	There are various subcategories of solutions that may describe our equipment these include earth moving equipment, agriculture, residential construction, utilities, quarry and aggregates, roads and bridges, landscaping, waste and scraping, non-residential construction, and snow removal. CNH INDUSTRIAL supports your municipality by optimizing equipment for productivity. That also means we are constantly striving to design machines that are simple to own. Our customers provide input to help guide machine enhancements, to improve serviceability, visibility, stability, power, ease of operation and transport, extended time between refueling, noise reduction and cold-weather starting – just to name a few. And when you buy equipment from CNH INDUSTRIAL our relationship does not stop at the transaction. CNH INDUSTRIAL dealer network is on-hand to help you build the right equipment for your jobsite, and after you buy, for advice on daily checks, operator environment configuration and help with planned maintenance.

**Table 14B: Depth and Breadth of Offered Equipment Products and Services**

Indicate below if the listed types or classes of equipment, products, and services are offered within your proposal. Provide additional comments in the text box provided, as necessary.

Line Item	Category or Type	Offered *	Comments
71	Wheeled, tracked, and backhoe loaders	<input checked="" type="radio"/> Yes <input type="radio"/> No	Case construction provides (7) different TLB models ranging from 74 (HP) horsepower to 110 (HP)
72	Motor Graders	<input checked="" type="radio"/> Yes <input type="radio"/> No	Case Construction offers two classes of Motor Graders, the 836C (137 HP) and the 856C (173 HP).
73	Wheeled and tracked excavators	<input checked="" type="radio"/> Yes <input type="radio"/> No	Case construction offers seven different models of compact excavators, two types of midi excavators and sixteen diverse types of heavy excavators (full-size excavators).
74	Bulldozers, compactors, scapers, articulated and rigid haulers	<input checked="" type="radio"/> Yes <input type="radio"/> No	CNH INDUSTRIAL (Case New Holland Industrial) offers (6) Bulldozers ranging from 68 to 214 horsepower
75	Cranes	<input type="radio"/> Yes <input checked="" type="radio"/> No	
76	Accessories or attachments for the offering in #71-75 above	<input checked="" type="radio"/> Yes <input type="radio"/> No	CNH INDUSTRIAL (Case New Holland Industrial) provides hundreds of attachments specifically designed to meet your equipment needs. We will include brochures highlighting the vast array of attachments we provide that range from snow-pushers, augers, bale handlers, buckets, brooms, and much more.
77	Technology or services for the offering in #71-75 above	<input checked="" type="radio"/> Yes <input type="radio"/> No	CASE ProCare is the most comprehensive and standard-from-the-factory heavy machine support program in the industry. It comes with a 3-year/3000-hr full machine factory warranty, 3-year/2000-hr planned maintenance and 3-year Advanced SiteWatch subscription. With CASE ProCare, you receive complete factory-provided coverage on select new heavy machine orders.

**Table 14C: Required Offering of Equipment**

Indicate below if the proposer's proposal includes at least one (1) of the following listed types or classes of equipment. Provide additional comments in the text box provided, as necessary.

Line Item	Category or Type	Offered	Comments
78	Wheel loader with published net horsepower (HP) of at least 300 HP	<input checked="" type="radio"/> Yes <input type="radio"/> No	CASE Construction offers two Wheel Loader's with published net horsepower (HP) of at least 300 HP.
79	Wheeled or tracked excavator with a published net horsepower (HP) of at least 150 HP	<input checked="" type="radio"/> Yes <input type="radio"/> No	Case Construction provides (10) full-sized excavators with a published net horsepower (HP) of at least 150 HP.
80	Motor Grader with a published maximum operating weight of at least 30,000 lbs.	<input checked="" type="radio"/> Yes <input type="radio"/> No	Case construction has (1) Motor Grader with a published maximum operating weight of at least 30,000 lbs.
81	Rough terrain, all terrain, crawler, floating, lattice, or telescopic crane with a published maximum lifting capacity of at least 300 tons and a published maximum boom length of at least 150 feet	<input type="radio"/> Yes <input checked="" type="radio"/> No	CNH INDUSTRIAL (Case New Holland Industrial) does not have Cranes in its current offering.

**Exceptions to Terms, Conditions, or Specifications Form**

Only those Proposer Exceptions to Terms, Conditions, or Specifications that have been accepted by Sourcewell have been incorporated into the contract text.

**Documents****Ensure your submission document(s) conforms to the following:**

1. Documents in PDF format are preferred. Documents in Word, Excel, or compatible formats may also be provided.
2. Documents should NOT have a security password, as Sourcewell may not be able to open the file. It is your sole responsibility to ensure that the uploaded document(s) are not either defective, corrupted or blank and that the documents can be opened and viewed by Sourcewell.
3. Sourcewell may reject any response where any document(s) cannot be opened and viewed by Sourcewell.
4. If you need to upload more than one (1) document for a single item, you should combine the documents into one zipped file. If the zipped file contains more than one (1) document, ensure each document is named, in relation to the submission format item responding to. For example, if responding to the Marketing Plan category save the document as "Marketing Plan."
  - [Pricing](#) - CNHI Price pages.zip - Friday January 13, 2023 07:29:27
  - [Financial Strength and Stability](#) - CNHI Annual report & Sustainability report.zip - Friday January 13, 2023 07:37:31
  - [Marketing Plan/Samples](#) - Buyers Guide back page.docx - Friday January 13, 2023 07:21:33
  - WMBE/MBE/SBE or Related Certificates (optional)
  - [Warranty Information](#) - CNHI Warranty.zip - Friday January 13, 2023 07:32:04
  - [Standard Transaction Document Samples](#) - NH CE and Case CE matrix.zip - Thursday January 12, 2023 14:43:50
  - [Upload Additional Document](#) - CNHI awards, certificates & licenses & Brochures.zip - Friday January 13, 2023 09:54:58

## Addenda, Terms and Conditions

### PROPOSER AFFIDAVIT AND ASSURANCE OF COMPLIANCE

I certify that I am the authorized representative of the Proposer submitting the foregoing Proposal with the legal authority to bind the Proposer to this Affidavit and Assurance of Compliance:

1. The Proposer is submitting this Proposal under its full and complete legal name, and the Proposer legally exists in good standing in the jurisdiction of its residence.
2. The Proposer warrants that the information provided in this Proposal is true, correct, and reliable for purposes of evaluation for contract award.
3. The Proposer, including any person assisting with the creation of this Proposal, has arrived at this Proposal independently and the Proposal has been created without colluding with any other person, company, or parties that have or will submit a proposal under this solicitation; and the Proposal has in all respects been created fairly without any fraud or dishonesty. The Proposer has not directly or indirectly entered into any agreement or arrangement with any person or business in an effort to influence any part of this solicitation or operations of a resulting contract; and the Proposer has not taken any action in restraint of free trade or competitiveness in connection with this solicitation. Additionally, if Proposer has worked with a consultant on the Proposal, the consultant (an individual or a company) has not assisted any other entity that has submitted or will submit a proposal for this solicitation.
4. To the best of its knowledge and belief, and except as otherwise disclosed in the Proposal, there are no relevant facts or circumstances which could give rise to an organizational conflict of interest. An organizational conflict of interest exists when a vendor has an unfair competitive advantage or the vendor's objectivity in performing the contract is, or might be, impaired.
5. The contents of the Proposal have not been communicated by the Proposer or its employees or agents to any person not an employee or legally authorized agent of the Proposer and will not be communicated to any such persons prior to Due Date of this solicitation.
6. If awarded a contract, the Proposer will provide to Sourcewell Participating Entities the equipment, products, and services in accordance with the terms, conditions, and scope of a resulting contract.
7. The Proposer possesses, or will possess before delivering any equipment, products, or services, all applicable licenses or certifications necessary to deliver such equipment, products, or services under any resulting contract.
8. The Proposer agrees to deliver equipment, products, and services through valid contracts, purchase orders, or means that are acceptable to Sourcewell Members. Unless otherwise agreed to, the Proposer must provide only new and first-quality products and related services to Sourcewell Members under an awarded Contract.
9. The Proposer will comply with all applicable provisions of federal, state, and local laws, regulations, rules, and orders.
10. The Proposer understands that Sourcewell will reject RFP proposals that are marked "confidential" (or "nonpublic," etc.), either substantially or in their entirety. Under Minnesota Statutes Section 13.591, subdivision 4, all proposals are considered nonpublic data until the evaluation is complete and a Contract is awarded. At that point, proposals become public data. Minnesota Statutes Section 13.37 permits only certain narrowly defined data to be considered a "trade secret," and thus nonpublic data under Minnesota's Data Practices Act.
11. Proposer its employees, agents, and subcontractors are not:
  1. Included on the "Specially Designated Nationals and Blocked Persons" list maintained by the Office of Foreign Assets Control of the United States Department of the Treasury found at: <https://www.treasury.gov/ofac/downloads/sdnlist.pdf>;
  2. Included on the government-wide exclusions lists in the United States System for Award Management found at: <https://sam.gov/SAM/>; or
  3. Presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from programs operated

by the State of Minnesota; the United States federal government or the Canadian government, as applicable; or any Participating Entity. Vendor certifies and warrants that neither it nor its principals have been convicted of a criminal offense related to the subject matter of this solicitation.

By checking this box I acknowledge that I am bound by the terms of the Proposer's Affidavit, have the legal authority to submit this Proposal on behalf of the Proposer, and that this electronic acknowledgment has the same legal effect, validity, and enforceability as if I had hand signed the Proposal. This signature will not be denied such legal effect, validity, or enforceability solely because an electronic signature or electronic record was used in its formation. - Amy Swett, Government & Fleet Sales Account Manager, CNH Industrial America LLC

The Proposer declares that there is an actual or potential Conflict of Interest relating to the preparation of its submission, and/or the Proposer foresees an actual or potential Conflict of Interest in performing the contractual obligations contemplated in the bid.

Yes  No

The Bidder acknowledges and agrees that the addendum/addenda below form part of the Bid Document.

Check the box in the column "I have reviewed this addendum" below to acknowledge each of the addenda.

File Name	I have reviewed the below addendum and attachments (if applicable)	Pages
<b>Addendum_5_Heavy_Construction_Equipment_RFP_011723</b> Tue January 10 2023 08:47 AM	<input checked="" type="checkbox"/>	1
<b>Addendum_4_Heavy_Construction_Equipment_RFP_011723</b> Fri January 6 2023 09:51 AM	<input checked="" type="checkbox"/>	2
<b>Addendum_3_Heavy_Construction_Equipment_RFP_011723</b> Thu December 29 2022 12:33 PM	<input checked="" type="checkbox"/>	2
<b>Addendum_2_Heavy_Construction_Equipment_RFP_011723</b> Wed December 21 2022 01:49 PM	<input checked="" type="checkbox"/>	1
<b>Addendum_1_Heavy_Construction_Equipment_RFP 011723</b> Thu December 15 2022 09:27 AM	<input checked="" type="checkbox"/>	1



Agenda Item No: 1.e

## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Lesley Whittaker

From: Development Services

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### **Subject:**

Tentative Parcel Map No. (TPM) 2024-113 Pertaining to the Subdivision of an +/- 4.97 Acre Lot into Four Parcels, with a Remainder Parcel located at 440 N. Jefferson within the R-3 (High Density Multiple-Family Residential) Zoning District

### **Financial Impact:**

#### Fiscal Impact:

Approximately \$3,000,000 of Total Development Impact Fee Revenue associated with the anticipated construction of 140 Townhomes.

### **Summary:**

At the Planning Commission meeting held July 9, 2024, the Planning Commission voted 5-0-2-0 (2 absent) to recommend approval of TPM 2024-113 to the City Council. TPM 2024-113 is a request to permit the subdivision of an approximately 4.97-acre parcel into four (4) parcels, with a remainder parcel on a property located at 440 N. Jefferson Street (APNs: 346-162-01 and 346-162-02). In accordance with Placentia Municipal Code (PMC) Sections 22.80.060 and 22.80.070, the Planning Commission hereby submits a report of its findings and recommends approval of TPM 2024-113 to the City Council.

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

Adopt Resolution R-2024-57, a Resolution of the City Council of the City of Placentia, California, adopting a categorical exemption pursuant to the California Environmental Quality Act (Public Resources Code §§ 21000-21177 and §15000 et seq. of Title 14 of the California Code of Regulations) (CEQA) and Approving Tentative Parcel Map No. TPM 2024-113 pertaining to the subdivision of property located at 440 N. Jefferson Street (Assessor's Parcel Numbers 346-162-01 and 346-162-02) and making findings in support thereof.

### **Strategic Plan Statement:**

This item is consistent with the City Council approved 5-Year Strategic Goal to achieve:

Implementation of Housing Element Strategies, Objective Number 3.10. This agenda item will specifically create opportunities for the development of more housing in the City consistent with the City's Housing and Land Use Elements.

**Discussion:**

The subdivision is not intended for development, and no development will be permitted under the proposed TPM. The subdivision will facilitate financing options for the future development of multiple family residences on the property.

While the subject TPM is for financing purposes, it is notable that parcels 2, 3, 4 and the remainder lot do not have street frontage, as required by PMC Section 22.16.020 Area and Width – Residential Districts. However, this Parcel Map is solely for financing purposes, and one condition of the TPM approval is to require a new subdivision map and related Development Plan Review for any future development. A subsequent Tentative Tract Map has been submitted to facilitate future development on this property, eventually resulting in 140 residential condominium units. The subsequent development will be subject to all standards of the PMC including but not limited to lot sizes, setbacks and density.

PMC Section 22.80.010(a) requires a Parcel Map for all subdivisions of four or fewer parcels and Section 22.80.060(c) requires that the Planning Commission take action to recommend to the City Council conditional approval or denial of the map. The breakdown of the four (4) parcels and remainder lot are shown in the table below. The subsequent tract map that will be submitted will not reflect the same.

<b>Parcel No.</b>	<b>PMC Minimum Lot Size</b>	<b>Proposed Lot Size (square feet)</b>
1	8,000 sq.ft.	90,170 sq. ft.
2	8,000 sq.ft.	9,355 sq. ft.
3	8,000 sq.ft.	98,904 sq. ft.
4	8,000 sq.ft.	10,405 sq. ft.
Remainder	8,000 sq.ft.	9,958 sq. ft.

Subject Site and Surrounding Land Uses:

The subject site is located within High Density Multiple-Family Residential, with residential to the easterly direction, and northerly-across Orangethorpe Avenue. The City of Anaheim boundary is located west of this subject site, across Jefferson Street. Currently, the Anaheim site is being used for manufacturing purposes. The site’s southern boundary is the Orange County Flood Control Channel, and beyond the channel is manufacturing uses and structures. The table below shows surrounding existing land uses, zoning, and General Plan designations. The subject site contains twelve active oil wells, which the applicant and property owner is currently in process of capping the wells. In the near future, when the subject site is developed, the applicant will submit certification of abandoned wells pursuant to all state, county, and local regulations.

<b>Location</b>	<b>Existing Land Use</b>	<b>General Plan Land Use Element Designation</b>	<b>Zoning Map Designation</b>
<b>Subject Site</b>	Oil & Gas Production, largely vacant	High Density Residential	R-3 (High-Density Multiple Family Residential)

<b>North (Across Orangethorpe)</b>	Apartments	Specific Plan	SP-7 (Specific Plan 7)
<b>West (Across Jefferson St)</b>	City of Anaheim (Manufacturing)	City of Anaheim	City of Anaheim
<b>East</b>	Townhome Condominiums (Hudson)	High Density Residential	R-3 (High-Density Multiple Family Residential)
<b>South (across OC Flood Control Channel)</b>	Manufacturing	Industrial	M (Manufacturing)

Environmental:

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 et seq., the State CEQA Guidelines, 14 C.C.R. §§ 15000 et seq., and the Environmental Guidelines of the City of Placentia. Staff recommends and the Planning Commission recommended that the City Council exercise its independent judgment and find that TPM 2024-113 is exempt from CEQA pursuant to State CEQA Guidelines §15315 (Class 15 - Minor Land Divisions), as it applies to the division of property in urbanized areas zoned for residential use into four or fewer parcels, the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

Conclusion:

The proposed project is consistent with the City’s General Plan and meets most of the minimum development standards of the PMC. Staff have addressed areas of concerns within the conditions of approval for this Tentative Parcel Map. The proposed subdivision located within the existing R-3 Zoning District will be compatible with adjacent land uses and will not result in any adverse impacts to the surrounding area and will preclude the forthcoming Tentative Tract Map and Development Plan Review.

**Fiscal Impact Summary:**

Pursuant to PMC Title 5 all new development is subject to Citywide Development Impact Fees. The proposed Tentative Parcel Map will allow the developer to move forward with the future development, which will result in approximately 140 residential units. The subsequent construction of new townhomes in the future, made possible by this intermediary tentative parcel map, will result in approximately \$3,000,000 of total Development Impact Fee revenue. It should be noted that future construction will also require payment of user fees such as building plan check and building permit fees as well as annexation into CFD 2014-01 or its successor.

**Attachments**

- 1.and1.a.\_Resolution\_R-2024-57\_-\_TPM\_2024-113.docx
2. TPM 2024-113 Tentative Parcel Map
3. Vicinity Map
4. Site Photos

**RESOLUTION NO. R-2024-57**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, ADOPTING A CATEGORICAL EXEMPTION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (PUBLIC RESOURCES CODE §§ 21000-21177 AND §15000 *ET SEQ.* OF TITLE 14 OF THE CALIFORNIA CODE OF REGULATIONS) (CEQA) AND APPROVING TENTATIVE PARCEL MAP (TPM) 2024-113 PERTAINING TO THE SUBDIVISION OF PROPERTY LOCATED AT 440 N. JEFFERSON STREET (ASSESSOR'S PARCEL NUMBERS 346-162-01 AND 346-162-02 ) AND MAKING FINDINGS IN SUPPORT THEREOF**

**A. Recitals.**

**WHEREAS**, On July 9, 2024, the Planning Commission of the City of Placentia conducted, and concluded, a duly noticed public hearing, as required by law, recommending to the City Council of the City of Placentia, approval of Tentative Parcel Map No. TPM 2024-113 for the property located at 440 N. Jefferson Street (Assessor's Parcel Numbers 346-162-01 and 346-162-02).

**WHEREAS**, The City Council heard testimony, received a report and other relevant information from City staff, regarding a Tentative Parcel Map application.

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.**

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLACENTIA DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:**

Section 1. The City Council hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

Section 2. Based upon substantial evidence presented to this City Council with regard to the Application, including written staff reports, verbal testimony and development plans, the City Council hereby specifically finds as follows:

a. The proposed project will not be: (1) detrimental to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development or within the city, or (2) injurious to the property or improvements within the neighborhood or within the city. The subject subdivision is not likely to cause serious public health problems. Subject to compliance with the attached Conditions of Approval set forth in Attachment "1.A." of the staff report (Attachment A to

this Resolution) and by this reference incorporated herein and Standard Development Requirements, the project complies with all applicable code requirements and development standards of the (R-3) High Density Multiple-Family Zoning District and Title 22, and with other applicable regulations of the Placentia Municipal Code (PMC).

b. The proposed use is consistent with the City's General Plan. The General Plan Land Use designation for the subject site high-density residential, and the proposed use does not involve any change in the allowable land use of the subject site. The proposed project involves the subdivision of a +/- 4.97-acre parcel into four parcels with a remainder parcel for financial purposes that is consistent with the (R-3) High Density Multiple Family Zoning District and the General Plan.

c. The proposed project as presented in the staff report and accompanying plans complies with all requirements of Chapter 23.21 of the PMC. City Staff carefully examined the proposed subdivision against the applicable development regulations prescribed in Title 23 (Zoning Ordinance) and determined it to be in substantial compliance. The proposed subdivision includes Conditions of Approval and Standard Development Requirements to ensure full compliance with applicable code requirements and to ensure full compliance with the General Plan, and with applicable design improvements required therein.

d. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions are made part of this Tentative Parcel Map approval. Attachment "1.A" of the staff report (Attachment A to this Resolution) contain Conditions of Approval and Standard Development requirements specific to this application in order to provide assurances that the proposed subdivision and related on and off-site improvements are in compliance with applicable requirements of the PMC.

e. That the proposed map is consistent with the General Plan and with all provisions of Title 22 of the PMC. The proposed Tentative Parcel Map application is to subdivide an existing 4.97-acre parcel into four parcels, with a remainder parcel, for financial purposes only. The proposed map is consistent with all policies, programs, and goals of the General Plan.

f. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. As part of the review of the application, an extensive record research was completed. Additionally, the application submitted a preliminary title report with their application.

g. That the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure wildlife or their habitat. The subject site is an underutilized property that only has limited vegetation. There are no known areas within the City that host wildlife or their habitat.

Section 3. a. The City Council of the City of Placentia finds that TPM 2024-113 is exempt from the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia pursuant to the State CEQA Guidelines § 15315 (Class 15 – Minor Land Divisions) as this subdivision will result in the division of property in an urbanized area zoned for residential use into four or fewer parcels, the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent;

b. The City Council finds and determines that, based upon the findings set forth above and below, and changes and alterations which have been incorporated into and conditioned upon the proposed project, no significant adverse environmental effects will occur; and

c. The City Council finds that facts supporting the above-specified findings are contained in the staff report and exhibits, and the information provided during the public hearing conducted with respect to the Application.

Section 4. Based upon the findings and conclusions set forth herein, the City Council hereby approves Tentative Parcel Map 2024-113, as modified herein, and specifically subject to the conditions set forth in Attachment “1.A.” of the staff report (Attachment A to this Resolution) attached hereto and by this reference incorporated herein.

**PASSED, ADOPTED and APPROVED this 3<sup>rd</sup> day of September 2024.**

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Jeremy B. Yamaguchi, Mayor

ATTEST:

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Robert S. McKinnell, City Clerk

STATE OF CALIFORNIA  
COUNTY OF ORANGE

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the City Council of the City of Placentia, held on the 3<sup>rd</sup> day of September 2024 by the following vote:

AYES:

NOES: Councilmembers:

ABSENT: Councilmembers:

ABSTAIN: Councilmembers:

---

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

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Christian Bettenhausen, City Attorney

**Attachment A**  
**Special Conditions of Approval for**  
**Tentative Parcel Map No. TPM 2024-113**  
**440 N. Jefferson St. (APNs: 346-162-01, 346-162-02)**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL OF THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE TENTATIVE PARCEL MAP TO CONTINUE IN GOOD STANDING.**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation or amendment of said actions by the City of Placentia Planning Commission.
2. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
3. Approval of TPM 2024-113 and the resulting Final Map is contingent upon City Council approval.
4. TPM 2024-113 shall expire twenty-four (24) months after City Council approval or conditional approval if a final map is not recorded. Upon written request by the developer the time limit may be extended an additional twelve (12) months by City Council.
5. TPM 2024-113 shall not permit any new construction. Any construction, other than the maintenance and activities of deconstructing and/or decommissioning of onsite oil operations is strictly prohibited. If the developer/owner of each resulting lots requests to construct any onsite structures, a new parcel map and development plan review application package must

be submitted to the city to comply with PMC 22.16.020, at which the conditions of approval for the subsequent subdivision and proposed development will replace these conditions.

6. A new tentative tract/parcel map is required to permit any development of the parcels in TPM 2024-113.
7. The developer/property owner agrees to submit a new Tentative Tract/Parcel Map, along with a corresponding development plan, within three (3) months of the City Council approval of TPM 2024-113.
8. A final map shall be prepared by or under the direction of a registered Civil Engineer or licensed land surveyor in the State, as provided for in the Business and Professions Code.
9. TPM 2024-113 and the related Final Map shall comply with the applicable requirements of Title 22 Subdivisions of the Placentia Municipal Code.
10. Any modifications to the approved TPM and any modifications which will change, expand or intensify the use shall be subject to review and approval by the Director of Development Services. The Director of Development Services or his or her designee may determine if such modifications require approval by the City of Placentia Planning Commission or may be approved administratively by City staff.

#### **BUILDING DEPARTMENT**

11. The parcel map, after being approved by City Council, shall be recorded by the Orange County Recording Office.

#### **ENGINEERING DEPARTMENT**

12. No construction permit shall be issued.

#### **PLACENTIA FIRE & LIFE SAFETY DEPARTMENT**

The following conditions have been applied to the above referenced project pursuant to the City of Placentia Fire and Life Safety Department adopted codes and standards, the 2022 California Fire Code and applicable rules, regulations, and standards. Conditions must be complied with as directed by Placentia Fire and Life Safety Department and shall be reviewed, permitted, inspected, tested, and approved in accordance with the requirements set forth.

13. The project shall comply with all requirements set forth by the California Code of Regulations, Title 24, Parts 1-12.
14. The adopted edition of the California Code of Regulations, Title 24, Parts 1-12, and the Placentia Municipal Code shall apply at the time the architectural plans are submitted for construction permits.

**Prior to Construction**

15. Placentia Fire & Life Safety Department at time of plan or permit submission will charge certain fees for plan review and inspections. Fees will be determined at the time of plan review and/or inspections.

**Prior to Occupancy**

16. Provide plans as a PDF file for pre-fire planning use by the fire department. Information shall include locations of all exits, stairwells, and roof access. Also, the location of fire hydrants, fire department connections, post indicator valves, backflow prevention, gas, electrical, water, fire sprinkler risers and standpipe valves and shutoffs, and elevator and electrical equipment rooms, fire alarm panels, and remote annunciators. The symbols used for the pre-fire plan must be obtained from Placentia Fire & Life Safety Department.

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LD PARCEL 1:  
THOSE PORTIONS OF LOT 36 OF HAZARD'S SUBDIVISION, IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 7 OF MISCELLANEOUS RECORDS OF LOS ANGELES COUNTY, CALIFORNIA DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT 130 FEET SOUTH OF THE INTERSECTION OF THE CENTERLINE OF THE PLACENTIA-YORBA STATE ROAD AND JEFFERSON STREET, AS SHOWN ON AMENDED MAP OF RICHFIELD, FILED IN BOOK 1, PAGE 26 OF RECORD OF SURVEYS, RECORDS OF SAID ORANGE COUNTY; THENCE EASTERLY ALONG THE SOUTH LINE OF THE ATCHISON, TOPEKA AND SANTA FE RAILWAY COMPANY'S 100 FOOT RIGHT-OF-WAY, 880.31 FEET TO THE EAST LINE OF LOT 36, AS SHOWN ON ABOVE-MENTIONED MAP; THENCE SOUTH ALONG LOT LINE, 141.03 FEET TO THE NORTHWESTERLY LINE OF THE ATCHISON, TOPEKA AND SANTA FE RAILWAY COMPANY'S 100 FOOT RIGHT-OF-WAY; THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID ATCHISON, TOPEKA AND SANTA FE RAILWAY COMPANY'S 100 FOOT RIGHT-OF-WAY TO THE CENTERLINE OF JEFFERSON STREET; THENCE NORTH ALONG THE CENTERLINE OF JEFFERSON STREET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF THE HEREIN BEFORE DESCRIBED LAND LYING SOUTHERLY OF THE NORTHERLY LINE OF THE LAND DESCRIBED IN THE DEED TO ORANGE COUNTY FLOOD CONTROL DISTRICT (ATWOOD CHANNEL) RECORDED SEPTEMBER 20, 1962 IN BOOK 6255, PAGE 297 OFFICIAL RECORDS OF SAID ORANGE COUNTY.

APN: 346-162-02

LD PARCEL 2:  
THAT PORTION OF LOT 37 OF HAZARD'S SUBDIVISION, IN THE CITY OF PLACENTIA, COUNTY OF ORANGE,

STATE OF CALIFORNIA, AS SHOWN BY MAP FILED IN BOOK 1, PAGE 26 OF RECORD OF SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, LYING SOUTHERLY OF THE SOUTHERLY LINE OF THE 100-FOOT RIGHT OF WAY AS CONVEYED TO SOUTHERN CALIFORNIA RAILWAY COMPANY BY DEED RECORDED MARCH 18, 1905 IN BOOK 113, PAGE 315 OF DEEDS AND NORTHERLY OF THE NORTHWESTERLY LINE OF THE RIGHT OF WAY AS CONVEYED TO SOUTHERN CALIFORNIA RAILWAY COMPANY BY DEED DATED MAY 11, 1893, RECORDED AUGUST 12, 1893 IN BOOK 81, PAGE 346 OF DEEDS.

APN: 346-162-01

**VESTED OWNER:**

PARCEL 1: GUARANTEE ROYALTIES INC., A CORPORATION  
PARCEL 2: LAOR LIQUIDATING ASSOCIATES, A LIMITED PARTNERSHIP ORGANIZED UNDER THE LAWS OF THE STATE OF CALIFORNIA

**SITE ADDRESS:**

440 JEFFERSON STREET  
PLACENTIA, CA 92870

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING NORTH 65°16'44" EAST BETWEEN CALIFORNIA SPATIAL REFERENCE CENTER CONTINUOUSLY OPERATING REFERENCE STATIONS "CNPP" & "SACY".

**DATUM STATEMENT:**

COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, 1983 N.A.D. (2017.50 EPOCH OCS GPS ADJUSTMENT). ALL DISTANCES SHOWN ARE GROUND UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE, MULTIPLY GROUND DISTANCE BY 0.99999091, (MEAN VALUE).

**BENCHMARK STATEMENT:**

ORANGE COUNTY BENCHMARK NO. 2C-77-69  
ELEVATION: 244.367 (NAVD88)  
DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2C-77-69", SET IN THE EASTERLY END OF A CONCRETE WINGWALL. MONUMENT IS LOCATED ALONG THE WESTERLY SIDE OF VAN BUREN STREET, 436 FT. SOUTHERLY ALONG VAN BUREN FROM THE CENTERLINE OF THE ATCHISON/TOPEKA/SANTA FE RAILWAY TO A CONCRETE BRIDGE OVER A FLOOD CHANNEL, 20.5 FT. WESTERLY OF THE CENTERLINE OF VAN BUREN AND 2 FT. WESTERLY OF THE NORTHWESTERLY CORNER OF THE BRIDGE. MONUMENT IS SET LEVEL WITH THE STREET.

**FLOOD NOTE:**

THE SUBJECT PROPERTY FALLS WITHIN ZONES "AE" & X PER FEMA MAP NO. 06059C0152J, A PRINTED PANEL, EFFECTIVE DECEMBER 3, 2009

**LAND USE SUMMARY:**

GROSS AREA: 4.972  
NET AREA: 4.795  
TOTAL PROPOSED PARCELS: 4

**UTILITY PURVEYORS & SERVICES:**

WATER: GOLDEN STATE WATER COMPANY (800) 999-4033  
SEWER: CITY OF PLACENTIA SEWER (714) 993-8245  
ELECTRIC: SOUTHERN CALIFORNIA EDISON CO (800) 655-4555  
GAS: SOUTHERN CALIFORNIA GAS CO (800) 427-2200  
CABLE TV: TIME WARNER CABLE (855) 892-2253  
TELEPHONE: AT&T (800) 288-2020  
TRASH: CITY OF PLACENTIA PUBLIC WORKS (714) 993-8245  
SOLID WASTE: REPUBLIC WASTE SERVICES (800) 700-8610  
OF SOUTHERN CALIFORNIA, LLC

**NOTE:**

1) PURSUANT TO SUBDIVISION MAP ACT SECTION 66456.1(a), MULTIPLE FINAL MAPS MAY BE FILED ON THIS TENTATIVE MAP.

**SURVEYOR'S STATEMENT:**

THE SURVEY ON WHICH THIS VESTING TENTATIVE MAP IS BASED WAS DONE BY ME, OR UNDER MY DIRECTION. FIELDWORK WAS COMPLETED ON FEBRUARY 7, 2023.



DANE P. MCDUGALL, L.S. 9297

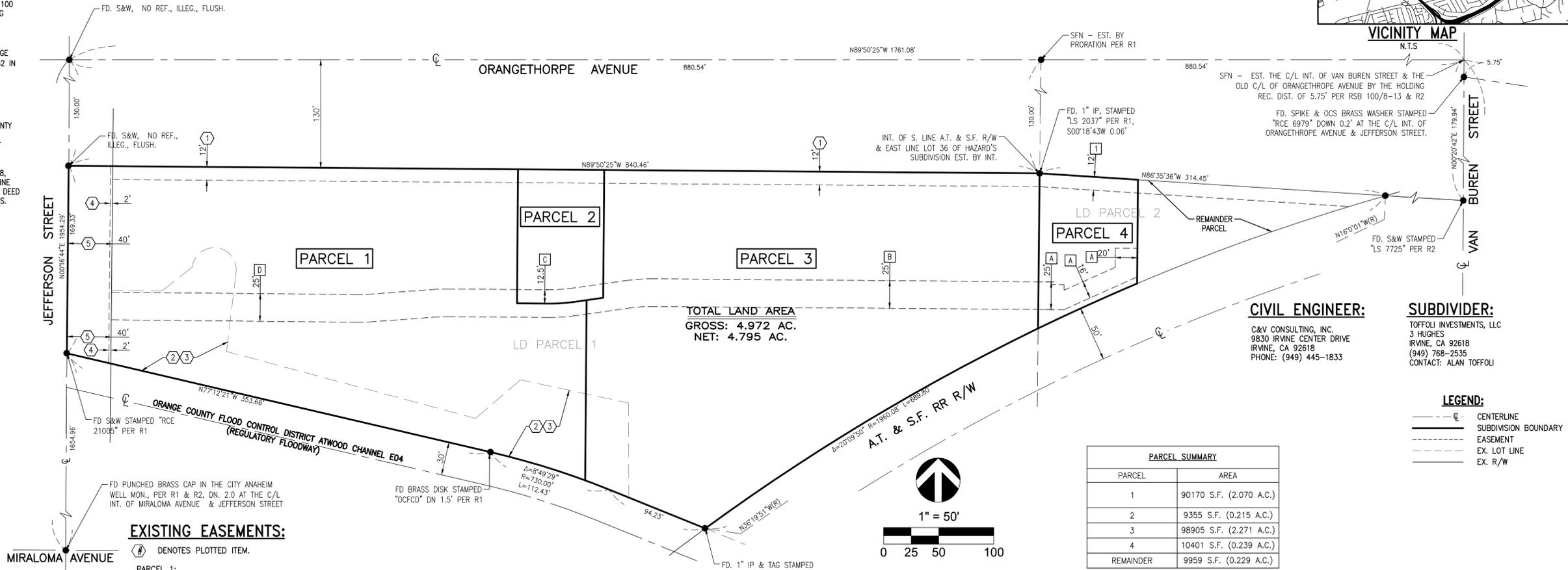
**ENGINEER'S STATEMENT:**

THIS VESTING TENTATIVE MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION ON MAY 31, 2024.

DANE P. MCDUGALL, R.C.E. 80705

# TENTATIVE PARCEL MAP NO. 2024-113

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA



**EXISTING EASEMENTS:**

# DENOTES PLOTTED ITEM.

**PARCEL 1:**

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: STANDARD OIL COMPANY, A CORPORATION. PURPOSE: PIPE AND POLE LINES RECORDING DATE: NOVEMBER 3, 1919 RECORDING NO: IN BOOK 345, PAGE 72 OF DEEDS.
- AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN. DATED: AUGUST 3, 1928 LESSOR: MARTIN ETCHANDY (ALSO KNOWN AS MARTIN ETCHANDY) LESSEE: SUPERIOR OIL COMPANY RECORDING DATE: AUGUST 6, 1928 RECORDING NO: IN BOOK 187, PAGE 109 OF OFFICIAL RECORDS. NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE. AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF THE SAID DOCUMENT, AS THEREIN PROVIDED INCLUDING THE GRANT OF EASEMENTS AND SURFACE USE. RECORDING DATE: MARCH 26, 2009 RECORDING NO: 2009000143928 OF OFFICIAL RECORDS. PLOTTED EXCEPT FOR THE 50' RADIUS OPEN SPACE AREA EASEMENT DESCRIBED IN SAID INSTRUMENT NO: 2009000143928 OF OFFICIAL RECORDS WHICH IS INDETERMINATE FROM RECORD.
- AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN. DATED: OCTOBER 7, 1953 LESSOR: STERN REALTY COMPANY, A CALIFORNIA CORPORATION LESSEE: THE SUPERIOR OIL COMPANY, A CALIFORNIA CORPORATION, RECORDING DATE: NOVEMBER 5, 1953 RECORDING NO: IN BOOK 2607, PAGE 335 OF OFFICIAL RECORDS. NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE. AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF THE SAID DOCUMENT, AS THEREIN PROVIDED, INCLUDING THE GRANT OF EASEMENTS AND SURFACE USE. RECORDING DATE: MARCH 26, 2009 RECORDING NO: 2009000143928 OF OFFICIAL RECORDS. PLOTTED EXCEPT FOR THE 50' RADIUS OPEN SPACE AREA EASEMENT DESCRIBED IN SAID INSTRUMENT NO: 2009000143928 OF OFFICIAL RECORDS WHICH IS INDETERMINATE FROM RECORD.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: TREE WELL PLANTING AND IRRIGATION, RECORDING DATE: MAY 1, 1984 RECORDING NO: 84-179403 OF OFFICIAL RECORDS.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: PUBLIC ROADWAY AND UTILITY RECORDING DATE: MAY 1, 1984 RECORDING NO: 84-179404 OF OFFICIAL RECORDS. PLOTTED
- THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT, EXCEPT AT APPROVED DRIVEWAYS, ALLEYS OR STREETS. RECORDING DATE: MAY 1, 1984 RECORDING NO: 84-179405 OF OFFICIAL RECORDS AFFECTS: JEFFERSON STREET
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: PERMANENT TELECOMMUNICATIONS RECORDING DATE: AUGUST 21, 2013 RECORDING NO: 2013000495616 OF OFFICIAL RECORDS. RECORDING DATE: DECEMBER 10, 2013 AND RECORDING NO: 2013000665443, OFFICIAL RECORDS. INDETERMINATE FROM RECORD.

# DENOTES PLOTTED ITEM.

**PARCEL 2:**

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: STANDARD OIL COMPANY, A CORPORATION. PURPOSE: PIPE AND POLE LINES RECORDING DATE: NOVEMBER 3, 1919 RECORDING NO: IN BOOK 345, PAGE 72 OF DEEDS. PLOTTED
- AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN. DATED: OCTOBER 7, 1953 LESSOR: STERN REALTY COMPANY, A CALIFORNIA CORPORATION LESSEE: THE SUPERIOR OIL COMPANY, A CALIFORNIA CORPORATION, RECORDING DATE: NOVEMBER 5, 1953 RECORDING NO: IN BOOK 2607, PAGE 335 OF OFFICIAL RECORDS. NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE. AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF THE SAID DOCUMENT, AS THEREIN PROVIDED, INCLUDING THE GRANT OF EASEMENTS AND SURFACE USE. RECORDING DATE: MARCH 26, 2009 RECORDING NO: 2009000143928 OF OFFICIAL RECORDS. PLOTTABLE EASEMENTS DESCRIBED IN SAID INSTRUMENT NO: 2009000143928 OF OFFICIAL RECORDS DO NOT AFFECT THIS LAND (OUT OF AREA).
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: PERMANENT TELECOMMUNICATIONS RECORDING DATE: AUGUST 21, 2013 RECORDING NO: 2013000495616 OF OFFICIAL RECORDS. RECORDING DATE: DECEMBER 10, 2013 AND RECORDING NO: 2013000665443, OFFICIAL RECORDS. INDETERMINATE FROM RECORD.

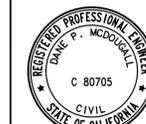
**PURPOSE OF PARCEL MAP:**

THE PURPOSE OF THIS PARCEL MAP WILL BE TO CREATE NEW PARCELS WITHIN EXISTING LD PARCELS 1 AND 2

**PROPOSED EASEMENT:**

- A AN EASEMENT RESERVES UNTO OURSELVES, SUCCESSORS, ETC.
- B AN ACCESS EASEMENT IN FAVOR OF PARCEL 4
- C AN EASEMENT IN FAVOR OF PARCEL 3 & 4
- D AN ACCESS EASEMENT IN FAVOR OF PARCEL 2, 3, & 4

PREPARED BY:



9830 IRVINE CENTER DRIVE  
IRVINE, CALIFORNIA 92618  
(949) 918-3800  
INFO@CVC-INC.NET  
WWW.CVC-INC.NET

PREPARED FOR:

TOFFOLI INVESTMENTS, LLC  
3 HUGHES  
IRVINE, CA 92618  
(949) 768-2535

CITY OF PLACENTIA  
DEPARTMENT OF PLANNING AND DEVELOPMENT

TENTATIVE PARCEL MAP  
NO. 2024-113

440 JEFFERSON STREET  
PLACENTIA, CALIFORNIA 92870

PROJECT NO.  
TOFF-006

SHEET  
OF  
1  
1



# ATTACHMENT 2. VICINITY MAP TPM 2024-113; 440 N. JEFFERSON ST.



**TPM 2024-113; 440 N Jefferson St.  
Site Photos of Existing Conditions**



*Figure 2 Looking East at site entrance*



*Figure 1 Looking East at Site*



Agenda Item No: 1.f

## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Gabriel Guerrero-Gabany

From: Public Works

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### **Subject:**

Approval of Final Parcel Map No. 2022-123 Pertaining to the Subdivision of an +/- 0.44 Acre Lot into Three Parcels Located at 1451 East Howard Place within SP-7 (Specific Plan 7)

### **Financial Impact:**

#### Fiscal Impact:

Approximately \$23,646 of Total Development Impact Fee Revenue Prior to Construction of three (3) New Single-Family Residences.

### **Summary:**

On September 6, 2022, City Council approved Tentative Parcel Map No. 2022-123 for the subdivision of one existing parcel into three (3) parcels for property located at 1451 East Howard Place. The subject site is in the easterly portion of the City, east of Rose Drive, south of Yorba Linda Boulevard near the intersection of Jefferson Street and Alta Vista Street. The Parcel Map will subdivide the existing 18,997 square foot lot into three (3) separate lots.

All conditions imposed upon the subject parcel map have been met pursuant to Section 66473.5 of the California Government Code. The proposed project is consistent with the City's General Plan and meets the minimum development standards of the Placentia Municipal Code (PMC). The recommended actions will accept Final Parcel Map No. 2022-123.

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Approve Final Parcel Map No. 2022-123, subject to final review and approval by the County Surveyor; and
2. Authorize the City Clerk to sign Final Parcel Map No. 2022-123.

### **Strategic Plan Statement:**

This item is consistent with the City Council approved 5-Year Strategic Goal to achieve:

Implementation of Housing Element Strategies, Objective Number 3.10. This agenda item will specifically create opportunities for the development of more housing in the City consistent with the City's Housing and Land Use Elements.

**Discussion:**

The subject site is in the easterly portion of the City, east of Rose Drive, south of Yorba Linda Boulevard near the intersection of Jefferson Street and Alta Vista Street. The subject site is currently vacant, except for existing oil storage tanks onsite. Access to the parcel is from Howard Place and Dressel Drive. The property has an existing block wall around the perimeter of the site. The Parcel Map will subdivide the existing 18,997 square foot lot into three (3) separate lots.

Placentia Municipal Code (PMC) Section 22.80.010(a) requires a Parcel Map for all subdivisions of four (4) or fewer parcels and PMC Section 22.80.060(c) requires the Planning Commission to take action to recommend to the City Council conditional approval or denial of a proposed subdivision map. On July 12, 2022, the Planning Commission voted 4-1-1 (1 absent, 1 vacancy), to recommend approval of Tentative Parcel Map 2022-123. On September 6, 2022, City Council approved Tentative Parcel Map No. 2022-123 for the subject subdivision.

All conditions imposed upon the subject parcel map have been met pursuant to Section 66473.5 of the California Government Code. The proposed project is consistent with the City's General Plan and meets the minimum development standards of the PMC. The recommended actions will accept Final Parcel Map No. 2022-123, as shown and documented on the attached final map.

**Fiscal Impact Summary:**

Pursuant to PMC Chapter 5.02 all new development is subject to Citywide Development Impact Fees. The proposed Parcel Map will result in three (3) additional lots that will be eligible for development. Based upon the zoning designation, a single-family residence can be developed on the resulting new lots of parcels 1, 2, and 3. The subsequent construction of three (3) new homes will result in approximately \$23,646 of total Development Impact Fee revenue. It should be noted that future construction will also require payment of user fees such as plan check and permit fees.

**Attachments**

[PARCEL MAP 2022-123.pdf](#)

SHEET 1 OF 2 SHEETS  
ALL OF TENTATIVE PARCEL MAP NO. 2022-123  
3 NUMBERED PARCELS  
AREA: 18,997 SQUARE FEET (GROSS AND NET)  
0.436 ACRES (GROSS AND NET)

# PARCEL MAP NO. 2022-123

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA.  
BEING A SUBDIVISION OF LOT 222 OF TRACT NO. 14161, AS PER MAP FILED IN BOOK 673, PAGES 37-48,  
INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE  
COUNTY.

KING CIVIL ENGINEERING CORP THOMAS A. KING, R.C.E. 16916 DATE OF SURVEY-FEBRUARY 2023

ACCEPTED AND FILED AT THE  
REQUEST OF  
FIRST AMERICAN TITLE COMPANY

DATE \_\_\_\_\_  
TIME \_\_\_\_\_ FEE \$ \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_  
BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
HUGH NGUYEN  
COUNTY CLERK-RECORDER  
BY \_\_\_\_\_  
DEPUTY

### OWNERSHIP CERTIFICATE

I, the undersigned, being all parties having any record title interest in the land covered by this map, do hereby consent to the preparation and recordation of said map, as shown within the distinctive border line.

Realm California, LLC, a Delaware Limited Liability Company

By: Blain Meith, Managing Member

### ENGINEER'S STATEMENT:

This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of Realm California, LLC in February 2023. I hereby state that all monuments are of the character and occupy the positions indicated, or that they will be set in such positions within 90 days after acceptance of improvements; and that said monuments are sufficient to enable the survey to be retraced. I hereby state this parcel map substantially conforms to the approved or conditionally approved tentative map, if any.

  
June 24, 2024  
Thomas A. King Date  
R.C.E. 16916  
Expiration Date: 6/30/2025



### CITY ENGINEER'S STATEMENT:

I hereby state that I have examined this map, that it conforms substantially to the Tentative Map and all approved alterations thereof. That all provisions of State Law and Local Subdivision Ordinances of the City of Placentia applicable at the time of the approval of the Tentative Map have been complied with and that all provisions of the Subdivision Map Act Section 66442(a)(1)(2) and (3) have been complied with.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Christopher M. Tanio  
Deputy Director of Public Works/City Engineer of the City of Placentia  
R.C.E. NO. 82756 Expiration Date: 9/30/2024



### CITY SURVEYOR'S STATEMENT:

I hereby state that I have examined this map and have found that it conforms with mapping provisions of the Subdivision Map Act and I am satisfied this map is technically correct in all respects not stated by the County Surveyor.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Dennis W. Janda P.L.S. 6359  
City Surveyor, City of Placentia



### COUNTY SURVEYOR'S STATEMENT:

I hereby state that I have examined this map and have found that all mapping provisions of the Subdivision Map Act have been complied with and I am satisfied said map is technically correct relative to the Parcel Map Boundary.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Lily M. N. Sandberg, Chief Deputy County Surveyor  
P.L.S. 8402



### NOTARY ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

State of California )  
County of \_\_\_\_\_ ) ss

On \_\_\_\_\_ 2024 before me, \_\_\_\_\_, Notary Public,

personally appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity(ies), and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand:

Signature \_\_\_\_\_  
Notary Public in and for said State  
(Print Name)

My Principal Place of Business is  
in \_\_\_\_\_ County  
My Commission expires \_\_\_\_\_  
My Commission No. \_\_\_\_\_

### SIGNATURE OMISSION NOTES:

Pursuant to the provisions of Section 66436(a)(3)(A) of the Subdivision Map Act, the following signatures have been omitted:

1. AT&T Successor in Interest to Pacific Bell, its successors and assigns holder of an easement to construct and maintain underground communication facilities and incidental purposes, per document recorded October 29, 1991 as instrument No. 91-588748 of Official Records.

The following signatures have been omitted under the provisions of Section 66436 (a)(3)(C) of the Subdivision Map Act:

- M.L. Jenks, holder of an oil and gas lease recorded September 20, 1918 in Book 7, Page 76 of Leases.
- M.L. Jenks, holder of an oil and gas lease recorded September 20, 1918 in Book 7, Page 81 of Leases.
- California Star Oil Company, a corporation, holder of an oil and gas lease recorded October 27, 1919 in Book 12, Page 87 of Leases.
- Marian L. Kimball, holder of all oil, gas and mineral rights below a depth of 500 feet as reserved in a document recorded February 23, 1989 as Instrument No. 89-094986 of Official Records.
- Ellis M. Yarnell, Trustee of the Yarnell Family Trust established March 28, 1984, holder of all oil, gas and mineral rights as reserved in a document recorded February 23, 1989 as Instrument No. 89-094987 of Official Records.
- Richard C. Yarnell and Barbara K. Yarnell, as Co-Trustees of the trust under the Yarnell Family Trust, dated February 10, 1960, holder of all oil, gas and mineral rights as reserved in a document recorded February 23, 1989 as Instrument No. 89-094988 of Official Records.
- Dwight D. Long Jr, holder of all oil, gas and mineral rights above a depth of 500 feet as reserved in a document recorded September 15, 1989 as Instrument No. 89-495800 of Official Records.
- Laor Liquidating Associates, a California Limited Partnership, holder of all oil, gas and mineral rights above a depth of 500 feet as reserved in a document recorded September 15, 1989 as Instrument No. 89-495802 of Official Records.
- The Estate of Raymond H. Thompson, deceased, Lawrence P. Lang and Gilbert H. Lang, as Successor Co-Trustees of the Lang Family Trust dated August 8, 1983; Dorothy T. Lodge; Lionel E. Cross, Jr; Virginia Garthwait; R. Orrin Cross; Ester Marlow as Trustee of the Ester Marlow Revocable Trust; California Institute of Technology; Rolla Lewis Long, Jr; B.L. Conway, as Successor Trustee under the terms and conditions of the agreement dated April 26, 1920 in Book 359 Page 366 of Deeds; B.L. Conway, Successor Trustee under the terms and conditions and with the powers set forth in the Declaration of Trust recorded July 2, 1920 in Book 358, Page 379 of Deeds; and B.L. Conway as Successor Trustee under the terms and conditions and with the powers set forth in the Declaration of Trust recorded March 10, 1921 in Book 381, Page 391 of Deeds, holders of all oil, gas and mineral rights above a depth of 500 feet, as reserved in a document recorded September 15, 1989 as Instrument No. 89-495801 of Official Records.

### CITY CLERK'S CERTIFICATE

State of California )  
City of Placentia ) ss  
County of Orange )

I hereby certify that this map was presented for approval to the City Council of the City of Placentia at a regular meeting thereof held on the \_\_\_\_\_ day of \_\_\_\_\_, 2024, and that thereupon said Council did, by an order duly passed and entered, approve said map.

And did also approve subject map pursuant to the provisions of section 66436 (a)(3)(A) and 66436 (a)(3)(C) of the subdivision Map Act.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Robert S. McKinnell  
City Clerk of the City of Placentia

### COUNTY TREASURER-TAX COLLECTOR'S CERTIFICATE:

State of California )  
County of Orange ) ss

I hereby certify that according to the records of my office, there are no liens against the land covered by this map or any part thereof for unpaid State, County, municipal or local taxes or special assessments collected as taxes, except taxes or special assessments collected as taxes not yet payable.

And do certify to the Recorder of Orange County that the provisions of the Subdivision Map Act have been complied with regarding deposits to secure payment of taxes or special assessments collected as taxes on the land covered by this map.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Shari L. Freidenrich  
County Treasurer-Tax Collector

BY: \_\_\_\_\_  
Treasurer-Tax Collector

SHEET 2 OF 2 SHEETS  
 ALL OF TENTATIVE PARCEL MAP NO. 2022-123  
 3 NUMBERED PARCELS  
 AREA: 18,997 SQUARE FEET (GROSS AND NET)  
 0.436 ACRES (GROSS AND NET)  
 SCALE: 1" = 40'

# PARCEL MAP NO. 2022-123

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA.  
 KING CIVIL ENGINEERING CORP THOMAS A. KING, R.C.E. 16916 DATE OF SURVEY-FEBRUARY 2023

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION G.P.S. NO. 5166 AND STATION G.P.S. NO. 5212, BEING NORTH 87°04'56" EAST, PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

**DATUM STATEMENT:**

COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI (2017.50 EPOCH OCS GPS ADJUSTMENT). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCES MULTIPLY GROUND DISTANCE BY 0.99999028 AVERAGE VALUE.

**REFERENCE NOTES:**

R1- Per Tract No. 14161, M.M. 673/37-48.  
 ( ) - Indicates record (or computed from record) per Tract No. 14161, M.M. 673/37-48.  
 SNF-Indicates searched nothing found.  
 M&(R1)- Indicates measured distance and record distance per Tract No. 14161, M.M. 673/37-48.

**MONUMENT NOTES:**

- - Indicates set monument as indicated and noted hereon.
- ① Set lead, nail & tag stamped RCE 16916 in top of wall on Parcel Corner.
- ② Set lead, nail & tag stamped RCE 16916 in sidewalk 2.00' offset on prolongation of Parcel Line.
- ③ Set lead, nail & tag stamped RCE 16916 in sidewalk S0°17'22"W 2.00' offset from Parcel Corner.
- ④ Set lead, nail & tag stamped RCE 16916 in sidewalk N89°42'33"W 2.00' offset from Parcel Corner.
- - Indicates found monument as indicated and noted hereon.
- R2 - Indicates found lead, nail & tag Stamped L.S. 5921 per Tract No. 14161, M.M. 673/37-48.
- ▲ - Indicates found O.C.S. GPS control station monument per the Horizontal Control Data Sheet as filed in the Office of the County Surveyor.

**EASEMENT NOTES:**

- (A) An existing easement to construct and maintain underground communication facilities and incidental purposes in favor of AT&T Successor in Interest to Pacific Bell, its successors and assigns per document recorded October 29, 1991 as Instrument No. 91-588748 of Official Records. Plotted hereon.

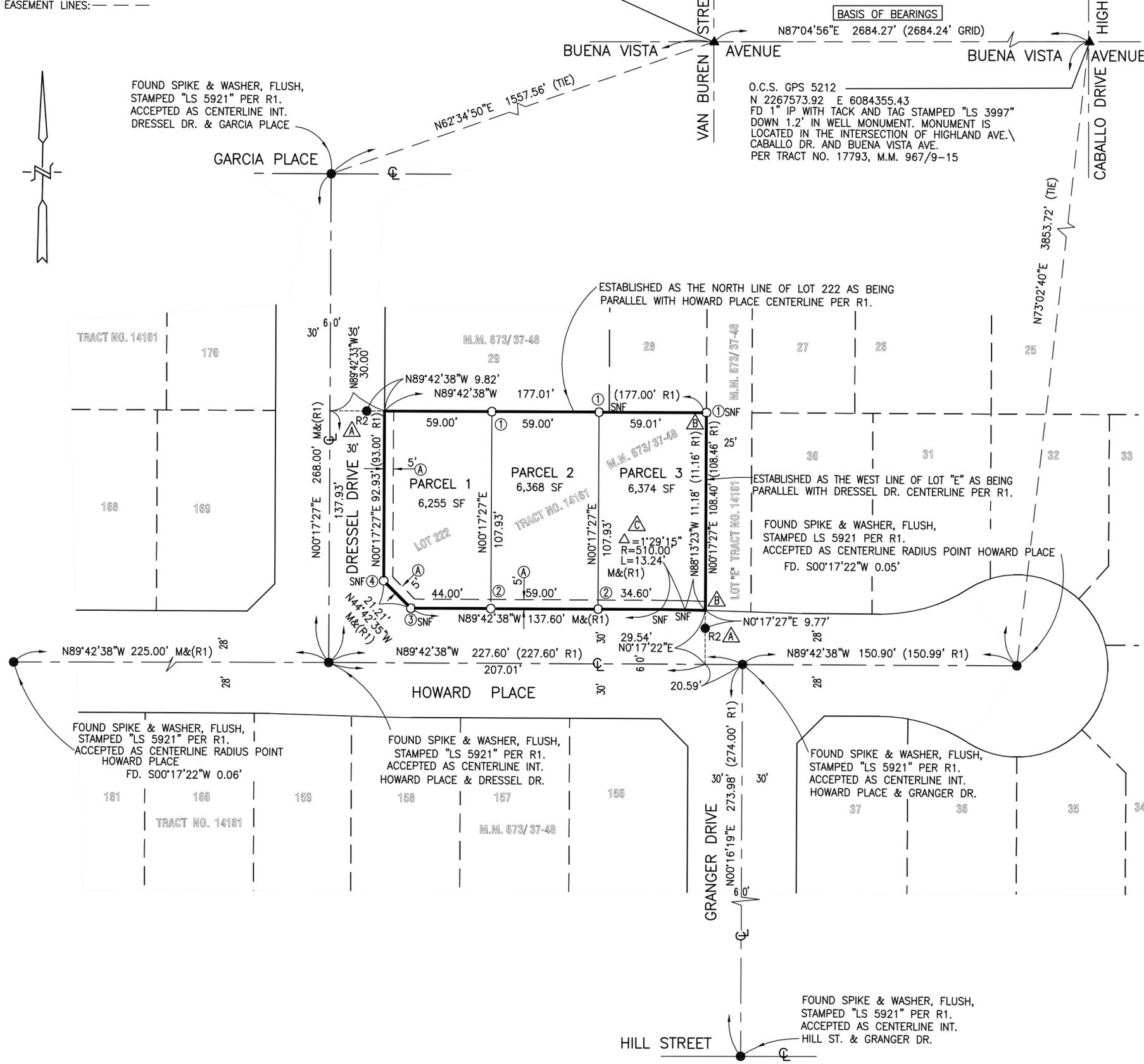
**ESTABLISHMENT NOTES:**

- △ ACCEPTED AS LOT LINE PROLONGATION PER (R1).
- △ ESTABLISHED BY BEARING-BEARING INTERSECTION.
- △ ESTABLISHED BY HOLDING RECORD ANGLE & RADIUS PER R1.

**LINE LEGEND**

DIST. BORDER: ———  
 LOT LINES: ———  
 EASEMENT LINES: - - -

O.C.S. GPS 5166  
 N 2267437.28 E 6081674.67  
 FD SPIKE AND WASHER STAMPED "LS 5411", FLUSH IN AC,  
 PER CR 2024-2122, NO REFERENCE. ACCEPTED AS GPS POINT NO. 5166



**SURVEYOR'S BOUNDARY NOTE:**  
 THERE ARE NO CONFLICTS WITH EXISTING VISIBLE IMPROVEMENTS AND THE EXTERIOR BOUNDARY LINE (DISTINCTIVE BORDER) OF THIS MAP AS ESTABLISHED HEREON.



Agenda Item No: 1.g

## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Gabriel Guerrero-Gabany

From: Public Works

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### **Subject:**

Approval of Final Parcel Map No. 2022-126 Pertaining to the Subdivision of an +/- 0.36 Acre Lot into Two (2) Parcels located at 412 N. Tidland Circle within the SP-7 (Specific Plan 7) Zoning District

### **Financial Impact:**

#### Fiscal Impact:

Approximately \$15,764 of total Development Impact Fee Revenue prior to construction of two (2) new single-family residences.

### **Summary:**

On September 6, 2022, City Council approved Tentative Parcel Map No. 2022-126 for the subdivision of one existing parcel into two (2) separate parcels for property located at 412 N. Tidland Circle. The subject site is in the easterly portion of the City, east of Rose Drive, south of Yorba Linda Boulevard near the intersection of Jefferson Street and Alta Vista Street. The Parcel Map will subdivide the existing 15,796 square foot lot into two (2) separate lots.

All conditions imposed upon the subject parcel map have been met pursuant to Section 66473.5 of the California Government Code. The proposed project is consistent with the City's General Plan and meets the minimum development standards of the Placentia Municipal Code (PMC). The recommended actions will accept Final Parcel Map No. 2022-126.

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Approve Final Parcel Map No. 2022-126, subject to final review and approval by the County Surveyor; and
2. Authorize the City Clerk to sign Final Parcel Map No. 2022-126.

### **Strategic Plan Statement:**

This item is consistent with the City Council approved 5-Year Strategic Goal to achieve:

Implementation of Housing Element Strategies, Objective Number 3.10. This agenda item will specifically create opportunities for the development of more R-3 housing in the City consistent with the City's adopted Housing and Land Use Elements.

**Discussion:**

The subject site is in the easterly portion of the City, east of Rose Drive, south of Yorba Linda Boulevard near the intersection of Jefferson Street and Alta Vista Street. Access to the parcel is from the southern end of N. Tidland Circle. The property has an existing block wall around the perimeter of the site. The Parcel Map will subdivide the existing 15,796 square foot lot into two (2) separate lots.

Placentia Municipal Code (PMC) Section 22.80.010(a) requires a Parcel Map for all subdivisions of four (4) or fewer parcels and PMC Section 22.80.060(c) requires the Planning Commission to take action to recommend to the City Council conditional approval or denial of a proposed subdivision map. On July 12, 2022, the Planning Commission voted 5-0-1 (1 absent, 1 vacancy), to recommend approval of Tentative Parcel Map 2022-126. On September 6, 2022, City Council approved Tentative Parcel Map No. 2022-126 for the subject subdivision.

All conditions imposed upon the subject parcel map have been met pursuant to Section 66473.5 of the California Government Code. The proposed project is consistent with the City's General Plan and meets the minimum development standards of the PMC. The recommended actions will accept Final Parcel Map No. 2022-126, as shown and documented on the attached final map.

**Fiscal Impact Summary:**

Pursuant to PMC Chapter 5.02 all new development is subject to Citywide Development Impact Fees. The proposed Parcel Map will result in two (2) additional lots that will be eligible for development. Based on the zoning designation, one single family residence can be developed on the resulting new lots of parcels 1 and 2. The subsequent construction of two new homes will result in approximately 15,764 of total Development Impact Fee revenue. It should be noted that future construction will also require payment of user fees such as plan check and permit fees.

**Attachments**

[PARCEL MAP 2022-126 COMBINED 8-13-24.pdf](#)

SHEET 1 OF 3 SHEETS  
ALL OF TENTATIVE PARCEL MAP NO. 2022-126  
2 NUMBERED PARCELS  
AREA: 15,796 SQUARE FEET (GROSS AND NET)  
0.363 ACRES (GROSS AND NET)

# PARCEL MAP NO. 2022-126

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA.  
BEING A SUBDIVISION OF LOT 227 OF TRACT NO. 14161, AS PER MAP FILED IN BOOK 673, PAGES 37-48,  
INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE  
COUNTY.  
KING CIVIL ENGINEERING CORP THOMAS A. KING, R.C.E. 16916 DATE OF SURVEY-FEBRUARY 2023

ACCEPTED AND FILED AT THE  
REQUEST OF  
FIRST AMERICAN TITLE COMPANY

DATE \_\_\_\_\_  
TIME \_\_\_\_\_ FEE \$ \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_  
BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
HUGH NGUYEN  
COUNTY CLERK-RECORDER  
BY \_\_\_\_\_  
DEPUTY

## OWNERSHIP CERTIFICATE

We, the undersigned, being all parties having any record title interest in the land covered by this map, do hereby consent to the preparation and recordation of said map, as shown within the distinctive border line.

Realm California, LLC, a Delaware Limited Liability Company

By: Blain Meith, Managing Member

BENEFICIARY:  
MISSION BANK

As Beneficiary under that certain Deed of Trust recorded APRIL 30, 2021 as Document No. 2021000293105 of Official Records.

By: \_\_\_\_\_  
(Print Name) \_\_\_\_\_  
(Print Title) \_\_\_\_\_

## NOTARY ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

State of California )  
County of \_\_\_\_\_ ) ss

On \_\_\_\_\_, before me, \_\_\_\_\_, Notary Public,

personally appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity(ies) and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand:

Signature \_\_\_\_\_  
Notary Public in and for said State  
\_\_\_\_\_  
(Print Name)

My Principal Place of Business is  
in \_\_\_\_\_ County  
My Commission expires \_\_\_\_\_  
My Commission No. \_\_\_\_\_

## NOTARY ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

State of California )  
County of \_\_\_\_\_ ) ss

On \_\_\_\_\_, before me, \_\_\_\_\_, Notary Public,

personally appeared \_\_\_\_\_ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY, under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand:

Signature \_\_\_\_\_  
Notary Public in and for said State  
\_\_\_\_\_  
(Print Name)

My Principal Place of Business is  
in \_\_\_\_\_ County  
My Commission expires \_\_\_\_\_  
My Commission No. \_\_\_\_\_

## SIGNATURE OMISSION NOTES:

Pursuant to the provisions of Section 66436(a)(3)(A) of the Subdivision Map Act, the following signatures have been omitted:

1. AT&T Successor in Interest to Pacific Bell, its successors and assigns holder of an easement to construct and maintain underground communication facilities and incidental purposes, per document recorded October 29, 1991 as instrument No. 91-588748 of Official Records.

The following signatures have been omitted under the provisions of Section 66436 (a)(3)(C) of the Subdivision Map Act:

- M.L. Jenks, holder of an oil and gas lease recorded September 20, 1918 in Book 7, Page 76 of Leases.
- M.L. Jenks, holder of an oil and gas lease recorded September 20, 1918 in Book 7, Page 81 of Leases.
- Dwight D. Long Jr, holder of all oil, gas and mineral rights above a depth of 500 feet as reserved in a document recorded September 15, 1989 as Instrument No. 89-495800 of Official Records.
- Laor Liquidating Associates, a California Limited Partnership, holder of all oil, gas and mineral rights above a depth of 500 feet as reserved in a document recorded September 15, 1989 as Instrument No. 89-495802 of Official Records.
- The Estate of Raymond H. Thompson, deceased, Lawrence P. Lang and Gilbert H. Lang, as Successor Co-Trustees of the Lang Family Trust dated August 8, 1983; Dorothy T. Lodge; Lionel E. Cross, Jr; Virginia Garthwait; R. Orrin Cross; Ester Marlow as Trustee of the Ester Marlow Revocable Trust; California Institute of Technology; Rolla Lewis Long, Jr; B.L. Conway, as Successor Trustee under the terms and conditions of the agreement dated April 26, 1920 in Book 359 Page 366 of Deeds; B.L. Conway, Successor Trustee under the terms and conditions and with the powers set forth in the Declaration of Trust recorded July 2, 1920 in Book 358, Page 379 of Deeds; and B.L. Conway as Successor Trustee under the terms and conditions and with the powers set forth in the Declaration of Trust recorded March 10, 1921 in Book 381, Page 391 of Deeds, holders of all oil, gas and mineral rights above a depth of 500 feet, as reserved in a document recorded September 15, 1989 as Instrument No. 89-495801 of Official Records.

## ENGINEER'S STATEMENT:

This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of Realm California, LLC in February 2023. I hereby state that all monuments are of the character and occupy the positions indicated, or that they will be set in such positions within 90 days after acceptance of improvements; and that said monuments are sufficient to enable the survey to be retraced. I hereby state this parcel map substantially conforms to the approved or conditionally approved tentative map, if any.

July 22, 2024

Thomas A. King  
R.C.E. 16916  
Expiration Date: 6/30/2025



## CITY ENGINEER'S STATEMENT:

I hereby state that I have examined this map, that it conforms substantially to the Tentative Map and all approved alterations thereof. That all provisions of State Law and Local Subdivision Ordinances of the City of Placentia applicable at the time of the approval of the Tentative Map have been complied with and that all provisions of the Subdivision Map Act Section 66442(a)(1)(2) and (3) have been complied with.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Christopher M. Tanio  
Deputy Director of Public Works/City Engineer of the City of Placentia  
R.C.E. NO. 82756 Expiration Date: 9/30/2024



## CITY SURVEYOR'S STATEMENT:

I hereby state that I have examined this map and have found that it conforms with mapping provisions of the Subdivision Map Act and I am satisfied this map is technically correct in all respects not stated by the County Surveyor.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Dennis W. Janda P.L.S. 6359  
City Surveyor, City of Placentia



## COUNTY SURVEYOR'S STATEMENT:

I hereby state that I have examined this map and have found that all mapping provisions of the Subdivision Map Act have been complied with and I am satisfied said map is technically correct relative to the parcel map boundary.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Lily M. N. Sandberg, Chief Deputy County Surveyor  
P.L.S. 8402



## CITY CLERK'S CERTIFICATE

State of California )  
City of Placentia ) ss  
County of Orange )

I hereby certify that this map was presented for approval to the City Council of the City of Placentia at a regular meeting thereof held on the \_\_\_\_\_ day of \_\_\_\_\_, 2024, and that thereupon said Council did, by an order duly passed and entered, approve said map.

And did also approve subject map pursuant to the provisions of section 66436 (a)(3)(A) and 66436 (a)(3)(C) of the subdivision Map Act.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Robert S. McKinnell  
City Clerk of the City of Placentia

## COUNTY TREASURER-TAX COLLECTOR'S CERTIFICATE:

State of California )  
County of Orange ) ss

I hereby certify that according to the records of my office, there are no liens against the land covered by this map or any part thereof for unpaid State, County, municipal or local taxes or special assessments collected as taxes, except taxes or special assessments collected as taxes not yet payable.

And do certify to the Recorder of Orange County that the provisions of the Subdivision Map Act have been complied with regarding deposits to secure payment of taxes or special assessments collected as taxes on the land covered by this map.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024

Shari L. Freidenrich  
County Treasurer-Tax Collector

BY: \_\_\_\_\_  
Treasurer-Tax Collector

## SIGNATURE OMISSION NOTES:

The following signatures have been omitted under the provisions of Section 66436 (a)(3)(C) of the Subdivision Map Act:

- A document entitled "Notice of Intent to Preserve Mineral Rights", dated July 31, 1997 executed by John Brown University Property Management Agency, Bank of Oklahoma, N.A., Agent, subject to all the terms, provisions and conditions therein contained, recorded October 6, 1997 as Instrument No. 19970495877, Official Records.

SHEET 2 OF 3 SHEETS  
ALL OF TENTATIVE PARCEL MAP NO. 2022-126  
2 NUMBERED PARCELS  
AREA: 15,796 SQUARE FEET (GROSS AND NET)  
0.363 ACRES (GROSS AND NET)  
SCALE: 1" = 40'

# PARCEL MAP NO. 2022-126

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA.  
KING CIVIL ENGINEERING CORP THOMAS A. KING, R.C.E. 16916 DATE OF SURVEY-FEBRUARY 2023

SIGNATURE OMISSION NOTES:      CONTINUED FROM SHEET NO. 1

The following signatures have been omitted under the provisions of Section 66436  
(a)(3)(C) of the Subdivision Map Act:

7. Union Oil Company of California, dba NOCAL, a California Corporation, holder of mineral rights, oil and/or gas subsurface rights and hydrocarbon substances below a depth of 500 feet per document entitled "Partial Quit Claim Deed", recorded December 6, 1993 as Instrument No. 93-0848996 of Official Records.

SHEET 3 OF 3 SHEETS  
 ALL OF TENTATIVE PARCEL MAP NO. 2022-126  
 2 NUMBERED PARCELS  
 AREA: 15,796 SQUARE FEET (GROSS AND NET)  
 0.363 ACRES (GROSS AND NET)  
 SCALE: 1" = 40'

# PARCEL MAP NO. 2022-126

IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA.  
 KING CIVIL ENGINEERING CORP THOMAS A. KING, R.C.E. 16916 DATE OF SURVEY-FEBRUARY 2023

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION G.P.S. NO. 5166 AND STATION G.P.S. NO. 5212, BEING NORTH 87°04'56" EAST, PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

**DATUM STATEMENT:**

COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI (2017.50 EPOCH OCS GPS ADJUSTMENT). ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCES MULTIPLY GROUND DISTANCE BY 0.99999028 AVERAGE VALUE.

**REFERENCE NOTES:**

- ( ) - Indicates record or computed from record per referenced map.
- R1 - Indicates record per Tract No. 14161, M.M. 673/37-48.
- R2 - Indicates record per Tract No. 16486, M.M. 855/30-31.
- R3 - Indicates record per Tract No. 16485, M.M. 855/28-29.
- SNF - Indicates Searched Nothing Found.
- M & (R) - Indicates measured distance and record distance.

**MONUMENT NOTES:**

- - Indicates set monument as indicated and noted hereon.
- ① - Set lead, nail & tag stamped RCE 16916 in top of wall on Parcel Corner.
- ② - Set lead, nail & tag stamped RCE 16916 in curb offset 10.30' on prolongation of lot line.
- - Indicates found monument as indicated and noted hereon.
- R2 - Indicates found lead, nail & tag Stamped L.S. 5921 per Tract No. 14161, M.M. 673/37-48.
- ▲ - Indicates found O.C.S. GPS control station monument per the Horizontal Control Data Sheet as filed in the office of the Orange County Surveyor.

**SURVEYOR'S BOUNDARY NOTE:**  
 THERE ARE NO CONFLICTS WITH EXISTING VISIBLE IMPROVEMENTS AND THE EXTERIOR BOUNDARY LINE (DISTINCTIVE BORDER) OF THIS MAP AS ESTABLISHED HEREON.

**EASEMENT NOTES:**

- (A) An existing easement to construct and maintain underground communication facilities and incidental purposes in favor of AT&T Successor in Interest to Pacific Bell, its successors and assigns per document recorded October 29, 1991 as Instrument No. 91-588748 of Official Records. Plotted hereon.

**ESTABLISHMENT NOTES:**

- △ ACCEPTED AS LOT LINE PROLONGATION PER R1.
- △ ESTABLISHED BY BEARING-BEARING INTERSECT.
- △ ESTABLISHED BY HOLDING RECORD RADIUS PER R1.
- △ ESTABLISHED BY HOLDING RECORD ANGLE PER R1.

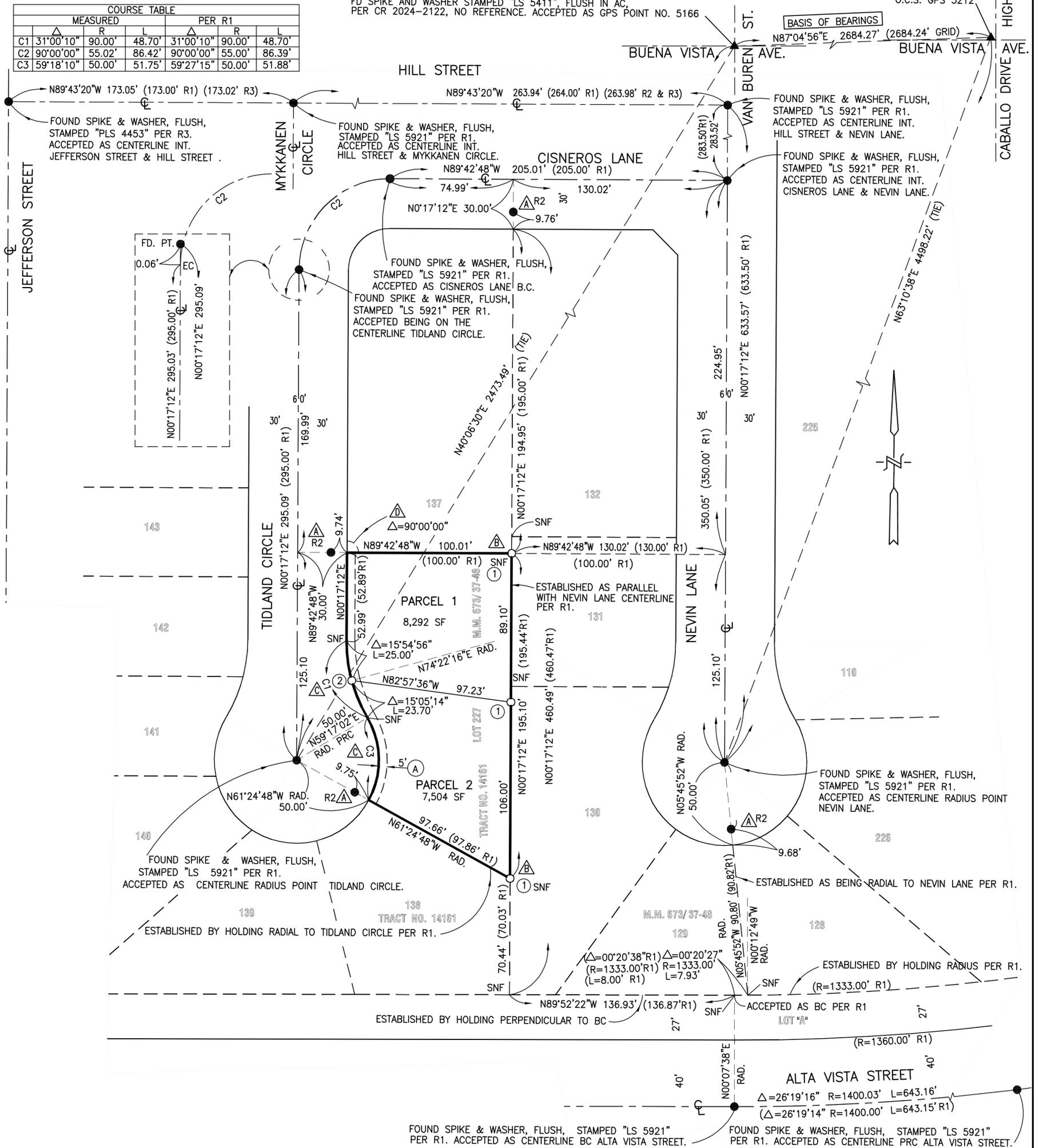
**LINE LEGEND**

- DIST. BORDER: ———
- LOT LINES: ———
- EASEMENT LINES: - - - - -

COURSE	MEASURED			PER R1		
	MEASUREMENT	R	L	MEASUREMENT	R	L
C1	31°00'10"	90.00'	48.70'	31°00'10"	90.00'	48.70'
C2	90°00'00"	55.02'	86.42'	90°00'00"	55.00'	86.39'
C3	59°18'10"	50.00'	51.75'	59°27'15"	50.00'	51.88'

O.C.S. GPS 5166  
 N 2267437.28 E 6081674.67  
 FD SPIKE AND WASHER STAMPED "LS 5411", FLUSH IN AC,  
 PER CR 2024-2122, NO REFERENCE. ACCEPTED AS GPS POINT NO. 5166

O.C.S. GPS 5212  
 N 2267573.92 E 6084355.43  
 FD 1" IP WITH TACK AND TAG STAMPED "LS 3997"  
 DOWN 1.2" IN WELL MONUMENT. MONUMENT IS  
 LOCATED IN THE INTERSECTION OF HIGHLAND AVE.\  
 CABALLO DR. AND BUENA VISTA AVE.  
 PER TRACT NO. 17793, M.M. 967/9-15, CR 2009-2873.





## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Samantha Byfield

From: Public Works

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### **Subject:**

Authorize a Three-Year Agreement with Samsara, Inc., for Hardware and Services to Implement Vehicle Telematics Management System

### **Financial Impact:**

#### Fiscal Impact:

Expense: \$22,333.19 First Year Subscription Cost  
\$22,207.19 Annual Subscription Cost (Year 2 and Year 3)  
\$66,747.57 Three-Year Subscription Total Cost (FY 2024-25 to FY 2026-27)

Budget: \$22,334.00 FY 2024-25 Operating Budget (750000-6366)  
\$22,207.19 Future FY 2025-26 Operating Budget  
\$22,207.19 Future FY 2026-27 Operating Budget

### **Summary:**

Annually, the Public Works Department evaluates the City Fleet and recommends the replacement of existing vehicles and equipment based upon the useful service lives, vehicle use patterns and needs of City operations. To assist in managing the City Fleet, Staff recommends that the City Council authorize a three-year agreement with Samsara, Inc. (Samsara), to implement a telematics management system. As part of the approved Fiscal Year (FY) 2024-25 Operating Budget, Technology Impact Fee funds were budgeted for implementation of this program. The recommended action will approve a three-year subscription with Samsara to provide the necessary hardware and software using the available budgeted funds. The contract costs for the first year of the subscription are included within the current operating budget. The future cost of the services will be included in the operating budgets for future fiscal years.

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Authorize a three-year agreement with Samsara for hardware and services to implement a vehicle telematics management system for a cumulative amount of \$66,747.57; and
2. Authorize the City Administrator to approve any agreement term extensions based on performance and amendments up to 10% of the agreement amount; and
3. Authorize the City Administrator and/or his designee to issue a purchase order to Samsara and execute all necessary documents, in a form approved by the City Attorney.

**Strategic Plan Statement:**

There is no specific strategic planning goal or objective associated with this agenda item.

**Discussion:**

The City of Placentia maintains a fleet of approximately 125 vehicles. To better manage and maintain resources, telematics hardware will need to be installed on City vehicles. A telematics management system will enhance the City's ability to manage assets and monitor vehicle performance through information obtained from the vehicle's computer system. This will allow the capture of data such as gas mileage, engine run time, idle time, vehicle utilization and odometer readings to better schedule preventive maintenance. This data will help inform decisions on vehicle replacement or reassignment based upon use patterns and City needs. As Staff considers vehicle replacements moving forward, data provided from the telematics management system will better identify which vehicles may be more suitable for replacement with electric or more fuel-efficient vehicles. The telematics management system will provide City-fleet specific data rather than having to rely upon published average figures on gas mileage and efficiency.

After demonstrations from six telematics vendors, Staff selected the Samsara platform based upon the reporting and software capabilities. Samsara will provide all necessary hardware as well as provide access to the online reporting platform. Pursuant to the City of Placentia Municipal Code, Section 3.08.070, purchases of supplies, services and equipment may forego bid procedures when participating in an established governmental cooperative program. The quote solicited from Samsara is reflective of a Sourcewell Cooperative Purchasing Agreement and based on a three-year subscription term. As such, Staff recommends the City Council authorize a three-year agreement with Samsara to implement a telematics management system in the amount of \$22,333.19 for the first year and \$22,207.19 for each of the following years for years two and three for a cumulative total three-year cost of \$66,747.57, utilizing budgeted funds in the adopted FY 2024-25 Operating Budget. The total cost for the first year includes the cost of shipping the hardware. The future cost of the services will be proposed in the operating budgets for future fiscal years.

**Fiscal Impact Summary:**

A total of \$22,334 of Technology Impact Fee funds were budgeted in the FY 2024-25 Operating Budget for this purchase. The quote from Samsara is for a three-year subscription. The cost for the first year is \$22,207.19 and \$126 for shipping, for a total of \$22,333.19. The annual cost for Year 2 and Year 3 of the subscription will be \$22,207.19. The future cost of these services will be proposed in the operating budgets for future fiscal years. As such, sufficient funds exist for the recommended actions.

**Attachments**

[Samsara Service Agreement](#)

[Sourcewell Pricing Information.pdf](#)

[Telematics Pricing Comparison.pdf](#)



Samsara Inc  
1 De Haro Street  
San Francisco, CA 94107  
www.samsara.com

**QUOTE #Q-1234672**

**Issued 08-14-2024**

**Expires 09-30-2024**

**Sourcewell Contract #: 020221-SAM**

**Prepared For:**

City of Placentia  
401 E Chapman Ave  
Placentia, California  
92870-6101

**Prepared By:**

Richard Geck  
richard.geck@samsara.com

**Quote Summary**

**Subtotal**

Hardware and Accessories USD \$0.00

Licenses  
License Term – 36  
Months

Shipping and Handling USD \$126.00

Upfront Hardware Sales Tax USD \$0.00

Annual License Sales Tax USD \$1,786.79

First Year Payment USD \$22,333.19

**Payments Beginning Year  
Two** **USD \$22,207.19**

If shipping is "Pending" - Amount is pending due to size of order; Shipping and Handling subject to change.  
If Sales tax is "Pending" – Final amount will be provided prior to payment  
\*3% fee charged on non-ACH charges (Canada Exempt)  
\*Sales tax subject to change



Connected Operations™

Samsara Inc  
 1 De Haro Street  
 San Francisco, CA 94107  
 www.samsara.com

**SHIP TO Samantha Byfield**  
**401 E Chapman Avenue**  
**Placentia, California, 92870**  
**United States**

Hardware and Accessories	Quantity	Net Unit Price	Total Price
Vehicle IoT Gateway, model VG55 HW-VG55-NA	119	\$0.00	\$0.00
Enhanced VG Series OBDII J1962 L-mount cable CBL-VG-COBDII-Y1	111	\$0.00	\$0.00
Enhanced VG Series J1939 or J1708 (9-pin) CBL-VG-CJ1939	7	\$0.00	\$0.00
Enhanced Tesla Model 3/Y 2019+ Cable CBL-VG-CTSLA3Y-19	1	\$0.00	\$0.00
		Hardware Due	USD\$0.00

Licenses	Quantity	Annual Unit Price	Total Annual Price
License for Vehicle Gateways - Public Sector Only, No WiFi, No ELD LIC-VG-PS	119	\$171.60	\$20,420.40
		Annual License Due	USD \$20,420.40

## **Thank you for considering Samsara for your fleet.**

Samsara provides real-time visibility, business-relevant tools, and powerful analytics that enable customers to increase the productivity of their fleets and reduce operating costs. A solution for your fleet is proposed below.

### **What is included?**

Samsara's fleet tracking solution includes hardware accessories and a per-gateway license. Gateway licenses provide all ongoing elements of the service, including:

- Real-time location and vehicle telematics
- Dashboard access with unlimited administrator accounts
- Driver App for iOS and Android devices with unlimited driver accounts
- Over-the-air software feature upgrades
- API access as it relates to features for integration with 3rd party systems
- Maintenance and phone support

Samsara does not include hidden costs in its licenses. If you want access to Samsara's full set of fleet features--including but not limited to WiFi hotspot and ELD capabilities--you will need to upgrade your license. Samsara reserves the right to audit usage of features unrelated to the solution as well as remove them from the Samsara Dashboard.

### **Payment Terms**

This order form includes a license fee for the Samsara Software associated with the Hardware to be paid annually beginning on the License Start Date and, if applicable, a one-time Hardware cost to be paid upfront as of the license start date. The annual fees are payable by recurring wire transfer. All transfers made by credit card are subject to a processing fee up to 3%, subject to applicable law. Late payments are subject to a 1.5% per month late fee. If license payments are delinquent by 30 days, Samsara may suspend the Service until late payments are remitted.

## License Term

The license term for the Samsara Software licenses purchased under this Order Form begins on the day Samsara activates the applicable Samsara Software license by providing you a claim number and access to the Hosted Software (“License Start Date”). If Hardware associated with a then-unactivated Samsara Software license will be shipped to you under this Order Form, such Samsara Software license will be activated on the day the Samsara Hardware ships.

Notwithstanding the foregoing, if you are renewing the license term for a previously-activated Samsara Software license under this Order Form, the License Start Date for the renewal license term shall be the day that Samsara extends your access to the Hosted Software for the renewal license term. Samsara Hardware requires a valid license to function.

Samsara may ship Hardware under this Order Form subject to a schedule as mutually agreed between the Parties or as determined by Samsara. By signing this Order Form, you confirm that each “Ship To” delivery address set forth herein is accurate and that any individual accepting delivery at that address is authorized to do so on your behalf. To the extent such Hardware is associated with then-unactivated Samsara Software licenses, the Samsara Software license term for each such Hardware device will start on the day that device ships regardless of the shipment schedule for the other such Hardware devices. If all such Hardware is shipped in one shipment, the license term for all such Hardware will be the full license term under this Order Form. If such Hardware is shipped in multiple shipments, only the license term of such Hardware in the initial shipment will be such full license term. The license term of the remaining such Hardware shipped after the initial shipment will be set to match the then-remaining license term of the initial shipment, so that the license term for all such Hardware under this Order Form expires on the same date. The total cost of the licenses for such Hardware shipped after the initial shipment will be pro-rated based on their actual license term, rounded up to the nearest month, as compared to the full license term under this Order Form. Certain payment amounts under this Order Form assume that the entire order is fulfilled at the same time and are subject to potential reduction based on the actual schedule of order fulfillment.

You agree that you will only use the features included with the Samsara Software licenses purchased under this Order Form (“Licensed Scope”). Samsara reserves the right to audit usage of Samsara Software and to remove your access to such features beyond the Licensed Scope (for example, the licensed feature scope or licensed user count, as applicable) at any time. If you would like to use features beyond the Licensed Scope, you are required to purchase the applicable Samsara Software licenses and if applicable install the applicable Hardware that include such scope. If Samsara becomes aware that you are using features beyond the Licensed Scope, Samsara reserves the right to charge you for the applicable Samsara Software licenses that include such Licensed Scope at list price, and you agree to immediately pay such amounts. Samsara further reserves the right to change, discontinue, or remove features included in a Samsara Software license at any time.

You acknowledge and agree that, during your license term, you may not downgrade your Samsara Software license plan to a lower Samsara Software license plan (e.g., downgrading your “Enterprise” license to a “Premier” license).

## Support and Warranty

Samsara stands behind its Products. During the applicable warranty period, defective Hardware will be remedied pursuant to our Hardware Warranty Policy at [www.samsara.com/support/hardware-warranty](http://www.samsara.com/support/hardware-warranty). Additional support information can be found at [www.samsara.com/support](http://www.samsara.com/support).



Connected Operations™

Samsara Inc  
1 De Haro Street  
San Francisco, CA 94107  
[www.samsara.com](http://www.samsara.com)

## Terms

Unless otherwise set forth herein, your use and access of the Hardware, Products, and Services specified herein are governed by Samsara's standard terms of service found at <https://www.samsara.com/terms-of-service>, unless the Parties have entered into a separate terms of service agreement and/or a separate terms of service agreement is attached to the Order Form, in which case such separate terms of service agreement shall govern (the 'Terms of Service') provided that notwithstanding anything stated in the Terms of Service to the contrary, Customer agrees the following sections from Samsara's standard terms of service found at <https://www.samsara.com/legal/public-sector-customers-platform-terms-of-service/> shall apply: License (Section 4), Product Updates (Section 7), Data Protection Addendum (Section 10.3), Non-Samsara Products (Section 14), and Hardware Warranty (Section 17). You agree to be bound by the Terms of Service, and any capitalized terms not defined herein shall have the meaning set forth in the Terms of Service. The terms and conditions of the Terms of Service and this Order Form are the exclusive agreement of the parties with respect to the subject matter hereof and no other terms or conditions, including those associated with any Customer payment portal or onboarding of Samsara as a Customer vendor, shall be binding upon Samsara or otherwise have any force or effect.

To the extent Samsara allows you to make subsequent purchases of Products via Purchase Order without a corresponding Quote, you agree that (i) such Purchase Order shall be subject to the terms and conditions of this Order Form, including with respect to payment and license terms, as well as the applicable Terms of Service; and (ii) to the extent there is a conflict between such Purchase Order and this Order Form, including with respect to payment and license terms, as well as the applicable Terms of Service, the terms of this Order Form shall prevail, and no additional terms included in such Purchase Order that are not included in this Order Form shall apply. You acknowledge and agree that any reference to a Purchase Order in this Order Form is solely for your convenience in record keeping, and the existence of a Purchase Order or any delivery of Products to you following receipt of any Purchase Order shall not be deemed an acknowledgement of or agreement to any terms or conditions associated with any such Purchase Order or in any way be deemed to modify, alter, supersede or supplement the Terms of Service or this Order Form.

The continuation of this Order Form one (1) year after the license start date and annually thereafter is contingent upon the appropriation of sufficient funds by Customer. If sufficient funds fail to be appropriated by Customer to provide for the continuation of the Order Form for Customer's then-subsequent fiscal year, Customer may terminate this Order Form with prior written notice effective as of the later of the date of the beginning of such subsequent fiscal year and the end of the then-current annual license period. If Customer so terminates this Order Form, Samsara shall be entitled to payment of and for: all amounts due as of the date of termination; deliverables in progress; liabilities, fees, or costs caused by such termination including for obligations that extend beyond the date of termination; and reasonable Order Form close-out costs.



Connected Operations™

Samsara Inc  
1 De Haro Street  
San Francisco, CA 94107  
www.samsara.com

## Notification of Confidentiality

You agree that the pricing and payment terms specified in this Order Form shall (i) be held in strict confidence; (ii) not be disclosed to any Samsara competitor or other entity, except as pre-approved in writing by Samsara; and (iii) not be used except to evaluate the suitability of the Samsara Products for your business. You will immediately notify Samsara in the event of any unauthorized use or disclosure under these terms. Violation of these obligations will cause irreparable harm to Samsara for which Samsara may obtain compensatory and timely injunctive relief from a court, as well as any other remedies that may be available, including recovery of all reasonable attorney's fees and costs incurred in seeking such remedies. Your obligations specified herein shall last until the pricing and payment terms herein are, through no fault or action by you, public. This Order Form is a legally binding agreement between you ("Customer") and Samsara Inc. ("Samsara"). IN WITNESS WHEREOF, Customer has caused this Order Form to be executed by its duly authorized representative.

I confirm acceptance of this Order Form on behalf of the Customer identified herein and represent and warrant that I have full and complete authority to bind the Customer to this Order Form, including all terms and conditions herein." "Please confirm acceptance of this Order Form by signing below:

**Signature**

---

**Print Name:**

---

**Date:**

---

**Samsara Terms of Service**  
**Last Updated: May 2024**

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Welcome to Samsara. Please read these Terms of Service carefully because they govern your use of our products and services. The Customer, together with Samsara Inc., are referred to as the “Parties”.

1. Definitions.

1.1 “**Account**” means the accounts Customer creates, via the Hosted Software, to access Customer Data.

1.2 “**Affiliate**” means any other entity that, directly or indirectly through one or more intermediaries, controls, is controlled by, or is under common control with, the Customer.

1.3 “**Apps**” means software applications for smartphones and tablets distributed by Samsara through Google Play or through the Apple App Store.

1.4 “**Authorized User**” means Customer’s employees, Affiliates, and/or contractors whom Customer authorizes to use the licensed Samsara Software strictly on its behalf.

1.5 “**Customer**” or “**you**” means the company or legal entity for which you are accepting these Terms and its Affiliates who enter into Order Forms (for each such Affiliate, solely with respect to Order Forms entered into by it and for so long as it remains a Customer Affiliate).

1.6 “**Customer Data**” means Customer-specific data captured by Customer’s use of any installed Hardware, data submitted by Customer or by a third party (including from or through Non-Samsara Products) on Customer’s behalf into Apps and Hosted Software, and the analysis, reports, and alerts generated by the Products containing such data. For the avoidance of doubt, Customer Data does not include any Samsara Software.

1.7 “**Documentation**” means any Product training, technical services, or documentation made available to Customer through the Samsara website or otherwise made available to Customer by Samsara.

1.8 “**Equipment**” means the vehicle, equipment, asset, building, structure, or item into which Hardware is installed.

1.9 “**Firmware**” means software embedded in or otherwise running on the Samsara Hardware.

1.10 “**Hardware**” means the hardware devices such as gateways, cameras, sensors, controllers, vision systems, and accessories, and any improvements, developments, modifications, patches, updates, and upgrades thereto that Samsara develops or provides.

1.11 “**Hardware Warranty and RMA Policy**” means the Hardware Warranty and RMA Policy set forth at <https://www.samsara.com/support/hardware-warranty>.

1.12 “**Hosted Software**” means Samsara’s cloud-hosted software platform, including the interface accessed online.

1.13 “**Hosted Software SLA**” means the Hosted Software Service Level Agreement set forth at <https://www.samsara.com/legal/hosted-software-sla>.

1.14 **"License Expiration Date"** means (a) the later of (i) the original license termination date set forth in the applicable Order Form you entered into for the original purchase of Products or under which Products were originally made available to you ("**Initial Term**"), and (ii) the end of the then-active Renewal Term (as defined below); or (b) if applicable, for Purchase Orders issued by a Samsara reseller where the applicable purchase or procurement of Products is not also documented by a Quote, notwithstanding anything to the contrary in these Terms, the reseller agreement between such reseller and Samsara, or the applicable Purchase Order, three (3) years from the License Start Date.

1.15 **"License Start Date"** means (i) the day Samsara activates the applicable Samsara Software license by providing Customer a claim number and access to the Hosted Software (for clarity, if Hardware associated with a then-unactivated Samsara Software license is shipped to Customer under the applicable Order Form, such Samsara Software license will be activated on the day the Samsara Hardware ships); or (ii) notwithstanding the foregoing, if Customer is renewing the license term for a previously-activated Samsara Software license, the day that Samsara extends Customer's access to the Hosted Software for the renewal license term. For Purchase Orders issued by a Samsara reseller, the definition of License Start Date in this Section supersedes anything to the contrary in the reseller agreement between such reseller and Samsara and the applicable Purchase Order.

1.16 **"Malicious Code"** means code, files, scripts, agents, software or programs intended to do harm or allow for unauthorized access, including, for example, viruses, worms, time bombs, and Trojan horses.

1.17 **"Non-Samsara Products"** means any web-based, offline, or mobile applications, or other resources, users, data, systems, networks, products, services, vehicles, equipments, hardwares, or software functionality that is provided by Customer or a third party and that interoperates, integrates, and/or exchanges data with the Products.

1.18 **"Order Form"** means the applicable Quote or Purchase Order setting forth the purchase or procurement of Samsara Products and/or licenses thereto. By entering into an Order Form hereunder, a Customer Affiliate agrees to be bound by these Terms as if it were Customer, and Customer and the applicable Customer Affiliate are jointly and severally liable under such Order Form.

1.19 **"Pre-Launch Offerings"** means any Samsara hardware and/or software offerings and related documentation and accessories that are not generally available to Samsara customers and that may be in the alpha, beta, experimental, research, in development, prototyping, and/or testing phase.

1.20 **"Products"** means the Hardware and Services. For the avoidance of doubt, Products does not include any Non-Samsara Products.

1.21 **"Professional Services"** means the training, consulting, or other professional services that are provided by Samsara to Customer (i) as purchased separately by Customer pursuant to an Order Form, (ii) in Samsara's sole discretion, or (iii) as otherwise mutually agreed between the Parties.

1.22 **"Purchase Order"** means a purchase order or similar ordering document issued by Customer to Samsara and accepted by Samsara setting forth the purchase or procurement of Samsara Products and/or licenses thereto.

1.23 **"Quote"** means a quote issued by Samsara and executed by the Customer setting forth the purchase or procurement of Samsara Products and/or licenses thereto.

1.24 **"Refund"** means an amount refunded to the Customer (or in Samsara's sole discretion to any third party who paid Samsara for Customer's procurement of Products under the applicable Order Form, including a reseller, Lender, or other third party) pursuant to these Terms equal to (i) fees pre-paid to Samsara for the time remaining in an applicable license term prorated to the period of time between (a)

the date of termination and (b) the License Expiration Date for the applicable Order Form, and (ii) fees paid to Samsara for the cost of purchased Hardware (if applicable). For the avoidance of doubt, a Refund may only be issued as expressly provided hereunder.

1.25 “**Samsara Software**” means the Apps, Firmware, and Hosted Software, and any improvements, developments, modifications, patches, updates, and upgrades thereto that Samsara develops or provides, Support Services, and Service Usage Data.

1.26 “**Samsara Software Systems**” means the Samsara Software and any networks, systems, products, services, or data of Samsara, its providers, its partners, its customers, or any other third party, integrated with or connected to such Samsara Software.

1.27 “**Services**” means the Samsara Software and Professional Services.

1.28 “**Service Usage Data**” means any data that is derived from the user of the Products except that to the extent such data could directly or indirectly identify a natural person it shall be anonymized, de-identified, and/or aggregated such that it could no longer directly or indirectly identify such natural person.

1.29 “**Support Services**” means the customer support services described at [www.samsara.com/support](http://www.samsara.com/support), and Documentation, but excluding any Professional Services.

1.30 “**Terms**” means these Terms of Service, together with any amendments or addenda that modify these Terms of Service.

2. Agreement to Terms. By clicking a box indicating your acceptance of these Terms, by executing an Order Form or other contract that references these Terms, by purchasing Products or otherwise entering into an Order Form or other contract with Samsara, a Samsara reseller, or any other entity or individual for the purchase of Products or under which Products are made available to you, or by otherwise accessing and/or using the Products, whichever is the earlier, you accept and agree to be bound by these Terms. If you do not agree to these Terms or you are not authorized to access and/or use the Products, you shall not access or use the Products. If you are accessing and/or using the Products on behalf of a company (such as your employer) or other legal entity that is our Customer, you agree to these Terms on behalf of such company or other legal entity, and you represent and warrant that you have the authority to bind such company or other legal entity to these Terms. If you have entered into a separate contract with Samsara with respect to your purchase of Products or under which Products are made available to you, to the extent there is a conflict between such separate contract with Samsara and these Terms, such separate contract with Samsara shall prevail. References to “you” and “your” in these Terms refer to that company or other legal entity, our Customer. You may not use the Products if you are our direct competitor, as determined in our sole discretion, except with our prior written consent.

3. Changes to Terms or Services. Samsara may modify the Terms at any time, in our sole discretion. If Samsara does so, Samsara will inform you by posting the modified Terms to the Services or our website or through other communications with you, our Customer. It is important that you review the Terms whenever Samsara modifies them because if you continue to use the Products after Samsara has posted or otherwise informed you of the modified Terms, you are indicating to Samsara that you agree to be bound by the modified Terms. If you do not agree to be bound by the modified Terms, then you must provide written objection within thirty (30) days of Samsara’s modification notice and may continue to use the Products under the unmodified Agreement for the remaining term set forth in the applicable Order Form.

4. License. Subject to the terms and conditions specified in these Terms or an applicable Order Form, Samsara grants Customer a non-sublicensable, non-exclusive, non-transferable, limited and revocable license to use and access the Samsara Software (i) in accordance with the Documentation, (ii)

for the number and type of Samsara Software licenses specified in the applicable Order Form and solely the functionality included therein, and (iii) starting from the applicable License Start Date until the License Expiration Date set forth in such Order Form or the earlier termination of such Order Form or these Terms. The Support Services and the Hosted Software SLA are included as part of the license grant and contingent upon a valid license. The Firmware license for each item of Hardware is contingent upon Customer purchasing and maintaining a valid license to the Samsara Software. For clarity, the license for Samsara Software that is provided in conjunction with a Hardware unit is only valid for use with that Hardware unit, unless the Hardware unit is replaced pursuant to the Hardware Warranty Policy and RMA Policy. Samsara reserves the right to audit Customer's usage of Samsara Software and to remove Customer's access to Samsara Software beyond the licensed scope ("Licensed Scope") (for example, the licensed feature scope or licensed user count, as applicable) at any time. If Customer would like to use Samsara Software beyond the Licensed Scope, Customer is required to purchase the applicable Samsara Software licenses and if applicable install the applicable Hardware that include such scope. If Samsara becomes aware that Customer is using Samsara Software beyond the Licensed Scope, Samsara reserves the right to charge Customer for the applicable Samsara Software licenses that include such Licensed Scope at the then-current list price, and Customer agrees to immediately pay such amounts. Further, during the applicable license term under an Order Form, Customer agrees that it cannot downgrade a Samsara Software license plan to a lower Samsara Software license plan (for example, downgrading from an "Enterprise" license to a "Premier" license).

5. License Restrictions. Customer agrees not to do or attempt to do any of the following without Samsara's express prior written consent: (i) resell, white label, or reproduce the Products or any individual element within the Samsara Software, Samsara's name, any Samsara trademark, logo or other proprietary information, or the layout and design of any part of the Product; (ii) access, tamper with, or use non-public areas of the Samsara Software Systems; (iii) gain unauthorized access to, interfere with, disable, or disrupt the integrity or security of the Samsara Software Systems; (iv) avoid, bypass, remove, deactivate, impair, descramble or otherwise circumvent any technological measure implemented to protect the Samsara Software Systems or enforce a contractual usage limit; (v) transfer, copy, modify, sublicense, lease, lend, rent or otherwise distribute the Samsara Software to any third party; (vi) decipher, decompile, disassemble or reverse engineer any aspect of the Products, in whole or in part; (vii) impersonate or misrepresent an affiliation with any person or entity; (viii) use or access the Products for any competitive purpose; (ix) perform benchmark testing on the Products; (x) use the Products to store or transmit Malicious Code; (xi) use the Products to store, publish, submit/receive, upload/download, post, use, copy, or otherwise produce, transmit, or distribute infringing, libelous, defamatory, harassing, threatening, or otherwise unlawful or tortious material; or to store, publish, submit/receive, upload/download, post, use, copy, or otherwise produce, transmit, or distribute material in violation of third-party privacy rights; (xii) violate any applicable law or regulation; or (xiii) authorize, permit, encourage, or enable any other individual or entity to do any of the foregoing. Samsara has the right to investigate violations of this Section or conduct that affects the Samsara Software Systems and immediately suspend or terminate any or all of Customer's access to the Samsara Software if it reasonably suspects or determines that Customer has violated this Section. Samsara reserves the right to limit or restrict Product access in unsupported countries. Samsara may also consult and cooperate with law enforcement authorities to prosecute users who violate the law.

6. Hardware Installation and Equipment Maintenance. Customer is responsible for installation of the Hardware and ongoing maintenance of any Equipment, including but not limited to installation in accordance with any Equipment warranty. Depending on the Customer's intended use of the Products, Customer may require professional installation of the Hardware or ongoing professional maintenance of any Equipment. If Customer is unable to install the Hardware or to conduct such ongoing maintenance, or if Customer is uncertain that Customer has the requisite skills and understanding, Customer agrees to consult with a qualified installer or maintenance professional. Improper installation of the Hardware or maintenance of the Equipment can lead to damage of such Equipment or dangerous or life-threatening conditions, which can cause property damage, bodily injury, and/or death. Customer may notify Samsara if Customer did not order the correct Hardware cables for Hardware installation. For more information on

Samsara's Cable Exchange Policy, please see the Cable Exchange Policy section of the Hardware Warranty and RMA Policy.

## 7. Product Updates.

7.1 General. Samsara continuously improves the Products, and may from time to time (i) update the Samsara Software and cause Firmware updates to be automatically installed onto Hardware; (ii) update the Apps; or (iii) upgrade Hardware to newer models. Samsara may change or discontinue all or any part of the Products, including changing, discontinuing, or removing features included in a Samsara Software license, at any time and without notice, at Samsara's sole discretion. If Samsara discontinues supporting the Hardware model and the associated Samsara Software that you have ordered from Samsara in accordance with these Terms prior to the applicable License Expiration Date without offering to replace them with an updated or comparable version or model, you may terminate the applicable Order Form with respect to the applicable Products and request a Refund for such Products. Updates or upgrades may include security or bug fixes, performance enhancements, or new functionality, and may be issued with or without prior notification to Customer. Customer hereby consents to such automatic updates.

7.2 Pre-Launch Offerings. From time to time, Samsara may in its sole discretion make Pre-Launch Offerings available to Customer for evaluation purposes. Should Customer opt to use Pre-Launch Offerings Customer agrees to: (i) enter into any additional terms required by Samsara for the applicable Pre-Launch Offerings; (ii) assume sole responsibility and all risk, and waive and release Samsara from any claims directly or indirectly arising from or related to the Pre-Launch Offerings; and (iii) except to the extent legally prohibited from taking on indemnification obligations, without limitation as to amount, defend, indemnify, and hold harmless Samsara from any third party claims directly or indirectly arising from or related to the Pre-Launch Offerings. PRE-LAUNCH OFFERINGS ARE PROVIDED "AS IS" AND ON AN "AS AVAILABLE" BASIS, WITHOUT WARRANTY OF ANY KIND. Customer acknowledges that Pre-Launch Offerings that may interact, interface, or integrate with third party products and/or services may not be validated or supported by such third parties and may interfere with the operations of or void warranties for such third party products and/or services. Samsara reserves the right to modify, terminate, or discontinue the Pre-Launch Offerings at any time in its sole discretion, for any reason, with or without notice, and without liability to Customer, and has no obligation to make any Pre-Launch Offerings generally available to Samsara customers. If Samsara decides in its sole discretion to make a Pre-Launch Offering generally available to Samsara customers as a new Product or part of an existing Product, Samsara may discontinue making such offering available to the Customer as a Pre-Launch Offering will be discontinued at that point in time. Customer acknowledges and agrees that any continued usage after such discontinuation date will require that the Customer purchase or have already purchased the applicable Product under an Order Form and pay any additional amounts owed for such purchase. Except as explicitly set forth otherwise in this Section 7.2, Pre-Launch Offerings are subject to the same terms and conditions as are applicable to a "Product" under these Terms.

7.3 Feedback. Customer agrees to use commercially reasonable efforts to provide feedback to Samsara regarding the Products upon request and agrees that Samsara shall have all rights, title, and interest in and to all comments, suggestions, and other feedback (collectively, "**Feedback**") provided by Customer to Samsara related to the Products. Customer shall and hereby does irrevocably transfer and assign to Samsara all right, title, and interest it may have in such Feedback to Samsara, and Samsara hereby accepts such transfer.

## 8. Payment, Shipping, and Delivery.

8.1 Payment. Customer's payment and billing terms are set forth in the Order Form. Unless otherwise set forth in the applicable Order Form, (i) fees are payable by wire transfer; (ii) all transfers are subject to a processing fee up to 3%, subject to applicable law, unless the wire transfer is initiated by Samsara via ACH, in which case the processing fee will be waived; (iii) late payments are subject to a 1.5% per month

late fee; and (iv) if license payments are delinquent by 30 days, Samsara may suspend the Service until late payments are remitted. Further, unless otherwise set forth herein or in the applicable Order Form, all payments made to Samsara under an Order Form are non-refundable. Samsara may submit Customer contact information and information related to the timeliness of Customer's payments to credit rating, credit reporting, or similar agencies. If Customer makes a payment without specifying to which invoice it applies, Samsara reserves the right to apply such payment to any outstanding Customer invoice(s). Customer is responsible for all payments of applicable taxes, levies, duties, or similar governmental assessments of any nature, including, for example, value-added, sales, use or withholding taxes, assessable by any jurisdiction whatsoever (collectively, "Taxes"), however designated or incurred under these Terms. If Samsara has the legal obligation to pay or collect Taxes for which Customer is responsible under this section, Samsara will invoice Customer, and Customer shall reimburse Samsara for any taxes paid or payable on behalf of Customer. Unless required by applicable law, Samsara will not provide retroactive Tax refunds or credits to Customer. Subject to applicable legal requirements, any Tax refund or credits provided to Customer shall be at Samsara's sole discretion, and Samsara reserves the right to charge the Customer reasonable fees and costs associated with processing such Tax refund or credit.

8.2 Shipment and Delivery. All shipments are FOB (2010) Origin, Freight Prepaid, and Charged Back. Customer is solely responsible for confirming that each "Ship To" delivery address set forth in an Order Form is accurate and that any individual accepting delivery at that address is authorized to do so on Customer's behalf. Samsara may ship Hardware under an Order Form subject to a schedule as mutually agreed between the Parties or as determined by Samsara. If Hardware under an Order Form is shipped in multiple shipments, the Samsara Software license term associated with Hardware shipped after the initial shipment will be set to expire on the same date as the Samsara Software license term associated with Hardware shipped in the initial shipment. The total cost of the Samsara Software licenses associated with such Hardware shipped after the initial shipment will be pro-rated based on their actual license term, rounded up to the nearest month, as compared to the full Samsara Software license term under such Order Form. Certain payment amounts set forth in an Order Form assume that all Hardware under such Order Form is shipped at the same time and are subject to potential reduction by Samsara based on the actual schedule of Hardware shipment.

9. Accounts. Customer shall be solely responsible for administering and protecting Accounts. Customer agrees to provide access to the licensed Samsara Software only to Authorized Users, and to require such Authorized Users to keep Account login information, including user names and passwords, strictly confidential and not provide such Account login information to any unauthorized parties. Customer is solely responsible for monitoring and controlling access to the licensed Samsara Software and maintaining the confidentiality of Account login information and any provided API tokens. In the event that Customer or any Authorized User becomes aware that the security of any Account login information has been compromised, Customer shall immediately notify Samsara and de-activate such Account or change the Account's login information. Authorized Users may only use the licensed Samsara Software strictly on behalf of Customer and subject to the terms and conditions applicable to Customer herein. Customer is responsible and liable for any breach by an Authorized User of his or her obligations hereunder.

10. Customer Data.

10.1 Ownership and Usage. Customer Data is accessible via the licensed Samsara Software. Customer owns all Customer Data, and Samsara will keep Customer Data confidential. Customer hereby grants to Samsara a non-exclusive, transferable, sublicenseable, worldwide, royalty-free license to use, copy, modify, create derivative works based upon, display, and distribute Customer Data in connection with operating, supporting, and providing the Products, including for anonymized and/or aggregated reporting and use. The foregoing right to use Customer Data shall survive the termination of these Terms, unless legally prohibited or Customer requests in writing upon termination that such use be limited to non-personally-identifiable data. Samsara will maintain reasonable administrative, physical, and technical safeguards for protection of the security, confidentiality and integrity of Customer Data. Samsara will not

share Customer Data without Customer consent, except when the release of data is compelled by law or permitted herein. Customer may export Customer Data at any time during the term of these Terms through the export features in the Samsara dashboard or via the Samsara API. Customer acknowledges that some information may not be exportable via the Samsara dashboard or the API. If the applicable Samsara Software license terminates or expires and Customer does not renew, the applicable Customer Data may be immediately deleted.

10.2 Customer Data Representation and Warranty. Customer represents and warrants that: (i) Customer will obtain all rights and provide any disclosures to or obtain any consents, approvals, authorizations and/or agreements from any employee or third party that are necessary for Samsara to collect, use, and share Customer Data in accordance with these Terms (ii) no Customer Data infringes upon or violates any individual or entity's intellectual property rights, privacy, publicity or other proprietary rights and (iii) Customer will adhere to all applicable state, federal and local laws and regulations in the conduct of its business in relation to Samsara and its receipt and use of the Products. EXCEPT TO THE EXTENT LEGALLY PROHIBITED FROM TAKING ON INDEMNIFICATION OBLIGATIONS, YOU AGREE TO INDEMNIFY, DEFEND AND HOLD HARMLESS SAMSARA AND, IF RELEVANT, ITS SUBPROCESSORS AGAINST ANY LIABILITIES, DAMAGES, DEMANDS, LOSSES, CLAIMS, COSTS, FEES (INCLUDING LEGAL FEES), AND EXPENSES IN CONNECTION WITH ANY THIRD-PARTY LEGAL OR REGULATORY PROCEEDING ARISING FROM ANY ACT OR OMISSION OF THE CUSTOMER IN RELATION TO CUSTOMER INSTRUCTIONS OR FROM THE CUSTOMER'S BREACH OF THIS SECTION 10.2.

10.3 Data Protection Addendum. The "**Data Protection Addendum**" at <https://www.samsara.com/data-protection-addendum> sets forth the Parties' agreement with respect to the terms governing any Processing of Personal Data by Samsara on the Customer's behalf pursuant to these Terms. The Data Protection Addendum forms part of these Terms and supersedes any prior agreements regarding Customer Personal Data. The terms "**Processing**", "**Personal Data**", and "**Customer Personal Data**" used in this Section are all defined in the Data Protection Addendum.

## 11. Confidentiality.

11.1 Confidential Information. "**Confidential Information**" means any technical, financial, or business information disclosed by one Party to the other Party that: (i) is marked or identified as "confidential" or "proprietary" at the time of such disclosure; or (ii) under the circumstances, a person exercising reasonable business judgment would understand to be confidential or proprietary. Samsara Confidential Information includes any information related to the Products, including the pricing and payment terms thereof, Pre-Launch Offerings, Samsara Software Systems, or Samsara customers or partners, and any data or information that Samsara provides to Customer in the course of providing the Products to Customer. Customer Confidential Information includes Customer Data and any data or information that Customer provides to Samsara for the purpose of evaluating, procuring, or configuring the Services (for example, makes and models of vehicles or equipment, vehicle routes, or similar information). Confidential Information excludes information that: (i) is now or hereafter becomes generally known or available to the public, through no breach of the receiving Party's confidentiality obligations; (ii) was known, without restriction as to use or disclosure, by the receiving Party prior to receiving such information from the disclosing Party; (iii) is acquired by the receiving Party from a third party who has the right to disclose it and who provides it without restriction as to use or disclosure; or (iv) is independently developed by the receiving Party without use or knowledge of or reference to any Confidential Information of the disclosing Party.

11.2 Confidentiality Obligations. The receiving Party agrees: (i) to maintain the disclosing Party's Confidential Information in strict confidence; (ii) not to disclose such Confidential Information to any third parties (except for any Affiliates, employees, agents or third party service providers of receiving Party in performing under these Terms under reasonable confidentiality obligations, or except as authorized by disclosing Party); and (iii) not to use any such Confidential Information for any purpose except to perform under these Terms or as authorized by the disclosing Party. Notwithstanding anything to the contrary in these Terms, the receiving Party may disclose the disclosing Party's Confidential Information to the extent

required by law or regulation, including any applicable public record request laws provided that, unless prohibited by applicable law or regulation, the receiving Party uses reasonable efforts to give the disclosing Party advance notice of such requirement and reasonably cooperates with the disclosing Party at the disclosing Party's expense in preventing, limiting, or protecting such disclosure.

## 12. Proprietary Rights.

12.1 Samsara Software. Samsara and its licensors exclusively own all right, title and interest in and to the Samsara Software, including all associated intellectual property rights. Customer acknowledges that the Samsara Software is protected by patent, copyright, trademark, and other laws of the United States and foreign countries. Customer agrees not to remove, alter or obscure any copyright, trademark, service mark or other proprietary rights notices incorporated in or accompanying the Services. Customer shall and hereby does irrevocably transfer and assign to Samsara all right, title, and interest it may have in the Samsara Software to Samsara and Samsara hereby accepts such transfer. No ownership rights are being conveyed to Customer under these Terms. Except for the express rights granted herein, Samsara does not grant any other licenses or access rights, whether express or implied, to any other Samsara software, services, technology or intellectual property rights.

12.2 Firmware. The Firmware is licensed, not sold. Except in the case of a free trial and subject to the Product Trial Hardware Returns section of the Hardware Warranty and RMA Policy, Customer owns the physical title to the Hardware that Customer has purchased or has otherwise acquired in relation to an Order Form. Samsara and its licensors exclusively own all intellectual property rights in Hardware. Samsara further retains ownership of the Firmware, including all intellectual property rights therein. Customer acknowledges that the Firmware is protected by patent, copyright, trademark, and other laws of the United States and foreign countries. Samsara reserves all rights in the Firmware not expressly granted to Customer in these Terms. Customer acknowledges and agrees that portions of the Firmware, including but not limited to the source code and the specific design and structure of individual modules or programs, constitute or contain trade secrets of Samsara and its licensors.

13. Connectivity Data Usage. A Samsara Software license only includes connectivity data to the extent such license SKU is identified as including connectivity data and sets forth the amount of connectivity data included. To the extent connectivity data is included in a Samsara Software license, connectivity between the applicable Hardware and the licensed Samsara Software does not count towards the included connectivity data cap. Samsara reserves the right to limit access to personal entertainment streaming services through the Hardware connectivity. Connectivity data usage above any included connectivity data may result in the reduction of connection speeds, the restriction of connectivity, the interruption of connectivity, or some combination thereof. Restriction or interruption of connectivity will not impact the function of hours of service logs. Customer may track any included connectivity data usage from the "Gateways" page within the "Settings" section of the Hosted Software dashboard.

14. Non-Samsara Products. The Products may contain links to or have the ability to integrate or interoperate with, import or export data to or from, provide access to, or be accessed by Non-Samsara Products (collectively, "Non-Samsara Product Integrations"). If Customer opts to use any Non-Samsara Product Integrations, including but not limited to with respect to the exchange of data between Products and Non-Samsara Products, Customer agrees to: (i) assume sole responsibility for and all risk arising from Customer's use of Non-Samsara Product Integrations and the content, functionality, or availability of any Non-Samsara Products, including waiving and releasing Samsara from any claims directly or indirectly related thereto; and (ii) except to the extent legally prohibited from taking on indemnification obligations, without limitation, defend, indemnify, and hold harmless Samsara from any third party claims directly or indirectly arising from or related to Customer's use of any Non-Samsara Product Integrations. SAMSARA PROVIDES NON-SAMSARA PRODUCT INTEGRATIONS "AS IS" WITHOUT WARRANTY OF ANY KIND AND ONLY AS A CONVENIENCE.

15. **Publicity.** Customer hereby grants Samsara permission to use the Customer name and logo on Samsara’s website, press releases, customer lists, SEC filings, earnings calls, and investor and marketing materials to list Customer as a customer. However, Samsara will not use Customer’s name, trademarks, or logos in any other way without Customer’s prior consent. Customer agrees to abide by the terms of Samsara’s Marks Usage Agreement available at <https://www.samsara.com/resources/brand-assets/>.

16. **Term.** The term of these Terms begins upon the date on which you accept these Terms, by clicking a box indicating your acceptance, by executing an Order Form or other contract that references these Terms, by purchasing Products or otherwise entering into an Order Form or other contract with Samsara, a Samsara reseller, or any other entity or individual for the purchase of Products or under which Products are made available to you, or by otherwise accessing and/or using the Products, whichever is the earliest, and shall continue until (i) the License Expiration Date for the last active Order Form or other contract you entered into for the purchase of Products or under which Products are made available to you, (ii) you are no longer authorized to access and/or use the Products, or (iii) these Terms are otherwise terminated earlier as provided hereunder, whichever is earliest.

16.1 **Renewal.** Unless you notify Samsara in writing of your intent to cancel auto-renewal of the applicable Order Form or other contract you entered into for the purchase of Products or under which Products are made available to you at least thirty (30) days prior to the License Expiration Date, at any time up to ninety (90) days after the License Expiration Date, Samsara may in its discretion renew your license term for the applicable or substantially equivalent Products, effective on the License Expiration Date, for a period of up to the greatest of the following: (i) one year, (ii) the same period as the immediately preceding license term, or, (iii) a shorter period to align license expiration dates with another of your active orders) (each such period, or any renewal license term of the applicable Products after the Initial Term, a “Renewal Term”). Subject to Samsara’s renewal rights set forth in the foregoing sentence, you and Samsara may mutually agree to enter into a new Order Form to renew your license term upon the License Expiration Date, which new Order Form may include additional or different Products or license terms to the extent mutually agreed. If Samsara auto-renews your license term without Customer’s execution of a new Order Form as described in the first sentence of this paragraph, your payment method will remain the same as indicated on the applicable original Order Form (e.g., monthly if you were allowed monthly payments, or yearly if you were allowed annual payments or upfront payment). If your license term is renewed after termination of the immediately preceding license term and Samsara in its sole discretion allows you to continue using the applicable Products during such interim period, these Terms shall apply to such use, and Samsara reserves the right (i) to charge you for such use at the renewal license pricing (and Customer agrees to immediately pay such amounts) and (ii) to have the License Start Date for the renewal license start the day after expiration of the immediately preceding license term. Please email [renewals@samsara.com](mailto:renewals@samsara.com) for any questions regarding automatic renewal.

16.2 **Termination.** Samsara may terminate these Terms, any Order Form, and your access to and use of the Samsara Software at its sole discretion, at any time upon notice to you. However, if Samsara so terminates for its convenience and not as otherwise set forth in these Terms or the applicable Order Form or due to your breach thereof, then Samsara will provide you with a Refund. Unless otherwise set forth herein or in the applicable Order Form, an Order Form, including any renewal Order Forms, cannot be terminated prior to the applicable License Expiration Date.

16.3 **Termination for Non-Appropriation of Funds.** The continuation of an Order Form one (1) year after the license start date and annually thereafter is contingent upon the appropriation of sufficient funds by Customer. If sufficient funds fail to be appropriated by Customer to provide for the continuation of the applicable Order Form for Customer’s then-subsequent fiscal year, Customer may terminate such Order Form with prior written notice effective as of the later of the date of the beginning of such subsequent fiscal year and the end of the then-current annual license period. If Customer so terminates such Order Form, Samsara shall be entitled to payment of and for: all amounts due as of the date of termination; deliverables in progress; liabilities, fees, or costs caused by such termination including for obligations that extend beyond the date of termination; and reasonable Order Form close-out costs.

16.4 Effect of Termination. Upon any termination or expiration of these Terms, the following Sections of these Terms will survive: 5 (License Restrictions), 7.2 (Pre-Launch Offerings), 7.3 (Feedback), 8 (Payment, Shipping, and Delivery), 10 (Customer Data), 11 (Confidentiality), 12 (Proprietary Rights), 16 (Term), 17 (Warranty Disclaimers), 18 (Limitation of Liability), 19 (Dispute Resolution), 20 (Governing Law), and 21 (General Terms). At the Customer's request, and subject to Samsara's data retention and backup policies, Samsara shall delete and remove any Customer Data on the Hosted Software.

17. Warranty Disclaimers. THE SERVICES ARE PROVIDED "AS IS," WITHOUT WARRANTY OF ANY KIND. WITHOUT LIMITING THE FOREGOING, SAMSARA EXPLICITLY DISCLAIMS ANY WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, NON-INFRINGEMENT, AND ANY WARRANTIES ARISING OUT OF COURSE OF DEALING OR USAGE OF TRADE. Samsara makes no warranty that the Services will meet Customer's requirements or be available on an uninterrupted, secure, or error-free basis. Samsara makes no warranty regarding the quality, accuracy, timeliness, truthfulness, completeness or reliability of any analytics or Customer Data. For more information about the Samsara Hardware warranty, please visit <https://www.samsara.com/support/hardware-warranty>.

18. Limitation of Liability.

18.1 No Consequential Damages. NEITHER SAMSARA NOR CUSTOMER NOR ANY OTHER ENTITY INVOLVED IN CREATING, PRODUCING, OR DELIVERING THE PRODUCTS WILL BE LIABLE FOR ANY INCIDENTAL, SPECIAL, PUNITIVE, EXEMPLARY OR CONSEQUENTIAL DAMAGES, INCLUDING LOST PROFITS, LOSS OF DATA OR GOODWILL, SERVICE INTERRUPTION, COMPUTER DAMAGE OR SYSTEM FAILURE OR THE COST OF SUBSTITUTE PRODUCTS ARISING OUT OF OR IN CONNECTION WITH THESE TERMS OR FROM THE USE OF OR INABILITY TO USE THE PRODUCTS, WHETHER BASED ON WARRANTY, CONTRACT, TORT (INCLUDING NEGLIGENCE), PRODUCT LIABILITY OR ANY OTHER LEGAL THEORY, AND WHETHER OR NOT THE OTHER PARTY HAS BEEN INFORMED OF THE POSSIBILITY OF SUCH DAMAGE, EVEN IF A LIMITED REMEDY SET FORTH HEREIN IS FOUND TO HAVE FAILED OF ITS ESSENTIAL PURPOSE. SOME JURISDICTIONS LEGALLY PROHIBIT THE EXCLUSION OR LIMITATION OF LIABILITY FOR CONSEQUENTIAL OR INCIDENTAL DAMAGES, SO THE ABOVE LIMITATION MAY NOT APPLY.

18.2 Cap. EXCEPT FOR (i) ANY EXPRESS INDEMNIFICATION OBLIGATION SET FORTH IN THESE TERMS, (ii) CUSTOMER'S BREACH OF SECTION 5 (LICENSE RESTRICTIONS), AND (iii) CUSTOMER'S PAYMENT OBLIGATIONS UNDER AN ORDER FORM, IN NO EVENT WILL EITHER PARTY'S TOTAL AGGREGATE LIABILITY, INCLUDING TO THE OTHER PARTY AND ANY OF ITS AFFILIATES, ARISING OUT OF OR IN CONNECTION WITH THESE TERMS OR FROM THE USE OF OR INABILITY TO USE THE PRODUCTS EXCEED THE AMOUNTS CUSTOMER HAS PAID TO SAMSARA HEREUNDER DURING THE TWELVE (12) MONTHS PRECEDING THE EVENT GIVING RISE TO THE DAMAGE, OR IF CUSTOMER HAS NOT HAD ANY PAYMENT OBLIGATIONS TO SAMSARA (FOR EXAMPLE THROUGH A FREE TRIAL), ONE HUNDRED DOLLARS (\$100).

18.3 THE EXCLUSIONS AND LIMITATIONS OF DAMAGES SET FORTH ABOVE ARE FUNDAMENTAL ELEMENTS OF THE BASIS OF THE BARGAIN BETWEEN SAMSARA AND CUSTOMER.

19. Dispute Resolution.

19.1 Arbitration. Unless Customer is legally prohibited by law from resolving disputes by arbitration, any dispute arising from or relating to these Terms or Customer's use of the Products that cannot be resolved by the Parties within a period of sixty (60) days after notice of a dispute has been given by one Party hereunder to the other, shall be finally and exclusively settled by confidential arbitration in the JAMS location nearest to the county in which Customer has its principal place of business using the English language in accordance with the Arbitration Rules and Procedures of the Judicial Arbitration and Mediation Services, Inc. ("**JAMS Rules**") then in effect, by one or more commercial arbitrator(s) with substantial experience in resolving complex commercial contract disputes. The Parties agree that such arbitrator(s) shall have full authority to award preliminary and permanent injunctive relief, damages, and any other relief available in law, at equity, or otherwise pursuant to applicable law and that any

emergency arbitrator(s) appointed in accordance with the JAMS Rules shall have authority to grant emergency relief in accordance with such rules.

19.2 Class Action Waiver. Any proceedings to arbitrate or resolve any dispute arising from or relating to these Terms or Customer's use of the Products in any forum will be conducted solely on an individual basis and not as a class action, consolidated action, private attorney general action, or other representative action. You expressly waive your right to file a class action, participate in a class action, or seek relief on a class basis. Unless Samsara agrees in writing otherwise, the arbitrator or other adjudicator will not consolidate more than one person or entity's claims.

20. Governing Law. These Terms and any action related thereto will be governed by the laws of the state in which Customer has its principal place of business without regard to its conflict of laws provisions. Subject to the agreement to arbitrate set forth herein, exclusive jurisdiction and venue for actions arising from or related to these Terms or Customer's use of the Products will be the state and federal courts located in or nearest to the county in which the Customer has its principal place of business and both Parties consent to the jurisdiction of such courts with respect to any such actions.

21. General Terms.

21.1 Miscellaneous. These Terms together with any applicable Order Form constitute the entire and exclusive understanding and agreement between Samsara and you regarding the Products and the subject matter hereof, and these Terms supersede and replace any and all prior oral or written understandings or agreements between Samsara and you regarding the Products and the subject matter hereof. For clarity, the Parties agree that any of Customer's click-through, hyperlinked, or similar boilerplate or standard terms and conditions, including those associated with Customer payment portals or onboarding of Samsara as a Customer vendor, are void and have no effect, notwithstanding anything to the contrary in such terms and conditions. If there is a conflict between the terms of an Order Form and these Terms, then the terms of the Order Form controls over these Terms; provided that, to the extent applicable, (a) if a purchase or procurement under a Purchase Order is also documented by a Quote, notwithstanding anything to the contrary in these Terms or the applicable Purchase Order, (i) to the extent there is a conflict between such Purchase Order and such Quote, the terms of the Quote shall prevail, and no additional terms included in such Purchase Order that are not included in such Quote shall apply; and (ii) Customer shall ensure such Purchase Order references, and reflects identical terms and conditions to, such Quote; and (b) for Purchase Orders issued by a Samsara reseller where the applicable purchase or procurement of Products is not also documented by a Quote, notwithstanding anything to the contrary in these Terms, the reseller agreement between such reseller and Samara, or the applicable Purchase Order, to the extent there is a conflict between such Purchase Order and such reseller agreement, the terms of the reseller agreement shall prevail, and no additional terms included in such Purchase Order that are not included in such reseller agreement shall apply. Any Purchase Order is solely for Customer's convenience in record keeping, and the existence of a Purchase Order or any delivery of Products to Customer following receipt of any Purchase Order shall not be deemed an acknowledgement of or agreement to any terms or conditions associated with any such Purchase Order or in any way be deemed to modify, alter, supersede or supplement the Agreement or the applicable Quote. If for any reason a court of competent jurisdiction finds any provision of these Terms invalid or unenforceable, that provision will be enforced to the maximum extent permissible and the other provisions of these Terms will remain in full force and effect. You may not assign or transfer these Terms, by operation of law or otherwise, without Samsara's prior written consent. Any attempt by you to assign or transfer these Terms, without such consent, will be null. Samsara may freely assign or transfer these Terms without restriction. Subject to the foregoing, these Terms will bind and inure to the benefit of the Parties, their successors and permitted assigns, and nothing herein, express or implied, is intended to or shall confer upon any other person or entity or Party Affiliate, any legal or equitable right, benefit or remedy of any nature whatsoever under or by reason of these Terms. Customer shall have no right to bring any claims under these Terms against any Samsara Affiliate, employee, director, officer, or shareholder. Any notices or other communications provided by Samsara under these Terms, including those regarding modifications to these Terms, will be

given: (i) via email; (ii) by posting to Samsara's website; or (iii) by posting to the Services. For notices made by e-mail, the date of receipt will be deemed the date on which such notice is transmitted. Either Party's failure to enforce any right or provision of these Terms will not be considered a waiver of such right or provision. The waiver of any such right or provision will be effective only if in writing and signed by a duly authorized representative of both Parties. Except as expressly set forth in these Terms, the exercise by either Party of any of its remedies under these Terms will be without prejudice to its other remedies under these Terms or otherwise.

21.2 Acceptable Use. Customer may not, and may not allow any third-party including its Authorized Users to, (a) use the Products: (i) for any inappropriate, improper, discriminatory, illegal, or otherwise harmful purpose or (ii) to violate, or encourage the violation of, the rights of others which includes, without limitation, legal rights (e.g., intellectual property or proprietary rights) or human rights (i.e., the rights inherent to all human beings regardless of race, sex, nationality, ethnicity, language, religion, or any other status, including without limitation the right to life and liberty, freedom from slavery and torture, freedom of opinion and expression, the right to work and education, and many more), each as reasonably determined by Samsara; or (b) engage in abusive, harassing, threatening, offensive, or otherwise improper conduct towards Samsara or its employees, agents, service providers, partners, or other customers. To report any potential misuse or violation, please email [abuse@samsara.com](mailto:abuse@samsara.com) or submit an anonymous concern via [samsara-external.ethicspoint.com](https://samsara-external.ethicspoint.com).

21.3 Export Restrictions. Customer shall not use the Products in violation of applicable export control or sanctions laws of the United States or any other applicable jurisdiction. Customer shall not use the Products if Customer is or is working on behalf of any restricted person or entity, including those listed on the U.S. Treasury Department's list of Specially Designated Nationals, the U.S. Department of Commerce Denied Person's List or Entity List, the State Department's Debarred list, or similar denied parties list without prior authorization by the U.S. Government. Customer shall not export, re-export, or transfer the Products if for use directly or indirectly in any prohibited activity described in Part 744 of the U.S. Export Administration Regulations, including certain nuclear, chemical or biological weapons, rocket systems or unmanned air vehicle end-uses.

21.4 Force Majeure. Samsara is not liable or responsible, nor shall be deemed to have defaulted under or breached these Terms, for any failure to perform or delay in performing its obligations under these Terms due to an event of force majeure. An event of force majeure is any event or circumstance beyond Samsara's reasonable control, such as war, hostilities, act of God, earthquake, flood, fire, or other natural disaster, strike or labor conditions, material shortage, epidemic, disease, government action, or failure of utilities, transportation facilities, or communication or electronic systems.

21.5 Financed Purchases and Other Payment Arrangements. If you are accessing the Products through a financing entity ("Lender"), the terms in this Section shall apply. Any obligation you may have to the Lender is absolute and unconditional, not subject to any setoff or counterclaim as between you and Lender, unless agreed to otherwise in the separate financing agreement ("Financing Agreement") you enter into with the Lender to finance your purchase of the Products. You acknowledge and agree that when you execute the Financing Agreement, the Lender is prepaying Samsara for the Products on your behalf and such prepayment is final and cannot be refunded by Samsara unless otherwise provided under these Terms. You accept the risk that any Products are not provided or are not satisfactory; provided this sentence does not affect your rights against Samsara as limited by these Terms, or Samsara's obligations to you under these Terms. If you choose to discontinue use of the Products for any reason, you will continue to be liable for any outstanding payment obligations specified in the Financing Agreement. If you have any claim against or dispute with Samsara, you may not take action by reason of such claims against Lender. If you are purchasing through a Lender, Samsara may terminate your access to the Products should you breach these Terms or the terms of the Financing Agreement. Any Refunds issued by Samsara under these Terms for Product purchases financed under a Financing Agreement may in Samsara's sole discretion be remitted to the Lender, and any impact such remittance may have on your remaining payment obligations to Lender is governed by the Financing Agreement. Subject to the other

terms of this Section (Financed Purchases and Other Payment Arrangements), in the event Samsara consents, in its sole discretion, to granting Customer's request for payment under an Order Form to be made by a Customer Affiliate, Lender, or any other third party authorized by Customer to make purchases or payments on behalf of Customer ("Payment Arrangement"), Customer represents and warrants that (i) such Payment Arrangements are made for legitimate business purposes and are in compliance with all applicable laws, including but not limited to tax laws, and (ii) Customer remains directly liable for all obligations, including all payment obligations, under these Terms and such Order Form.

21.6 Contact Information. If you have any questions about these Terms or the Products, please contact Samsara at [info@samsara.com](mailto:info@samsara.com).

Product Name	Description	Product Code	Discount	List Price (Monthly)	Discounted Price to Sourcewell (Monthly)	List Price (Annual)	Discounted Price to Sourcewell (Annual)	Annual Recurring Cost or One-Time/Replacement Cost
License for Asset Gateways	License for AG2-series gateways, includes support, software updates, hosted service, and cellular connectivity	LIC-AG2-ENT	15%	\$19.00	\$16.15	\$228.00	\$193.80	Annual Recurring Cost
Cargo Monitor License (ENT)	Wireless cargo sensor license for sensing the presence of cargo in an enclosed trailer or container.	LIC-CRGO-ENT	15%	\$4.00	\$3.40	\$48.00	\$40.80	Annual Recurring Cost
Door Monitor License (ENT)	License for wireless door sensor for swing and roll-up doors	LIC-DM11-ENT	15%	\$4.00	\$3.40	\$48.00	\$40.80	Annual Recurring Cost
License for Case SiteWatch integration	License subscription for integrating with Case construction SiteWatch Telematics system	LIC-OEM-CAS	15%	\$12.00	\$10.20	\$144.00	\$122.40	Annual Recurring Cost
License for Caterpillar VisionLink OEM	Software subscription for reading location and diagnostics from Caterpillar's VisionLink embedded telematics hardware, with no Samsara hardware necessary.	LIC-OEM-CAT	15%	\$11.67	\$9.92	\$140.00	\$119.00	Annual Recurring Cost
License for Site Camera Stream	Annual license for site camera stream	LIC-SC1	5%	\$10.00	\$9.50	\$120.00	\$114.00	Annual Recurring Cost
License for Samsara Dome Camera	Annual License for Samsara Dome Cameras	LIC-SC11	5%	\$25.00	\$23.75	\$300.00	\$285.00	Annual Recurring Cost
License for Samsara Bullet Camera	Annual License for Samsara Bullet Cameras	LIC-SC21	5%	\$25.00	\$23.75	\$300.00	\$285.00	Annual Recurring Cost
License 16TB Storage Expansion for SG1	Additional 16TB storage for SG1	LIC-SG-STRG16	5%	\$41.67	\$39.58	\$500.00	\$475.00	Annual Recurring Cost
License for Site Gateway	License for Site Gateway SG1-G	LIC-SG1-G	5%	\$245.00	\$232.75	\$2,940.00	\$2,793.00	Annual Recurring Cost
License for Site Gateway w/ Extended Storage	License for Site Gateway SG1-G32	LIC-SG1-G32	5%	\$286.67	\$272.33	\$3,440.00	\$3,268.00	Annual Recurring Cost
License for Site Gateway Lite	Annual License for Site Gateway Lite	LIC-SG1x	5%	\$150.00	\$142.50	\$1,800.00	\$1,710.00	Annual Recurring Cost
Cellular License for Site Camera Stream	Cellular license for SC-series cameras or 3rd party cameras	LIC-SC-CELL	5%	\$10.00	\$9.50	\$120.00	\$114.00	Annual Recurring Cost
WiFi Hotspot - 1GB Total Data	License for 1GB total WiFi data for VG-series vehicle gateway priced at \$10/month	LIC-1GB-WIFI-DATA	15%	\$10.00	\$8.50	\$120.00	\$102.00	Annual Recurring Cost
WiFi Hotspot - 2GB Total Data	License for 2GB total WiFi data for VG-series vehicle gateway priced at \$30/month	LIC-2GB-WIFI-DATA	15%	\$30.00	\$25.50	\$360.00	\$306.00	Annual Recurring Cost
License for powered Asset Trackers	Enterprise license for the AG46P powered asset tracker. This includes support, software updates, hosted service, and cellular connectivity.	LIC-AG4P-ENT	15%	\$12.00	\$10.20	\$144.00	\$122.40	Annual Recurring Cost
License for Unpowered Asset Trackers	License for AG4-series unpowered asset tracker (including the AG46) and powered asset tracker (including the AG46P). This includes support, software updates, hosted service, and cellular connectivity.	LIC-AG4-ENT	15%	\$10.00	\$8.50	\$120.00	\$102.00	Annual Recurring Cost
Camera Connector License	License for the Samsara Camera Connector (ACC-CM-ANLG). Provides the ability to connect analog camera feeds (up to 4) to our Cloud Dashboard for instant video retrieval and 360 degree camera review on events.	LIC-CM-ANLG	15%	\$25.00	\$21.25	\$300.00	\$255.00	Annual Recurring Cost
License for Environmental Monitors	12-month license for EM-series environmental monitors, includes support, software updates, and hosted cloud service	LIC-EM-ENT	15%	\$8.00	\$6.80	\$96.00	\$81.60	Annual Recurring Cost
Safety Event Review	Harsh event video review service (option for enterprise fleets with >500 vehicle)	LIC-SVC-CM-Review-ENT	15%	\$5.00	\$4.25	\$60.00	\$51.00	Annual Recurring Cost
License for Vehicle Gateways	License for VG-series gateways, includes support, software updates, hosted service, and cellular connectivity.  The Vehicle Gateway provides live GPS tracking, FMCSA-registered ELD capabilities, engine diagnostics, a built-in WiFi hotspot, driver workflows, advanced analytics, customizable reports, and mobile app access for fleet admins and drivers.	LIC-VG-ENT	15%	\$39.00	\$33.15	\$468.00	\$397.80	Annual Recurring Cost
WiFi Hotspot - 500MB Additional Data, 12MO	500MB additional WiFi data for VG-series vehicle gateway (12MO)	LIC-WIFI-DATA	15%	\$10.00	\$8.50	\$120.00	\$102.00	Annual Recurring Cost
License for Ford OEM (Enterprise)	Software subscription for reading diagnostics from Ford embedded telematics with ELD capabilities.	LIC-OEM-FORD	15%	\$39.00	\$33.15	\$468.00	\$397.80	Annual Recurring Cost
License for industrial asset gateway (IG15)	License for industrial asset gateway (IG15) only	LIC-IG15-ENT	15%	\$30.00	\$25.50	\$360.00	\$306.00	Annual Recurring Cost
License for Vehicle Gateways - Public Sector Only, No WiFi, No ELD	Vehicle Gateway License without ELD and without WiFi that should be sold to Public Sector customers within a singled bundled price.	LIC-VG-PS	15%	\$23.00	\$19.55	\$276.00	\$234.60	Annual Recurring Cost
GM Onstar OEM data integration	OEM integration with General Motors (GM)	LIC-OEM-GM	15%	\$39.00	\$33.15	\$468.00	\$397.80	Annual Recurring Cost
License for John Deere VisionLink OEM	Software subscription for reading location and diagnostics from John Deere's JDLink embedded telematics hardware, with no Samsara hardware necessary.	LIC-OEM-JD	15%	\$12.00	\$10.20	\$144.00	\$122.40	Annual Recurring Cost
License for Komatsu Komtrax Integration	Software subscription for reading location and diagnostics from Komatsu's Komtrax embedded telematics hardware, with no Samsara hardware necessary.	LIC-OEM-KOM	15%	\$12.00	\$10.20	\$144.00	\$122.40	Annual Recurring Cost
License for Navistar Gateway Integration	Software subscription for reading diagnostics from Ford embedded telematics, with no Samsara hardware necessary.	LIC-OEM-NVI	15%	\$39.00	\$33.15	\$468.00	\$397.80	Annual Recurring Cost
License for Volvo Construction CareTrack Integration	License subscription for integrating with Volvo Construction's CareTrack Telematics system	LIC-OEM-VCT	15%	\$12.00	\$10.20	\$144.00	\$122.40	Annual Recurring Cost
License for Vermeer Telematics integration	License subscription for integrating with Vermeer Telematics	LIC-OEM-VER	15%	\$12.00	\$10.20	\$144.00	\$122.40	Annual Recurring Cost
License for Dual-Facing Camera	License for dual-facing dash cam, includes support, software updates, and hosted cloud service  Full HD video with Infrared LED for night vision Built-in audio speaker supports optional in-cab alerts for driver coaching. Advanced edge computing allows for live scene analysis and object detection. On-demand video available for up to 100 hours of drive time.	LIC-CM2-ENT	15%	\$55.00	\$46.75	\$660.00	\$561.00	Annual Recurring Cost
License for Forward-Facing Dash Camera	License for forward-facing dash cam, includes support, software updates, and hosted cloud service.  Full HD video with low-light recording for night vision. Built-in audio speaker supports optional in-cab alerts for driver coaching. Advanced edge computing allows for live scene analysis and object detection. On-demand video available for up to 75 hours of drive time.	LIC-CM1-ENT	15%	\$39.00	\$33.15	\$468.00	\$397.80	Annual Recurring Cost
Live Streaming	Monthly Live Streaming License (10 hours of live streaming per camera per month)	LIC-CM-STRM	15%	\$5.00	\$4.25	\$60.00	\$51.00	Annual Recurring Cost
Camera Connector	Accessory to connect analog backup or side cameras	ACC-CM-ANLG	15%	\$16.58	\$14.10	\$199.00	\$169.15	One-Time/Replacement Cost
Camera Connector for Provision DVRs	--REQUIRED FOR PROVISION DVRs--Modified camera connector without inline isolator	ACC-CM-ANLG-M	15%	\$16.58	\$14.10	\$199.00	\$169.15	One-Time/Replacement Cost
Wireless Cargo Sensor	Wireless cargo sensor for sensing the presence of cargo in an enclosed trailer or container	ACC-CRGO	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
Wireless Door Monitor	Wireless door sensor for swing and roll-up doors	ACC-DM11	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
Worldwide 12V 4A AC/DC Power Supply	12V 4A AC/DC power supply with 100V-240V worldwide input voltage	ACC-4A12-WW	15%	\$1.17	\$0.99	\$14.00	\$11.90	One-Time/Replacement Cost

Auxiliary Input Hub	USB accessory to accommodate eight additional auxiliary inputs to the Vehicle Gateway	ACC-AUX	15%	\$4.08	\$3.47	\$49.00	\$41.65	One-Time/Replacement Cost
Samsara Panic Button	Vehicle Gateway panic/event button accessory. When pushed, the button immediately sends an alert to managers with captured video footage (for customers equipped with a Samsara AI dash cam). This accessory plugs directly into the Vehicle Gateway.	ACC-BPB	15%	\$4.08	\$3.47	\$49.00	\$41.65	One-Time/Replacement Cost
Privacy Button	EA version of the privacy button. The button currently hides the GPS coordinates and has no effect on the video. The button has an LED indicating the privacy mode status. It requires a VG to be mounted.	ACC-BPR	15%	\$5.00	\$4.25	\$60.00	\$51.00	One-Time/Replacement Cost
ID Card	Passenger ID Cards;	ACC-CARD	15%	\$0.21	\$0.18	\$2.50	\$2.13	One-Time/Replacement Cost
Engine Immobilizer	Remotely disable and enable engine.	ACC-EI	15%	\$6.58	\$5.60	\$79.00	\$67.15	One-Time/Replacement Cost
Driver ID Token	Wireless Driver ID token for use with a VG gateway to identify drivers in vehicles.	ACC-DRIVERID	15%	\$0.83	\$0.71	\$9.99	\$8.49	One-Time/Replacement Cost
ID Card Reader	ID Card Reader for use with VG34	ACC-IDRDR	15%	\$16.58	\$14.10	\$199.00	\$169.15	One-Time/Replacement Cost
Array Antenna w/ cellular, GPS	Array Antenna w/ cellular and passive GPS. Compatible with IG15 hardware.	ACC-AAANT-CG	15%	\$12.42	\$10.55	\$149.00	\$126.65	One-Time/Replacement Cost
Wall adapter PSU and Cable	Wall Adapter PSU Plug to wire cable Din Rail Ziplock + Samsara brand label	ACC-IG-CWPS	15%	\$12.42	\$10.55	\$149.00	\$126.65	One-Time/Replacement Cost
CM inward camera-lens cover	CM32 lens cover, which blocks the inward-facing lens only	ACC-CM3-CVR1	15%	\$0.83	\$0.71	\$10.00	\$8.50	One-Time/Replacement Cost
CM3x Mounting Bracket	CM3x Mounting Bracket (incl. VHB Tape and set of mounting screws)	ACC-CM3-MNT	15%	\$0.83	\$0.71	\$9.99	\$8.49	One-Time/Replacement Cost
CM Dual-lens cover	CM31 and CM32 lens cover, which blocks both the forward and inward-facing lenses (for use in areas where cameras are forbidden)	ACC-CM3-CVR2	15%	\$0.83	\$0.71	\$10.00	\$8.50	One-Time/Replacement Cost
Vehicle IoT Gateway, model VG54, for use with FirstNet	Enhanced Vehicle IoT Gateway for use in North America, providing full support for the AT&T FirstNet Network. Requires CBL-VG-Cxx class cables.	HW-VG54-FN	15%	\$10.75	\$9.14	\$129.00	\$109.65	One-Time/Replacement Cost
Vehicle IoT Gateway, model VG54	Enhanced Vehicle IoT Gateway for use in North America. Requires CBL-VG-Cxx class cables.	HW-VG54-NA	15%	\$14.92	\$12.68	\$179.00	\$152.15	One-Time/Replacement Cost
Vehicle IoT Gateway, model VG54, for Heavy Duty Vehicles	Enhanced Vehicle IoT Gateway for use in North America, for Heavy Duty vehicles only. Requires CBL-VG-Cxx class cables.	HW-VG54-NAH	15%	\$10.75	\$9.14	\$129.00	\$109.65	One-Time/Replacement Cost
Site Camera Arm Mount	Arm mount accessory for site camera	ACC-SC-MNT-A1	5%	\$11.92	\$11.32	\$143.00	\$135.85	One-Time/Replacement Cost
Site Camera Junction Box Mount	Junction box mount accessory for site camera	ACC-SC-MNT-J1	5%	\$4.75	\$4.51	\$57.00	\$54.15	One-Time/Replacement Cost
Site Camera Pole Mount	Pole mount accessory for site camera	ACC-SC-MNT-P1	5%	\$9.33	\$8.87	\$112.00	\$106.40	One-Time/Replacement Cost
IG15 Industrial Asset Gateway	Samsara industrial asset gateway with external cellular and GPS antenna connections, battery backup, and ruggedized enclosure.	HW-IG15	15%	\$25.00	\$21.25	\$300.00	\$255.00	One-Time/Replacement Cost
IG15 Individual Antenna	Individual Antennas (w/ LTE and GPS)	ACC-IANT-CG				\$149.00		
Forward-facing dash-camera, series 3.	Forward-facing AI Dash Cam	HW-CM31	15%	\$24.92	\$21.18	\$299.00	\$254.15	One-Time/Replacement Cost
Dual-facing dash-camera, series 3.	Dual-facing AI Dash Cam	HW-CM32	15%	\$33.25	\$28.26	\$399.00	\$339.15	One-Time/Replacement Cost
AG26 Gateway	Samsara powered asset gateway with cellular connectivity, real-time GPS location, and compatibility with wireless sensors and 3rd party integrations	HW-AG26	15%	\$24.92	\$21.18	\$299.00	\$254.15	One-Time/Replacement Cost
AG46 Unpowered Asset Tracker	Samsara pocket sized unpowered asset tracker with cellular connectivity, GPS logging and weatherproof, ruggedized enclosure	HW-AG46	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
AG46P Gateway	Samsara powered asset gateway for basic trailer tracking with cellular connectivity and real-time GPS location	HW-AG46P	15%	\$12.42	\$10.55	\$149.00	\$126.65	One-Time/Replacement Cost
Wireless Environmental Monitor	Samsara wireless environmental monitor for temperature and humidity	HW-EM21	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
Site Camera - Dome	Domed site camera - 5 megapixels	HW-SC11	5%	\$58.33	\$55.42	\$700.00	\$665.00	One-Time/Replacement Cost
Site Camera - Bullet - High Temperature	Bullet site camera - 5 megapixels - High Temperature	HW-SC21-HT	5%	\$58.33	\$55.42	\$700.00	\$665.00	One-Time/Replacement Cost
Site Camera - Bullet	Bullet site camera - 5 megapixels	HW-SC21	5%	\$58.33	\$55.42	\$700.00	\$665.00	One-Time/Replacement Cost
Site Gateway	AI network video recorder with support for up to 25 streams and 30 days of video storage.	HW-SG1-G	5%	\$750.00	\$712.50	\$9,000.00	\$8,550.00	One-Time/Replacement Cost
Site Gateway w/ Extended Storage	AI network video recorder with support for up to 25 streams and 32TB of storage	HW-SG1-G32	5%	\$0.00	\$0.00	\$0.00	\$0.00	One-Time/Replacement Cost
Site Gateway Lite	AI network video recorder with support for up to 8 streams and 30 days of video storage.	HW-SG1x	5%	\$416.67	\$395.83	\$5,000.00	\$4,750.00	One-Time/Replacement Cost
AG26 14-pin Caterpillar cable	This 14-pin caterpillar connector allows us to read engine diagnostics from caterpillar equipment with 14-pin port	CBL-AG-ACT14	15%	\$4.08	\$3.47	\$49.00	\$41.65	One-Time/Replacement Cost
AG26 CAT 9-pin cable	This 9-pin connector allows us to read engine diagnostics from caterpillar equipment with 9-pin port	CBL-AG-ACT9	15%	\$4.08	\$3.47	\$49.00	\$41.65	One-Time/Replacement Cost
AG26 J1939 9-pin cable bundle	This 9-pin connector allows us to read engine diagnostics equipment with J1939 9-pin port	CBL-AG-A9PIN	15%	\$4.08	\$3.47	\$49.00	\$41.65	One-Time/Replacement Cost
AG26 AOPEN (open wire) Cable	An open wire cable used to connect across any powered equipment to pull engine diagnostics over CAN. This cable is the alternative to the A9PIN cable when the equipment does not have a common 9pin port. This cable can also be used with CAT equipment if the ACT9 and the ACT14 cables do not match the port in the equipment.	CBL-AG-AOPEN	15%	\$4.08	\$3.47	\$49.00	\$41.65	One-Time/Replacement Cost
AG26 APWR Cable	Connects AG to powered equipment enabling logs of engine hours with the ability to track power take off.	CBL-AG-APWR	15%	\$4.08	\$3.47	\$49.00	\$41.65	One-Time/Replacement Cost
AG26 ARTK (Thermo King) Cable	AG 7-way cable specifically for reefer control capabilities on select Thermo King and connects the AG to a TK reefer via an officially supported 3rd party access module designed by TK to allow consistent 3rd party access and control of the reefer unit.	CBL-AG-ARTK	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
AG26 ATPM cable	AG 7-way cable specifically for tire pressure monitoring (requires TPM integration)	CBL-AG-ATPM	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
AG24 7-Way Y-Cable for European Trailers	Asset Gateway Cable with 7-Way Y-Cable for power from European Dry Van Trailers	CBL-AG-AEPC	15%	\$5.75	\$4.89	\$69.00	\$58.65	One-Time/Replacement Cost
AG Carrier VT Reefer Cable	AG cable for Carrier Vector model reefers.	CBL-AG-ARCR-VT	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
AG Carrier X4 Reefer Cable	AG cable for Carrier X4 model reefers.	CBL-AG-ARCR-X4	15%	\$8.25	\$7.01	\$99.00	\$84.15	One-Time/Replacement Cost
VG54 Aux Cable	Breakout Cable for Auxiliary inputs on VG54	CBL-VG-CAUX	15%	\$1.25	\$1.06	\$15.00	\$12.75	One-Time/Replacement Cost
Enhanced VG Series FMS cable	Enhanced VG Series cable for connecting to FMS interfaces	CBL-VG-CFMS	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced VG Series Tachograph Cable - Heavy Goods Vehicles	Enhanced VG Series Tachograph Cable for Heavy Goods Vehicles	CBL-VG-CHGV	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced VG Series Isuzu cable	Enhanced VG Series Isuzu cable	CBL-VG-CIZU	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced VG Series J1708 (6-pin)	Enhanced VG Series J1708 (6-pin) cable	CBL-VG-CJ1708	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced VG Series J1939 or J1708 (9-pin)	Enhanced VG Series J1939 or J1708 (9-pin) cable.	CBL-VG-CJ1939	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced VG Series J1939 cable for Volvo/Mack OBDII connectors	Enhanced VG Series J1939 cable for 2013+ Volvo/Mack vehicles with OBDII connection	CBL-VG-CJ1939-VM	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced Universal OBD-Y2 Cable	Enhanced Universal OBD-Y2 Cable	CBL-VG-COBDII-Y05	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced VG Series OBDII J1962 L-mount cable	Enhanced VG Series OBDII J1962 L-mount cable	CBL-VG-COBDII-Y1	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost

Enhanced VG Series OBDII J1962 L-mount cable for Ram Promaster and similar	Enhanced VG Series OBDII J1962 L-mount cable for use with vehicles which use secondary CAN on pins 1 and 9 (including Ram Promaster)	CBL-VG-COBDII-Y2	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced VG Series direct-wire non-diagnostic power cable	Enhanced VG Series direct-wire non-diagnostic power cable	CBL-VG-CPC	15%	\$1.58	\$1.35	\$19.00	\$16.15	One-Time/Replacement Cost
VG54 Wall Power Adapter	VG54 connector for use with ACC-2A12-WW power adapter (included) for powering a VG54 from a standard wall outlet. Also compatible with ACC-BDH and ACC-BDHE	CBL-VG-CPWR	15%	\$0.50	\$0.43	\$6.00	\$5.10	One-Time/Replacement Cost
VG Carrier Supra Reefer Cable	Cable to connect EU Carrier Supra families of reefers to a Vehicle Gateway via USB.	CBL-VG-CRCR-Y1	15%	\$7.92	\$6.73	\$95.00	\$80.75	One-Time/Replacement Cost
Enhanced VG Series RP1226 Cable	Enhanced VG Series RP1226 cable for use with 2019+ Peterbilt, Freightliner, Volvo, Mack or Kenworth vehicles equipped with an RP1226 port.	CBL-VG-CRP1226	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
OBDII J1962 plus CAN C cable for VG54	Cable with two connectors: one OBD connector and one CAN C connector for back of tachograph. Cable for VANs with tachograph	CBL-VG-CTDC-Y0	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced Tesla Model 3/Y 2019+ Cable	VG54 Cable for Tesla 3/Y	CBL-VG-CTSLA3-19	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced Tesla Model 3/Y 2019+ Cable	VG54 Cable for Tesla 3/Y	CBL-VG-CTSLA3Y-19	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced Tesla Model X/S 2016+ Cable	VG54 Cable for Tesla X/S 2016+	CBL-VG-CTSLAXS-16	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced Tesla Model X/S 2016+ Cable and Enhanced Tesla Model 3/Y 2017-18 Cable	VG54 Cable for Teslas (Enhanced Tesla Model X/S 2016+ Cable and Enhanced Tesla Model 3/Y 2017-18 Cable)	CBL-VG-CTSLAXS-18	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost
Enhanced Heavy Duty VG Series J1939 cable for year and model-specific PACCAR engines	Enhanced Heavy Duty VG Series J1939 cable for MX-13 and PX-9 engines from specific years	CBL-VG-HJ1939-PAC	15%	\$3.25	\$2.76	\$39.00	\$33.15	One-Time/Replacement Cost

Telematics Pricing Comparison

	<b>Cost per unit</b>	<b>Monthly Cost</b>	<b>Annual Cost</b>
<b>Verizon</b>	<b>GSA Pricing</b>		
Basic	\$ 15.99	\$ 2,078.70	\$ 24,944.40
<b>Teletrac Navman</b>	<b>Not currently under co-op</b>		
Plug & Play	\$ 11.00	\$ 1,430.00	\$ 17,160.00
Hardwired: City Install	\$ 15.00	\$ 1,950.00	\$ 23,400.00
Hardwired: Vendor Install	\$ 17.00	\$ 2,210.00	\$ 26,520.00
<b>GPS Fleet Management Solutions</b>	<b>Sourcewell Pricing</b>		
Pro Plan, Install & Training - 1 year	\$ 20.50	\$ 2,665.00	\$ 31,980.00
Pro Plan, Self-Install & Training - 1 year	\$ 19.25	\$ 2,502.50	\$ 30,030.00
Purchase (\$105 per unit)			\$ 13,650.00
Cancellation of Services			\$ 17,550.00
<b>GPS Insight</b>	<b>Sourcewell Pricing</b>		
Tracker only - 3 year agreement	\$ 20.00	\$ 2,600.00	\$ 31,200.00
<b>Forward Thinking Solutions</b>	<b>Sourcewell Pricing</b>		
Tracker only - 3 year agreement	\$ 8.00	\$ 1,040.00	\$ 12,480.00
Tracker (\$60 - \$75 per unit)			\$ 8,775.00
Vendor Install - tracker			\$ 6,500.00
<b>Samsara</b>	<b>Sourcewell Pricing</b>		
Basic - Revised City quote	\$ 14.30	\$ 1,859.00	\$ 22,308.00
<b>Sourcewell Pricing</b>	\$ 16.15	\$ 2,099.50	\$ 25,194.00



Agenda Item No: 1.i

## **PLACENTIA CITY COUNCIL AGENDA REPORT**

Meeting Date: September 3, 2024

Submitted by: Jennifer Lampman

From: Finance

---

### **Subject:**

Acceptance of Resignation from the Financial Audit Oversight Committee

### **Financial Impact:**

Fiscal Impact:

None

### **Summary:**

The City has received a letter of resignation from Financial Audit Oversight Committee Member James Chough. This action accepts the above indicated resignation and extends the City's sincere appreciation for his service to the community.

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Accept the resignation of James Chough from the Financial Audit Oversight Committee; and
2. Update the City's master Commission/Committee vacancy list to include the vacancy on the Financial Audit Oversight Committee.

### **Strategic Plan Statement:**

This item is consistent with the City Council approved 5-Year Strategic Goals to:

Increase Community Engagement (Goal 4), as this action will accept the resignation of a Financial Audit Oversight Committee member, resulting in an additional opportunity for a community member to serve on the Financial Audit Oversight Committee and become engaged with the community.

This item also furthers Goal 8 to Improve City Governance as the Financial Audit Oversight Committee requires full membership to operate optimally, and this action accepts the resignation of a member and recommends the vacancy be included in the Commission/Committee vacancy list for future recruitments.

### **Discussion:**

James Chough has served on the Financial Audit Oversight Committee (the "Committee") since 2007. During his tenure he contributed to the Committee's efforts to provide oversight to the City's financial statements. James Chough has indicated his desire to resign from the

Committee via correspondence dated May 7, 2024. The City is grateful to Mr. Chough for his seventeen (17) years of service to the community.

Appointment to this and other vacancies are anticipated to be made as part of the City's Commission/Committee application/recruitment process.

**Fiscal Impact Summary:**

There is no fiscal impact to this action.

**Attachments**

[James Chough Committee Resignation.pdf](#)

**From:** [Socorro Luna](#)  
**To:** [Jennifer Lampman](#)  
**Subject:** FW: Financial Audit Committee Meeting  
**Date:** Wednesday, August 14, 2024 10:40:37 AM  
**Attachments:** [image003.png](#)  
[image004.png](#)

---

Please see below

**Socorro Luna** | Account Clerk | Finance Department  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
☎ (714) 993-8228 | 📠 (714) 961-0283 | ✉ [soluna@placentia.org](mailto:soluna@placentia.org)



---

**From:** CHOUGH, JAMES S <[jc8646@att.com](mailto:jc8646@att.com)>  
**Sent:** Tuesday, May 7, 2024 1:54 PM  
**To:** Socorro Luna <[soluna@placentia.org](mailto:soluna@placentia.org)>  
**Subject:** RE: Financial Audit Committee Meeting

**EMAIL FROM EXTERNAL SOURCE**

Don't reply, click on a link or open an attachment unless you recognize the sender and know the content to be safe. If you believe this email to be unsafe, please use the [Report Phish](#) button in Outlook and notify the IT department.

Hi Luna,

I am sorry but I will not be able to continue on the committee.

It was a pleasure serving these many years and I loved to have been a part of it.

Thank you,  
Jimmy

---

**From:** Socorro Luna <[soluna@placentia.org](mailto:soluna@placentia.org)>  
**Sent:** Wednesday, May 1, 2024 5:04 PM  
**To:** Casterline, Glenn <[gcasterline@blxgroup.com](mailto:gcasterline@blxgroup.com)>; Mooberry, David <[dmoo@pacbell.net](mailto:dmoo@pacbell.net)>; Rivenburg, Deniene <[drivenburg@sdrpr.com](mailto:drivenburg@sdrpr.com)>; Zeineddine, Maryam <[maryam.zeineddine@gmail.com](mailto:maryam.zeineddine@gmail.com)>; CHOUGH, JAMES S <[jc8646@att.com](mailto:jc8646@att.com)>  
**Cc:** Jerry Griggs <[jgriggs@placentia.org](mailto:jgriggs@placentia.org)>  
**Subject:** Financial Audit Committee Meeting

Good Afternoon,

We would like to schedule a Financial Audit Committee Meeting on May 29<sup>th</sup> preferably at 5pm but if that is too early, we will keep it at 6pm.

Please let me know if this date and time works for you.

Thank you,

**Socorro Luna** | Account Clerk | Finance Department  
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Agenda Item No: 1.j

## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Elsa Robinson

From: Public Works

---

### **Subject:**

City Response to Orange County Grand Jury Report Entitled: "Talking Trash: Recyclables and Organic Waste"

### **Financial Impact:**

Fiscal Impact:

None

### **Summary:**

The Orange County Grand Jury (Grand Jury) publicly issued a report on June 11, 2024, entitled: "Talking Trash: Recyclables and Organic Waste", focused on how Orange County cities are implementing Senate Bill (SB) 1383. SB 1383 established targets to achieve a 50% reduction in statewide disposal of organic waste into landfills from 2014 levels by 2020 and a 75% reduction by 2025. To achieve these reduction targets, SB 1383 requires jurisdictions to provide organic waste recycling services to all residents and businesses.

The 2023-2024 Grand Jury Report investigated how Orange County jurisdictions are complying with the requirements and goals of SB 1383 that impact single-family residential units. The Grand Jury Report (Attachment 1) provides a series of findings and recommendations for local agencies to address and implement. The City of Placentia, along with all Orange County cities and the County of Orange were directed by the Grand Jury to review and respond to its findings and recommendations. Pursuant to State law, the City is obligated to provide a response, which is attached to this agenda report for the City Council's review (Attachment 2).

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Review the City's response to the Grand Jury Report; and
2. Direct Staff to submit the attached letter to the Presiding Judge of the Orange County Grand Jury, to be signed by Mayor Yamaguchi.

## **Strategic Plan Statement:**

This item is consistent with the City Council approved 5-Year Strategic Goal #8 to Improve City Governance, under Objective # 8.1, which is to update all rules and policies consistent with State regulations and Objective #8.2, to monitor legislation, unfunded mandates and ballot measures from Sacramento.

## **Discussion:**

On June 11, 2024, the Orange County Grand Jury released a report entitled, "Talking Trash: Recyclables and Organic Waste". The purpose of the report was to study how Orange County jurisdictions are responding to the organics diversion mandate under SB 1383, their successes and challenges, and the impact of this new requirement on Orange County residents. In the report, the Grand Jury made ten findings and seven recommendations, all of which are applicable to the City and require a written response. A complete copy of the report is included as Attachment 1.

The Grand Jury's initial focus was to answer the two questions listed below. However, the content of the final report provides additional relevant information about Orange County recycling and waste management.

1. What actions have Orange County jurisdictions taken to implement organics collection for their residential customers, and how do they measure the success of these actions?
2. Given that one key to the success of SB 1383 is public participation, have local jurisdictions conducted sufficient outreach and education?

California Penal Code Sections 933 and 933.05 requires any public agency that the Grand Jury reviews to respond to the findings and recommendations of the Grand Jury Report. The City of Placentia is required to respond because it is referenced in the report along with the other 33 Orange County cities and the County of Orange. Staff has reviewed the Grand Jury Report and drafted a response letter for the Mayor's signature on behalf of the City Council for consideration. The proposed response letter in Attachment 2 responds to each of the applicable findings and recommendations listed on pages 22-24 of the report.

Pursuant to California Penal Code Sections 933 and 933.05, the City's response to the Grand Jury Report is due on September 10, 2024. Staff recommends that the City Council review the proposed response, provide input to staff, and authorize the Mayor to sign Attachment 2.

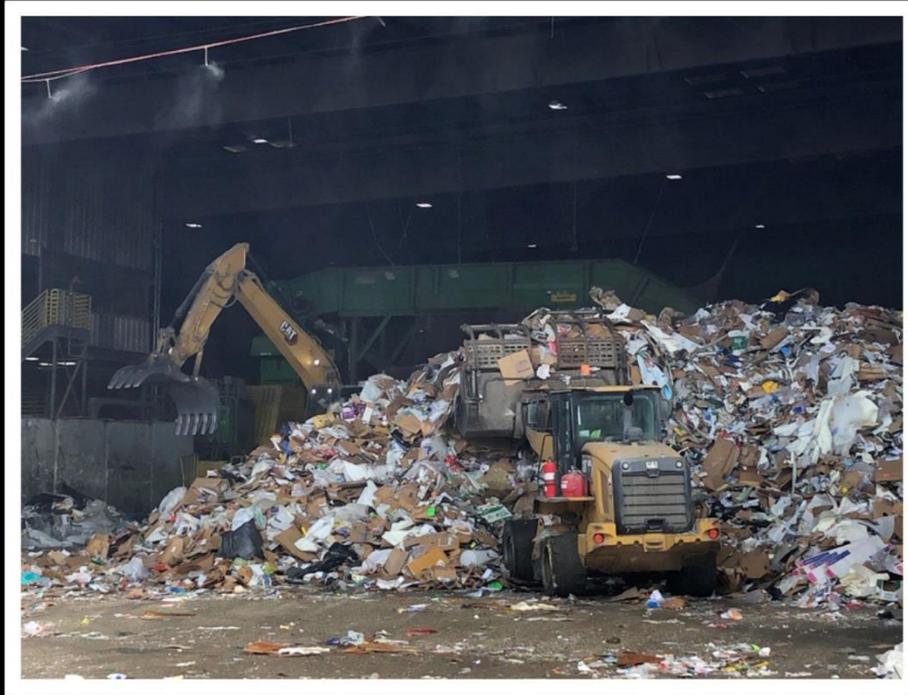
## **Fiscal Impact Summary:**

There is no direct fiscal impact associated with the recommended actions.

## **Attachments**

[Attachment 1 - Orange County Grand Jury Report, "Talking Trash: Recyclables and Organic Waste"](#)  
[Attachment 2 - City's Response.pdf](#)





# Talking Trash: Recyclables and Organic Waste



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## SUMMARY

In 2016, the State of California enacted Senate Bill (SB) 1383, requiring counties, cities, and other organizations responsible for waste collection to coordinate with their residents to divert organic waste, including food scraps, from the landfill waste disposal stream. Another provision makes jurisdictions responsible for procuring a quantity of the recovered organic waste products resulting from the diversion. The 2023-2024 Orange County Grand Jury (OCGJ) investigated how Orange County jurisdictions are complying with the requirements and goals of SB 1383 that impact single-family residential units.

The investigation revealed that the approaches to meeting SB 1383's requirements vary greatly from jurisdiction to jurisdiction. The majority of Orange County jurisdictions have not yet distributed residential waste containers that meet the SB 1383 standardization requirements, leaving outdated labeling/embossing in place. Education and outreach have not yet taken place at all in some jurisdictions. Even when information has been disseminated in other jurisdictions, the methods disproportionately favor intermittent paper mailings. Also, the State's unrealistic targets for the procurement of recycled organic waste products do not account for a jurisdiction's population density or geographic size, which frequently makes them extremely difficult to meet.

The local enforcement stage of SB 1383 started on January 1, 2024. However, the majority of Orange County jurisdictions are unlikely to meet the SB 1383 targeted seventy-five percent reduction in the amount of organic waste sent to landfills by January 2025.

The OCGJ concludes there is a clear need to improve education and outreach efforts, develop enforcement mechanisms and processes, and to coordinate and collaborate among all jurisdictions to collectively address the challenges and to achieve the goals and targets of SB 1383.

## BACKGROUND

Organic waste comprises more than a third of the waste stream in California and includes green waste, wood, food waste, and fibers such as paper and cardboard. When left to decompose in landfills, organic waste releases large amounts of methane gas which is harmful to the environment (CalRecycle, 2024). In September 2016, SB 1383 set reduction targets in a statewide effort to reduce emissions of Short-Lived Climate Pollutants (SLCP) including methane. Simply put, this required all statewide jurisdictions to implement mandatory organic waste collection and recycling to divert organic waste from landfills. Another key benefit of the diversion of organic and other recyclable material from landfills is the preservation of overall landfill capacity.

In 2014, the State conducted random sampling of twenty-six landfills, Material Recovery Facilities (MRF), and Transfer Stations located in twenty-one of California's fifty-eight counties (none in Orange County). The results were used to establish the baseline for

the required reduction in organic waste destined for landfills. SB 1383 then set goals to reduce organic waste sent to landfills below the 2014 baseline by fifty percent no later than January 1, 2020, and seventy-five percent by January 1, 2025. However, despite the law's requirements, the amount of organic waste sent to landfills statewide actually increased by twenty-three percent above the 2014 baseline (Little Hoover Commission, 2023).

SB 1383 requires all jurisdictions to memorialize the bill's requirements in their municipal codes and ordinances no later than January 1, 2022. One of the results of these changes is that each jurisdiction had to amend or renegotiate their waste haulers' franchise agreements to incorporate the new requirements.

In accordance with SB 1383, as of January 1, 2024, all jurisdictions (and therefore all waste producers) will be subject to enforcement, including monetary fines. While SB 1383 has a myriad of requirements for commercial as well as residential waste producers, the OCGJ narrowed its investigation to the impacts associated with local jurisdiction compliance with SB 1383 on Orange County residents. This report focuses on the specific requirements associated with SB 1383, the local actions taken so far to meet those requirements, the success of those actions and how they are measured, local agency outreach and education efforts, and the challenges that remain for the County of Orange and the county's thirty-four cities.

## REASON FOR THE STUDY

The organics diversion mandate under SB 1383 began to take effect in California on January 1, 2022. This means that jurisdictions in California were required to implement programs for the separation and diversion of organic waste, including food scraps, from landfill disposal. The actual enforcement of this requirement started on January 1, 2024. The OCGJ's intent was to take a closer look at how Orange County jurisdictions are responding to this mandate, their successes and challenges, and the impact of this new requirement on the Orange County residents.

The OCGJ initially focused on two questions:

- What actions have Orange County jurisdictions taken to implement organics collection for their residential customers, and how do they measure the success of these actions?
- Given that one key to the success of SB 1383 is public participation, have local jurisdictions conducted sufficient outreach and education?

While investigating the answers to these questions, the OCGJ discovered additional information about Orange County recycling and waste management that is notably relevant to this topic and is included in this report.

## METHOD OF STUDY

The OCGJ toured several local waste facilities, including:

- The Frank R. Bowerman landfill in Irvine, owned by the County of Orange and managed and operated by OC Waste & Recycling (OCW&R). This enabled the OCGJ to gain a better understanding of the refuse collection and disposal process.
- The MRF operated by Rainbow Environmental Services, located at 17121 Nichols Lane in the city of Huntington Beach. This facility was previously decommissioned then reopened on short notice when the newer Anaheim MRF was destroyed by fire in February 2022.
- The MRF operated by Waste Management, located at 2050 North Glassell Street in the city of Orange. This tour allowed the OCGJ to gain information on the operation of a newer, larger MRF.

The OCGJ reviewed SB 1383 and related documents, training videos, public meeting recordings, and presentations available on the CalRecycle website.

The OCGJ reviewed online publications from various organizational and media sources related to trash hauling and general operations of the waste and recycling industry and conducted fourteen interviews with representatives from the waste industry, local jurisdictions, and the State's enforcement agency.

The OCGJ also disseminated a nine-question survey to each of the thirty-four Orange County cities and the County to obtain their perspectives on local implementation of SB 1383. Follow-up interviews were conducted with representatives of the same ten cities included in the 2019-2020 OCGJ report "OC Recycling: Doing it the Right Way" and the County for additional insight into each jurisdiction's implementation of, and compliance with, SB 1383's requirements.

The OCGJ utilized the same sampling of ten cities as well as the County of Orange (for its unincorporated areas) because they represent different geographical areas of the county (from Brea in the north to Dana Point in the south) and reflect a variety of larger cities by population and/or land area (e.g., Santa Ana, Irvine) and some that are smaller (e.g., Buena Park, Mission Viejo).

Individual members of the OCGJ also observed the types and colors of carts, their labeling, and their contents at various locations throughout the county. These observations were documented via photographs to illustrate dissimilar details and nuances among jurisdictions and haulers.

## INVESTIGATION AND ANALYSIS

### Overview of SB 1383

SB 1383 set ambitious targets for reducing organic waste disposal in landfills from the 2014 baseline: fifty percent by January 2020 (which was not met), and seventy-five percent by January 2025. Organic waste comprises more than half the waste stream in California and includes green waste, wood, food waste, and fibers such as paper and cardboard. When left to decompose in landfills, organic waste releases large amounts of methane gas. The overall goal of the bill is to reduce greenhouse gas emissions by at least four million metric tons per year by 2030 by requiring that “organics” going to the landfill be reduced to 5.7 million metric tons by 2025.

This groundbreaking legislation is a statewide effort to reduce Short-Lived Climate Pollutants (SLCPs). SLCPs such as methane, black carbon, tropospheric (ground level) ozone, and hydrofluorocarbons remain in the atmosphere for a shorter time than carbon dioxide but have a much stronger warming effect. Therefore, reducing SLCPs has the potential to significantly slow global climate change in the near term (California Air Resources Board, 2024). The State’s efforts and policies are intended to substantially increase the rate of organic material diversion away from landfills. This diversion goal is meant to move the State towards the desired “circular economy” where organic waste is collected, converted into new materials or products, and reused for other purposes.

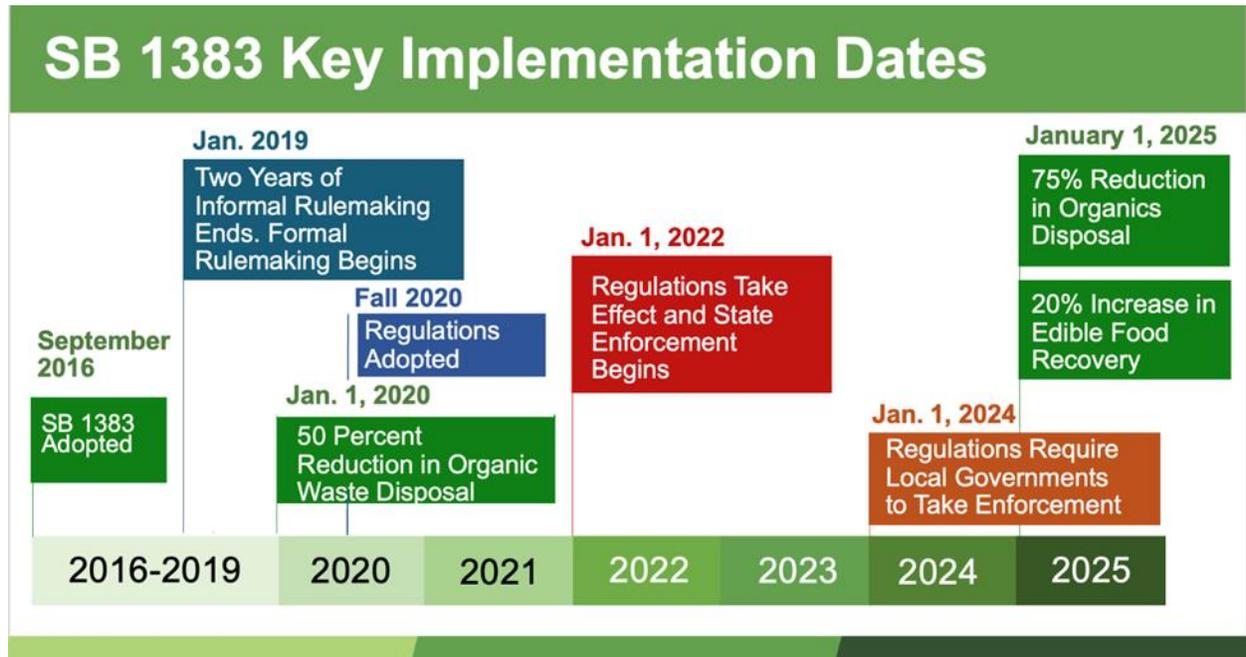


Figure 1

Source: CalRecycle

## How Are Jurisdictions Impacted by SB 1383?

In this context, a jurisdiction may be a city, county, city and county, or special district that collects solid waste.

The jurisdictions' responsibilities specified by SB 1383 relating to residential units include (CalRecycle, 2024):

- Providing organics collection services to all residents
- Conducting education and outreach to community
- Procuring recyclable and recovered organic products
- Securing access to recycling capacity
- Monitoring compliance and conducting enforcement

SB 1383 contains a significant amount of detail regarding the types of allowable collection programs. Critical requirements are listed below:

- Each resident must subscribe to an organic waste collection service that either “source-separates” the waste by using separate bins or transports all unsegregated waste to a facility that recovers seventy-five percent of the organic content collected.
- SB 1383 requires one of the following collection options:
  - A one-can system – all contents are transported to a facility that recovers seventy-five percent of the organic content.
  - A two-can system – at least one of the containers (whichever includes organic waste and garbage) must be transported to a facility that recovers seventy-five percent of the organic content.
  - A three-can system – organic waste is required to be source separated (recyclables in blue, food and yard waste in green).

Jurisdictions must also conduct education and outreach to all residents regarding collection service requirements, contamination standards, self-haul requirements, and overall compliance with SB 1383. Educational material must be linguistically accessible to non-English speaking residents.



Figure 2

Source: CalRecycle

## Orange County Jurisdictions’ SB 1383 Implementation Status

### How do jurisdictions assess their own progress?

The OCGJ sent a ten-question survey to thirty-four cities and OC Waste & Recycling (OCW&R) and received thirty-one responses. The purpose of the survey was to verify how these agencies measure their progress on the implementation of various aspects of SB 1383. Survey participants were asked to mark their progress on the scale from 1 (significant challenges) to 5 (excellent) for each of the questions. The survey questions as well as more detailed information on responses and follow-up comments and explanations is included in Appendix A.

### Main Implementation Issues

To follow-up on the survey, the OCGJ conducted a series of interviews with jurisdictions to learn more about their specific challenges in implementing SB 1383, successes, concerns, and solutions to common issues. The eleven jurisdictions interviewed were the same included in the 2019-2020 OCGJ report “OC Recycling: Doing it the Right Way” representing different geographical areas of the county and a variety of populations and/or land areas. Several themes emerged from the interviews:

- **Container Standardization**

SB 1383 requires standardized colors for residential and business curbside containers (green for organics, blue for recyclables, and grey for trash). It also requires container

## Talking Trash: Recyclables and Organic Waste

labels on new containers. The color scheme for collection containers must meet either of these requirements:

- The lid of the container is the correct designated color
- The body of the container is the correct designated color, and the lid is also the same specified color or may be gray or black

Out of the eleven jurisdictions interviewed, only two have distributed containers that meet the State requirements. However, jurisdictions are not required to replace containers prior to January 1, 2036. Most are replacing their containers gradually over time. The variety of colors used by various jurisdictions contributes to the confusion and potentially increases contamination rates. In many cases, existing containers include embossed information that is no longer accurate or labels with outdated information (see examples below).

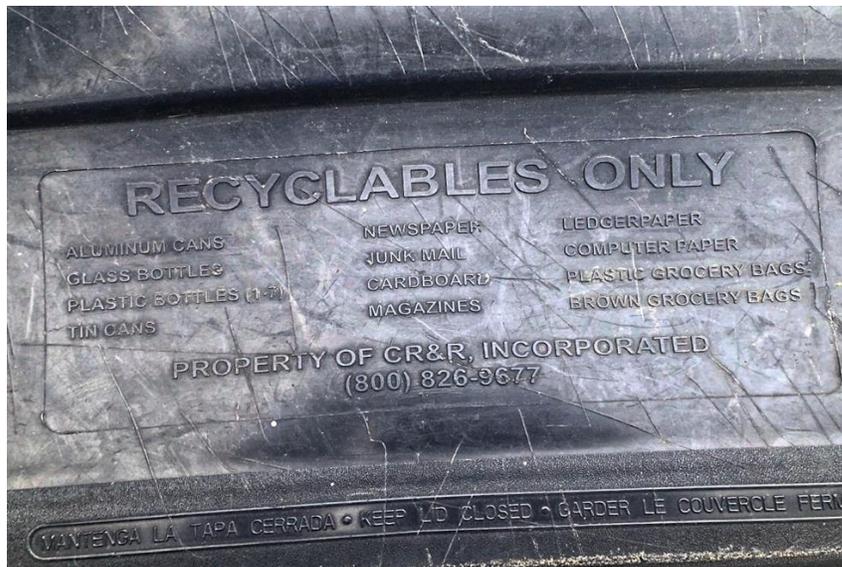


Figure 3. The embossed information wrongly directs residents to put plastic grocery bags in the recycling container. Photo: OCGJ

## Talking Trash: Recyclables and Organic Waste



Figure 4. The old sticker incorrectly directs residents to put shoes, clothes, and other textiles in the recycling container. Photo: OCGJ



Figure 5. Outside label on the 'green waste' container contains no information regarding food scraps. Photo: OCGJ

The following two images of the “Food Scrap” container (outside and inside) were taken by an OCGJ member in a public park. The contents of the container, which contains unallowable items, such as plastic packaging, further underscores the need for clear signage and more public education.

## Talking Trash: Recyclables and Organic Waste



Figure 6. Lid of the “Food Scraps” container in a public park from November 2023 showing correct information. Photo: OCGJ



Figure 7. Contents of the same “Food Scraps” container in the public park from November 2023. Photo: OCGJ

## Talking Trash: Recyclables and Organic Waste

Another standardization issue is that what is accepted for recycling varies among the jurisdictions and haulers.

For example, some allow palm fronds into organics bins while others do not, and some allow food scraps to be deposited in compostable bags while others do not, further adding to the confusion.

- **Funding and Enforcement**

While conducting interviews with the Orange County jurisdictions, the OCGJ learned that there are two approaches to funding their solid waste management programs (including SB 1383 implementation activities): (1) using an enterprise fund; and (2) using the general fund. Using an enterprise fund ensures that all revenues generated by the solid waste management program are reinvested in that program rather than being diverted into other needs of the jurisdiction.

Even though enforcement activities were effective starting January 1, 2024, jurisdictions only conduct inspections and spot-checks of residential customers' organic and trash containers using either "lid flipping" or smart trucks that record the contents of the containers as they are being emptied. Haulers (via contracts) have been designated to perform these functions. If residents are found to be in violation, the first step is to provide them with additional educational materials and information. If the violation persists, warning notices are issued. The final step is issuing fines. *The penalties imposed by a jurisdiction are based on Government Code Sections 53069.4, 25132, and 36900, and are as follows:*

- *First violation: \$50-\$100 per violation;*
- *Second violation: \$100-\$200 per violation;*
- *Third or subsequent violation: \$250-\$500 per violation*

*Penalties increase when an entity violates the same requirement within a one-year period (CalRecycle, 2024).*

While jurisdictions have yet to collect fines, some have not even established the collection protocol or the account where collected fines will be deposited.

- **Education and Outreach**

Clearly, there is a need for more education and outreach. The success of SB 1383 implementation and the ability to reach the CalRecycle goal of a seventy-five percent diversion rate depend largely on residents' compliance and behavior change. Education and outreach is the first and most critical component of that change.

*"The accuracy of consumer disposal decisions directly influences the performance of the recycling system." (Christian Blanco C. S., 2023)*

## Talking Trash: Recyclables and Organic Waste

Most interviewed jurisdictions collaborate with haulers to create and distribute educational materials. Others also use consulting services for that purpose. Outreach strategies, the number of outreach events and communications, as well as participation rates vary greatly from jurisdiction to jurisdiction, but most rely heavily on paper mailings, which may not be the most effective way of reaching the public. If combined with junk mail, the educational material may go unread into a recycling bin, if not the trash. Frequently, the information flyers are mailed together with hard-copy utility bills, which may overlook those who subscribe to electronic billing.

As part of their outreach/education campaigns, some of the interviewed jurisdictions purchased kitchen pails for recycling food scraps to distribute to some or all households. These purchases were funded through SB 1383 assistance grants from CalRecycle, which most of the Orange County jurisdictions applied for and received.

The OCGJ reviewed a sampling of educational materials being distributed by several cities and concluded that the quality of these materials can range from highly informative publications with accessible and attractive designs to flimsy “newsletters” issued by haulers for their respective jurisdictions with graphics and instructions that are barely legible.

Paper mailings have their role but represent only one of many possible outreach methods. The recycling industry itself is embracing technological advancements, including the use of Artificial Intelligence (AI), in waste sorting, predicting trends, the use of smart hauler trucks and smart bins, as well as in outreach and education (Recycling Inside, 2023).

*According to Recycling Inside, “AI can play a pivotal role in educating the public about recycling practices. Chatbots and virtual assistants powered by AI can provide real-time guidance on waste disposal, recycling guidelines, and collection schedules. By engaging with individuals through personalized interactions, AI-driven platforms can raise awareness, promote recycling behavior, and facilitate proper waste management at the consumer level.”*

According to research by the Recycling Partnership, “People have a misconception that what is recyclable doesn’t change. They are recycling incorrectly in some cases because they are basing decisions on past guidelines and recycling knowledge such as believing milk cartons are wax coated and should not be recycled, or envelopes with windows should not be recycled. They think they know what they need to know about recycling because that’s what they’ve always known.” (Center for Sustainable Behavior & Impact, 2022)

*More than seventy percent of people surveyed wish there was an easier way to get information on what can and can’t be recycled in their community. (Center for Sustainable Behavior & Impact, 2022)*

## Talking Trash: Recyclables and Organic Waste

Determining the success of their outreach efforts is another challenge that Orange County jurisdictions are facing in the near future. Most jurisdictions need to determine how to measure outreach efforts, as the enforcement started January 1, 2024. Having common standards and methods to measure the success of public education and compliance, and regularly posting this information on the jurisdiction's website related to SB 1383 goals, will give the public an incentive to comply with SB 1383. However, in the interim, there is a significant amount of visual evidence regarding the level of residents' confusion as evidenced by the photo below. The photo is the amount of waste in the first five hours of a workday that was improperly included in residential recyclable containers and delivered to a MRF, where it had to be hand sorted out.



Figure 8: Waste improperly included in recyclable containers Photo: OCGJ

- **Procurement of Recovered Organic Waste Products**

Representatives from most of the jurisdictions the OCGJ interviewed indicated that meeting the procurement requirements of SB 1383 is challenging. This is due to their jurisdictions' State-calculated procurement targets far exceeding the quantity of recovered organic waste products that they can utilize.

*To comply with SB 1383, jurisdictions must procure recovered organic waste products to meet an annual procurement target. Recovered organic waste products include:*

- *Compost*
- *Mulch*

## Talking Trash: Recyclables and Organic Waste

- *Renewable energy (transportation fuel, electricity, and gas for heating) from anaerobic digestion*
- *Electricity from biomass conversion*

*Each jurisdiction's procurement target is calculated by multiplying its population, as reported by the California Department of Finance, by the per capita procurement target (0.08 tons of organic waste per California resident per year). The resulting procurement target can then be multiplied by product conversion factors (as established by the regulations) to determine the annual procurement requirements for recovered organic waste products.*

Source: CalRecycle

As one of the survey respondents stated:

*“Meeting the annual procurement target presents a significant challenge. In addition, the formula used to calculate a jurisdiction's procurement target does not account for density or square miles. Denser areas equal less space to distribute mulch or compost. More people equals higher procurement target.”*

As a result, a number of jurisdictions with high procurement targets had to use grant funding to purchase the required amounts of compost/mulch. Because the required target procurement amounts exceeded what they can utilize in their communities, they had to distribute the compost/mulch (via hauler) to agricultural communities outside Orange County. They also admitted that without grant funding, meeting the targets will be even more difficult and will require diverting resources from their own communities or raising rates.

The regulations limit procurement to “*use or giveaway, and do not include the sale of products [14CCR Section 18993.1(e)(1)] so jurisdictions cannot sell the procured recovered organic waste products, such as compost, via a third party.*” (CalRecycle, 2022)

Renewable Natural Gas (RNG) is one of the products that can be counted towards meeting a jurisdiction's procurement goal. Haulers operating in Orange County, including Republic, CR&R, and Waste Management, utilize trucks powered by RNG. However, in most cases the RNG they use is not purchased from an approved facility so it cannot be counted towards the required procurement goal. CalRecycle maintains a [list of anaerobic digestion facilities in California](#) to help jurisdictions find renewable gas that may be eligible towards their SB 1383 procurement obligations.

Currently, this list contains only six facilities that produce Compressed Natural Gas (CNG), which in this case is presumably compressed RNG. None of these facilities is located in Orange County. The closest are located in Riverside County (Perris), San Bernardino County (Victorville and Rialto), and San Diego County (Escondido).

The issue of RNG is further complicated by the fact that some sewage treatment plants also produce RNG, which (according to CalRecycle) is mostly ineligible. Below is the

information included in “Frequently Asked Questions” on RNG on the CalRecycle website (CalRecycle, 2022):

*Renewable gas derived solely from sewage is ineligible for meeting the procurement target because a Publicly Owned Treatment Work (POTW) is not a solid waste facility and therefore not in the scope of the legislative intent of SB 1383. Sewage is also not typically destined for a landfill, so its use does not help achieve the landfill diversion goals.*

*However, [Title 14](#) explicitly authorizes POTWs to accept food waste without a solid waste facility permit, making it functionally similar to incentivizing biomethane from a solid waste facility. Therefore, it is justifiable to allow the portion of renewable gas resulting from the digestion of food waste at POTWs to count toward the procurement targets, provided the POTW accepts food waste from specified facilities or operations [see 14 CCR Section 18993.1(h)(1)] and meets all other applicable regulatory requirements. For more information, please see the [Final Statement of Purpose and Necessity](#) (pages 178-180).*

The issue of procurement difficulties encountered by California jurisdictions is mentioned in the Little Hoover Commission 2023 report on the implementation of SB 1383. The Commission recommended that “the state should expand the list of compliance pathways and products eligible to count toward a jurisdiction’s procurement requirements.” (Little Hoover Commission, 2023)

- **Coordination and Vision for the Future**

In a county with thirty-four cities and several other jurisdictions, coordination, collaboration, and sharing resources and best practices can be a challenge. The OCGJ learned that county-wide groups meet on a regular basis, including a waste management coordinators’ group, a haulers’ group, and a market development group. Additionally, the OCGJ learned that OCW&R has assumed a leadership role in positioning Orange County for a greener, more sustainable future.

OCW&R has a clear vision for a regional, county-wide approach to the implementation of SB 1383, which includes not only organics and edible food strategies, but also market creation and development, procurement and compliance, and regional standardization and collaboration.

The details of their vision are outlined in the 2024 presentation to the legislative group, which is available on the OCW&R website (OC Waste & Recycling, 2024).

The following slide has been taken from this presentation.

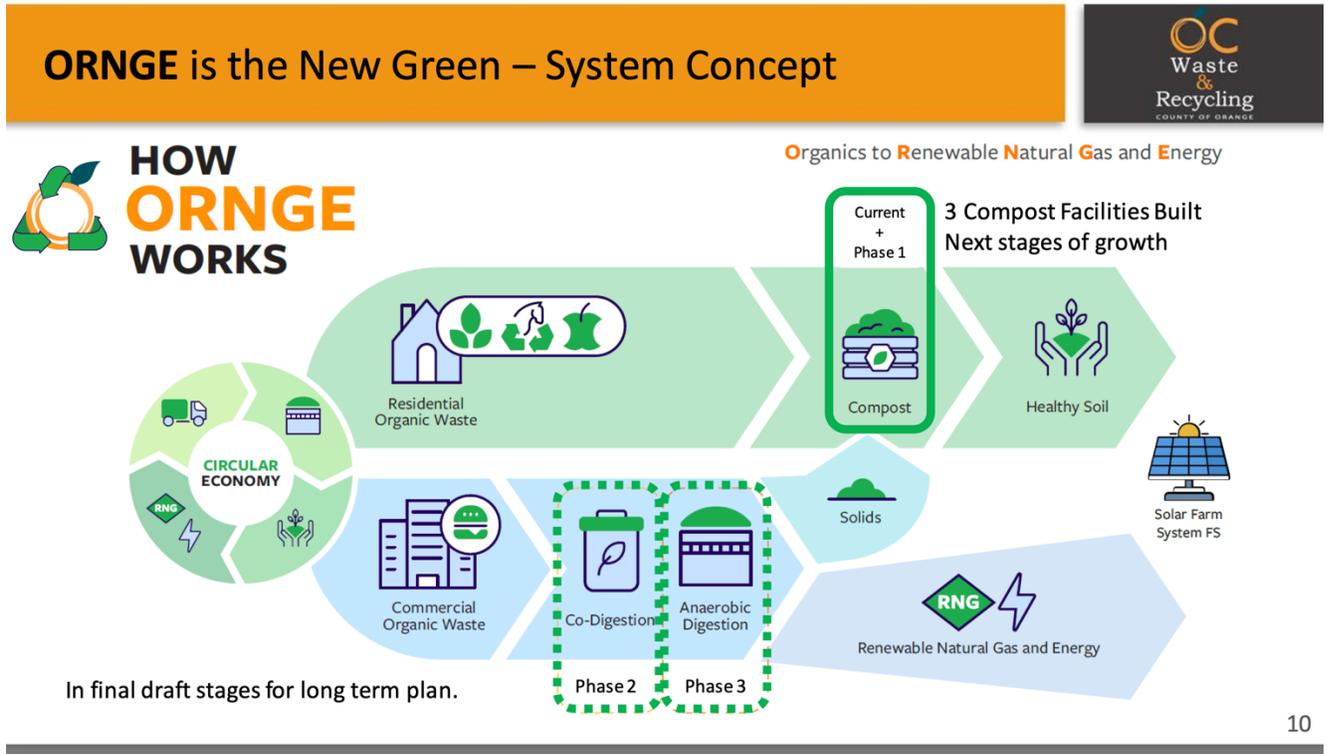


Figure 9. Circular economy concept for Orange County

Source: OCW&R

• **Other Issues**

Multi-family housing units: While not within the scope of this report, it should be noted that services to multi-family units still pose a significant challenge. Jurisdictions are required to provide organic waste collection to multi-family units. Many find it difficult to provide a three-bin source-separated service to these units due to limited space. Creative solutions, such as providing smaller organics containers or containers that are placed in a common area to serve multiple units, have been utilized by Orange County cities, but full compliance is difficult to achieve.

The cost of SB 1383 implementation: The Little Hoover Commission Report states that the gross cost of implementation was determined to be \$40 billion between 2019 and 2030. (CalRecycle, 2019) “About 5 percent of this figure represents soft costs (i.e. the work local jurisdictions must do to create organic waste programs, educate the public, and ensure health, safety, and quality control measures are met). The other 95 percent represents the cost of disposing of organic waste, including constructing infrastructure” (Little Hoover Commission, 2023). Most Orange County jurisdictions interviewed by the OCGJ indicated that they had to increase their residential and/or business waste collection rates to cover the cost of expanded services mandated by SB 1383.

## COMMENDATIONS

- County of Orange, OC Waste & Recycling is commended for having successfully met SB 1383 mandates, developing new composting infrastructure, a model education and outreach program, moving towards robust and repurposing recycling programs, and developing gas-to-energy facilities to produce renewable energy.
- City of Mission Viejo, Solid Waste Program is commended for their proactive implementation of SB 1383 mandates, distributing compliant waste containers to all residents, and producing a robust outreach and education program using numerous delivery methods.
- City of Santa Ana Public Works, Trash and Recycling Program is commended for proactively revising their hauler contract to meet SB 1383 requirements, producing a notable and ongoing outreach and education program, distributing compliant waste containers to all residents, and fostering a highly collaborative relationship with their hauler.

## FINDINGS

In accordance with California Penal Code Sections 933 and 933.05, the 2023-2024 Grand Jury requires responses from each agency affected by the findings presented in this section. The responses are to be submitted to the Presiding Judge of the Superior Court.

Based on its investigation titled “Talking Trash: Recyclables and Organic Waste,” the 2023-2024 Orange County Grand Jury has arrived at the following principal findings:

### Container Standardization

- F1. The majority of Orange County jurisdictions have not yet required their haulers to distribute residential containers that meet the CalRecycle standardized colors, leaving legacy and often incorrect or illegible labeling and embossing in place.

### Funding and Enforcement

- F2. While a jurisdiction may not delegate its overall responsibility for compliance with State requirements to a hauler, some jurisdictions have designated the task of imposing and collecting fines from residents to the hauler in accordance with State law. However, not all jurisdictions are clear on who ultimately receives and retains the collected fines.
- F3. All jurisdictions will eventually start collecting fines from residents for non-compliance, but some have not yet determined whether the revenues will go into a waste and recycling enterprise fund or into the jurisdiction’s general fund.

### **Education and Outreach**

- F4. In most jurisdictions, education and outreach is a joint effort between jurisdiction, hauler, and sometimes consultants, with the jurisdiction reviewing the materials before publication. The methods of dissemination vary by jurisdiction and hauler but frequently rely on a resident actively seeking the information, which requires the resident to have some awareness of the new mandates in the first place. Most efforts primarily revolve around intermittent hard-copy paper mailings.
- F5. Most jurisdictions currently have no way to accurately determine the effectiveness of their respective education and outreach efforts other than the eventual inspections or audits that will take place.

### **Procurement of Recovered Organic Waste Products**

- F6. There is some concern that there are not enough composting facilities in Orange County to process all organic waste, forcing some jurisdictions/haulers to transport it long distances for processing.
- F7. There is currently no infrastructure in the county that is a State-approved source of Renewable Natural Gas (RNG) and energy from organic waste. Jurisdictions that use vehicles running on RNG procured from non-approved sources cannot count that RNG towards fulfillment of their procurement requirement.
- F8. The formula used by the State to calculate a jurisdiction's procurement target does not account for a jurisdiction's population density or geographic size (square miles). As such, meeting the annual procurement target presents a significant challenge for most jurisdictions.
- F9. Many Orange County jurisdictions were unable to meet the requirement in SB 1383 to reduce organic waste sent to landfills by the 2020 deadline. It is unlikely the required seventy-five percent reduction will be achieved by the 2025 deadline.
- F10. The current procurement requirements mandated by SB 1383 are unrealistic and likely unachievable by most jurisdictions.

## **RECOMMENDATIONS**

In accordance with California Penal Code Sections 933 and 933.05, the 2023-2024 Grand Jury requires responses from each agency affected by the recommendations presented in this section. The responses are to be submitted to the Presiding Judge of the Superior Court.

## Talking Trash: Recyclables and Organic Waste

Based on its investigation titled “Talking Trash: Recyclables and Organic Waste,” the 2023-2024 Orange County Grand Jury makes the following recommendations:

### **Container Standardization**

- R1. All jurisdictions should expedite the acquisition and distribution of residential containers that meet the CalRecycle standardized colors. Additionally, until the compliant containers can be distributed, all jurisdictions should ensure the distribution of labeling for non-compliant containers that explain the current SB 1383 requirements applicable to their jurisdiction by June 30, 2025.

### **Funding and Enforcement**

- R2. By December 31, 2024, all jurisdictions should ensure their waste hauling agreements are in compliance with State statute so that haulers may be designated to perform certain required tasks but are not improperly delegated overall responsibility for compliance. Additionally, all jurisdictions should ensure that any fines collected by a hauler are forwarded to the jurisdiction.
- R3. The OCGJ recommends that all jurisdictions utilize a dedicated waste and recycling enterprise fund for collection of fines for non-compliance with SB 1383 by December 31, 2024.

### **Education and Outreach**

- R4. By December 31, 2024, all jurisdictions should diversify the methods and media used for education and outreach to include, among others, various social media platforms, emails to residents, newspaper, television, flyer mailings, community events, and appearances at other public gatherings.
- R5. By December 31, 2024, and in order to gauge the effectiveness of their education and outreach efforts, all jurisdictions should develop new methods to engage residents directly to help determine their awareness of the requirements associated with SB 1383, such as surveys, online quizzes, and door-to-door polling.

### **Procurement of Recovered Organic Waste Products**

- R6. By June 30, 2025, the OCGJ recommends that all jurisdictions participate in the OCW&R-led efforts to develop a coordinated county-wide approach to the organics recycling infrastructure and programs as well as procurement requirements associated with SB 1383, working towards creating circular economy as a long-term goal.

- R7. By December 31, 2024, the Orange County Board of Supervisors and all Orange County cities should lobby appropriate members of the State Legislature and/or CalRecycle to revise the organic waste diversion targets to better reflect Orange County's waste amounts, revise the jurisdictions' procurement requirements to better represent the limited options currently available for procurement, the jurisdictions' varying populations, population densities, and geographic size, and to delay associated enforcement actions by the State.

## RESPONSES

The following excerpts from the California Penal Code provide the requirements for public agencies to respond to the Findings and Recommendations of this Grand Jury report:

### Section 933

(c) No later than 90 days after the grand jury submits a final report on the operations of any public agency subject to its reviewing authority, the governing body of the public agency shall comment to the presiding judge of the superior court on the findings and recommendations pertaining to matters under the control of the governing body, and every elected county officer or agency head for which the grand jury has responsibility pursuant to Section 914.1 shall comment within 60 days to the presiding judge of the superior court, with an information copy sent to the board of supervisors, on the findings and recommendations pertaining to matters under the control of that county officer or agency head and any agency or agencies which that officer or agency head supervises or controls. In any city and county, the mayor shall also comment on the findings and recommendations. All of these comments and reports shall forthwith be submitted to the presiding judge of the superior court who impaneled the grand jury. A copy of all responses to grand jury reports shall be placed on file with the clerk of the public agency and the office of the county clerk, or the mayor when applicable, and shall remain on file in those offices. One copy shall be placed on file with the applicable grand jury final report by, and in the control of the currently impaneled grand jury, where it shall be maintained for a minimum of five years.

### Section 933.05.

(a) For purposes of subdivision (b) of Section 933, as to each grand jury finding, the responding person or entity shall indicate one of the following:

- (1) The respondent agrees with the finding.
- (2) The respondent disagrees wholly or partially with the finding, in which case the response shall specify the portion of the finding that is disputed and shall include an explanation of the reasons thereof.

## Talking Trash: Recyclables and Organic Waste

(b) For purposes of subdivision (b) of Section 933, as to each grand jury recommendation, the responding person or entity shall report one of the following actions:

- (1) The recommendation has been implemented, with a summary regarding the implemented action.
- (2) The recommendation has not yet been implemented, but will be implemented in the future, with a timeframe for implementation.
- (3) The recommendation requires further analysis, with an explanation and the scope and parameters of an analysis or study, and a timeframe for the matter to be prepared for discussion by the officer or head of the agency or department being investigated or reviewed, including the governing body of the public agency when applicable. This timeframe shall not exceed six months from the date of publication of the grand jury report.
- (4) The recommendation will not be implemented because it is not warranted or is not reasonable, with an explanation, thereof.

### Responses Required

Comments to the Presiding Judge of the Superior Court in compliance with Penal Code Section 933.05 are required from:

#### Findings – 90 Day Response Required

OC Board of Supervisors:	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
City Councils of:	
Aliso Viejo	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Anaheim	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Brea	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Buena Park	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Costa Mesa	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Cypress	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Dana Point	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Fountain Valley	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Fullerton	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10

## Talking Trash: Recyclables and Organic Waste

Garden Grove	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Huntington Beach	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Irvine	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
La Habra	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
La Palma	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Laguna Beach	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Laguna Hills	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Laguna Niguel	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Laguna Woods	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Lake Forest	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Los Alamitos	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Mission Viejo	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Newport Beach	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Orange	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Placentia	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Rancho Santa Margarita	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
San Clemente	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
San Juan Capistrano	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Seal Beach	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Stanton	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Tustin	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Villa Park	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10
Westminster	F1, F2, F3, F4, F5, F6, F7, F8, F9, F10

## Talking Trash: Recyclables and Organic Waste

Yorba Linda F1, F2, F3, F4, F5, F6, F7, F8, F9, F10

### Recommendations – 90 Day Response Required

OC Board of Supervisors: R1, R2, R3, R4, R5, R6, R7

City Councils of:

Aliso Viejo R1, R2, R3, R4, R5, R6, R7

Anaheim R1, R2, R3, R4, R5, R6, R7

Brea R1, R2, R3, R4, R5, R6, R7

Buena Park R1, R2, R3, R4, R5, R6, R7

Costa Mesa R1, R2, R3, R4, R5, R6, R7

Cypress R1, R2, R3, R4, R5, R6, R7

Dana Point R1, R2, R3, R4, R5, R6, R7

Fountain Valley R1, R2, R3, R4, R5, R6, R7

Fullerton R1, R2, R3, R4, R5, R6, R7

Garden Grove R1, R2, R3, R4, R5, R6, R7

Huntington Beach R1, R2, R3, R4, R5, R6, R7

Irvine R1, R2, R3, R4, R5, R6, R7

La Habra R1, R2, R3, R4, R5, R6, R7

La Palma R1, R2, R3, R4, R5, R6, R7

Laguna Beach R1, R2, R3, R4, R5, R6, R7

Laguna Hills R1, R2, R3, R4, R5, R6, R7

Laguna Niguel R1, R2, R3, R4, R5, R6, R7

Laguna Woods R1, R2, R3, R4, R5, R6, R7

Lake Forest R1, R2, R3, R4, R5, R6, R7

Los Alamitos R1, R2, R3, R4, R5, R6, R7

Mission Viejo R1, R2, R3, R4, R5, R6, R7

Newport Beach R1, R2, R3, R4, R5, R6, R7

Orange R1, R2, R3, R4, R5, R6, R7

## Talking Trash: Recyclables and Organic Waste

Placentia	R1, R2, R3, R4, R5, R6, R7
Rancho Santa Margarita	R1, R2, R3, R4, R5, R6, R7
San Clemente	R1, R2, R3, R4, R5, R6, R7
San Juan Capistrano	R1, R2, R3, R4, R5, R6, R7
Seal Beach	R1, R2, R3, R4, R5, R6, R7
Stanton	R1, R2, R3, R4, R5, R6, R7
Tustin	R1, R2, R3, R4, R5, R6, R7
Villa Park	R1, R2, R3, R4, R5, R6, R7
Westminster	R1, R2, R3, R4, R5, R6, R7
Yorba Linda	R1, R2, R3, R4, R5, R6, R7

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## GLOSSARY

AB	Assembly Bill
CalRecycle	California Department of Resources Recycling and Recovery

## Talking Trash: Recyclables and Organic Waste

Circular Economy	Current economic models consist of acquiring materials, making them into products, and then those products become waste. A circular economy reduces material use, redesigns materials and products to be less resource intensive, and recaptures “waste” as a resource to manufacture new materials and products.
Compost	Compost is made from a variety of organic materials and is used to add nutrients and improve soil structure by mixing it into the soil.
Mulch	Mulch is typically made from a single material like straw, grass clippings, or wood chips and is spread on top of the soil to suppress weeds, retain moisture, regulate soil temperature, and protect plant roots.
MRF	Material Recovery Facility
OCGJ	Orange County Grand Jury
OCW&R	OC Waste & Recycling, a department of the County of Orange
Organic Waste	Solid wastes originated from living organisms and their metabolic waste products, and from petroleum, which contain naturally produced organic compounds, and which are biologically decomposable by microbial and fungal action into the constituent compounds of water, carbon dioxide, and other simpler organic compounds. Sometimes called biodegradable waste.
ORNGE	Organics to Natural Gas and Energy
POTW	Publicly Owned Treatment Work
Recycling	Using waste as material to manufacture a new product. Recycling involves altering the physical form of an object or material and making a new object from the altered material.
RNG	Renewable Natural Gas
SB	Senate Bill
SLCP	Short-Lived Climate Pollutants
Solid Waste	Discarded or abandoned materials. Solid wastes can be solid, liquid, semi-solid or containerized gaseous material.
Waste	Objects or materials for which no use or reuse is intended.

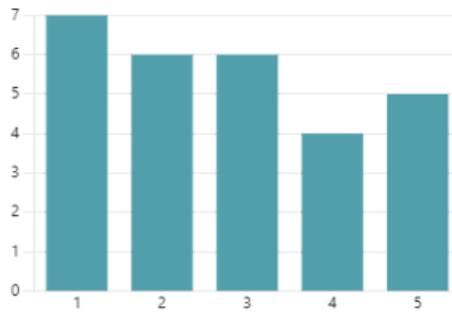
## APPENDICES

### APPENDIX A – SURVEY RESULTS

Survey participants were asked to mark their progress on a scale from 1 (significant challenges) to 5 (excellent progress) for each of the nine questions. On the following bar graphs, the 'x' axis (horizontal) depicts the rating scale from 1 to 5. The 'y' axis (vertical) represents the number of respondents that gave themselves a particular rating.

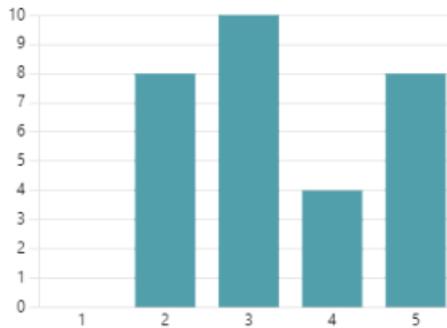
Was your city successful in meeting the goal of reducing organic waste disposal 50% by 2020?

2.79  
Average Rating



Are you confident that your city will meet the goal of reducing organic waste 75% by 2025?

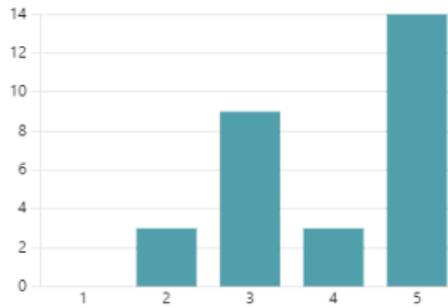
3.40  
Average Rating



## Talking Trash: Recyclables and Organic Waste

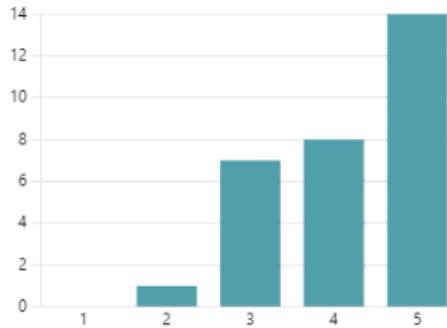
How would you rate your city's success in providing organic waste collection services to all residents?

**3.97**  
Average Rating



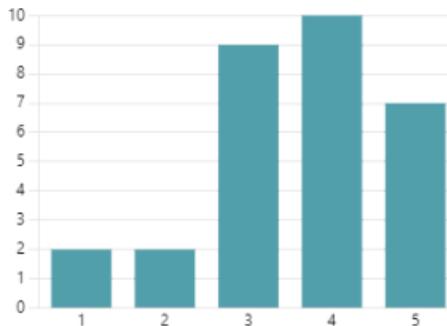
How successful is your city in recycling these organic materials?

**4.17**  
Average Rating



How would you rate your confidence that city residents have been educated to have sufficient knowledge of the composting requirements (and associated restrictions) with the proper disposal of yard trimmings and food scraps?

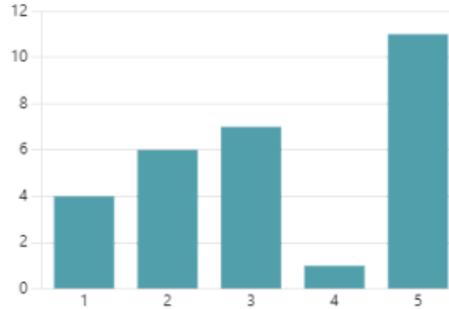
**3.60**  
Average Rating



## Talking Trash: Recyclables and Organic Waste

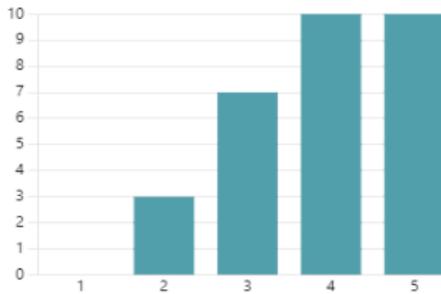
How successful was your city in procuring a quantity of recovered organic waste products annually?

**3.31**  
Average Rating



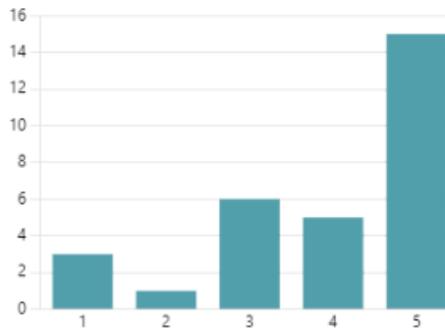
How would you rate your city's success in meeting the record-keeping requirements associated with SB1383, including but not limited to, inspection and enforcement, compliance reviews, investigation of complaints, and alleged violations?

**3.90**  
Average Rating



How satisfied are you that your current agreements(s) with the hauler(s) that service your city are adequate to comply with all provisions of residential services required by SB1383?

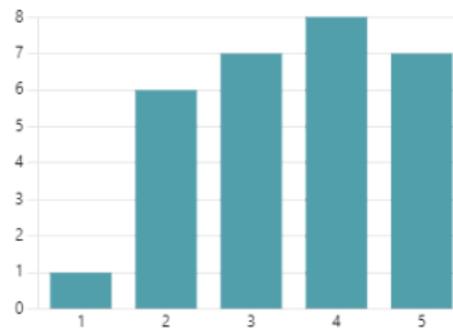
**3.93**  
Average Rating



## Talking Trash: Recyclables and Organic Waste

Are your city's current staffing levels that are, or will become, responsible for all aspects of full SB1383 compliance adequate to meet the tasks at hand?

3.48  
Average Rating



The following examples of additional comments or explanations for their answers to the questions above were provided by survey respondents:

*“Comprehensive implementation and effective management of SB 1383 would require additional resources and financial support. Despite our [jurisdiction’s] proactive approach, including securing a new hauler/franchise agreement . . . that aligns with SB 1383’s requirements and achieving near-complete adoption of these guidelines, there remains a widespread reluctance towards organic recycling. Ongoing educational efforts are in place and will continue; however, achieving significant behavioral change and compliance will require additional resources.”*

*“[Our jurisdiction has] been working on compliance regarding SB 1383 with new franchise agreements, building out local infrastructure, meeting the SB 619 procurement targets, providing education and outreach, programs are being implemented to incrementally improve participation and increase diversion. We are increasing staffing levels to help with continued support for compliance as it requires increased effort for more inspections, waste characterizations, more education and outreach, further program development, market creation and development for compost and mulch, inspections, education, and enforcement support. Although meeting the 75% goal requires more heavy lifting, I anticipate we will see incremental improvements from our efforts.”*

*“SB 1383 has proven to challenge the recycling habits of many throughout the [jurisdiction]. Through updated franchise agreements . . . and CalRecycle grant funding, we have been able to educate and encourage change in disposal habits as required via SB 1383. Additional outreach outlining the requirements and benefits of recycling organic material will be key in successfully transitioning residents and business owners to recycle organic material.”*

*“[We] started a new franchise agreement after an RFP process . . . . This allowed us to incorporate all hauler-related SB 1383 compliance activities and select an innovative*

## Talking Trash: Recyclables and Organic Waste

*organic waste collection program. We are facing procurement challenges as energy related products are not readily available (particularly) RNG for collection vehicles. Staffing may prove to be a challenge, depending upon the amount of complaints, inspections, and enforcement actions we are required to address.”*

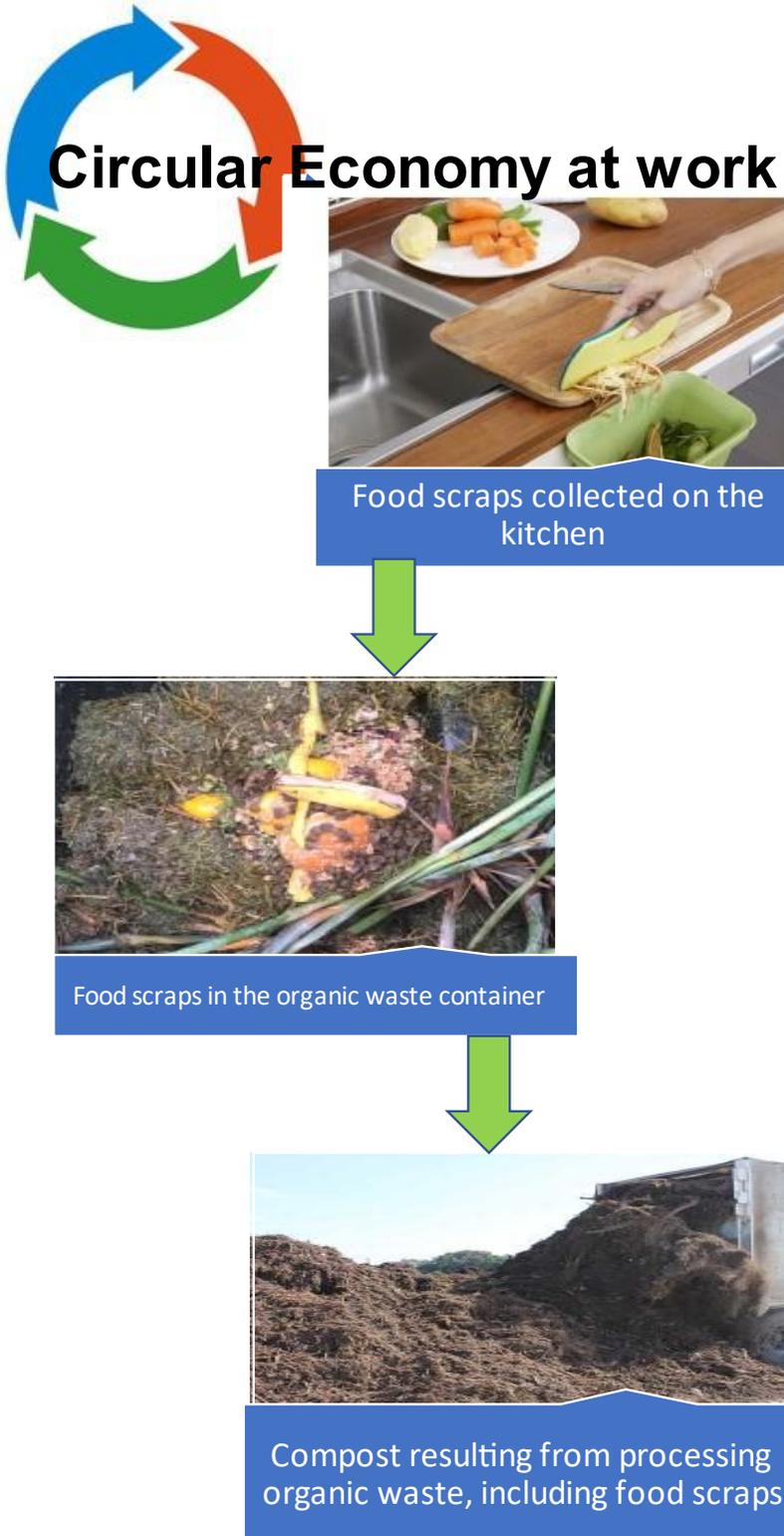
*“Procurement [is our] biggest challenge.”*

*“Our agreement with [the hauler] required that they implement 1383 compliant programming immediately for residential. It also includes education/outreach, contamination monitoring, purchase of compost/mulch on our behalf. Residential 3-cart was implemented on day one of the agreement. However, even with education, residents are hesitant to participate with food in the organics container due to not being allowed to use compostable bags and therefore attracting bugs and vermin.”*

*“Meeting the annual procurement target presents a significant challenge. [The hauler’s] collection trucks are fueled with RNG. The RNG purchased is California produced, though not SB 1383 qualified. In addition, the formula used to calculate a jurisdiction’s procurement target does not count for density or square miles. Denser areas equal less space to distribute mulch or compost. More people equals higher procurement target.”*

*“As with any new program where you need to change habits and behavior, it is going to be a long-term project to get adults in the habit of separating their food scraps. State of CA should implement a statewide outreach campaign, and not just rely on local jurisdictions to provide all the outreach.”*

## APPENDIX B – CIRCULAR ECONOMY STARTS IN YOUR KITCHEN



The People are the City



**Mayor**  
JEREMY B. YAMAGUCHI

**Mayor Pro Tem**  
KEVIN KIRWIN

**Councilmembers:**  
RHONDA SHADER  
WARD L. SMITH  
CHAD P. WANKE

**City Clerk:**  
ROBERT S. MCKINNELL

**City Treasurer**  
KEVIN A. LARSON

**City Administrator**  
DAMIEN R. ARRULA

401 East Chapman Avenue – Placentia, California 92870

August 20, 2024

The Honorable Maria Hernandez  
Presiding Judge, Orange County Superior Court  
700 Civic Center Drive West  
Santa Ana, CA 92701

**RE: 2023-2024 ORANGE COUNTY GRAND JURY REPORT ENTITLED “TALKING TRASH: RECYCLABLES AND ORGANIC WASTE”**

Dear Judge Hernandez:

The City of Placentia has reviewed the 2023-2024 Orange County Jury Report, “Talking Trash: Recyclables and Organic Waste.” The report made several findings and recommendations on which the City of Placentia must comment, including Findings F1, F2, F3, F4, F5, F6, F7, F8, F9, F10 and recommendations R1, R2, R3, R4, R5, R6, R7. Please consider this letter as the City’s official response to these findings.

**Finding 1 (F1):** The majority of Orange County jurisdictions have not yet required their haulers to distribute residential containers that meet the CalRecycle standardized colors, leaving legacy and often incorrect or illegible labeling and embossing in place.

**City’s Response:** The City of Placentia partially disagrees with this finding. The City is unaware of the requirements all Orange County jurisdictions impose on their haulers. The City of Placentia has not been able to require its hauler to distribute residential containers that meet the CalRecycle standardized colors due to the limitations of its current franchise agreement. Since 2020, the City has been actively engaged in contract negotiations with its hauler to amend the City’s waste franchise agreement to meet current SB 1383 regulations. The amended agreement will include the requirement of the distribution of standardized colors and labeling as required under Public Resources Code sections 18984.7 and 18984.8.

**Finding 2 (F2):** While a jurisdiction may not delegate its overall responsibility for compliance with State requirements to a hauler, some jurisdictions have designated the task of imposing and collecting fines from residents to the hauler in accordance with State law. However, not all jurisdictions are clear on who ultimately receives and retains the collected fines.

City's Response: The City of Placentia partially disagrees with the finding. The City is unaware of how other Orange County jurisdictions are enforcing the requirements of SB 1383 and collecting fines. The City of Placentia adopted an SB 1383-compliant ordinance in December 2021. This ordinance defines enforcement actions to be taken by the City.

**Finding 3 (F3):** All jurisdictions will eventually start collecting fines from residents for non-compliance, but some have not yet determined whether the revenues will go into a waste and recycling enterprise fund or into the jurisdiction's general fund.

City's Response: The City of Placentia agrees with this finding. The City is unaware of how all jurisdictions account for revenue generated from non-compliance fines. The current SB 1383 regulations allowed for enforcement and issuance of administrative penalties for non-compliance. These state regulations do not specify a requirement for the type of fund for collecting these fines. The City of Placentia has not yet decided whether revenues from non-compliance penalties will go into a waste and recycling enterprise fund or the City's general fund. The City will discuss this policy with the City Council when its amended franchise agreement is finalized.

**Finding 4 (F4):** In most jurisdictions, education and outreach is a joint effort between jurisdiction, hauler, and sometimes consultants, with the jurisdiction reviewing the materials before publication. The methods of dissemination vary by jurisdiction and hauler but frequently rely on a resident actively seeking the information, which requires the resident to have some awareness of the new mandates in the first place. Most efforts primarily revolve around intermittent hard-copy paper mailings.

City's Response: The City of Placentia partially disagrees with this finding. The City agrees that education and outreach are joint efforts between the jurisdiction and hauler in most cities. In some cases, Cities may utilize consultants to assist with this effort. Every city has different circumstances, resources, and franchise agreements that determine how information is disseminated to residents. The City of Placentia is committed to educating and engaging its community on solid waste and recycling through various methods. These include distributing information at City Hall and community events through flyers, in-person interactions, and staffed booths. The City also regularly shares information through its newsletters and social media channels. The City previously created a video series on recycling and SB 1383. The City's website also features dedicated pages on environmental programs. The City has observed its neighboring cities utilizing various outreach and education methods in addition to paper mailings.

**Finding 5 (F5):** Most jurisdictions currently have no way to accurately determine the effectiveness of their respective education and outreach efforts other than the eventual inspections or audits that will take place.

City's Response: The City of Placentia partially disagrees with this finding. The City is unaware of the evaluation methods by all jurisdictions in Orange County to measure effectiveness.

**Finding 6 (F6):** There is some concern that there are not enough composting facilities in Orange County to process all organic waste, forcing some jurisdictions/haulers to transport it long distances for processing.

City's Response: The City of Placentia agrees with this finding. We are currently in contract negotiations for the City's amended and restated franchise agreement with our waste hauler to comply with SB 1383. During the discussions, the City's hauler informed us of the need to introduce a mixed diversion plan to process all our organic waste. For example, the residential organic waste from the City will need to be sent to multiple composting facilities outside Orange County, as far as the Central Valley, for processing.

**Finding 7 (F7):** There is currently no infrastructure in the county that is a State-approved source of Renewable Natural Gas (RNG) and energy from organic waste. Jurisdictions that use vehicles running on RNG procured from non-approved sources cannot count that RNG towards fulfillment of their procurement requirement.

City's Response: The City of Placentia agrees with this finding.

**Finding 8 (F8):** The formula used by the State to calculate a jurisdiction's procurement target does not account for a jurisdiction's population density or geographic size (square miles). As such, meeting the annual procurement target presents a significant challenge for most jurisdictions.

City's Response: The City of Placentia agrees with this finding. The City's annual procurement target under SB 1383 is 4093.8 tons of organic waste or the equivalent of 2374.42 tons of compost. This is a significant amount for the City to procure effectively. In 2023, the City needed to procure 30% of the procurement target, which was 1228.15 tons of organic waste for compliance with State law. The City initially attempted to meet this target by procuring compost from OCW&R to give away to its residents for free. Through these initial efforts, the City could only distribute 19.82 tons of compost, which amounted to 2.78% of the procurement target for 2023. The City could only meet its procurement target by utilizing grant funding from CalRecycle's SB 1383 Local Assistance Grant Program to enter into a direct service provider agreement with Agromin to procure 712 tons of compost.

**Finding 9 (F9):** Many Orange County jurisdictions were unable to meet the requirement in SB 1383 to reduce organic waste sent to landfills by the 2020 deadline. It is unlikely the required seventy-five percent reduction will be achieved by the 2025 deadline.

City's Response: The City of Placentia agrees with this finding. The City of Placentia has faced challenges meeting these organic waste reduction targets due to delays in implementing a citywide organic recycling program. These delays have stemmed from prolonged contract negotiations between the City and its waste hauler regarding an amended and restated franchise agreement, which has hindered the City's ability to address this mandate effectively.

**Finding 10 (F10):** The current procurement requirements mandated by SB 1383 are unrealistic and likely unachievable by most jurisdictions.

City's Response: The City of Placentia agrees with this finding. The City is actively working on updating its City Purchasing Policy to incorporate all the SB 1383 procurement requirements and exploring all available options to meet the procurement target for 2024 and beyond. However, the City does consider the current procurement requirements mandated by SB 1383 to be unrealistic and likely unachievable without modifying the requirements or receiving additional assistance from the State to meet these needs.

**Recommendation 1 (R1):** All jurisdictions should expedite the acquisition and distribution of residential containers that meet the CalRecycle standardized colors. Additionally, until the compliant containers can be distributed, all jurisdictions should ensure the distribution of labeling for non-compliant containers that explain the current SB 1383 requirements applicable to their jurisdiction by June 30, 2025.

City's Response: The recommendation has not yet been implemented. The City of Placentia has not been able to require its hauler to distribute containers that meet the CalRecycle standardized colors and labeling that explain SB 1383 requirements due to the limitations of its current franchise agreement. The City is actively engaged in contract negotiations with its hauler, Republic Services. The City will be able to ensure the distribution of compliant containers and labeling once an amendment to its franchise agreement has been finalized and approved.

**Recommendation 2 (R2):** By December 31, 2024, all jurisdictions should ensure their waste hauling agreements are in compliance with State statute so that haulers may be designated to perform certain required tasks but are not improperly delegated overall responsibility for compliance. Additionally, all jurisdictions should ensure that any fines collected by a hauler are forwarded to the jurisdiction.

City's Response: This recommendation has not yet been implemented. The City agrees that its waste hauling agreement should be in compliance with State statutes and is actively working on this recommendation. The City is still undergoing SB 1383 contract negotiations with its hauler, Republic Services (Republic), to amend its solid waste franchise agreement to comply with current state regulations. Since April 2021, the City has been diligently engaged in negotiations with Republic to amend our existing agreement in accordance with SB 1383 requirements. Despite our concerted efforts, we have not reached a mutual agreement with Republic on the rates and terms to implement SB 1383. Compounding these challenges, key members of Republic's negotiating team and management staff have turned over, further prolonged the negotiation process, and added to the time and cost incurred by the City to achieve compliance with SB 1383. Despite our continued negotiations with Republic, an agreement has yet to be reached, and there were delays in receiving an SB 1383 cost proposal for the new agreement from Republic. The City received this proposal on August 15, 2024, and is actively reviewing it.

The terms of the final amended and restated franchise waste hauling agreement will dictate the fines collected by a hauler.

**Recommendation 3 (R3):** The OCGJ recommends that all jurisdictions utilize a dedicated waste and recycling enterprise fund for collection of fines for non-compliance with SB 1383 by December 31, 2024.

City's Response: This recommendation will require further analysis and a policy discussion with the Placentia City Council.

**Recommendation 4 (R4):** By December 31, 2024, all jurisdictions should diversify the methods and media used for education and outreach to include, among others, various social media platforms, emails to residents, newspaper, television, flyer mailings, community events, and appearances at other public gatherings.

City's Response: This recommendation has been implemented. The City of Placentia already utilizes a diverse approach to providing education and outreach to its community. The City disseminates relevant solid waste and recycling information throughout the year at City Hall and through various community events. This includes the distribution of flyers, in-person interactions, and staffing booths at events. In addition, the City regularly includes this information in its weekly and quarterly newsletters and social media platforms. The City previously created a video series on recycling and SB 1383. This video series is available to view on the city's YouTube channel. The City maintains and regularly updates webpages on its website dedicated to providing information and resources on environmental programs in the City. The City partners with its waste hauler, Republic Services, to distribute annual mailings to customers, including a dedicated recycling newsletter.

**Recommendation 5 (R5):** By December 31, 2024, and in order to gauge the effectiveness of their education and outreach efforts, all jurisdictions should develop new methods to engage residents directly to help determine their awareness of the requirements associated with SB 1383, such as surveys, online quizzes, and door-to-door polling.

City's Response: This recommendation has not yet been implemented. The City of Placentia will work on developing new methods to measure the effectiveness of its education and outreach efforts.

**Recommendation 6 (R6):** By June 30, 2025, the OCGJ recommends that all jurisdictions participate in the OCW&R-led efforts to develop a coordinated county-wide approach to the organics recycling infrastructure and programs as well as procurement requirements associated with SB 1383, working towards creating circular economy as a long-term goal.

City's Response: This recommendation has been implemented. The City of Placentia has an active partnership with OCW&R. City staff meet regularly with OCW&R staff through

the OWC&R Recycling Coordinator's Quarterly Meetings and the recently formed OC ReGroup. The City will continue to partner with OCW&R to develop a county-wide approach to organics recycling programming.

**Recommendation 7 (R7):** By December 31, 2024, the Orange County Board of Supervisors and all Orange County cities should lobby appropriate members of the State Legislature and/or CalRecycle to revise the organic waste diversion targets to better reflect Orange County's waste amounts, revise the jurisdictions' procurement requirements to better represent the limited options currently available for procurement, the jurisdictions' varying populations, population densities, and geographic size, and to delay associated enforcement actions by the State.

City's Response: This recommendation has not yet been implemented, but the City of Placentia supports it. It will require a coordinated effort between the County and all Orange County cities to develop proposed modifications to the current SB 1383 procurement requirements that reflect Orange County's unique landscape. The City is open to partnering with the County and all Orange County cities to accomplish this by December 31, 2024.

Thank you for giving the City this opportunity to comment on the Grand Jury's findings and recommendations. Please do not hesitate to contact my office if you have any questions or need clarification regarding the City's responses.

Sincerely,

Jeremy B. Yamaguchi  
Mayor, City of Placentia

cc: Placentia City Council  
Damien R. Arrula, City Administrator  
Orange County Grand Jury



Agenda Item No: 1.k

## **PLACENTIA CITY COUNCIL AGENDA REPORT**

Meeting Date: September 3, 2024

Submitted by: Brad Butts

From: Police Department

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### **Subject:**

City Response to Grand Jury Report Entitled: Law Enforcement's Response to Mental Health Calls for Service

### **Financial Impact:**

Fiscal Impact:

None

### **Summary:**

The Orange County Grand Jury (OCGJ) publicly issued a report on June 5, 2024 entitled "Law Enforcement's Response to Mental Health Calls for Service." This report stated that approximately 8.8 million Americans have a severe mental illness such as schizophrenia, severe bi-polar disorder, or major depression with psychiatric features. Almost half of these people are treated on a given day. Without treatment, people with severe mental illness are at risk of experiencing negative outcomes that seriously impact them and the people around them.

Decades ago, law enforcement officers in Orange County became mental health clinicians without proper training. While State legislation has since required police agencies to increase mental health training, Orange County law enforcement agencies have surpassed the State's expectations. The OCGJ believes that law enforcement in Orange County is a model for training law enforcement personnel on mental health crisis intervention techniques and collaborating with behavioral health organizations to improve service and reduce stigma for those affected by mental illness.

The OCGJ said they felt it was vital to research via interviews with law enforcement leaders, law enforcement educators, and mental health professionals how Orange County assists individuals who suffer from mental health illness. It is important to note that this report does not focus on mental health issues that exist within the homeless community, although the OCGJ learned that a significant number of unhoused individuals suffer from mental illness, including substance abuse disorder, which leads to a significant number of police calls for service.

The Grand Jury Report (Attachment 1) provides a series of findings for local agencies to address. The City of Placentia, along with all Orange County cities and the other Orange County entities mentioned were directed by the Grand Jury to review and respond to its findings. Pursuant to State law, the City is obligated to provide a response, which is attached to this agenda report for the City Council's review (Attachment 2).

**Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Review the City's response to the Grand Jury Report; and
2. Direct Staff to submit the attached letter to the Presiding Judge of the Orange County Grand Jury, to be signed by Mayor Yamaguchi.

**Strategic Plan Statement:**

This item is consistent with the City Council approved 5-Year Strategic Goal #2 to Ensure that Public Safety Continues to be a High Priority.

**Discussion:**

The method of study by the OCGJ included them conducting thirty-one interviews. These interviews involved key personnel from the law enforcement agencies that provide police services to all cities and unincorporated areas of Orange County, including the policy agency at the University of California, Irvine (UCI). Interviews were also conducted at the Orange County Sheriff's Regional Academy, Golden West College Police Academy, Orange County Health Care Agency's Mental Health and Recovery Services Department, the National Alliance on Mental Illness-Orange County Chapter (NAMI OC), and Project Kinship.

In addition, the OCGJ conducted tours at Orange County Central Jail Complex, including the Intake Release Center (IRC), Men's Jail, Women's Jail, Central Justice Center Holding Facility, James A. Musick Jail, Theo Lacy Jail, Yale Navigation Center and Bridges at Kraemer Place, Orange County Juvenile Hall and Youth Leadership Academy, and Be Well-Orange Campus.

OCGJ members also attended monthly meetings of the Orange County Criminal Justice Coordinating Council (OCCJCC), which is a planning body of County government, law enforcement, courts/corrections, and social service agencies responsible for improving public safety on behalf of Orange County residents.

The OCGJ also referred to previous Grand Jury reports, Peace Officer Standards and Training (POST) material, police training documents provided by the Orange County Sheriff's Regional Training Academy and Golden West College Police Academy, and local news articles and reports.

California Penal Code Sections 933 and 933.05 requires any public agency that the Grand Jury reviews to respond to the findings and recommendations of the Grand Jury Report. The City of Placentia is required to respond because it is referenced in the report along with other Orange County cities and other Orange County entities. Staff has reviewed the Grand Jury Report and drafted a response letter for the Mayor's signature on behalf of the City Council for consideration. The proposed response letter in Attachment 2 responds to each of the applicable findings listed on page 14 of the report.

Pursuant to California Penal Code Sections 933 and 933.05, the City's response to the Grand Jury Report is due on September 4, 2024. Staff recommends that the City Council review the proposed response, provide input to staff, and, if appropriate, authorize the Mayor to sign Attachment 2.

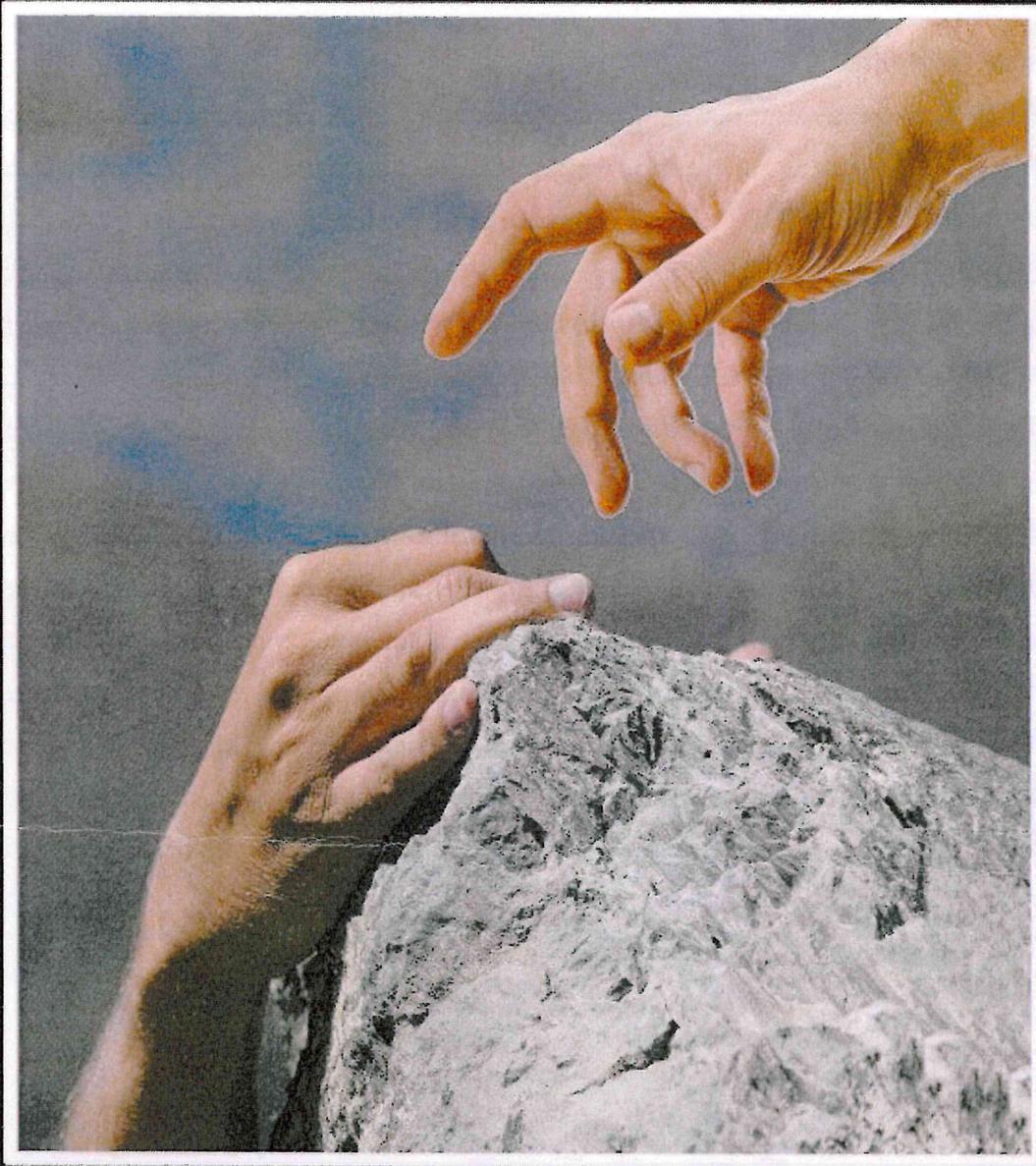
**Fiscal Impact Summary:**

There is no direct fiscal impact associated with the recommended actions.

**Attachments**

[Attachment 1 - Grand Jury Report Law Enforcement's Response to Mental Health.pdf](#)

[Attachment 2 - OC Grand Jury Law Enforcement Response to Mental Health Calls for Service.pdf](#)



# Law Enforcement's Response to Mental Health Calls for Service



## Law Enforcement's Response to Mental Health Calls for Service

### SUMMARY

Approximately 8.8 million Americans have a severe mental illness such as schizophrenia, severe bi-polar disorder, or major depression with psychiatric features.<sup>1</sup> Almost half of these people are treated on a given day.<sup>2</sup> Without proper treatment, people with severe mental illness are at risk of experiencing negative outcomes that seriously impact them and the people around them.

Decades ago, law enforcement officers in Orange County became mental health clinicians without proper training. While State legislation has since required police agencies to increase mental health training, Orange County law enforcement agencies have surpassed the State's expectations. The Orange County Grand Jury (OCGJ) believes that law enforcement in Orange County is a model for training law enforcement personnel on mental health crisis intervention techniques and collaborating with behavioral health organizations to improve service and reduce stigma for those affected by mental illness.

### BACKGROUND

In March 2021, two Los Angeles County Sheriff's Department (LASD) deputies responded to a call regarding a deaf and autistic male adult named Isaias Cervantes who was experiencing a mental health crisis. When deputies arrived, they asked Cervantes to stand up so he could be handcuffed as a safety precaution, and the incident escalated. Cervantes became combative with the deputies, which resulted in one of the deputies shooting him in the back. Consequently, Cervantes is paralyzed and recently won a \$25 million settlement against the County of Los Angeles. The LASD Internal Affairs Bureau concluded that excessive force during this incident was warranted per departmental procedure, although Los Angeles County Risk Management prepared a Summary Corrective Action Plan that focused on numerous root causes for the escalation, including:

- Desk personnel (i.e., dispatch) failed to ask about the nature of Cervantes' mental impairment.
- Desk personnel (i.e., dispatch) failed to send the Mental Evaluation Team as part of the response.<sup>3</sup>

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<sup>1</sup> Treatment Advocacy Center, "Serious Mental Illness by the Numbers," 2022. <https://www.treatmentadvocacycenter.org>.

<sup>2</sup> *Ibid.*

<sup>3</sup> The Times Staff Editorial, "Sheriff's Shooting Cost Taxpayers \$25 Million. Where's the Accountability?" Los Angeles Times, April 8, 2024.

## Law Enforcement's Response to Mental Health Calls for Service

The OCGJ felt it was vital to research via interviews with law enforcement leaders, law enforcement educators, and mental health professionals how Orange County assists individuals who suffer from mental illness. It is important to note that this report does not focus on mental health issues that exist within the homeless community, although the OCGJ learned that a significant number of unhoused individuals suffer from mental illness, including substance abuse disorder, which leads to a significant number of police calls for service.

### **METHOD OF STUDY**

The OCGJ conducted thirty-one interviews. Twenty-three of these interviews involved key personnel from law enforcement agencies representing all cities and unincorporated areas in Orange County, including the police agency at the University of California, Irvine (UCI). The OCGJ also interviewed representatives from the Orange County Sheriff's Regional Academy and Golden West College Police Academy, Orange County mental health stakeholders including the Orange County Health Care Agency's Mental Health and Recovery Services Department, the National Alliance on Mental Illness – Orange County Chapter (NAMI OC), and Project Kinship. In addition, the OCGJ conducted the following tours:

- Orange County Central Jail Complex, including the Intake Release Center (IRC), Men's Jail, and Women's Jail
- Central Justice Center Holding Facility
- James A. Musick Jail (under construction)
- Theo Lacy Jail
- Yale Navigation Center and Bridges at Kraemer Place
- Orange County Juvenile Hall and Youth Leadership Academy
- Be Well, Orange Campus

Members of the OCGJ attended monthly meetings of the Orange County Criminal Justice Coordinating Council (OCCJCC), which is a planning body of County government, law enforcement, courts/corrections, and social service agencies responsible for improving public safety on behalf of Orange County residents. These meetings were insightful and provided an understanding of how Orange County leaders collaborate to enhance law enforcement services.

The OCGJ also referred to previous Grand Jury reports, Peace Officer Standards and Training (POST) material, police training documents provided by the Orange County Sheriff's Regional Training Academy and Golden West College Police Academy, and local news articles and reports.

## Law Enforcement's Response to Mental Health Calls for Service

Learning Domains (LD). One of the topics covered is in LD 37, identified as People with Disabilities. It provides trainees instruction on disability laws, developmental disabilities, physical disabilities, and mental illness.<sup>9</sup> While in the academy, recruits learn to recognize general indicators of mental illness so that appropriate actions can be taken. The following indicators assist recruits in determining whether a behavior is related to mental illness:

- Fearfulness
- Inappropriate Behavior
- Extreme Inflexibility and/or Frustration
- Symptoms of Excitability
- Impaired Self-Care
- Hallucinations and Delusions
- Disorganized Speech, Thought Patterns, or Disorientation
- Clinical Depression
- Bipolar Disorder
- Schizophrenia
- Postpartum-Depression
- Psychosis
- Post-traumatic Stress Disorder (PTSD)
- Personality Disorder<sup>10</sup>

**CONFIDENTIAL**

### **Supervisorial Police Officers**

SB 29, which also went into effect on January 1, 2016, requires police officers in supervisory roles who conduct field training to receive twelve hours of behavioral health training, including eight hours of crisis intervention instruction and an additional four hours in the Field Training Officer program, on how to interact with persons with mental illness or intellectual disability.

### **Innovative Law Enforcement Mental Health Strategies**

The OCGJ interviewed high-ranking officers from twenty-three law enforcement agencies representing all cities and unincorporated areas in Orange County, including

<sup>9</sup> California Commission on Peace Officer Standards and Training Website, "Mental Health Training in the Regular Basic Course."

<sup>10</sup> California Commission on Peace Officer Standards and Training, Learning Domain 37, People with Disabilities, Version 6.0, Chapter 4.

## Law Enforcement's Response to Mental Health Calls for Service

and similar crises.<sup>11</sup> In June 2023, the Orange County Board of Supervisors approved the County's budget for Fiscal Year 2023-24; and within its budget, allocated \$2.8 million to expand the OCSD Behavioral Health Bureau (BHB).<sup>12</sup> The bureau is a specialized crisis response team that consists of nine deputy sheriffs, three PERT deputy sheriffs and one PERT clinician. This specialized team responds to mental health crisis calls including calls related to homelessness and conducts proactive follow-up calls. The goal is to assist with de-escalation and diversion to treatment and services, when appropriate.<sup>13</sup>

Some police agencies in Orange County are adopting an alternative mental health approach when responding to mental health calls for service. While there is an appeal to the idea of removing police from nonviolent psychiatric crisis calls, the challenge is training 911 dispatchers to gauge these calls and having experienced clinicians available to expediently respond to them. In March 2024, the OCSD, in partnership with the OCHCA, launched a dispatch call diversion program that guides OCSD dispatchers to triage non-violent and non-criminal behavioral health calls (including homelessness) to determine if they can be diverted to OC Links, which is a 24/7 Behavioral Health Line.<sup>14</sup> OC Links dispatches counselors to these non-violent and non-criminal calls instead of deputies, freeing up deputies to respond to traditional crime-related calls instead.<sup>15</sup>

### Orange County Intake Release Center (IRC)

The OCSD has partnered with the OCHCA to reduce inmate behavioral health crises. There are mental health hotlines available around the clock in each County jail so that deputies can report concerns regarding an inmate's mental health or behavior that might lead to self-harm. The IRC is part of the Central Jail complex in Santa Ana and houses inmates who suffer from severe mental illness. The facility can house up to 849 inmates and is staffed by sheriff's deputies from the BHB. The cells in the mental health unit have been modified to address safety and self-harm concerns. There are also visiting areas where inmates can use computer tablets for video calls with family, reading e-books, searching for jobs, receiving education, and playing cognitively stimulating games.

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<sup>11</sup> Orange County Sheriff's Department News Release, "OC Sheriff Partners with the OC Health Care Agency to Support Individuals in Crisis." <https://ocsheriff.gov>.

<sup>12</sup> Minutes of the Orange County Board of Supervisors Meeting on June 27, 2023; Adoption of the Fiscal Year 2034-24 Final Budget Resolution.

<sup>13</sup> OC Cares Justice Through Prevention and Intervention, 2025 Quarterly Status Report, October – December 2023, p 16.

<sup>14</sup> Orange County Sheriff's Department News Release "OC Sheriff Partners with the OC Health Care Agency to Support Individuals in Crisis," <https://ocsheriff.gov>.

<sup>15</sup> *Ibid.*

## Law Enforcement's Response to Mental Health Calls for Service

### Orange County Service Planning Areas (SPAs)

Service Planning Areas (SPAs) are divisions of Orange County into North, Central, and South cities to coordinate homeless shelters and services on a regional basis. The North Orange County Service Planning Area (North SPA) is the most active and innovative of the three SPAs. It coordinates collaboration among thirteen cities in North Orange County. In 2018, North SPA was given over \$12 million dollars by the State of California to address the crisis of homelessness.<sup>17</sup> The North SPA partnership is an effort to comply with a court ruling prohibiting enforcement of anti-camping laws on public property when local shelter beds are not available. The funding was used to open two homeless "Navigation Centers," one in Buena Park and the other in Placentia.

The HOPE Center was opened in 2022 to gain more reliable relief and consistent support for homeless individuals in the North SPA area. The HOPE Center is designed as a central command center for case workers, mental health clinicians, resource providers, and homeless liaison officers working together to address public health issues with an emphasis on homeless individuals. The goal is to end homelessness in the North SPA cities by getting "the right resource to the right person at the right time."<sup>18</sup> The HOPE Center mobile office vehicle is used to respond to calls for service. Center clinicians engage in outreach activities when they are not on calls. At the opening of the HOPE Center, State Senator Josh Newman (D-Fullerton/District 29) said the HOPE Center will be "a critical hub for subject matter experts, health care workers, community-based organizations, and local law enforcement to coordinate and deliver resources efficiently under one roof."<sup>19</sup>

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<sup>17</sup> "North Orange County Service Planning Area (North SPA) Received \$12,062,300 in Homeless Emergency Aid Program (HEAP) Funding to Open Navigation Center in Buena Park and Placentia," November 9, 2018, [https://www.buenapark.com/T2\\_R49.php](https://www.buenapark.com/T2_R49.php).

<sup>18</sup> HOPE Center Orange County Mission Statement, <https://ochopecenter.org>.

<sup>19</sup> Tess Sheets and Alicia Robinson, "Governor Gavin Newsom Visits to Help Open New Hub for North Orange County Homeless Services," Orange County Register, October 27, 2022.

## Law Enforcement's Response to Mental Health Calls for Service

mental health treatment for the residents of Orange County. Insurance is not a requirement to receive treatment.<sup>20</sup>

The first of three proposed Be Well campuses opened in January 2021 in the City of Orange to serve North Orange County. Funding was provided by the County Board of Supervisors, CalOptima, private donors, and major hospital systems. In October 2023, construction began on the second Be Well campus located in Irvine's Great Park that will serve South Orange County. This facility will be larger than the Orange Campus and will have the additional ability to support children, youth, and families. The campus is expected to open in 2025. A campus to serve Central Orange County is proposed.

Mind OC was established in 2017 as a California 501(c)(3) non-profit organization. The purpose of the non-profit is to partner with the County of Orange to establish behavioral health campuses in Orange County. When the Be Well Campus in Orange opened, it was under the responsibility of the OCHCA. In January of 2023, Mind OC assumed responsibility for the campus.<sup>21</sup>

In addition to the Be Well campuses, Be Well OC has a mobile response program. The slogan for the program is Hope Happens Here.<sup>22</sup> Identifiable outreach vans with mental health crisis counselors (working in pairs) work in collaboration with law enforcement to respond to mental health calls. The counselors are trained in de-escalation, crisis stabilization, and counseling. Seven municipal police agencies (Anaheim, Garden Grove, Huntington Beach, Irvine, Laguna Beach, Newport Beach, and Westminster) and UCI currently have mobile response contracts. Law enforcement agencies without contracts with the mobile response program can transport people in need to the Be Well Orange Campus.

### Project Kinship (Hope Lives Here)

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In November 2014, California voters approved Proposition 47 that reduced some low-level felonies in the state to misdemeanors. The proposition required the Board of State and Community Corrections to use a portion of the annual savings from Proposition 47 to administer grant programs for diversion, mental health services, or substance abuse treatment.<sup>23</sup> Since 2016, Orange County has received \$12 million in grants from Proposition 47. Orange County's goal is to reduce the number of people with mild-to-moderate mental health and/or substance use disorders incarcerated in the county jail by reducing recidivism through intensive case management, linkages to treatment, housing and behavioral health services, and community supports upon release.<sup>24</sup>

<sup>20</sup> <https://bewelloc.org/>

<sup>21</sup> *Ibid.*

<sup>22</sup> <https://mind-oc.org/>

<sup>23</sup> Libby Doyle, Leigh Courtney, Bryce Peterson of the Urban Institute, "Evaluation of Orange County's Proposition 47 Grant-Related Services," Executive Summary, September 2021, p.v.

<sup>24</sup> *Ibid.*

## Law Enforcement's Response to Mental Health Calls for Service

Table 1: Interview Results with Orange County Law Enforcement Agencies

Law Enforcement Agencies	Be Well Mobile Response Team	PERT	City Net	NorthSpa/Hope Center	Behavioral Health Bureau	Non-Sworn Crisis Worker
Anaheim	X	X	X	X		
Brea				X		
Buena Park		X		X		
Costa Mesa		X				
Cypress				X		
Fountain Valley		X	X			
Fullerton		X		X		*
Garden Grove	X	X				
Huntington Beach	X	X				X
Irvine	X	X				X
La Habra				X		X
La Palma				X		
Laguna Beach	X	X				
Los Alamitos			X	X		
Newport Beach	X	X	X			
Orange		X		X		
Placentia			X	X		
Santa Ana		X	X			
Seal Beach		X				
Tustin		X	X			X
UCI	X	X				**
Westminster	X	X				
Orange County Sheriff		X		***	X	

\* City of Fullerton is developing a pilot Social Worker Program within its police department.

\*\* UCI has several student counseling services on campus.

\*\*\* The cities of Stanton and Yorba Linda are members of North SPA.

## COMMENDATIONS

**Orange County Criminal Justice Coordinating Council (OCCJCC)** – The OCCJCC is to be commended for its efforts to improve public safety through greater inter-agency communication, coordination and collaboration regarding law enforcement and administration of justice issues including mental health.<sup>28</sup>

<sup>28</sup> Orange County Board of Supervisors Resolution No. 2001-38, Adopted February 6, 2001, OCCJCC Proposed Reorganization.

## Law Enforcement's Response to Mental Health Calls for Service

**RESPONSES**

California Penal Code Section 933 requires the governing body of any public agency which the Grand Jury has reviewed, and about which it has issued a final report, to comment to the Presiding Judge of the Superior Court on the findings and recommendations pertaining to matters under the control of the governing body. Such comment shall be made no later than 90 days after the Grand Jury publishes its report (filed with the Clerk of the Court). Additionally, in the case of a report containing findings and recommendations pertaining to a department or agency headed by an elected County official, such official shall comment on the findings and recommendations pertaining to the matters under that official's control within 60 days to the Presiding Judge with an information copy sent to the Board of Supervisors.

Furthermore, California Penal Code Section 933.05 specifies the manner in which such comment(s) are to be made as follows:

- (a) As to each Grand Jury finding, the responding person or entity shall indicate one of the following:
  - (1) The respondent agrees with the finding.
  - (2) The respondent disagrees wholly or partially with the finding, in which case the response shall specify the portion of the finding that is disputed and shall include an explanation of the reasons therefore.
- (b) As to each Grand Jury recommendation, the responding person or entity shall report one of the following actions:
  - (1) The recommendation has been implemented, with a summary regarding the implemented action.
  - (2) The recommendation has not yet been implemented, but will be implemented in the future, with a timeframe for implementation.
  - (3) The recommendation requires further analysis, with an explanation and the scope and parameters of an analysis or study, and a timeframe for the matter to be prepared for discussion by the officer or head of the agency or department being investigated or reviewed, including the governing body of the public agency when applicable. This timeframe shall not exceed six months from the date of publication of the Grand Jury report.
  - (4) The recommendation will not be implemented because it is not warranted or is not reasonable, with an explanation, thereof.
- (c) If a finding or recommendation of the Grand Jury addresses budgetary or

## Law Enforcement's Response to Mental Health Calls for Service

Newport Beach	F1, F2, F3, F4, F5
Orange	F1, F2, F3, F4, F5
Placentia	F1, F2, F4, F5
Santa Ana	F1, F2, F3, F4, F5
Seal Beach	F1, F2, F3, F4, F5
Tustin	F1, F2, F3, F4, F5
Westminster	F1, F2, F3, F4, F5

### Findings – 90 Day Response Requested

University of California, Irvine	F1, F2, F3, F4, F5
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## REFERENCES

Be Well OC website: <https://bewelloc.org/>

California Commission on Peace Officer Standards and Training, Learning Domain 37, People with Disabilities, Version 6.0, Chapter 4.

California Commission on Peace Officer Standards and Training Website, "Mental Health Training in the Regular Basic Course."

"Fullerton Police Department Get \$1 Million to Start a Pilot Program," Fullerton Observer, July 22, 2023.

HOPE Center Orange County Mission Statement, <https://ochopecenter.org>.

[https://california.public.law/codes/ca\\_penal\\_code\\_section\\_13515.27](https://california.public.law/codes/ca_penal_code_section_13515.27)

"North Orange County Service Planning Area (North SPA) Received \$12,062,300 in Homeless Emergency Aid Program (HEAP) Funding to Open Navigation Center in Buena Park and Placentia," November 9, 2018, [https://www.buenapark.com/T2\\_R49.php](https://www.buenapark.com/T2_R49.php)

Jennifer Peltz and Jesse Bedayn, "Many Big U.S. Cities Now Answer Mental Health Crisis Calls with Civilian Teams – Not Police," Associated Press, August 27, 2023.

Jody M. Litchford, JD., "Partnering with Mental Health Providers to Improve Outcomes," Police Chief, December 2023.

## Law Enforcement's Response to Mental Health Calls for Service

**GLOSSARY**

BHB	Behavioral Health Bureau (Orange County Sheriff's Department)
BHS	Behavioral Health Services
BRU	Behavioral Response Unit
CAT	Crisis Assessment Team
CIT	Crisis Intervention Training
HOPE	Homeless Outreach and Proactive Engagement
IRC	Intake Release Center
LASD	Los Angeles Sheriff's Department
LCSW	Licensed Clinical Social Worker
LD	Learning Domain
NAMI OC	National Alliance on Mental Illness – Orange County Chapter
OCCJCC	Orange County Criminal Justice Coordinating Council
OCGJ	Orange County Grand Jury
OCHCA	Orange County Health Care Agency
OCSD	Orange County Sheriff's Department
PERT	Psychiatric Emergency Response Team
POST	Peace Officer Standards and Training
SB	Senate Bill
SPA	Service Planning Area
UCI	University of California, Irvine

**CONFIDENTIAL**

## California Penal Code Sections §933 and §933.05

(Note: To reduce grand jury requests for additional response information, the grand Jury has bolded those words in §933.05 which should be appropriately included in a response.)

933. (a) Each grand jury shall submit to the presiding judge of the superior court a final report of its findings and recommendations that pertain to county government matters during the fiscal or calendar year. Final reports on any appropriate subject may be submitted to the presiding judge of the superior court at any time during the term of service of a grand jury. A final report may be submitted for comment to responsible officers, agencies, or departments, including the county board of supervisors, when applicable, upon finding of the presiding judge that the report is in compliance with this title. For 45 days after the end of the term, the foreperson and his or her designees shall, upon reasonable notice, be available to clarify the recommendations of the report.
- (b) ~~One copy of each final report, together with the responses thereto, found to be in compliance with this title shall be placed on file with the clerk of the court and remain on file in the office of the clerk. The clerk shall immediately forward a true copy of the report and the responses to the State Archivist who shall retain that report and all responses in perpetuity.~~
- (c) ~~No later than 90 days after the grand jury submits a final report on the operations of any public agency subject to its reviewing authority, the governing body of the public agency shall comment to the presiding judge of the superior court on the findings and recommendations pertaining to matters under the control of the governing body, and every elected county officer or agency head for which the grand jury has responsibility pursuant to Section 914.1 shall comment within 60 days to the presiding judge of the superior court, with an information copy sent to the board of supervisors, on the findings and recommendations pertaining to matters under the control of that county officer or agency head and any agency or agencies which that officer or agency head supervises or controls. In any city and county, the mayor shall also comment on the findings and recommendations. All of these comments and reports shall forthwith be submitted to the presiding judge of the superior court who impaneled the grand jury. A copy of all responses to grand jury reports shall be placed on file with the clerk of the public agency and the office of the county clerk, or the mayor when applicable, and shall remain on file in those offices. One copy shall be placed on file with the applicable grand jury final report by, and in the control of the currently impaneled grand jury, where it shall be maintained for a minimum of five years.~~
- (d) As used in this section "agency" includes a department.
- 933.05. (a) For purposes of subdivision (b) of Section 933, as to each grand jury finding, the responding person or entity shall indicate one of the following:
- (1) The respondent **agrees** with the finding.
  - (2) The respondent **disagrees wholly or partially** with the finding, in which case the response shall specify the portion of the finding that is disputed and shall include an explanation of the reasons therefor.
- (b) For purposes of subdivision (b) of Section 933, as to each grand jury recommendation, the responding person or entity shall report one of the following actions:
- (1) ~~The recommendation has been implemented~~, with a summary regarding the implemented action.
  - (2) ~~The recommendation has not yet been implemented, but will be implemented in the future, with a timeframe for implementation.~~
  - (3) ~~The recommendation requires further analysis~~, with an explanation and the scope and parameters of an analysis or study, and a timeframe for the matter to be prepared for discussion by the officer or head of the agency or department being investigated or reviewed, including the governing body of the public agency when applicable. This timeframe shall not exceed six months from the date of publication of the grand jury report.
  - (4) ~~The recommendation will not be implemented~~ because it is not warranted or is not reasonable, with an explanation therefor.
- (c) ~~However, if a finding or recommendation of the grand jury addresses budgetary or personnel matters of a county agency or department headed by an elected officer, both the agency or department head and the board of supervisors shall respond if requested by the grand jury, but the response of the board of supervisors shall address only those budgetary or personnel matters over which it has some decision making authority. The response of the elected agency or department head shall address all aspects of the findings or recommendations affecting his or her agency or department.~~
- (d) A grand jury may request a subject person or entity to come before the grand jury for the purpose of reading and discussing the findings of the grand jury report that relates to that person or entity in order to verify the accuracy of the findings prior to their release.
- (e) During an investigation, the grand jury shall meet with the subject of that investigation regarding the investigation, unless the court, either on its own determination or upon request of the foreperson of the grand jury, determines that such a meeting would be detrimental.
- (f) A grand jury shall provide to the affected agency a copy of the portion of the grand jury report relating to that person or entity two working days prior to its public release and after the approval of the presiding judge. No officer, agency, department, or governing body of a public agency shall disclose any contents of the report prior to the public release of

The People are the City



**Mayor**  
JEREMY B. YAMAGUCHI

**Mayor Pro Tem**  
KEVIN KIRWIN

**Councilmembers:**  
RHONDA SHADER  
WARD L. SMITH  
CHAD P. WANKE

**City Clerk:**  
ROBERT S. MCKINNELL

**City Treasurer**  
KEVIN A. LARSON

**City Administrator**  
DAMIEN R. ARRULA

401 East Chapman Avenue – Placentia, California 92870

August 21, 2024

The Honorable Maria Hernandez  
Presiding Judge, Orange County Superior Court  
700 Civic Center Drive West  
Santa Ana, CA 92701

**RE: 2023-2024 ORANGE COUNTY GRAND JURY REPORT ENTITLED “LAW ENFORCEMENT’S RESPONSE TO MENTAL HEALTH CALLS FOR SERVICE”**

Dear Judge Hernandez:

The City of Placentia has reviewed the 2023-2024 Orange County Jury Report, “Law Enforcement’s Response to Mental Health Calls for Service.” We thank the volunteer members of the Grand Jury for their time and considerable effort in analyzing the various aspects of Orange County law enforcement’s model for training law enforcement personnel on mental health crisis intervention techniques and collaborating with behavioral organizations to improve service and reduce stigma for those affected by mental illness. The report made several findings on which the City of Placentia must comment, including Findings F1, F2, F4, and F5. Please consider this letter as the City’s official response to these findings.

**Finding 1 (F1):** Mental health training for law enforcement officers in Orange County exceeds the State’s requirements, resulting in law enforcement applying these skills to better evaluate and handle mental health calls for service.

City’s Response: AGREE. All police academies in Orange County meet or exceed the minimum POST requirements. During their field training period, new police officers receive additional mental health training. Supervisors also present and discuss the handling of mental health calls for service during briefing training.

**Finding 2 (F2):** Law enforcement agencies in Orange County have developed unique ways to deal with mental health calls in their communities based on their particular needs and budgets, enabling law enforcement to better serve their communities.

City’s Response: AGREE. One of the ways that Placentia has done this is by having the foresight to build a navigation center that provides a whole host of services and collaborating with outside providers to address homelessness and mental health calls for service. The navigation center in Placentia was the result of Placentia being one of twelve cities that established a memorandum of understanding (MOU) to create the North Orange County Service Planning Area (North SPA). The North SPA was awarded over

twelve million dollars in 2018 to address the homelessness crisis. A navigation center was also opened in Buena Park. These navigation centers, in collaboration with Outreach Grid, provide trained personnel to go out into our community to engage people experiencing homelessness and those with mental health issues and provide them with the services and care they need. Outreach Grid developed an app that is a resource database. Outreach Grid facilitates resources from first contact in the field to housing placement. Our outreach workers and police officers access it via cell phones or another device to confirm the availability of the specific resources needed, such as a bed in our navigation center for the individual(s) being contacted. In short, it identifies available resources in real time that can then be provided to those in need. Placentia also has one full-time Homeless Liaison Officer (HLO) and two ancillary HLO's that routinely assist those who are homeless and those with mental health issues. The North SPA was established during the height of the homelessness crisis throughout California. The quality of care provided by this full-service system created by Placentia and other North SPA cities has become a model for other cities to follow nationwide. Placentia is also a member of the North Orange County Public Safety Collaborative, which was formed in 2017. This is a coalition of cities, police agencies, nonprofits, behavioral health practitioners, and community health workers dedicated to providing health and human services to the community. Part of this collaborative was creating the HOPE Center. The HOPE Center's mission is to provide reliable help and consistent support to those experiencing homelessness in the North SPA.

**Finding 4 (F4):** People with mental illness respond more positively to “soft uniformed” police personnel, which can be effective in de-escalating situations.

City's Response: AGREE. This is practiced in our partnership with Hope Center. Their proactive engagement in our community by fielding behavioral health street practitioners and community health workers dressed in “soft clothes” with a uniformed officer to assist as needed puts this finding into practical application. This mobile approach to those with mental health issues enables those in need to get help directly on the streets. This provides the client with stability, respite, and a welcoming environment. This also includes transportation and ongoing case management. Although this can often be the case, there are many circumstances in which a uniformed police presence may de-escalate situations, too. Being immediately identifiable as the police is essential to letting everyone involved in a call for service or bystanders know that the police have arrived. Wearing uniforms and driving marked units that society can immediately identify as being the police demonstrates stability and additional support to those in need. Society understands the authority of a police presence to resolve complex conflicts while protecting people, including outreach and mental health workers providing initial services in the field. Having both options to respond as needed 24/7 would be an ideal method of practice for an agency with the personnel and fiscal resources to do so.

**Finding 5 (F5):** Providing follow-up case management is not only necessary but critical for the wellbeing of people experiencing mental health issues.

City's Response: AGREE. This is absolutely the case, and, again, why Placentia has built a Navigation Center and provides or arranges all our services for our homeless and those with mental health issues. The many services offered allow for various care options for those in need. Recognizing the importance of familiarity and stability with those who have

mental health issues, family reunification is also offered. The Public Safety Collaborative, which Placentia participates in, also follows through with food and housing vouchers. Those who enter our Navigation Center receive case management while in residency and for up to nine months to a year after exiting the facility. The North SPA is a success story with metrics that show that it continues to make a real difference in our communities.

Thank you for affording the City this opportunity to comment upon the findings of the Grand Jury. Should you have any questions or need clarification regarding the City's responses contained herein, please do not hesitate to contact my office.

Sincerely,

Jeremy Yamaguchi  
Mayor, City of Placentia

cc: Placentia City Council  
Damien Arrula, City Administrator  
Brad Butts, Police Chief  
Orange County Grand Jury



Agenda Item No: 2.a

## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Andrew Gonzales

From: Development Services

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### **Subject:**

Resolution No. R-2024-56, a Resolution of the City Council of the City of Placentia, recommending denial of GPA 2022-01, SPA 2021-01, and DPR 2021-02 for the Orangethorpe Mixed Use Development Project

### **Financial Impact:**

#### Fiscal Impact:

It is anticipated the project would generate approximately \$1.2 million in one-time revenue to the General Fund in the form of permit fees, however revenue from those fees support the additional work for Staff created directly by the project's construction and would not be available for other City operations. An additional \$5.0 million is anticipated from one-time development impact fees which can only be used for future infrastructure projects and are not available to support the daily operations of the City.

Once the project is complete, the project is expected to generate \$244,209 in new General Fund revenue annually through a combination of higher property tax, sales tax, and utility users tax. The project is anticipated to require \$246,435 in new annual General Fund expenses primarily for increased Police and Fire response to support the new residents. In summary, the project is projected to generate a net annual loss of (\$2,226) to the General Fund.

### **Summary:**

On July 9, 2024, the Planning Commission held a public hearing to review the proposed General Plan Amendment (GPA 2022-01), Specific Plan Amendment (SPA 2021-01), and Development Plan Review (DPR 2021-02) for a mixed-use development on Orangethorpe Avenue, which aims to introduce a combination of residential and commercial uses, including parking structures. Despite this, the Planning Commission, by majority vote, recommended denial of the GPA, SPA, and DPR to the City Council due to the project's failure to adequately address potential impacts on the surrounding environment, infrastructure, and community. Concerns were raised about its alignment with the City's long-term sustainability goals, infrastructure capacity, and compatibility with the surrounding area, along with doubts about whether the project could genuinely meet the City's objectives of maintaining a sustainable revenue stream while revitalizing the area. These significant issues suggest that the project may not be in the best interest of the City or its residents.

**(Please note that the complete Staff Report is provided as an attachment.)**

**Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Adopt Resolution No. R-2024-56, of the City Council of the City of Placentia, California, denying General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02 to modify the General Plan Land Use Element to permit mixed-use (Residential-Commercial Development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4-Specific Plans, Table 2-5-General Plan/Zoning Relationship-Specific Plans, and Table 2-7-General Plan Land Use Designation – Potential Development Buildout, and amending Specific Plan No. 5 to allow for mixed-use (residential commercial development) within SP-5 Parcel 9 boundaries and establishing development standards for new residential uses, including but not limited to building setbacks, floor area ratio, residential density, dwelling unit size, in conjunction with the development and operation of a five-story mixed-use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail and a six-level parking structure on a 2.72-acre site, on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27).

Alternative Recommendation:

1. Adopt Resolution No. R-2024-60, a Resolution of the City Council of the City of Placentia, California, adopting Initial Study/Mitigated Negative Declaration No. MND 2021-01 for a General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02, prepared in full compliance with the California Environmental Quality Act (“CEQA”), California Public Resources Code §§ 21000, et seq., and the Environmental Guidelines of the City of Placentia; adopt the Mitigation Monitoring and Reporting Program; and adopting GPA 2022-01 modifying the General Plan Land Use Element to allow mixed-use (residential-commercial development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4 – Specific Plans, Table 2-5 – General Plan/Zoning Relationship – Specific Plans, and Table 2-7 – General Plan Land Use Designation – Potential Development Buildout, and approving DPR 2021-02 for the development and operation of a five-story mixed use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail and a six-level parking structure on 2.72-acre site, located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27); and
2. Waive full reading, by title only, and introduce for first reading Ordinance No. O-2024-05, an Ordinance of the City Council of the City of Placentia, California Approving Specific Plan Amendment No. SPA 2021-01, amending Specific Plan No. 5 to permit mixed-use development and parking structures on Parcel 9 and establishing associated development standards on a 2.72-acre site on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27).

**Strategic Plan Statement:**

This item is inconsistent with the City Council adopted 5-Year Strategic Goals to:

1. **ENSURE LONG-TERM FISCAL SUSTAINABILITY** as Objective 1.4 is to protect and preserve existing economic development/property nodes throughout the City to maximize revenue opportunities. Additionally, Objective 1.5 is to Continue seeking ways

to diversify the City's revenue sources to prevent over-reliance on any one source (Measure U/Property Tax). This agenda item results in permanently removing a commercially designated and historically tax-producing site from the city's inventory of commercial land uses. These commercial uses are vital as they collectively occupy no more than 5% of the city's total land area and potentially provide a sustainable revenue stream for the City's General Fund.

2. **PROMOTE COMMUNITY AND ECONOMIC DEVELOPMENT** as Objective 3.3 is to continue to recruit and attract retail, hotel and other commercial businesses that complement adjacent City assets and attractions (Anaheim Resort District, Cal State Fullerton, OC Vibe and Angel Stadium Projects). This agenda item would permanently remove a commercially designated and historically tax-producing site from the City. This site has attracted the interest of several hoteliers and automobile dealerships since becoming vacant. Removing this property as from the City's commercial land inventory no longer makes it a site to recruit and attract retail, hotel and other commercial businesses that complement adjacent City assets and attractions.

### **General Plan:**

This item is also inconsistent with the following City Council adopted General Plan Elements:

- Land Use
- Mobility
- Economic Development
- Health, Wellness and Environmental Justice
- Safety
- Housing Element

### **Attachments**

[Staff\\_Report\\_-\\_GPA\\_2022-01\\_\\_SPA\\_2021-01\\_\\_DPR\\_2021-02\\_\\_MND\\_2021-01\\_Orangethorpe\\_Mixed\\_Use\\_\\_1\\_\\_1\\_\\_1\\_\\_2\\_\(2\).pdf](#)

1. [GPA SPA DPR CC Reso No. R-2024-56- Denial AG JL KS.docx](#)

2. [GPA DPR CC Reso No. R-2024-60- Conditions of Approval AG JL KS.docx](#)

3. [\\_Ordinance\\_O-2024-05-\\_SPA\\_2021-01\\_AG\\_JL\\_KS \(1\).docx](#)

4. [Preface, IS, MND 2021-01, MMRP, Response to Comments.pdf](#)

5. [Project Plans Dated 6-5-24.pdf](#)

6. [Development Impact Analysis - Jon Stover & Associates.pdf](#)

7. [Public Correspondence.pdf](#)

8. [Public Hearing Notification.pdf](#)

9. [Vicinity Map; 776 S. Placentia Ave & 777 W Orangethorpe.pdf](#)

10. [Site Photographs.pdf](#)

11. [Development Proposals of Interest.pdf](#)

12. [Applicant & Technical Team Response Comments.pdf](#)

13. [PC Draft Minutes from July 9, 2024.pdf](#)

14. [PowerPoint \(777 W. Orangethorpe\) Orangethorpe Mixed Use.pdf](#)



# Placentia City Council

## AGENDA REPORT

TO: CITY COUNCIL

VIA: CITY ADMINISTRATOR

FROM: DIRECTOR OF DEVELOPMENT SERVICES

DATE: SEPTEMBER 3, 2024

SUBJECT: **PUBLIC HEARING REGARDING GENERAL PLAN AMENDMENT NO. 2022-01, SPECIFIC PLAN AMENDMENT NO. SPA 2021-01, DEVELOPMENT PLAN REVIEW NO. DPR 2021-02, AND ADOPTION OF INITIAL STUDY/MITIGATED NEGATIVE DECLARATION NO. MND 2021-01 BY AMENDING THE GENERAL PLAN LAND USE ELEMENT TO ALLOW MIXED-USE DEVELOPMENT (RESIDENTIAL-COMMERCIAL), AMENDING SPECIFIC PLAN NO. 5 TO PERMIT MIXED-USE DEVELOPMENT ON PARCEL 9 AND ESTABLISHING ASSOCIATED DEVELOPMENT STANDARDS, AND PERMITTING DEVELOPMENT OF A FIVE-STORY MIXED-USE BUILDING WITH 248 RESIDENTIAL UNITS, UP TO 3,000 SQ. FT. OF RETAIL SPACE, AND A SIX-LEVEL PARKING STRUCTURE ON A 2.72-ACRE SITE LOCATED AT 777 W. ORANGETHORPE AVENUE AND 776 S. PLACENTIA AVENUE.**

FISCAL  
IMPACT:

It is anticipated the project would generate approximately \$1.2 million in one-time revenue to the General Fund in the form of permit fees, however revenue from those fees support the additional work for staff created directly by the project's construction and would not be available for other City operations. An additional \$5.0 million is anticipated from one-time development impact fees which can only be used for future infrastructure projects and are not available to support the daily operations of the City.

Once the project is complete, the project is expected to generate \$244,209 in new General Fund revenue annually through a combination of higher property tax and sales taxes. The project is anticipated to require \$246,435 in new annual General Fund expenses primarily for increased Police and Fire response to support the new residents. In summary, the project is projected to generate a net annual loss (\$2,226) to the General Fund.

**SUMMARY:**

On July 9, 2024, the Planning Commission held a public hearing to review the proposed General Plan Amendment (GPA 2022-01), Specific Plan Amendment (SPA 2021-01), and Development Plan Review (DPR 2021-02) for a mixed-use development on Orangethorpe Avenue, which aims to introduce a combination of residential and commercial uses, including parking structures. The

Planning Commission, by unanimous vote, recommended denial of the GPA, SPA, and DPR to the City Council (Resolution Adopted 5-0-0-2 as recommended) due to the project's failure to adequately address potential impacts on the surrounding environment, infrastructure, and community. Concerns were raised about its alignment with the City's long-term sustainability goals, infrastructure capacity, and compatibility with the surrounding area, along with doubts about whether the project could genuinely meet the City's objectives of maintaining a sustainable revenue stream while revitalizing the area. These significant issues suggest that the project may not be in the best interest of the City or its residents.

**RECOMMENDATION:**

It is recommended that the City Council take the following actions:

1. Open the Public Hearing, concerning General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02; and
2. Receive the Staff Report and consider all Public Testimony; and
3. Close the Public Hearing; and
4. Adopt Resolution No. R-2024-56, of the City Council of the City of Placentia, California, denying General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02 to modify the General Plan Land Use Element to permit mixed-use (Residential-Commercial Development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4-Specific Plans, Table 2-5-General Plan/Zoning Relationship-Specific Plans, and Table 2-7-General Plan Land Use Designation – Potential Development Buildout, and amending Specific Plan No. 5 to allow for mixed-use (residential commercial development) within SP-5 Parcel 9 boundaries and establishing development standards for new residential uses, including but not limited to building setbacks, floor area ratio, residential density, dwelling unit size, in conjunction with the development and operation of a five-story mixed-use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail and a six-level parking structure on a 2.72-acre site, on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27).

**ALTERNATIVE RECOMMENDATION:**

5. Adopt Resolution No. R-2024-60, a Resolution of the City Council of the City of Placentia, California, adopting Initial Study/Mitigated Negative Declaration No. MND 2021-01 for a General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02, prepared in full compliance with the California Environmental Quality Act ("CEQA"), California Public Resources Code §§ 21000, *et seq.*, and the Environmental Guidelines of the City of Placentia; adopt the Mitigation Monitoring

and Reporting Program; and adopting GPA 2022-01 modifying the General Plan Land Use Element to allow mixed-use (residential-commercial development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4 – Specific Plans, Table 2-5 – General Plan/Zoning Relationship – Specific Plans, and Table 2-7 – General Plan Land Use Designation – Potential Development Buildout, and approving DPR 2021-02 for the development and operation of a five-story mixed use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail and a six-level parking structure on 2.72-acre site, located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27); and

6. Waive full reading, by title only, and introduce for first reading Ordinance No. O-2024-05, an Ordinance of the City Council of the City of Placentia, California Approving Specific Plan Amendment No. SPA 2021-01, amending Specific Plan No. 5 to permit mixed-use development and parking structures on Parcel 9 and establishing associated development standards on a 2.72-acre site on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27).

### **STRATEGIC PLAN STATEMENT:**

This item is inconsistent with the City Council adopted 5-Year Strategic Goals to:

1. **ENSURE LONG-TERM FISCAL SUSTAINABILITY** as Objective 1.4 is to protect and preserve existing economic development/property nodes throughout the City to maximize revenue opportunities. Additionally, Objective 1.5 is to Continue seeking ways to diversify the City's revenue sources to prevent over-reliance on any one source (Measure U/Property Tax). This agenda item results in permanently removing a commercially designated and historically tax-producing site from the city's inventory of commercial land uses. These commercial uses are vital as they collectively occupy no more than 5% of the city's total land area and potentially provide a sustainable revenue stream for the City's General Fund.

2. **PROMOTE COMMUNITY AND ECONOMIC DEVELOPMENT** as Objective 3.3 is to continue to recruit and attract retail, hotel and other commercial businesses that complement adjacent City assets and attractions (Anaheim Resort District, Cal State Fullerton, OC Vibe and Angel Stadium Projects). This agenda item would permanently remove a commercially designated and historically tax-producing site from the City. This site has attracted the interest of several hoteliers and automobile dealerships since becoming vacant. Removing this property as from the City's commercial land inventory no longer makes it a site to recruit and attract retail, hotel and other commercial businesses that complement adjacent City assets and attractions.

### **GENERAL PLAN:**

This item is also inconsistent with the following City Council adopted General Plan Elements:

- Land Use
- Mobility

- Economic Development
- Health Wellness and Environmental Justice
- Safety
- Housing Element

### **BACKGROUND:**

The subject property was formally occupied by Premier Chrysler Jeep (PCJ). PCJ officially vacated the site on May 31, 2018, and the site has remained vacant for over six years. During this period between the closure of PCJ and submission of the entitlement application on June 24, 2021, city staff worked diligently in good faith with the property owner, Brian Chuchua, to (a) obtain environmental clearance by the Orange County Health Care Agency to enable the property owner to begin marketing the property, (b) informally market the property for a least one year at real estate conventions, and (c) agreed to pay for half of the cost to market the property using a reliable and professional real estate company with successful hotel brokerage experience. Furthermore, based upon City Council direction, city staff embarked on amending Specific Plan No. 5 to allow up to eight stories (75 feet) and allow hospitality uses as a permitted use on the subject property at the expense of the city. The SPA spared the property owner the cost of the SPA and related environmental clearance, which saved the owner several thousand dollars and the time and effort of submitting a formal entitlement application. The SPA was approved by the City Council on July 23, 2019.

Since the PCJ vacated the site in 2018, city staff has received inquiries from numerous developers interested in using the site for residential or commercial purposes. For residential developers, city staff informed them that the property was not designated for residential use in the General Plan's Land Use Element, nor was it a permissible land use type within SP-5. Consequently, all residential developers decided to pass on the property based on this information.

Several commercial developers, including those interested in auto dealerships and hospitality ventures, also expressed interest in the property. However, they refrained from proceeding with the acquisition due to the asking price, which they considered overvalued.

In 2021, the current applicant entered into an agreement to purchase the property for the proposed mixed-use development, despite ongoing interest from hospitality developers and other users. Since 2021 and up to the present, these hospitality groups have continually expressed interest in the site but have been unable to proceed due to the existing purchase agreement with the applicant.

### **PROJECT DESCRIPTION**

On June 24, 2021, Gilad Ganish, on behalf of Orangethorpe Investment Partners, LLC, submitted applications for a General Plan Amendment (GPA), Specific Plan Amendment (SPA), and Development Plan Review (DPR). The proposal involves demolishing the existing car dealership to develop a five-story mixed-use building. This building will feature 248 market rate residential units, up to 3,000 square feet of ground floor commercial retail space, a six-level parking structure, and 335 onsite parking spaces located both at-grade or within the parking structure (proposed

project). The 2.72-acre site is near the northeast corner of S. Placentia Avenue and W. Orangethorpe Avenue.

The proposed project will demolish the structures of a vacant car dealership, formally occupied by PCJ, and parking lot, paving the way for the construction and operation of the mixed-use development. The market rate units will feature studios, and one- and two-bedroom apartments. The building will be equipped with various amenities, such as a mail and parcel room, leasing office, fitness area, club room, co-working space, and a central pool courtyard. Additionally, the project proposes to incorporate approximately 37,817 square feet of common open space and 9,584 square feet of private open space. The proposed project would also include ornamental landscaping and decorative furniture on private property only.



The residential units will be situated around a central outdoor courtyard, featuring a pool as its focal point. This courtyard will be designed with both active and passive areas, landscaped outdoor amenities, including lounge chairs, seating areas, turf, a game lawn in the western section, and a retreat area equipped with an outdoor kitchen, seating, and a fire pit. Additionally, a proposed retail plaza located to the southeastern area of the project site will offer café tables,

shade trees, pottery, umbrellas, and enhanced paving. A designated dog park is proposed along the eastern part of the site, adjacent to the parking structure. The site will be lined with trees, and there will be a building setback of approximately 10 feet along S. Placentia Avenue. The project will have a density of approximately 91.2 dwelling units per acre.

The project will provide 335 parking stalls for both residential and retail use. Most of these spaces will be housed within a six-level parking structure located in the northeast portion of the site, while the remaining spaces will be at grade near the W. Orangethorpe Avenue and S. Placentia Avenue entrances. According to the proposed SPA, guest parking stalls will be shared with commercial parking stalls. The parking structure will reach a maximum height of 65 feet at its highest point and will be predominantly screened by the five-story residential building as seen from the S. Placentia Avenue and W. Orangethorpe Avenue right-of-way. As demonstrated in the parking analysis of this staff report, the proposed onsite parking is considered deficient by staff.

The project site will feature two points of entry and exit for vehicular circulation: one along S. Placentia Avenue and another along W. Orangethorpe Avenue. The entry and exit driveway on W. Orangethorpe Avenue will offer limited guest and commercial parking for the adjacent commercial unit. However, there will be no direct access from this driveway into the parking structure. The entry on S. Placentia Avenue will provide access to the parking structure, catering to all visitors, future residents, apartment employees, and residents of the project. Both entry points, along W. Orangethorpe Avenue and S. Placentia Avenue, will facilitate ingress and egress via right turns only.

Electrical and telecommunication utility connections are planned to be obtained from existing overhead poles on the west side of S. Placentia Avenue. Gas connections are intended to be made to the existing gas main along S. Placentia Avenue. Sewer, water, and storm infrastructure will be linked to existing systems in S. Placentia Avenue and W. Orangethorpe Avenue.

## **PROJECT CHARACTERISTICS**

### **Government Code Compliance – General Plan Amendment**

In accordance with Government Code Section 65350, a city may amend their respective General Plans, including the Land Use Element several times per year. Subsequent to such an amendment, in accordance with Government Code Section 65860, the City shall bring its zoning ordinance into consistency with its adopted General Plan. The proposal includes a SPA to allow mixed-use (Residential-Commercial Development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4-Specific Plans, Table 2-5-General Plan/Zoning Relationship-Specific Plans, and Table 2-7-General Plan Land Use Designation – Potential Development Buildout for the proposed mixed-use development. To retain consistency between the City's General Plan and zoning designations, the existing General Plan Land Use tables need to be amended to allow mixed-use as a permissible land use category.

**Applicable Code Section – Placentia Municipal Code**

The subject property currently has a General Plan Land Use Designation of “Specific Plan” and is zoned Specific Plan No. 5 (SP-5). The project will be required to comply with the development standards and use requirements set forth in the Placentia Municipal Code (PMC) for developments located on properties within the SP-5 Zoning District. Since neither the General Plan’s land use designation of “Specific Plan” for the project area nor the zoning of SP-5 identify mixed-use (Residential-Commercial Development) and parking structures as allowable land uses, nor do development standards exist to address multifamily residential/mixed-use developments, a SPA is required to amend SP-5 pursuant to Section 23.96.010 of the PMC. Pursuant to PMC Section 23.75.010(a), construction of new buildings requires a DPR to be reviewed and approved by the Planning Commission. Furthermore, in accordance with PMC Section 23.96.040, a SPA requires the Planning Commission to review and provide a recommendation of the proposed SPA before it is considered for final action by the City Council. Given the interrelated nature of the GPA, SPA, and DPR, these entitlements have first received a recommendation from the Planning Commission and now await a final decision by the City Council.

**Subject Site and Surrounding Land Uses**

The table below illustrates the site and surrounding existing land uses, General Plan Land Use designation and zoning:

<b>Location</b>	<b>Existing Land Use</b>	<b>Land Use Element General Plan Designation</b>	<b>Zoning Map Designation</b>
<b>Existing</b>	Vacant Car Dealership Site	Specific Plan	Specific Plan No. 5 (SP-5)
<b>Proposed</b>	Five-Story, 248-Residential-Unit Mixed-Use Building and Six-Level Parking Structure	Specific Plan	SP-5
<b>North</b>	Three-Story Office Building Containing Interface Rehab, Inc. & Maxum Therapy	Specific Plan	SP-5
<b>South (Adjacent to the Site &amp; Across W. Orangethorpe Avenue)</b>	Fast Food Restaurant (Jack in the Box), 7-Eleven and Gas Station, Twin Palms Mobile Home Park	Specific Plan, Commercial Manufacturing, & Low Density Residential	SP-5, C-1 (Neighborhood Commercial), & R-1 (MHP) (Single Family Residential – Mobile Home Park)

<b>East</b>	Industrial Uses	Specific Plan & Industrial	SP-5 & Manufacturing (M)
<b>West (Across S. Placentia Avenue)</b>	City of Fullerton – Multi-tenant Industrial Park	City of Fullerton – Industrial	City of Fullerton – Commercial Manufacturing

**ZONING COMPLIANCE ANALYSIS**

**Site Development Standards**

The project is located within the Parcel No. 9 Subdistrict of the SP-5 Specific Plan District. Specific Plans are similar to Zoning districts in that they detail permitted uses and development standards among other things. Due to the requested zone change via SPA 2021-01, the proposed project cannot be analyzed under the current SP-5 development requirements, as these regulatory standards do not exist for this type of proposed development.

The applicant has submitted customized development standards specifically for this project. These standards accommodate the development of a mixed-use building with a parking structure, which are otherwise prohibited land uses within SP-5. The applicant requests incorporating the land uses and development standards into SP-5, including new front, side, and rear building setbacks, commercial floor area ratio, residential density maximum, and reduced onsite parking requirements.

Currently, the proposed mixed-use development is prohibited by code. However, the City Council may approve the GPA and SPA amendments, and DPR. The SPA is intended to address the inconsistency and make the project fully compliant with the development standards, pending the SPA's approval.

The following matrix provides a summary of the development’s compliance with the proposed SPA development standards:

<b>APPLICANT’S PROPOSED AMENDMENT STANDARDS</b>	<b>TOD STANDARDS</b>	<b>APPLICANT’S MIXED USE PROJECT</b>
<b>Floor Area Ratio</b> 1.0 Commercial FAR Maximum  No Residential FAR Maximum	<b>Floor Area Ratio (FAR)</b> No FAR  No FAR	0.02 FAR  Complies
<b>Density Range</b> 65 to 95 dwelling units/acre	<b>Density Range</b> 65 to 95 dwelling units/acre	91.2 dwelling units/acre
<b>Dwelling Unit Size</b> Studio Unit – 500 sf. min. 1 Bed Unit – 575 sf. min.	<b>Dwelling Unit Size</b>	Studio Unit – 534 sf. (S1A Unit) 1 Bed Unit – 591 sf. (A1A Unit)

2 Bed Unit – 800 sf. min.	No minimum sf for unit bedroom type. Max. 3 bedrooms per unit.	2 Bed Unit – 1,026 sf. (B1A Unit)
<b>Height</b> 75 ft. max.	<b>Height</b> **5-stories maximum, <b>not to exceed 68 ft.</b>	68 ft. 6 in.
<b>Setbacks</b> Front Yard Setback 10 ft. min.  Side Yard Setback 10 ft. min.  Rear Yard Setback 10 ft. min.*	<b>Setbacks</b> Front Yard Setback 3 ft. min/15 ft. max.  Side Yard Setback 0 ft.  Rear Yard Setback 10 ft.	Front Yard Setback 10 ft.  Side Yard Setback 12 ft.  Rear Yard Setback 10 ft.
<b>Common or Private Open Space</b>  Common Open Space 18,600 sf. Min.  Private Open Space – May be provided in balconies with minimum depth of 3 ft.	Common Open Space 50 sf/unit @ 12,400 sf  **Private Open Space <b>64 sf/unit @ 15,872 sf</b>	Approx. 10,250 sf. - Pool Area 6,416 sf. - Interior Amenity Area <b>*Total – 16,666 sf. (Not In Compliance)</b>  Private Open Space 6,416 sf  <i>*According to the proposed development standards, required setbacks cannot be counted as common open space.</i>
<b>Lot Coverage</b> 85% max. (100,760 s.f.)	<b>Lot Coverage</b> No lot coverage standard.	68% (80,653 s.f.)
<b>Parking</b> See table below for parking analysis.		

\*Subject to the approval of SPA 2021-01

\*\*Does not comply with TOD District development standards

## **Other Departments Concerns and Requirements**

The Divisions of Planning and Building, Public Works Department, Police Department, and Fire and Life Safety Department have reviewed the application and submitted comments but expressed concerns with the proposal. While all applicable code requirements and conditions of approval were not been incorporated into the draft resolution of the Planning Commission, Resolution No. 2024-60 (Attachment No. 2) includes all applicable code requirements and conditions of approval should City Council approve GPA 2022-01, SPA 2021-01, and DPR 2021-02.

### **ISSUES ANALYSIS:**

#### **INCONSISTENCY WITH THE GENERAL PLAN**

The General Plan features policies that promote the reinvestment of underutilized properties while being sensitive to the suburban atmosphere and requires new developments to provide adequate improvements and pay impact fees to offset the demand costs on city services and facilities. The proposed development and subdivision are not consistent with the following Land Use, Mobility, Economic Development, Health Wellness and Environmental Justice, Safety, and Housing Elements goals, actions, programs, and policies of the General Plan:

#### Land Use Element

Goal LU-2: Ensure that new development is compatible with surrounding land uses, the circulation network, and existing development constraints.

Policy LU-2.1: Where residential/commercial Mixed-Use is permitted ensure compatible integration of adjacent uses to minimize conflicts through site planning, development standards, and architectural compatibility.

Policy LU-2.2: Develop residential and commercial design guidelines to both protect existing development and allow for future development that is attractive, compatible, and sensitive to surrounding uses.

Policy LU-2.4: Large, contiguous vacant or underutilized parcels should be comprehensively planned for development to be compatible with adjacent neighborhoods.

Policy LU-2.21: Ensure development provides adequate infrastructure improvements area provided to support new multi-family development, including on-site recreational amenities.

Policy LU-5.6: Improve roadway corridor aesthetics with implementation of a streetscape program that includes median island beautification and enhanced City entry locations.

The proposed mixed-use development project is unlikely to be compatible with the surrounding land uses. Introducing a high-density, residential mixed-use development into an area primarily characterized by light industrial, hospitality, commercial, and low-density residential uses may lead to conflicts. Inadequate attention has been given to establishing a smooth transition between these diverse land uses. Additionally, there is a noticeable absence of vision planning aimed at accommodating residents intending to live within the project. This includes the creation of a streetscape conducive to walkability and multimodal traffic flow. Given these shortcomings, the project is deemed to conflict with the goals and policies outlined in the General Plan's Land Use Element.

### Mobility Element

Policy MOB-2.2: Ensure adequate capacity to accommodate the traffic generated by land uses within the City, while balancing the needs of the pedestrian, cyclists and other multi-modal users.

Policy MOB-2.6: Require new development to conform to the standards and criteria of the City of Placentia and other mandated programs. This includes mitigation of traffic impacts to the surrounding street system as well as ensuring new developments manage their parking onsite with no impact to surrounding public streets.

Policy MOB-2.13: Encourage the development of aesthetic streetscape to promote a positive City image and provide visual relief and traffic calming benefits.

Policy MOB-3.4: Implement adequate sidewalks and crosswalks to meet the requires uses and needs, which serve to encourage alternative modes of transportation.

Policy MOB-4.14: Require that new streets or developments contain adequate right-of-way for bicycle lanes, where appropriate.

Aside from the onsite improvements to accommodate the proposed mixed-use development, there will be minimal public enhancements within the public right-of-way to promote alternative transportation options. A pull-out stop street cutout is provided for emergency vehicles along S. Placentia Avenue, but beyond this, very few public improvements are proposed to protect pedestrians and facilitate multi-modal transportation. The project lacks protected bike lanes, streetlights, street furniture, bicycle racks, and street trees. Despite being adjacent to two major thoroughfares, the development includes minimal improvements to encourage walkability and bicycle ridership in and around the site.

Additionally, the proposed reduction in parking requirements below those specified in the City's TOD District is likely to lead to parking overflow onto neighboring streets and properties. This issue has been observed by city staff in similar developments in areas better suited to encourage walkability and multi-modal transportation. Unlike other developments in the city that were the first

of their kind, this particular project does not feature any of the master planning efforts that made those developments successful.

Key missing documents include a streetscape master plan, infrastructure planning, transportation/mobility planning, and human/walkability planning. Additionally, the development lacks fiscal planning, as it does not include specialized Development Impact Fees or a Community Facilities District to ensure its long-term fiscal sustainability.

Economic Development Element

Action ED-2.2-1: Placentia's business attraction efforts should be targeted primarily towards businesses which have the following characteristics, in order of priority: 1) Sales tax generating; 2) Property tax enhancement; 3) Other revenue enhancements; and 4) Will result in infrastructure improvement.

The proposed mixed-use development project entails the permanent removal of a sustainable tax-producing property crucial for funding city services and programs. Currently, the city allocates 3-5% of its land area to commercial uses. Converting this land for residential purposes jeopardizes future revenue streams, potentially transitioning from a source of income to an expense for the city in the near future. This proposed project fails to align with the objectives outlined in the General Plan's Economic Development Element, directly conflicting with the plan's aim to uphold and sustain viable revenue streams.

Health, Wellness, & Environmental Justice Element

Policy HW/EJ-4.1: Provide higher-density and infill mixed-use development affordable to all incomes on vacant and underutilized parcels throughout the City.

Policy HW/EJ -5.9: Continue to implement streetscape improvements to enhance access, lighting, safety and experience for pedestrians, bicyclists, transit users, and motorists. Focus improvements in areas with the highest need, such as Old Town, DACs, mixed-use corridors, and key intersections.

Policy HW/EJ -10.1: Promote land use patterns that reduce driving and promote walking, cycling, and transit use.

Policy HW/EJ - 10.2: Discourage locating truck routes on primarily residential streets and in DACs.

Policy HW/EJ- 12.3: Avoid locating new homes, schools, childcare and elder care facilities, and health care facilities within 500 feet of freeways, urban roads with 100, 000 vehicles/day, or rural roads with 50,000 vehicles/day.

Policy HW/EJ - 12.9: The City shall continue to minimize stationary source pollution through the following:

- Ensure the industrial and commercial land uses area meeting existing SCAQMD air quality thresholds by adhering to established rules and regulations
- Encourage the use of new technology to neutralize harmful criteria pollutants from stationary sources.
- Reduce exposure of the City's sensitive receptors to poor air quality nodes through smart land use decisions.

Policy HW/EJ -13.10: Promote land use patterns that are transit, bicycle, and pedestrian-oriented and have a mix of uses, especially neighborhood serving businesses, within walking distance of homes and workplaces. Encourage multi-modal transportation with land use patterns that are transit, bicycle and pedestrian-oriented, and have a mix of uses.

The proposed mixed-use development does not align with several city policies aimed at sustainable urban development and public health. Its location in a non-residential improved area, rather than on vacant or underutilized parcels, contradicts Policy HW/EJ-4.1. The project fails to enhance streetscape access, safety, and experience as required by Policy HW/EJ-5.9, due to the absence of essential infrastructure such as protected bike lanes, streetlights, and pedestrian amenities.

Moreover, the project does not support land use patterns that reduce driving and promote walking, cycling, and transit use, falling short of Policies HW/EJ-10.1 and HW/EJ-13.10. Its proximity to major thoroughfares potentially exposes residents to high traffic-related pollution, conflicting with Policy HW/EJ-12.3. Additionally, the development does not adequately address air quality concerns as per Policy HW/EJ-12.9, nor does it consider the policy of discouraging truck routes near residential areas (Policy HW/EJ-10.2). Overall, the project fails to meet the city's goals for higher-density infill development, improved streetscapes, reduced reliance on cars, and protection of public health and safety.

#### Safety Element

Policy SAF – 4.8: Require enhanced landscaped buffers in industrial-zoned areas that abut residential zones, consisting of more densely planted trees in setback areas.

Policy SAF – 4.9: Prohibit outdoor industrial operations in industrial zones that abut residential areas.

Although these policies are primarily intended to address new industrial uses adjacent to residential areas, the underlying principle is to buffer sensitive land uses from more intense activities, such as those associated with industrial operations. This principle also applies when placing residential uses next to industrial zones. Industrial operations often involve outdoor activities that generate noise, odors, and vibrations, which are incompatible with residential environments.

Locating residential units adjacent to industrial uses without meaningful buffers exposes residents to disturbances that would otherwise be unacceptable if the situation were reversed. Moreover, this arrangement may unfairly compel existing businesses to alter their operations in response to complaints from new residents, which can be perceived as unjust.

Housing Element

Goal HE-1: Housing Supply and Variety: Develop and maintain an adequate supply of housing that varies sufficiently in cost, size, type, and tenure to meet the economic and social needs of existing and future residents.

Program HE-1.13: Development of Housing for Larger Families: The City shall encourage incorporation of units with 3 or more bedrooms in for-sale and rental housing developments to accommodate the needs of larger families through activities such as technical assistance, expedited processing, and flexibility in development standards.

Goal HE-3: Neighborhood Preservation: Encourage activities that conserve and improve exiting residential neighborhoods including a housing stock that is well maintained and structurally sound, and with adequate services and facilities provided; and having a sense of community identity.

The proposed mixed-use development project lacks provisions for housing that sufficiently cater to varying income levels in terms of affordability, size, and type. There are no affordable units planned, and unit costs will be subject to market forces, exacerbating the scarcity of affordable housing units. Additionally, minimal effort has been made to cultivate a sense of community for future residents. There is a lack of long-term planning to enhance walkability and establish a multimodal streetscape. Furthermore, the development fails to integrate with nearby residential neighborhoods, hindering connectivity and cohesion within the community.

Housing Element

The City of Placentia General Plan was comprehensively updated in October 2019, with the exception of the Housing Element which was adopted in 2014. State planning law mandates that jurisdictions review and update their Housing Elements every eight years in order to remain relevant and useful, and to reflect the community's changing housing needs via their Regional Housing Needs Assessment (RHNA). The 2021-2029 Housing Element is the "Sixth Cycle" Housing Element addressing the planning period from October 2021 to October 2029. On October 19, 2021, the City Council reviewed the draft Housing Element for the Sixth Cycle and directed Staff to transmit the draft Element to the California Department of Housing and Community Development (HCD) for review. Staff obtained comments from the HCD, and on January 18, 2022, this item was heard by City Council and direction was given to staff regarding strategies for creating additional housing capacity to accommodate the RHNA over the next eight years. The item was continued to March 15, 2022, and at that time, the Housing Element was adopted. On May 16, 2022, HCD issued a findings letter stating that revisions were still necessary to comply with State Housing Element Law. Staff resubmitted several versions of revised Housing

Elements in August 2023, November 2023 and in January 2024. On February 29, 2024, the City of Placentia received a finding of substantial compliance from HCD regarding the Housing Element.

A crucial component of a city's Housing Element is the Sites Inventory, which is a part of its overall comprehensive plan for housing development. Essentially, the Sites Inventory provides an assessment of available land within the city that is suitable for housing development. This inventory typically includes various types of sites such as vacant land, underutilized properties, and redevelopment opportunities.

The purpose of the Sites Inventory is the following:

- Identify potential locations for new housing development: By cataloging available land parcels, the Sites Inventory helps city planners and policymakers understand where new housing could be built to meet the community's needs.
- Assess the capacity for housing production: The inventory evaluates the suitability of each site for housing development based on factors such as zoning regulations, infrastructure availability, environmental considerations, and market feasibility.
- Ensure compliance with state housing requirements: State laws often mandate that cities maintain an adequate supply of land for housing development to accommodate projected population growth and address housing affordability issues. The Sites Inventory helps demonstrate compliance with these legal requirements.
- Inform housing policies and strategies: City officials use the information gathered in the Sites Inventory to formulate housing policies and strategies that promote balanced and equitable housing development across different neighborhoods and demographics.
- Overall, the Sites Inventory serves as a foundation for the planning and implementation of housing initiatives within a city, guiding decisions related to land use, zoning, infrastructure investment, and affordable housing programs.

The Sites Inventory was created by identifying existing residentially designated properties that could support higher-density housing, considering their compatibility with surrounding land uses and the potential for adaptive reuse of underperforming sites. For example, in the High Density Residential (R-3) Zoning District, the density factor was raised from 25 du/acre to 30 du/acre to increase housing units and meet affordability income levels set by HCD. Additionally, the expansion of the TOD Zoning District and rezoning of industrial properties helped the city meet the RHNA benchmark.

However, the subject site was not included in the Sites Inventory for several reasons. Firstly, it is situated within a General Plan Land Use designation and Zoning District that does not permit residential uses. Moreover, no long-term planning has addressed the necessary infrastructure for safe pedestrian mobility or land uses that support residential needs, such as open space and

essential services. Secondly, the city's land area devoted to commercial uses, which generates sustainable tax revenue, comprises only 3-5% of the overall land area. The subject site had been a continuous tax-producing property prior to being vacated by PCJ on May 31, 2018. Losing this revenue stream would impact funding for essential services such as public safety, infrastructure, and parks and recreation. Importantly, if this project is denied, the City will not be inconsistent with any current state legislation or the City's certified Housing Element.

## **LAND USE COMPATIBILITY**

While the project seeks to revitalize a vacant and deteriorated former car dealership property, it's crucial to acknowledge that its design may not harmonize with the surrounding area. This site is bordered by major street thoroughfares lacking multimodal infrastructure, including safe pedestrian pathways or protected bike lanes. Adjacent properties primarily host light industrial uses, offices, hotels, and vehicle-centric developments. South of the property, residential areas consist of single-family homes with a density of 6 dwelling units per acre, but they are disconnected from the development without meaningful street connections. The proposed development's height will overshadow neighboring structures, predominantly single to two-story buildings, creating a visual disruption in the area. Despite aspirations to emulate the success of the Packing House District ("TOD"), the project falls short in implementing physical right-of-way enhancements to achieve its objectives.

The envisioned development is designed to function autonomously from neighboring properties, without integrating improvements to the public right-of-way. This lack of connectivity risks isolating future residents from vital amenities like grocery stores, parks, libraries, and other facilities. The project's planning lacks depth and fails to incorporate conveniences essential for the well-being of future residents.

### TOD vs Orangethorpe Avenue Mixed Use

The proposed mixed-use development and standards for Parcel 9 of SP-5 have been designed to resemble the TOD Zoning District as outlined in PMC Section 23.111.040, Development Standards. In TOD, setbacks vary between 3 to 15 feet to promote high-quality architecture and site design, aiming to activate the sidewalk and streetscape. This activation is supported by a streetscape master plan that mandates public improvements of eight to nine feet wide sidewalks for safe pedestrian walkability, minimizing the overall occurrence of driveways along Crowther Avenue, and incorporating public amenities such as street trees, street furniture (benches and bike racks), designated crosswalks, landscaped street medians, bike lanes, pedestrian and roadway streetlights, decorative trash cans, and on-street parking.

These measures were implemented with the expectation of a nearby Metrolink station at the 100 block of W. Crowther Avenue, a collector street designed to foster pedestrian activity, minimize vehicle use, and reduce speed limits with unsignalized stop signs and bulb-outs. The proximity to the future station justified higher densities, reduced setbacks, minimized parking requirements, increased building height, and various street amenities to enhance overall walkability and promote a multimodal environment.

However, the proposed mixed-use development does not include any land dedication to expand the sidewalk width or provide the street amenities specified in the TOD Zoning District. The existing property borders high volume arterial streets with varying sidewalk widths on both Placentia Avenue and Orangethorpe Avenue, with some sections as narrow as 4 feet and several existing impediments, including power poles, light poles, and driveways without right-of-way safety features as sidewalk "bulb-outs" used for pedestrian and motorist safety. The applicant has verbally indicated they do not plan to construct or fund additional right-of-way infrastructure to support the proposed development. Without the required sidewalk widening, the project may appear incongruous from a planning perspective, with narrow sidewalks and parkway areas juxtaposed against a five-story high-density residential building.

Parking Analysis

SP-5 does not have parking standards for mixed-use or residential uses. The proposed development mimics the TOD density parking standards and is the only comparative land use type for this project proposal. It should be noted that the TOD has the City’s lowest parking standards due to the fact there is a planned Metrolink Station for the Old Town area. The applicant has represented that the proposed development is very similar to the TOD high-density residential area, without being in close proximity to a high transit priority area or being an affordable housing development. In a comparison between the proposed project and the City’s TOD parking standards, the proposed development (as currently submitted) does not even meet the minimum parking obligation of the TOD district. As noted below, the minimum amount of parking required with the TOD District for a project of this size, scale, and number of units would be 337 and the maximum would be 469; however, the applicant’s current submittal only provides 335 spaces.

Unit Type/Land Use	Unit Quantity/Size	Proposal – Orangethorpe Avenue Mixed Use			TOD	
		Proposed Requirement	Qty (Min./Max.)	Provided	PMC	Qty (Min./Max.)
Studio	44	1 min./1 max.	44	<b>44</b>	1 min./1 max.	44
1-Bedroom	136	1 min./1 max.	136	<b>136</b>	1 min./1.5 max.	136/204
2-Bedroom	68	1 min./1.5 max.	102	<b>102</b>	1.5 min / 2 max.	102/136
3-Bedroom	-	2 min./2 max.	-	-	2 min./2.5 max.	0
Guest/Leasing	-	Spaces per 5 units: 1 min./1 max.	50	<b>53</b>	Spaces per 10 units: 2 min / 3 max.	50/75
Retail	2,500	Retail & Residential	0	<b>0</b>	Spaces per 1,000	5/10

		parking may be shared.			SF: 2 min. / 4 max.	
<b>TOTAL</b>	<b>248</b>		<b>332</b>	<b>335</b>		<b>337/469</b>

An additional concern is the problematic nature of both commercial patrons and residential guests utilizing the same parking stalls. This approach deviates from the standards outlined in the off-street parking requirements of the PMC, including the TOD Zoning District, which mandates the separation of residential and commercial parking for mixed-use developments. The commingling of parking spaces will increase the demand on parking and likely result in overflow onto adjacent properties and streets such as Hundley Way, Dunn Way, and W. Kimberly Avenue.

The city has experienced similar parking overflow issues with projects like the Herald development at 132 E. Crowther Avenue. Despite fully complying with the TOD parking standards and providing 78 spaces more than the minimum required, the Herald has encountered parking spillage onto neighboring properties and streets. This overflow has caused an inconvenience for residents, visitors, and local businesses, creating a strain on community relations and local infrastructure.

The Herald development includes 215 total units with a density factor of 73 dwelling units per acre within a zoning district specifically designed for high-density, mixed-use developments. Even with these considerations, the project has struggled to manage its parking demands effectively. The proposed development, in contrast, is much larger in scale and is situated in an area that does not provide the necessary amenities and infrastructure to support the proposed density factor and reduced parking rate. Furthermore, all proposed developments approved and/or constructed within the TOD Zoning District have lower density and higher parking standards compared to the proposed development. The table below provides a comparison of the approved projects within the TOD Zoning District in relation to the proposed development.

TOD Parking vs Orangethorpe Avenue Mixed Use								
SPECIFIC PLAN 5			TOD					
Orangethorpe Mixed Use (248 Units/ 91 du/ac)			Herald (215 Units/ 73 du/ac)		Cenza (418 Units/ 83 du/ac)		Metro at Melrose (189 units/ 89 du/ac)	
Proposed Req'ts	Provided	TOD Req'ts	Req'd (min./ max.)	Provided	Req'd (min./ max.)	Provided	Req'd (min./ max.)	Provided
332	335	337/469	316/445	394	591/793	626	257/374	272

The proposed project's significantly higher unit count and density, combined with the lack of infrastructure, suggest that parking challenges will be even more pronounced. The surrounding streets and properties are ill-equipped to handle the additional overflow, which could lead to increased traffic congestion, limited availability of parking for existing residents and businesses, and potential safety hazards.

Furthermore, the lack of dedicated parking for residents and commercial patrons may deter potential tenants and businesses from occupying the new development, negatively impacting its long-term viability and success. Ensuring adequate and separate parking facilities is essential for maintaining the quality of life for residents, supporting local businesses, and sustaining the overall appeal of the area.

While mixed-use developments are integral to urban growth and sustainability, it is crucial to address parking demands adequately to avoid adverse effects on the community. The proposed development's current parking plan is insufficient and may exacerbate existing issues, highlighting the need for a more comprehensive approach to parking management and infrastructure planning.

### Ongoing Operations

The ongoing operations of the proposed development raise concerns related to routine services for both the development itself and its residents. The building's size, scale, and land coverage limit onsite vehicular circulation for oversized vehicles. This will hinder activities such as trash disposal, deliveries (e.g., furniture, UPS, Amazon), and resident move-ins/move-outs due to a lack of designated parking areas for such vehicles.

Additionally, Republic Services noted in a comment letter that the proximity of existing industrial businesses to the proposed residential development requires service adjustments. Early morning pickups (before 7:00 AM) are not allowed due to noise intrusiveness affecting residential areas, impacting overall operations for nearby businesses.

Furthermore, there are limited options for parking oversized vehicles onsite. The applicant has stated that moving trucks will have designated times to minimize onsite traffic. However, coordinating move-ins/move-outs to a specific schedule seems impractical, given the daily lives and schedules of 248 residential units.

### **Architecture**

The architecture of the building reflects a contemporary interpretation of Brownstone style architecture, blending traditional elements with modern design features. While traditional Brownstone buildings, originating in the 19th century, are characterized by brown sandstone facades, stoops, and intricate details, modern interpretations integrate sleeker lines, larger windows, and updated materials.

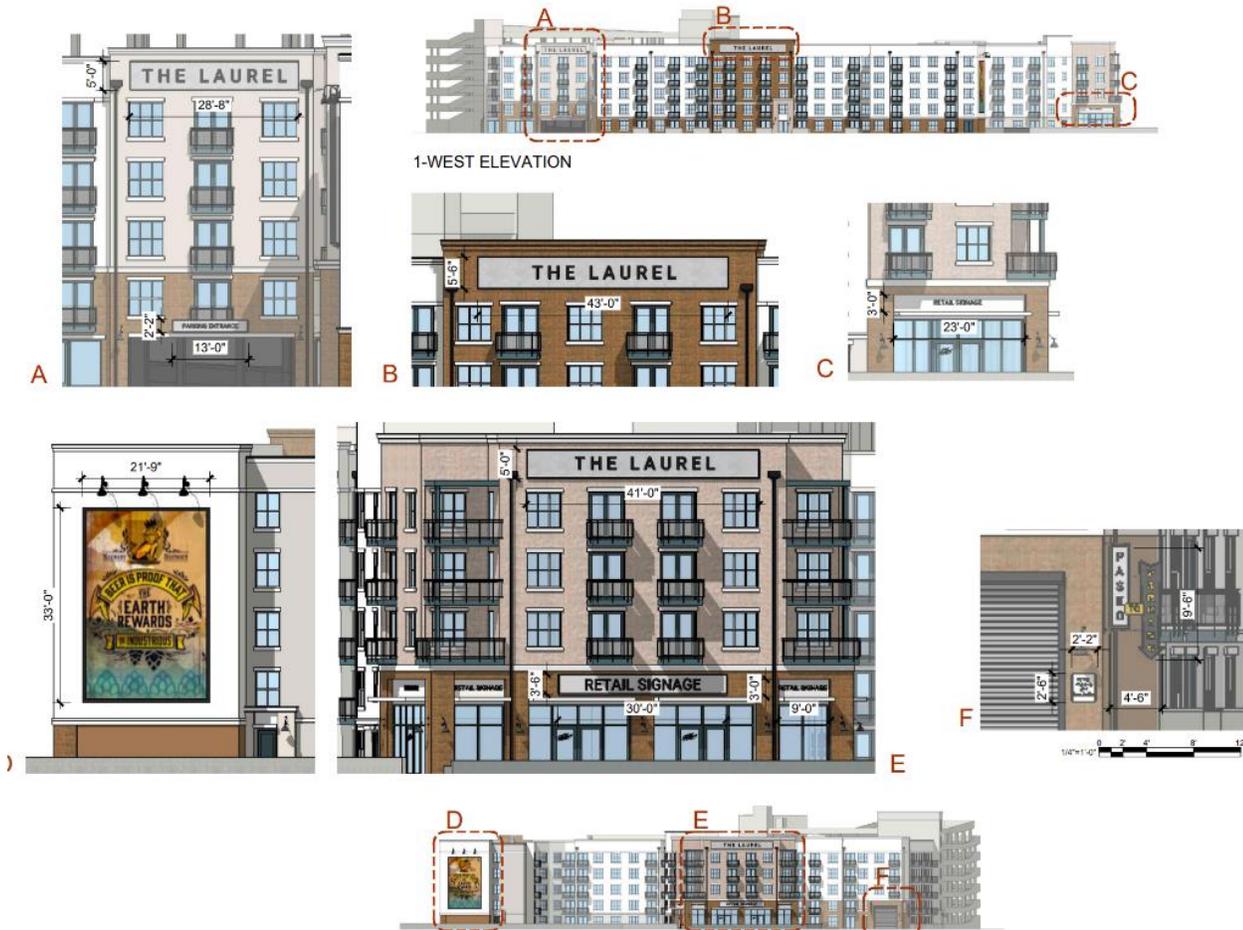
These modern Brownstone apartment buildings typically comprise multiple floors, each accommodating multiple apartment units. Inside, the layouts are spacious and open, boasting high ceilings and abundant natural light. Amenities such as rooftop terraces, private balconies, fitness centers, and communal spaces are often included, mirroring the proposal's vision.



Found predominantly in urban areas like New York City, Brooklyn, Boston, and Philadelphia, these buildings offer a blend of historic charm and contemporary living. They attract individuals seeking both classic architectural allure and modern conveniences.

The building's design incorporates numerous facade breaks, providing shade, relief, and transitions in wall materials. The first-floor features high ceilings for commercial storefronts, anchored by approximately 20 ft. high brick veneer. A horizontal course band separates the base from the upper stories, which are treated with either brick veneer or painted stucco. Lighter colors on the upper floors prevent a monolithic appearance. Windows are strategically placed to maximize natural light in each unit. Wrought iron-style balconies reminiscent of 19th-century fire escapes adorn the building.

The parking structure, nestled within the building's structure, is intentionally designed to minimize its visual impact on the overall architecture. Its purpose is to blend discreetly rather than draw attention as a focal point. Additionally, certain blank facades on the building present opportunities for potential murals, which could pay homage to the community's historical fabric and the industries pivotal to its development. However, while the building's design offers aesthetic appeal, its size and scale do not align with the neighborhood context. It would overshadow all existing single-story and two-story buildings in the vicinity, offering minimal connection to the immediate surroundings.



## ECONOMIC DEVELOPMENT ANALYSIS

The City of Placentia engaged Jon Stover & Associates to conduct an economic development impact analysis. The purpose of this analysis is to assess the economic impact of permanently removing a viable commercial tax-producing property in favor of a proposed mixed-use high-density residential development.

The City of Placentia has undertaken extensive planning and research to evaluate the feasibility and impacts of various potential development scenarios for the subject site. This study builds upon the City's prior due diligence, using submitted development proposals to inform assumptions and inputs for the economic, fiscal, and community impact analysis.

The analysis aims to achieve several key objectives. It evaluates the economic impact, assessing potential changes in revenue from property taxes, sales taxes, and other commercial activities resulting from the transition of the site from commercial to residential use. Additionally, it assesses the fiscal implications for the City's budget, considering potential increases in municipal service costs required to support the new residential population. Furthermore, the analysis examines the community impact, analyzing how the proposed residential development aligns with the City's

long-term planning goals and community needs, including housing availability, infrastructure demands, and overall quality of life for residents.

The impact analysis reveals that a potential hotel development would yield the most significant overall economic, fiscal, and community benefits for the City, compared to a residential development or a new car dealership. Specifically, a hotel development aligns closely with the City's planning objectives by:

1. **Diversifying Revenue Streams:** A hotel would boost Transient Occupancy Tax (TOT) revenue, providing a stable and significant source of income for the City.
2. **Attracting New Retail Businesses:** The presence of a hotel is likely to draw additional retail establishments, enhancing the local economy.
3. **Creating Job Opportunities:** A hotel would generate numerous employment opportunities, both during construction and ongoing operations.
4. **Adding Mixed-Use Projects to Major Corridors:** The development would contribute to the City's goal of enhancing major corridors with mixed-use projects, promoting a vibrant and active community environment.

Furthermore, the hotel development scenario offers the highest fiscal return to the City over a fifteen-year period, reinforcing its suitability as the preferred option.

In contrast, a residential development is projected to have a slight negative annual fiscal impact once operations stabilize. This is due to the increased demand for municipal services required to support new residents. Additionally, this type of development does not conform to the current SP-5 zoning. The City has designated other areas for high-density residential use, which are more pedestrian-friendly, transit-accessible, and closer to retail amenities.

Retaining the site as a car dealership would not meet the City's objectives to densify along major corridors or introduce new community-serving retail. However, a new car dealership would still be beneficial by activating the currently vacant site and generating substantial sales tax revenue.

Based on these considerations, this study recommends prioritizing the redevelopment of the site as a hotel with on-site retail uses. It is crucial to note that this impact analysis is distinct from a market analysis. The impact analysis assumes that each development scenario is financially viable and capable of sustaining operations for at least fifteen years. The City has already received specific proposals for each proposed use, indicating developer interest and suggesting that a City-conducted market analysis may not be necessary (Attachment 11). However, should demand weaken, the City might consider conducting additional market research.

## **CEQA**

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code §§ 21000-21177) and pursuant to §15063 of Title 14 of the California Code of Regulations (CCR), the City of Placentia, acting in the capacity of Lead Agency, is required to undertake the

preparation of an Initial Study to determine if the proposed Project would have a significant environmental impact. An initial study was conducted by Harris & Associates, a professional environmental firm. The document evaluated all CEQA issues contained in the latest Initial Study Checklist form. The evaluation determined that either no impact or less than significant impacts would be associated with all environmental categories, excluding Cultural Resources, Geology and Soils, Hazards and Hazardous Materials, and Tribal Cultural Resources. All require implementation of mitigation measures to reduce impacts to a less than significant level. The required mitigation has been proposed in this Initial Study to reduce impacts for these issues to a less than significant impact. The city acquired the services of a third-party environmental consultant, PGN, to review and evaluate the merits of the submitted environmental analysis for completeness and accuracy.

A Notice of Availability and Intent to adopt a Mitigated Negative Declaration (NOI) was issued for this project by the City of Placentia. The Initial Study and Notice of Availability and Intent to adopt a Mitigated Negative Declaration was circulated for 30 days of public comment because this project is considered a project of regional significance. This 30-day review period ran from November 29, 2023, to December 28, 2023, but was extended to January 4, 2024, due to an approximately two-week closure of City Hall resulting from the Christmas and New Year's holidays. Pursuant to the California Environmental Quality Act Guidelines (CEQA) set forth in Title 14 CCR Section 15270, Projects Which Are Disapproved, are determined to be statutorily exempt. Therefore, the recommendation of denial requires no further environmental action by the City Council.

Should the City Council choose to approve the project and adopt Mitigated Negative Declaration (MND) No. MND 2021-01, a comprehensive Mitigation Monitoring and Reporting Program (MMRP) has been prepared to ensure that the project will not have a significant environmental impact. The Mitigation Measures, as outlined in the MND, have been incorporated into Resolution No. R-2024-60 as conditions of approval. These measures are specifically designed to reduce any potential environmental impacts to a less than significant level. MND 2021-02 is included as an attachment to this report for the City Council's consideration in adopting the MND.

### **HOUSING, COMMUNITY AND ECONOMIC DEVELOPMENT AD HOC COMMITTEE**

On March 2, 2021, and again on March 25, 2021, the Housing, Community, and Economic Development Ad Hoc Committee reviewed the proposed development project for regulatory compliance, consistency with the General Plan, and overall compatibility with the surrounding environment. The project was evaluated in comparison to other land uses that city staff considered more desirable for maintaining a sustainable, ongoing revenue stream for the City to replace the productive use (new car dealership) which previously occupied the site.

During the discussions, Councilmember Wanke expressed concerns about sewer flows and capacity, specifically questioning the differences in sewer demands between residential and hotel uses. Councilmember Shader raised concerns about the viability of the hotel industry, particularly in the aftermath of the global COVID-19 pandemic. Both Councilmembers emphasized the

importance of objectively evaluating potential alternatives for the site that align with the City's objectives and goals, while also revitalizing the area and assisting the property owner in finalizing the real estate transfer to the applicant. By the end of the meeting, no specific direction was provided, leaving aspects of the project unresolved.

The applicant addressed the concerns raised by both the Committee and City staff. Notably, the applicant expressed refusal to pay Development Impact Fees not currently associated with the project area, such as Transit-Oriented Development (TOD) Development Impact Fees (DIFs), although the impacts to City infrastructure associated with the project had not been properly evaluated. The applicant made it clear that they did not wish to enter into any form of a Development Agreement. It should be noted that proper master planning efforts occurred for similar significant land use/zoning amendments, such as those efforts associated with TOD, Old Town and Chapman Corridor project areas. Staff always recommends master planning efforts to occur prior to or concurrently with a project of the scope and magnitude such as the subject project. Master planning efforts would most likely result in project specific master plans, project area specific DIFs above and beyond existing citywide DIFs, a project area specific CFD and more. Without the applicant agreeing to master planning efforts, nor a Development Agreement, items such as project area specific DIFs, CFD, and proper master planning cannot be addressed.

### **COMMUNITY MEETING**

On Thursday, January 25, 2024, the City hosted a community meeting at the Whitten Community Center to gather public input on the proposed project. The meeting encouraged neighboring property owners, business owners, residents, and stakeholders to share feedback, address concerns, or suggest ideas. Thirteen people attended, including the property owners, applicant, residents, business owners, elected officials, and city staff.

To accommodate those who might feel uncomfortable sharing their thoughts publicly, city staff provided a comment card to all attendees before presenting the project. Most attendees did not offer much feedback and attended primarily to understand the project details. However, one resident provided both verbal and written responses, expressing strong opposition to the project (Attachment 7). The resident argued that the site should remain non-residential to generate income for the city through sales taxes or transient occupancy tax. They contended that rezoning it for residential use would limit revenue and increase demands on city services, raising costs for taxpayers. Past rejections of commercial developments have already cost the city significant sales tax revenue.

The resident also noted interest from hotel groups in the parcel and mentioned that the current owner is in escrow with a developer who may seek city council support to change zoning for their project. Concerns included inadequate parking plans, increased sewer, traffic, water, and power demands, and safety issues related to parking. The area is not suited for Transit Oriented Development, and residential use could exacerbate parking and safety problems.

## **PUBLIC NOTIFICATION**

A legal notice was published in the *Placentia News-Times* on August 22, 2024. Notices were also sent to property owners within a 300-foot radius of the subject property and posted at the Civic Center and on the City website on the same day. As of August 27, 2024, staff received two phone inquiries and written letters from adjacent neighbors expressing concerns about the development project. One phone inquiry came from an adjacent property owner concerned about the potential impact of the development on their tenant's operations. The other was from a representative of a neighboring business seeking additional information about the project and its status.

In addition, four written letters from a nearby resident and neighboring business owners expressed concerns about potential parking overflow onto their properties during both construction and future operations, as well as traffic impacts on S. Placentia Avenue and W. Orangethorpe Avenue (Attachment 7). A fourth letter, sent by a law firm, challenged the merits of Mitigated Negative Declaration No. MND 2021-01. In response, the applicant has provided a rebuttal supporting the MND's conclusions and submitted updated data to reinforce their position (Attachment 12). City staff has no further comments on the fourth letter, as the environmental determinations of the MND have been deemed adequate.

## **PLANNING COMMISSION RECOMMENDATION:**

On July 9, 2024, the Planning Commission held a public hearing to review the proposed GPA, SPA, and DPR and to forward a recommendation to the City Council for final action. Through a unanimous vote, the Planning Commission recommended denial of the GPA, SPA, and DPR to the City Council (Resolution Adopted 5-0-0-2 as recommended).

## **CONCLUSION:**

The proposed General Plan Amendment (GPA 2022-01), Specific Plan Amendment (SPA 2021-01), and Development Plan Review (DPR 2021-02) for the mixed-use development on Orangethorpe Avenue aims to introduce a combination of residential and commercial uses, including parking structures. However, the project fails to adequately address potential impacts on the surrounding environment, infrastructure, and community. It should not be approved due to significant concerns regarding its alignment with the City's long-term sustainability goals, infrastructure capacity, and compatibility with the surrounding built environment. There are unresolved issues regarding whether the project can genuinely meet the City's objectives of maintaining a sustainable revenue stream while revitalizing the area. These concerns strongly suggest that the project may not be in the best interest of the City or its residents.

## **Attachments:**

1. Resolution No. R-2024-56 City Council denial of General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02.

2. Resolution No. R-2024-60 City Council Adoption of Mitigated Negative Declaration No. MND 2021-01 and Adoption of the Mitigation Monitoring and Reporting Program, Approval of General Plan Amendment No. 2022-01 and Development Plan Review No. DPR 2021-02.
3. Ordinance No. O-2024-05 Relating to Specific Plan Amendment No. SPA 2021-01.
4. Mitigated Negative Declaration No. MND 2021-01, Initial Study, MND 2021-01, Mitigation Monitoring and Reporting Program (MMRP), Public Comments and Responses, and Initial Study Appendix (<http://www.placentia.org/index.aspx?NID=776>)
5. Project Plans including the Site Plan, Floor Plans, Building Elevations, Preliminary Landscape Plan, Open Space Plan, Egress Plan, Fire Access Plan, Colored Renderings, Section Elevation Plans, Lighting Plans, Wall and Fence Plans, Colors Received and Dated June 5, 2024
6. Development Impact Analysis prepared by Jon Stover & Associates dated April 2024
7. Public Correspondence
8. Public Hearing Notification
9. Vicinity Map
10. Site Photographs
11. Development Proposals of Interest for Project Site
12. Applicant and Technical Team Responses/Comments
13. Draft Planning Commission Meeting Minutes for July 9, 2024

**RESOLUTION NO. R-2024-56**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA DENYING GENERAL PLAN AMENDMENT NO. GPA 2022-01, SPECIFIC PLAN AMENDMENT NO. SPA 2021-01, AND DEVELOPMENT PLAN REVIEW NO. DPR 2021-02 TO MODIFY THE GENERAL PLAN LAND USE ELEMENT TO PERMIT MIXED-USE (RESIDENTIAL-COMMERCIAL DEVELOPMENT) AS A PERMISSIBLE LAND USE CATEGORY WITHIN PARCEL 9 OF SPECIFIC PLAN NO. 5 BY AMENDING TABLES 2-4-SPECIFIC PLANS, TABLE 2-5-GENERAL PLAN/ZONING RELATIONSHIP-SPECIFIC PLANS, AND TABLE 2-7-GENERAL PLAN LAND USE DESIGNATION – POTENTIAL DEVELOPMENT BUILDOUT, AND AMENDING SPECIFIC PLAN NO. 5 TO ALLOW FOR MIXED-USE (RESIDENTIAL COMMERCIAL DEVELOPMENT) WITHIN SP-5 PARCEL 9 BOUNDARIES AND ESTABLISHING DEVELOPMENT STANDARDS FOR NEW RESIDENTIAL USES, INCLUDING BUT NOT LIMITED TO BUILDING SETBACKS, FLOOR AREA RATIO, RESIDENTIAL DENSITY, DWELLING UNIT SIZE, IN CONJUNCTION WITH THE DEVELOPMENT AND OPERATION OF A FIVE-STORY MIXED-USE BUILDING CONSISTING OF 248 RESIDENTIAL UNITS, UP TO 3,000 SQUARE FEET OF GROUND FLOOR COMMERCIAL RETAIL AND A 6-LEVEL PARKING STRUCTURE ON A 2.72-ACRE SITE, ON PROPERTY LOCATED AT 777 W. ORANGETHORPE AVENUE AND 776 S. PLACENTIA AVENUE (APN 339-112-27.**

**A. Recitals.**

**WHEREAS**, Gilad Ganish, representing Orangethorpe Investment Partners, LLC, (“Applicant” hereinafter), regarding real property located 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (Attachment “A”), filed applications for approval of General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject General Plan Amendment and Development Plan Review requests are referred to as the “Applications”; and

**WHEREAS**, on July 9, 2024, the Planning Commission of the City of Placentia conducted, and concluded, a duly noticed public hearing, as required by law, and recommended that the City Council of the City of Placentia, deny General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02; and

**WHEREAS**, an initial study was prepared to review and consider the environmental impacts of the General Plan Land Use Amendment, Specific Plan Amendment, and the construction and operation of a 248 multi-family residential dwelling unit development, with up to 3,000 square feet of commercial retail space and a 6-level parking structure on 2.72-acres and associated improvements in accordance with the California Environmental Quality Act as codified in Title 14 of the California Code of Regulations ("CCR") Section 15000 et. seq., Public Resources Code Section 21000 et.seq. and the City of Placentia Environmental Guidelines;

**WHEREAS**, the City of Placentia provided notice at least 10 days prior to the public hearing in accordance with California Government Code Section 65090 and the City of Placentia Municipal Code Sections 23.75.035 and 23.96.030 by posting at the Civic Center, publication in a local newspaper, and by direct U.S. mail to all property owners within 300-feet of the proposed project boundaries; and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.**

NOW, THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Placentia as follows:

**Section 1. Findings.** The City Council finds that the Project is incompatible and inconsistent with the City of Placentia General Plan as set forth below:

Land Use Element. The proposed mixed-use development project is unlikely to be compatible with the surrounding land uses. Introducing a high-density, residential mixed-use development into an area primarily characterized by light industrial, hospitality, commercial, and low-density residential uses may lead to conflicts. Inadequate attention has been given to establishing a smooth transition between these diverse land uses. Additionally, there is a noticeable absence of vision planning aimed at accommodating residents intending to live within the project. This includes the creation of a streetscape conducive to walkability and multimodal traffic flow. The proposed development will be inconsistent with the adopted General Plan Land Use designation of the project area of "Specific Plan", General Plan Housing Element and the Parcel No. 9 allowable land uses of SP-5 and Land Use Element Goals and Policies:

A. The project is deemed to conflict with the goals and policies outlined in the City's General Plan Land Use Element as follows:

A. *Goal LU-2:* Ensure that new development is compatible with surrounding land uses, the circulation network, and existing development constraints.

- B. *Policy LU-2.1:* Where residential/commercial Mixed-Use is permitted ensure compatible integration of adjacent uses to minimize conflicts through site planning, development standards, and architectural compatibility.
  - C. *Policy LU-2.2:* Develop residential and commercial design guidelines to both protect existing development and allow for future development that is attractive, compatible, and sensitive to surrounding uses.
  - D. *Policy LU-2.4:* Large, contiguous vacant or underutilized parcels should be comprehensively planned for development to be compatible with adjacent neighborhoods.
  - E. *Policy LU-2.21:* Ensure development provides adequate infrastructure improvements area provided to support new multi-family development, including on-site recreational amenities.
  - F. *Policy LU-5.6:* Improve roadway corridor aesthetics with implementation of a streetscape program that includes median island beautification and enhanced City entry locations.
- B. Mobility Element. Aside from the onsite improvements to accommodate the proposed mixed-use development, there will be minimal public enhancements within the public right-of-way to promote alternative transportation options. A pull-out stop street cutout is provided for emergency vehicles along S. Placentia Avenue, but beyond this, very few public improvements are proposed to protect pedestrians and facilitate multi-modal transportation. The project lacks protected bike lanes, streetlights, street furniture, bicycle racks, and street trees. Despite being adjacent to two major thoroughfares, the development includes minimal improvements to encourage walkability and bicycle ridership in and around the site.

Additionally, the proposed reduction in parking requirements below those specified in the City's TOD District is likely to lead to parking overflow onto neighboring streets and properties. This issue has been observed by city staff in similar developments in areas better suited to encourage walkability and multi-modal transportation. Unlike other developments in the city that were the first of their kind, this particular project does not feature any of the master planning efforts that made those developments successful.

Key missing documents include a streetscape master plan, infrastructure planning, transportation/mobility planning, and human/walkability planning. Additionally, the development lacks fiscal planning, as it does not include specialized Development Impact Fees or a Community Facilities District to ensure its long-term fiscal sustainability.

- 1) *Policy MOB-2.2:* Ensure adequate capacity to accommodate the traffic generated by land uses within the City, while balancing the needs of the pedestrian, cyclists and other multi-modal users.

- 2) *Policy MOB-2.6:* Require new development to conform to the standards and criteria of the City of Placentia and other mandated programs. This includes mitigation of traffic impacts to the surrounding street system as well as ensuring new developments manage their parking onsite with no impact to surrounding public streets.
- 3) *Policy MOB-2.13:* Encourage the development of aesthetic streetscape to promote a positive City image and provide visual relief and traffic calming benefits.
- 4) *Policy MOB-3.4:* Implement adequate sidewalks and crosswalks to meet the requires uses and needs, which serve to encourage alternative modes of transportation.
- 5) *Policy MOB-4.14:* Require that new streets or developments contain adequate right-of-way for bicycle lanes, where appropriate.

C. Economic Development Element. The proposed mixed-use development project entails the permanent removal of a sustainable tax-producing property crucial for funding city services and programs. Currently, the city allocates 3-5% of its land area to commercial uses. Converting this land for residential purposes jeopardizes future revenue streams, potentially transitioning from a source of income to an expense for the city in the near future. This proposed project fails to align with the objectives outlined in the General Plan's Economic Development Element, directly conflicting with the plan's aim to uphold and sustain viable revenue streams.

- 1) *Action ED 2.2-1:* Placentia's business attraction efforts should be targeted primarily towards businesses which have the following characteristics, in order of priority: 1) Sales tax generating; 2) Property tax enhancement; 3) Other revenue enhancements; and 4) Will result in infrastructure improvement.

D. Housing Element. The proposed mixed-use development project lacks provisions for housing that sufficiently cater to varying income levels in terms of affordability, size, and type. There are no affordable units planned, and unit costs will be subject to market forces, exacerbating the scarcity of affordable housing units. Additionally, minimal effort has been made to cultivate a sense of community for future residents. There is a lack of long-term planning to enhance walkability and establish a multimodal streetscape. Furthermore, the development fails to integrate with nearby residential neighborhoods, hindering connectivity and cohesion within the community.

- 1) *Goal HE-1: Housing Supply and Variety*

Develop and maintain an adequate supply of housing that varies sufficiently in cost, size, type, and tenure to meet the economic and social needs of existing and future residents.

2) *Program HE-1.13: Development of Housing for Larger Families*

The City shall encourage incorporation of units with 3 or more bedrooms in for-sale and rental housing developments to accommodate the needs of larger families through activities such as technical assistance, expedited processing, and flexibility in development standards.

3) *Goal HE-3: Neighborhood Preservation*

Encourage activities that conserve and improve exiting residential neighborhoods including a housing stock that is well maintained and structurally sound, and with adequate services and facilities provided; and having a sense of community identity.

- E. Health, Wellness, & Environmental Justice Element. The proposed mixed-use development does not align with several city policies aimed at sustainable urban development and public health. Its location in a non-residential improved area, rather than on vacant or underutilized parcels, contradicts Policy HW/EJ-4.1. The project fails to enhance streetscape access, safety, and experience as required by Policy HW/EJ-5.9, due to the absence of essential infrastructure such as protected bike lanes, streetlights, and pedestrian amenities.

Moreover, the project does not support land use patterns that reduce driving and promote walking, cycling, and transit use, falling short of Policies HW/EJ-10.1 and HW/EJ-13.10. Its proximity to major thoroughfares potentially exposes residents to high traffic-related pollution, conflicting with Policy HW/EJ-12.3. Additionally, the development does not adequately address air quality concerns as per Policy HW/EJ-12.9, nor does it consider the policy of discouraging truck routes near residential areas (Policy HW/EJ-10.2). Overall, the project fails to meet the city's goals for higher-density infill development, improved streetscapes, reduced reliance on cars, and protection of public health and safety.

- 1) *Policy HW/EJ-4.1:* Provide higher-density and infill mixed-use development affordable to all incomes on vacant and underutilized parcels throughout the City.
- 2) *Policy HW/EJ -5.9:* Continue to implement streetscape improvements to enhance access, lighting, safety and experience for pedestrians, bicyclists, transit users, and motorists. Focus improvements in areas with the highest need, such as Old Town, DACs, mixed-use corridors, and key intersections.
- 3) *Policy HW/EJ -10.1:* Promote land use patterns that reduce driving and promote walking, cycling, and transit use.

- 4) *Policy HW/EJ - 10.2:* Discourage locating truck routes on primarily residential streets and in DACs.
- 5) *Policy HW/EJ- 12.3:* Avoid locating new homes, schools, childcare and elder care facilities, and health care facilities within 500 feet of freeways, urban roads with 100, 000 vehicles/day, or rural roads with 50,000 vehicles/day.
- 6) *Policy HW/EJ - 12.9:* The City shall continue to minimize stationary source pollution through the following:
  1. Ensure the industrial and commercial land uses area meeting existing SCAQMD air quality thresholds by adhering to established rules and regulations
  2. Encourage the use of new technology to neutralize harmful criteria pollutants from stationary sources.
  3. Reduce exposure of the City’s sensitive receptors to poor air quality nodes through smart land use decisions.
- 7) *Policy HW/EJ -13.10:* Promote land use patterns that are transit, bicycle, and pedestrian-oriented and have a mix of uses, especially neighborhood serving businesses, within walking distance of homes and workplaces. Encourage multi-modal transportation with land use patterns that are transit, bicycle and pedestrian-oriented, and have a mix of uses.

**Section 2.** Based upon the findings and conclusions set forth herein, the City Council hereby recommends denial of:

- A. GPA 2022-01 General Plan Amendment. Deny an amendment to the City of Placentia General Plan Land Use Element to allow mixed use (residential-commercial development) as a permissible land use category within Parcel No. 9 of Specific Plan No. 5, pertaining to the General Plan Land Use tables referred to as “Table 2-4 Specific Plans”, “Table 2-5 General/Zoning Relationship – Specific Plans”, and “Table 2-7 General Plan Lans Uses Designation – Potential Development Buildout” as set forth in Exhibit “A” – Amendment of the City of Placentia General Plan Proposed Land Use Tables in accordance with California Government Code Section 65100-65763.
- B. SPA 2021-01 Specific Plan Amendment. Deny an amendment of the City of Placentia Municipal Code by modifying Chapter 23.102 SP-5 to allow mixed use (residential-commercial development) within the SP-5 Parcel 9 boundaries and establish development standards for new residential uses, including but not limited to gross lot area, FAR, height, residential density, dwelling unit size, parking, setbacks and lot coverage. An amendment to the SP-5 is also required to allow for parking structures as a permitted use in Parcel 9 of the City of Placentia Municipal Code that said amendment to the specific plan and

municipal code will be inconsistent with the latest adopted General Plan, including the certified 6<sup>th</sup> Cycle of the Housing Element.

C. DPR 2021-02 Development Plan Review. The development does not meet the current requirements of PMC Chapter 23.105 of the Zoning Code (SP-5 Development Standards) and PMC Chapter 23.75 (Development Plan Review). As such, the City Council finds as follows:

- 1) Without the proposed Specific Plan Amendment, the project fails to align with the criteria set forth in PMC Chapter 23.105 and Section 23.75.020. Residential and parking structures are not sanctioned land uses under these regulations. Moreover, the proposal for 248 multi-family residential units, coupled with a maximum of 3,000 square feet for commercial retail space and a 6-level parking structure, deviates from the prescribed development standards for "Parcel No. 9" in terms of setbacks, parking provisions, and maximum building height; and,
- 2) Conditions of Approval have not been prepared for a recommendation of denial.

**Section 3.** No further action is required under the California Environmental Quality Act as Public Resources Code section 21800(b)(5) states this division does not apply to any of the following activities: "(5) Projects which a public agency rejects or disapproves."

**Section 4.** If any section, subsection, sentence, clause, or phrase of this resolution and/or the documents in support of this resolution is/are for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this resolution.

**Section 5.** The City Council shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the applicant at the address of record set forth in the Application.

**PASSED, APPROVED, AND ADOPTED this 3<sup>rd</sup> day of September 2024.**

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Jeremy Yamaguchi, Mayor

ATTEST:

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Robert S. McKinnell, City Clerk

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the City Council of the City of Placentia held on the 3<sup>rd</sup> day of June 2024 by the following vote:

AYES:                    Councilmembers:  
NOES:                    Councilmembers:  
ABSENT:                Councilmembers:  
ABSTAINED:            Councilmembers:

ATTEST:

---

Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

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Christian L. Bettenhausen, City Attorney

**RESOLUTION NO. R-2024-60**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, ADOPTING INITIAL STUDY/MITIGATED NEGATIVE DECLARATION NO. MND 2021-01 FOR A GENERAL PLAN AMENDMENT NO. GPA 2022-01, SPECIFIC PLAN AMENDMENT NO. SPA 2021-01, AND DEVELOPMENT PLAN REVIEW NO. DPR 2021-02 PREPARED IN FULL COMPLIANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”), CALIFORNIA PUBLIC RESOURCES CODE §§ 21000, *ET SEQ.*, AND THE ENVIRONMENTAL GUIDELINES OF THE CITY OF PLACENTIA, AND ADOPTING GPA 2022-01 MODIFYING THE GENERAL PLAN LAND USE ELEMENT TO ALLOW MIXED-USE (RESIDENTIAL-COMMERCIAL DEVELOPMENT) AS A PERMISSIBLE LAND USE CATEGORY WITHIN PARCEL 9 OF SPECIFIC PLAN NO. 5 BY AMENDING TABLES 2-4 - SPECIFIC PLANS, TABLE 2-5 – GENERAL PLAN/ZONING RELATIONSHIP-SPECIFIC PLANS, AND TABLE 2-7 – GENERAL PLAN LAND USE DESIGNATION – POTENTIAL DEVELOPMENT BUILDOUT, AND APPROVING DPR 2021-02 FOR THE DEVELOPMENT AND OPERATION OF A FIVE-STORY MIXED USE BUILDING CONSISTING OF 248 RESIDENTIAL UNITS, UP TO 3,000 SQUARE FEET OF GROUND FLOOR COMMERCIAL RETAIL AND A 7-LEVEL PARKING STRUCTURE ON 2.72-ACRE SITE, LOCATED AT 777 W. ORANGETHORPE AVENUE AND 776 S. PLACENTIA AVENUE (APN 339-112-27).**

**A. Recitals.**

**WHEREAS**, Gilad Ganish, representing Orangethorpe Investment Partners, LLC, (“Applicant” hereinafter), regarding real property located 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (Attachment “A”), filed applications for approval of General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject General Plan Amendment and Development Plan Review requests are referred to as the “Applications”; and

**WHEREAS**, on July 9, 2024, the Planning Commission of the City of Placentia conducted, and concluded, a duly noticed public hearing, as required by law, and recommended that the City Council of the City of Placentia, deny General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02; and

**WHEREAS**, an initial study was prepared to review and consider the environmental impacts of the General Plan Land Use amendment, Specific Plan Amendment, and the construction and operation of a 248 multi-family residential dwelling unit development, with up to 3,000 square feet of commercial retail space and a 7-level

parking structure on 2.72-acres and associated improvements in accordance with the California Environmental Quality Act and the City of Placentia Environmental Guidelines as codified in Title 14 of the California Code of Regulations ("CCR") Section 15000 et. seq., Public Resources Code Section 21000 et.seq. and the City of Placentia Environmental Guidelines;

**WHEREAS**, the City of Placentia provided notice at least 10 days prior to the public hearing in accordance with California Government Code Section 65090 and the City of Placentia Municipal Code Sections 23.75.035 and 23.96.030 by posting at the Civic Center, publication in a local newspaper, and by direct U.S. mail to all property owners within 300-feet of the proposed project boundaries; and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.**

NOW, THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Placentia as follows:

**Section 1.** The City Council certifies Mitigated Negative Declaration No. 2021-01 as described in Attachment "A", was prepared in full compliance with the California Environmental Quality Act ("CEQA"), California Public Resources Code §§ 21000, *et seq.*, and the Environmental Guidelines of the City of Placentia and make the following additional findings:

- a. Facts support the above-specified findings are contained in Mitigated Negative Declaration No. MND 2021-01, the staff report and exhibits, and information provided during the public hearing conducted with respect to the Application and Mitigated Negative Declaration. Mitigation Measures are intended to mitigate and/or avoid environmental effects identified in the Mitigated Negative Declaration; and
- b. Mitigated Negative Declaration No. MND 2021-01 contains Mitigation Measures and a Mitigation Monitoring and Reporting Program set forth in Attachment "B", and by this reference incorporated herein. By adopting Mitigated Negative Declaration No MND 2021-01, the Mitigation Measures and a Mitigation Monitoring and Reporting Program are also adopted for the project.

**Section 2.** General Plan Amendment. The City Council approves General Plan Amendment No. 2022-01 to the City of Placentia General Plan Land Use Element to allow mixed use (residential-commercial development) as a permissible land use category within Parcel No. 9 of Specific Plan No. 5, pertaining to the General Plan Land Use tables referred to as "Table 2-4 Specific Plans", "Table 2-5 General/Zoning Relationship – Specific Plans", and "Table 2-7 General Plan Land Uses Designation – Potential Development Buildout" as set forth in Attachment "C" – Amendment of the City of Placentia General Plan Proposed Land Use Tables in accordance with California Government Code Section 65100-65763.

**Section 3.** Development Plan Review. The City Council approves Development Plan Review No. DPR 2021-02, as modified herein, and specifically subject to the conditions set forth in Attachment “D” of this Resolution and by this reference incorporated herein. The development, as modified by the attached Conditions of Approval and Standard Development Requirements (Attachment “D”), meets the overall requirements of PMC Chapter 23.105 of the Zoning Code (SP-5 Development Standards) and PMC Chapter 23.75 (Development Plan Review). As such, this Council finds as follows:

- a. The project meets or exceeds the criteria established in PMC Chapter 23.105 and Section 23.75.020. Specifically, it adheres to the minimum setbacks, parking requirements, maximum building height, and maximum density development standards. The amendments to the SP-5, particularly concerning the Parcel No. 9 subarea, have been tailored to fully accommodate all improvements associated with the development. This includes the construction of 248 multi-family residential dwelling units, up to 3,000 square feet of commercial retail space, and a 7-level parking structure. This comprehensive approach ensures that the project not only complies with but surpasses the stipulated standards, providing a well-integrated and sustainable development that meets the needs of the community.; and,
- b. Conditions of Approval have been prepared as necessary to prevent: (A) detriment to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development or within the city, or (B) injurious to the property or improvements within the neighborhood or within the city as a Mitigation Monitoring Reporting Program associated with MND 2021-01 contains activities that will mitigate all associated adverse impacts with the mixed-use development project; and,
- c. The proposed development will be consistent with the latest adopted General Plan Land Use designation of the project area of “Specific Plan” and the Parcel No. 9 allowable land uses of SP-5 as amended by GPA 2022-01 and SPA 2021-01; and,
- d. Conditions necessary to secure the purposes of Section 23.75.020, including guarantees and evidence of compliance with conditions, are made part of the development approval.

**Section 4.** If any section, subsection, sentence, clause, or phrase of this resolution and/or the documents in support of this resolution is/are for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this resolution.

**Section 5.** Based upon the findings and conclusions set forth herein, the City Council hereby approves General Plan Amendment No. GPA 2022-01 and Development Plan Review No. DPR 2021-02 as modified herein, and specifically subject to the conditions set forth in Attachment “D” attached hereto and by this reference incorporated herein, and recommends adoption of Mitigated Negative Declaration No. MND 2021-01.

**Section 6.** The City Council shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the applicant at the address of record set forth in the Application.

**PASSED, APPROVED, AND ADOPTED this 3<sup>rd</sup> day of September 2024.**

\_\_\_\_\_  
Jeremy Yamaguchi, Mayor

ATTEST:

\_\_\_\_\_  
Robert S. McKinnell, City Clerk

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the City Council of the City of Placentia held on the 3<sup>rd</sup> day of June 2024 by the following vote:

AYES:	Councilmembers:
NOES:	Councilmembers:
ABSENT:	Councilmembers:
ABSTAINED:	Councilmembers:

ATTEST:

\_\_\_\_\_  
Robert S. McKinnell, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Christian L. Bettenhausen, City Attorney

- Attachment A: Mitigated Negative Declaration No. MND 2021-01 for General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02 (<https://placentia.org/DocumentCenter/View/11730/OrangethorpePlacentia-Mixed-Use-Project-IS-MND-Dated-November-29-2023?bidId=>)
- Attachment B: Appendices – Orangethorpe/Placentia Mixed Use Project – MND 2021-01 (<https://placentia.org/776/Environmental-Documents>)
- Attachment C: Amendment to General Plan Land Use Element
- Attachment D: Conditions of Approval for Development Plan Review No. DPR 2022-04 & Vesting Tentative Tract Map No. TTM 19250

**Attachment C**  
**Amendment to General Plan Land Use Element**

2 Land Use

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Buildout ..... 2-27

The majority of vacant residential parcels are located in low-density residential areas.

Table 2-1. Existing Land Use Designation

Land Use Designation	Existing Acreage	Percentage <sup>1</sup>	Number of Units
Low Density Residential	1266	30%	6,900
Medium Density Residential	400	9%	3,676 <sup>2</sup>
High Density Residential	136	3%	2,503
Commercial	137	3%	--
Planned Community (Alta Vista Golf Course)	337	8%	1,614
Old Town	29	1%*	285
Transit Oriented Development (TOD)	22	1%*	11
Commercial-Manufacturing	47	1%	--
Office	32	1%*	--
Industrial	327	8%	--
Schools	212	5%	--
Park	94	2%	--
Specific Plan	309	7%	2,281
ROW- Railroad	25	1%*	--
ROW - Parkway Vista	18	1%*	--
ROW- Local streets	798	19%	--
ROW - Freeways, Flood Control, Highway	49	1%	--

Land Use Designation	Existing Acreage	Percentage <sup>1</sup>	Number of Units
TOTAL AREA OF	3,348		
TOTAL AREA OF	4,238	100%	17,270

<sup>1</sup> Percentage ages based on 4,238 acres of total land area within City limits, which includes the right of way acreage. %age figures are rounded to closest whole numbers. The symbol \* means that the %age is less than 1%.

<sup>2</sup> 569 mobile homes are principally located in the Medium-Density district.

Table 2-2. Summary of Vacant Land by Land Use Designation

Land Use Designation	Vacant Areas	Vacant Parcels
Low Density Residential	3.6	24
Medium Density Residential	6.1	8
High Density Residential	5.2	3
Commercial	2.3	3
Old Town	0.2	3
Transit Oriented Development (TOD)	0.4	1
Office	1.4	2
Commercial-Manufacturing	8.4	5
Industrial	5.7	4
Specific Plan	21.2	65
Total	54.5	118

Source: City of Placentia, 2018

Note: 1.3% of total city is vacant



Exhibit 2-2



Michael Baker INTERNATIONAL

Source: City of Placentia, October 2019

Proposed General Plan Land Use Map

- The Safety Element identifies potential hazards that may occur within the land use planning areas and serves to influence the location of different types of land use to avoid hazardous areas.
- Noise contours identified in the Noise Element are used as a guide to establish the land use patterns to ensure that future development minimizes exposure of residents to excessive noise.

### Relationship to Placentia’s Zoning Code

The City of Placentia Zoning Code is a regulatory document that provides a means to implement the policies contained in the City’s General Plan. While the General Plan provides long-range and broad categories of land use, the Zoning Code provides specific development requirements, such as density, height, setbacks, lot coverage, and development character. Similar to the General Plan, a Zoning Map accompanies the Zoning Code and defines the boundaries of each Zoning District.

The City of Placentia’s Zoning Code (Title 23 of the Placentia Municipal Code) establishes land use zoning districts that provide for uniform regulations to properties similarly situated within each zoning classification. State of California law requires the City’s Zoning Code be in conformance with the General Plan. Therefore, any land use designation amendments that will become inconsistent with Title 23 of the Placentia Municipal Code will have to be reconciled. This means that a series of Zoning Map Changes will need to occur to make the zoning of certain properties consistent with the amended land use designation.

The relationship between the General Plan land use designations and zoning districts is shown in Table 2-3, General Plan/Zoning Relationships. The table indicates how properties should be zoned to be consistent with the General Plan Land Use Map.

Table 2-3. General Plan/Zoning Relationships

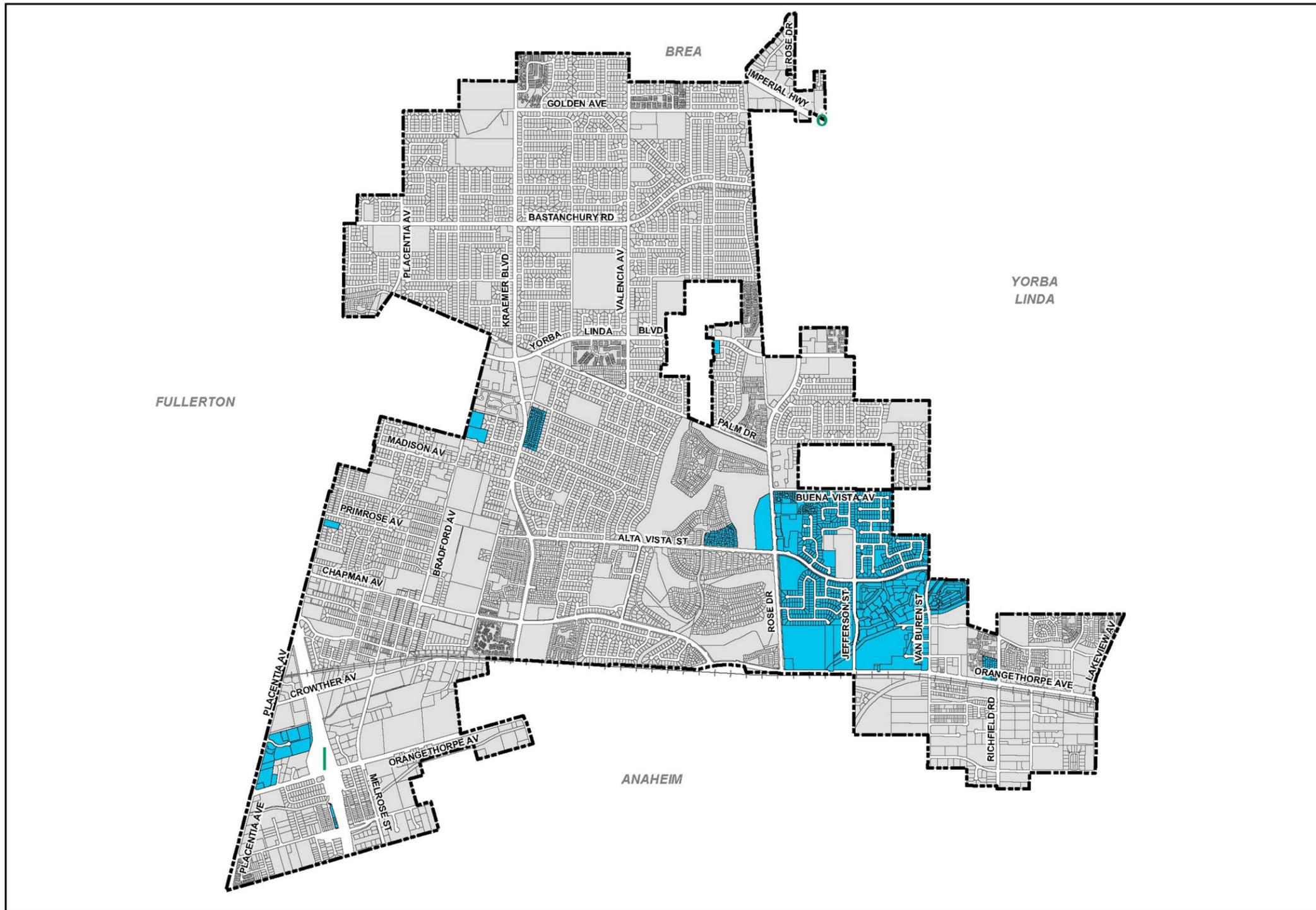
General Plan Land Use Designation	Compatible Zoning District(s)																				
	R-A	R-1	R-2	R-G	R-3	RPC	SRO	T-C	P-V	C-O	C-1	C-2	OT	TOD	C-M	M	PMD	MHP	O, O-1	PUD	
Low Density Residential	•	•				•													•		•
Medium Density Residential			•	•			•												•		•
High Density Residential					•		•														•
Commercial							•	•		•	•	•	•	•	•						



Name of Specific Plan	Description of Specific Plan
Specific Plan 2	Since the Lewis Lemke House located at 414 North Placentia Avenue is of local historical architectural significance and is representative of a significant period of local history, the purpose of this specific plan is to provide standards whereby it shall be renovated, restored, operated and maintained in a manner to preserve its historical architectural characteristics.
Specific Plan 3	The purpose of this specific plan is to provide an area for senior citizen board and care facilities and senior apartments which shall be compatible with the surrounding residential development and is designed specifically for the needs of the elderly.
Specific Plan 4	The purpose of this specific plan is to provide apartments in a medium density residential setting that will be affordable to lower-income families for a minimum of thirty (30) years. Special development standards are applied to further this purpose and to allow development of a parcel that is impacted by considerable physical constraints.
Specific Plan 5	The specific plan is intended to provide a site for retailers and businesses, which through the characteristics of their respective services offered, cater to the entire community. <u>This specific plan will also provide sites for high-density, mixed-use residential and commercial development at Parcel 9.</u>
Specific Plan 6	The purpose of this specific plan is to provide single-family detached housing of an alternative design while maintaining as many R-1 development standards as possible: to provide private and common recreation opportunities, mitigate impacts from noise and oil production and provide safe vehicle and pedestrian circulation.
Specific Plan 7	The purpose of this specific plan is to assure the consistent development of the East Placentia specific plan area in a manner which meets the growing housing needs of Placentia while adapting to the special characteristics of the land available for residential and commercial development

Name of Specific Plan	Description of Specific Plan
Specific Plan 8	The purpose of this specific plan is to provide for cluster single-family detached housing units. There is private fee ownership of the lots in Specific Plan 8, with the majority of the lots configured in a cluster arrangement, and with many of the remaining row lots offering a golf course view.
Specific Plan 9	The purpose of this specific plan is to provide an area for a senior apartment complex, which shall be compatible with the surrounding golf course and residential development and is designed specifically for the needs of senior citizens.
Specific Plan 10	The purpose of this specific plan is to provide for a single-family detached residential neighborhood plus common area open space and improvements. There is private fee ownership of the lots in Specific Plan 10 with common areas owned and maintained by a homeowner's association.

Exhibit 2-3



**PLACENTIA**  
Rich Heritage, Bright Future

**LEGEND**

- Specific Plan (322.21 acres)
- Other Land Use (3,049.87 acres)
- Railroad
- City Boundary

0 1100 2200  
Feet

Table 2-5. General Plan/Zoning Relationship – Specific Plans

General Plan Land Use Designation	Compatible Zoning Districts									
	SP-1	SP-2	SP-3	SP-4	SP-5	SP-6	SP-7	SP-8	SP-9	SP-10
Low Density Residential						•	•			
Medium Density Residential				•			•	•		•
High Density Residential			•		•		•		•	
Office	•	•			•					
Commercial					•		•			
Day Care/Assisted Living									•	
Oil Extraction								•		
Open Space						•	•			
Flood Control							•			

Source: City of Placentia, May 2018

## 2.5 LAND USE PLAN

### Land Use Designations

General Plan land use designations describe the type and intensity of development allowed in a specific area. While terms like “residential”, “commercial”, or “industrial” are generally understood, State General Plan law requires a clear and concise description of the land use categories that are depicted on the General Plan Land Use Map (refer to Exhibit 2-4, General Plan Land Use Map). The General Plan Land Use Map indicates the location of the land use designations within the City. The acreages of the various land uses on the General Plan Land Use Map are presented in Table 2-6, General Plan Land Use Designations.

Table 2-6. Proposed General Plan Land Use Designations

Land Use Designation	Approximate Acreage	Percentage <sup>1</sup>
Low Density Residential	1266	30%
Medium Density Residential	393	9%
High Density Residential	151	4%
Planned Community	320	8%
Commercial	137	3%
Old Town	29	1%*
Commercial-Manufacturing	44	1%
Mixed-Use	0	0%
Transit Oriented Development (TOD)	22	1%*
Live Work	0	0%
Office	26	1%*
Industrial	315	7%
Schools/Industrial	225	5%
Parks	99	2%
ROW - Freeways, Flood Control, Highway	49	1%
ROW - Parkway Vista	18	1%*
ROW- Local streets	798	19%
ROW- Railroad	25	1%*
Specific Plan	322	7%
<b>TOTAL AREA OF CITY</b>	<b>4,238</b>	<b>100%</b>

Source: City of Placentia, May 2018

<sup>1</sup>Percentages based on 4,238 acres of total land area within City limits, which includes the right of way acreage. %age figures are rounded to closest whole numbers. The symbol \* means that the %age is less than 1%.

The General Plan Land Use Map indicates the location of General Plan land use designations within the City. Each designation is defined below. It is a State requirement that the land use designations and the City's zoning districts are to be consistent with each other. Therefore, within each land use designation definition are a list of consistent zoning districts.

The Parks land use designation is intended for recreational type areas such as City parks. Open space should be located in residential areas so that recreational opportunities can be in close proximity to residents. The Parks designation makes up approximately 99 acres, or 2% of the City's total acreage.

Zoning districts compatible with the Open Space designation include Combining Parkway Vista (P-V) and Combining Oil (O and O-1).

Figure 2-7



- Parkway (P-V). The Parkway Vista classification creates landscaped thoroughfares with common setback requirements for all districts that abut designated thoroughfares.
- Combining Oil (O and O-1). The Combining Oil "O" classification provides for the use of land or the surface thereof in connection with the removal of minerals. The Combining Oil "O-1" classification provides for the use of land or the surface thereof in connection with the removal of minerals, providing for the maintenance and operation of existing wells, but limited from any new surface location.

### Specific Plans

Currently, the City has ten specific plan areas, covering approximately 322 acres. The specific plans are principally for residential development, although two allow for commercial. Two residential specific plans allow for home occupations on the same property as historic structures and two allow for day care or assisted living. Another permits residential in conjunction with oil extraction. The Specific Plan designation

## 2.6 LAND USE INTENSITY/DENSITY

State General Plan law requires that the Land Use Element indicate the maximum building intensities/densities allowed in the City. Each land use designation listed above contains corresponding intensity/density standards.

The term “intensity” refers to the degree of development based on a building’s characteristics such as, floor area ratio (FAR), building height and lot coverage. Intensity is most often used to describe non-residential development. The measure of intensity, known as floor area ratio (FAR), provides the most convenient method of describing levels of development. The floor area ratio is the relationship of total gross floor area of all buildings on a lot in square feet to the total land area of the lot in square feet expressed as a ratio. The FAR describes use intensity on a lot, but not the actual building height and lot coverage.

The term “density” is a measure of the population or residential development capacity of a designated land use. Residential density is described in terms of dwelling units per gross area (du/ac). A dwelling unit is a building, or a portion of a building used for human habitation and may vary considerably in size (square footage). For purposes of calculating population, an average number of persons per acre or dwelling unit for all types and sizes of dwelling units is assumed.

Table 2-7 includes the density or intensity standard for each land use designation and the corresponding future development potential. However, given the limited amount of vacant land (54 acres), the level of existing, stable development, and the historical development patterns over the last three decades, the buildout is not likely to be realized.

Table 2-7. General Plan Land Use Designation – Potential Development Buildout

Land Use Designation	Density Standard (du/ac) or Total Acres (acs)	Intensity Standard (FAR) <sup>1</sup>	Ultimate Buildout Dwelling Units <sup>2</sup>	Ultimate Build Out Square Footage <sup>2</sup>
Low Density Residential	6 du/ac		7,596	
Medium Density Residential	15 du/ac		5,895	
High Density Residential	25 du/ac		3,775	
Commercial	137 acs	1.0 FAR		5,967, 720
Old Town <sup>3</sup>	30-65 du/ac		810	181,250

2-27

Land Use Designation	Density Standard (du/ac) or Total Acres (acs)	Intensity Standard (FAR) <sup>1</sup>	Ultimate Buildout Dwelling Units <sup>2</sup>	Ultimate Build Out Square Footage <sup>2</sup>
<b>Transit Oriented</b>				
Development (TOD)	65-95 du/ac		564	30,000
Commercial-Manufacturing	44 acs	1.0 FAR		1,910,640
Office	25 acs	1.0 FAR		1,089, 900
Industrial	315 acs	1.0 FAR		13,721,400
Specific Plans <sup>5</sup>	322 acs	Varies	<del>3,690</del> 3,938	570,200
Residential Planned Community	7.1 du/ac		2,272	
<b>TOTAL</b>			<del>24,602</del> 24,850	23,471,110

Land Use Designation	Density Standard (du/ac) or Total Acres (acs)	Intensity Standard (FAR) <sup>1</sup>	Ultimate Buildout Dwelling Units <sup>2</sup>	Ultimate Build Out Square Footage <sup>2</sup>
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Source: City of Placentia,

May 2018 Notes:

<sup>1</sup> Density standards represent the maximum gross density allowed. Net densities would be lower, dependent on zoning requirements and other regulatory considerations that limit the full development potential.

<sup>2</sup> Ultimate dwelling units and square footage estimates based upon existing acreage multiplied by gross density/intensity standards. The realistic buildout for the city is represented in the Environmental Impact Report for the General Plan update.

<sup>3</sup> Based on the Negative Declaration, (ND 2017-02), July 2017 the Old Town area would consist of the addition of 525 residential units, 85,000 square feet of commercial use, 40,000 square feet of retail use, and a 50-room hotel to the existing area. The existing number of units is 285.

<sup>4</sup> Based on Mitigated Negative Declaration, (MND 2017-01), April 2017, which assumed a 5,000 net vehicle trip cap. The cap of 5,000 vehicle trips (net) at buildout assumes that an estimated 752 dwelling units (DU) could be constructed under an all residential development scenario and stay within the 5,000-vehicle trip cap or, alternatively, a mix of 75% residential (564 DU) and 25% commercial (30,000 square feet of gross leasable area (GLA)) could also stay within the 5,000-vehicle trip cap. This table assumes the mix scenario. Any additional development above the 5,000-trip cap would require further environmental analysis and is not permitted until that is completed.

<sup>5</sup> Specific Plan category represents both residential and commercial development and was calculated taking potential buildout of each specific plan area and then totaling, as below:

- SP 1- SFD=1 Unit
- SP 2- SFD =1 Unit
- SP 3- Assisted Living - 5.80 45du/ac for 261 units
- SP 4- 8 affordable units
- SP 5- 19 acres of retail, hotel, dealership 0.5 FAR assumption for 413,820 sf of commercial. 2.72 of the 19 acres also allows mixed-use, commercial/residential development.
- SP 6- 4.1 acres, 6 du/ac for 24 units
- SP 7- 300 acres residential and commercial:
  - Low Density—163.85 ac 6 du/ac = 983 units
  - Medium Density—11.40 ac at 15du/ac = 171 units
  - Medium-High Density—36.97ac at 20du/ac (assumption) =739 units
  - High Density—37.34ac at 25du/ac = 933 units
  - Commercial—7.18ac 0.5 FAR (assumption) =156,380sf
- SP 8- 7 acres at 10.3 du/ac = 72 units
- SP 9- 10.35 ac at 40.5 du/ac = 419 units
- SP 10- 7.82 ac at 10 du/ac = 78 units



**Attachment “D”**  
**Special Conditions of Approval and Standard Development Requirements for**  
**General Plan Amendment No. GPA 2022-01 and Development Plan Review No.**  
**DPR 2021-02**  
**777 W. Orangethorpe Avenue & 776 S. Placentia Avenue**  
**(APN 339-112-27)**

**SPECIAL CONDITIONS**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Development Plan Review No. DPR 2021-02 is valid for a period of twenty-four (24) months from the date of final determination, unless extended pursuant to Placentia Municipal Code (PMC) Section 23.75.080. If the development of the site and/or use approved by this action is not established by obtaining Building Permits within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved.
2. Failure to abide by and faithfully comply with any and all conditions attached to this action, or with any federal, state, or local law, shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
3. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.

4. The site plan, floor plans, elevation plans, open space plan, egress plan, fire plan, building composite plan, irrigation plan, lighting plan, conceptual grading plan, conceptual perspectives, and all associated architectural and civil drawings, including the colors and materials palette, dated received on May 20, 2024, shall be the conceptually approved design.
5. Any significant modifications to the approved site plan, floor plans, elevation plans, open space plan, egress plan, fire plan, building composite plan, irrigation plan, lighting plan, conceptual grading plan, conceptual perspectives, including any modifications which will change, expand, or intensify the use(s) shall be subject to review and approval by the Director of Development Services. The Director of Development Services or his or her designee may determine if such modifications require approval by the City of Placentia Planning Commission or may be approved administratively by City staff.
6. Prior to the issuance of building permits, the Developer and/or property owner must make a one-time payment of \$50,000, which will be deposited in a separate account, for a Parking Management Plan, and adhere to the following:
  - a. One year after the issuance of the certificate of occupancy, the City of Placentia will hire a consultant to prepare a Parking Management Plan (PMP). The payment will fund the preparation of the PMP and the costs associated with its implementation by City staff.
  - b. Annually after initial PMP, all onsite parking will be evaluated under the PMP. This evaluation will continue annually, with reports submitted to the City Council. This process will be funded by an annual \$20,000 payment to pay for the costs of staff/consultant time and will persist until the City Council determines that no further evaluations are necessary.
  - c. If any report identifies significant parking issues, the City Council will direct the Director of Development Services to initiate the preparation of an updated PMP to address and mitigate these issues. The updated PMP will be reviewed by the Director of Development Services and the City's Traffic Manager (or their designees) to resolve any parking concerns related to the project. Any costs associated with the updated PMP, including staff and consultant costs, will be paid for by Developer and/or property owner.
  - d. If the cost of preparing and monitoring the PMP exceeds \$20,000, the Developer and/or property owner will be responsible for covering the additional costs. Conversely, if the costs are less than the deposited amount, the Developer and/or property owner will receive a refund for any unexpended funds within the one-year period.

7. Developer shall enter into a Community Benefits Agreement as approved by the City of Placentia City Council.
8. Prior to the submission of building plans, the applicant and/or property owner, and/or their designee shall submit a one-time payment of \$4,500 as the applicant and/or property owner's fair share payment required for the City's preparation of a streetscape master plan for Specific Plan No. 5 (SP-5). The amount shall be earmarked in a designated account for the acquisition of a professional consultant who will enter into a professional services agreement with the City of Placentia.
9. Developer and/or property owner agrees to annex into the Community Facilities District No. CFD 2014-01 (Public Services), or any subsequently created Community Facilities District (CFD) (Public Services) pursuant to the provisions of California Government Code Section 53311, et seq. Said annexation shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project. Any subsequently created CFD is intended to replace Community Facilities District No. CFD 2014-01 (Public Services).
10. Developer and/or property owner agrees to annex into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
11. Developer and/or property owner agrees to annex into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
12. The applicant agrees to be the catalyst project site and initiate the establishment of a new Community Facilities District (CFD), created by the City pursuant to the provision of California Government Code Section 53311, et seq., to fund ongoing maintenance costs of all new public improvements constructed as part of this project prior to issuance of the building permits. The CFD boundary shall encompass the boundaries of SP-5 which is currently generally described as Placentia Avenue to the west, Orangethorpe to the south, 57 Freeway to the east, and Crowther Avenue to the north. All legal expenses related to initiating, creating, and establishing the new CFD shall be fully funded by the Developer and must be paid in full prior to issuance of any Certificate of Occupancy for the project.
13. Prior to issuance of building permits, except as otherwise noted, the following shall be completed:

- a. The Developer shall pay in full to the City of Placentia all applicable citywide Development Impact Fees required under Title 5 of the Placentia Municipal Code, including, but not limited to library, signage, civic improvement projects, public safety, parks and traffic mitigation. Developer shall also pay sewer impact fees set forth for the Transit Oriented Development (TOD) area, upon connection to the Crowther Avenue sewer line. Alternatively, if the City Council directs City Staff to establish Specific Plan 5 (SP-5) Development Impact Fees scaled to finance necessary public improvements and mitigate the impacts of new development within the SP-5 area, Developer shall pay those SP-5 Development Impact Fees.
- b. Project plans shall be submitted for the review and certification for inclusion into the entitlement file by the Director of Development Services and shall include the following information:
  - i. All Special Conditions of Approval and Standard Development Requirements of GPA 2022-01, SPA 2021-01, and DPR 2021-02. Include any project revisions on the applicable sheets of the project plans. Additionally, include separate sheets with approved Special Conditions of Approval and Standard Development Requirements to be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12-point.
  - ii. Typical cross section views and details through the property and across each property line as directed by the Director of Development Services.
  - iii. Location of transformers, meters, and other aboveground appurtenances.
  - iv. All mechanical equipment shall be screened from public view to the satisfaction of the Development Services Director.
- c. An exterior lighting (photometric) plan showing location, type of fixtures and areas of illumination shall be submitted and reviewed for compliance with City standards and the Placentia Municipal Code. Lighting shall neither negatively impact adjacent properties nor the public right-of-way.
- d. Submit landscape and irrigation plans. The applicant must follow the procedure for approval under the MWELo for the proposed landscaping. A MWELo procedure and approval package is available from the front counter in the Development Services Department.

- e. Postmaster approval of the location and design of the mailboxes, if applicable.
- f. All applicable provisions of the Placentia Municipal Code (PMC) shall be met prior to issuance of Building Permits and shall be adhered to at all times.

14. The following conditions shall be completed prior to issuance of a grading permit:

- a. The developer shall submit for City approval a construction staging plan that indicates how safe vehicular and pedestrian access to the site will be maintained for the duration of the construction period. The construction stage plan shall include measures such as, but not limited to the following:
  - i. A telephone number and name of a designated contact person(s) for registering complaints or comments shall be posted in a clearly visible manner along the perimeter of the site.
  - ii. When construction vehicles accessing the site are expected to obstruct pedestrian and vehicular access along W. Orangethorpe Avenue and S. Placentia Avenue, a flag person or an approved alternative method shall be employed to direct traffic effectively.
  - iii. If any sidewalk is blocked during construction, alternate routes for pedestrians and bicycles shall be clearly marked with signs approved by the City.
  - iv. All access points shall be clearly marked during construction, and if an access point is blocked during construction, a detour sign to an alternate access point shall be clearly posted.
  - v. A detailed timeline outlining the course of major ground disturbing activities as trenching, excavation, and grading, including all construction work that will take place on the property.

15. During demolition, grading, site development, and/or construction, the following shall be adhered to:

- a. Construction equipment shall be maintained in peak operating condition to reduce emissions.
- b. Use low sulfur (0.5%) fuel by weight for construction equipment.
- c. Truck idling shall be prohibited for periods longer than 5 minutes.
- d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.

- e. Discontinue operation during second stage smog alerts.
- f. Ensure clearly visible signs are posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/ grading activity.
- g. All Placentia Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday – Friday, 7:00 AM to 7:00 PM, and Saturdays 9:00 AM to 6:00 PM. Such activities are prohibited on Sundays and Federal holidays.

16. The final Certificate of Occupancy cannot be approved, and utilities will not be released until the following is completed for each respective portion of the property:

- a. The property owner(s) and/or their successor(s) shall annex into those district(s) for the project area and initiate the establishment of a new Community Facilities District for SP-5 identified by Condition Nos. 9-12 above. If the subject property is sold prior to annexation into the aforementioned districts, the future property owner(s) must complete the annexation and initiation processes and no Certificates of Occupancy shall be issued prior to completion of annexation.
- b. Submission, approval, and installation of an on-site public art installation shall be required. It is strongly recommended that the chosen public art piece reflects the rich history of the City of Placentia, focusing on significant aspects such as the citrus growing industry or early oil production eras that contributed to the city's development. Alternatively, the artwork may capture the essence and diversity of the city's community fabric. The public art piece will undergo evaluation and approval by the Development Services Director and the Housing, Community, and Economic Development Committee. The public art element shall adhere to the following parameters:
  - i. The public art element shall not be commercial in nature, a reproduction, or mass produced.
  - ii. Artwork siting and its visibility are important project design considerations and shall be clearly visible and accessible to the public.
  - iii. The art piece shall be a permanent part of the development and must remain in place for the life of the development. The work must be fixed and located at or adjacent to the site and accessible to the public.
  - iv. Outdoor artwork must be illuminated sufficiently to ensure clear visibility from the nearby right-of-way during evening hours.

17. The use shall comply with the following:

- a. The Developer, property owner(s), and/or respective land management company shall be responsible for maintaining their respective properties, including the landscaped areas, walkways, and all paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the property owner(s) within 72 hours of defacement and/or upon notification by the City.
- b. The primary vehicular access gates and pedestrian gates shall be decorative in nature and fabricated of high gauge metal to withstand continual wear and tear. All walls and gates shall be designed with colors, materials, and of design satisfactory to the Development Services Director or his/her designee.
- c. The property owner(s), land management company, landlord, or similar entity shall furnish all prospective tenants with a disclosure agreement, informing them of the potential for noise and odor arising from nearby industrial activities or businesses. It is mandatory for all tenants to sign this agreement, thereby acknowledging and accepting the existence of these potential impacts. A copy of the disclosure agreement must be provided to the City's Development Services Department for inclusion in the entitlement file.
- d. Onsite alcoholic beverage sales for the purposes of either onsite or offsite consumption shall be prohibited unless a Use Permit is submitted, reviewed, and approved by the City of Placentia Planning Commission at a publicly noticed public hearing.

18. CEQA MITIGATION MEASURES

**Cultural Resources**

**CR-1:** If evidence of an archaeological site or other suspected historical resource as defined by CEQA Guidelines § 15064.5, including darkened soil representing past human activity (“midden”), that could conceal material remains (e.g., worked stone, fired clay vessels, faunal bone, hearths, storage pits, or burials) are discovered during any project-related earth-disturbing activities, all earth-disturbing activities within 100 feet of the find shall be halted until the City of Placentia is notified. The project applicant shall retain an archaeologist who meets the Secretary of the Interior’s Professional Qualifications Standards for Archaeology to assess the significance of the find. Any identified cultural resources shall be recorded on the appropriate DPR 523 (A-L) form and filed with the South Central Coastal Information Center (SCCIC). Construction activities may continue on other parts of the Proposed Project Site while evaluation and treatment of prehistoric archaeological resources takes place.

## **Geology and Soils**

**GEO-1:** If fossils or fossil bearing deposits are encountered during ground disturbing activities, work within a 25-foot radius of the find shall halt (buffer area) and a professional vertebrate paleontologist (as defined by the Society for Vertebrate Paleontology) (the Qualified Paleontologist) shall be contacted immediately to evaluate the find. The paleontologist shall have the authority to stop or divert construction, as necessary. Documentation and treatment of the discovery shall occur in accordance with Society of Vertebrate Paleontology standards. Work shall be allowed to continue outside of the buffer area. At the Qualified Paleontologist's discretion and to reduce any construction delay, the grading and excavation contractor shall assist in removing rock samples for initial processing and evaluation of the find. All significant fossils shall be collected by the Qualified Paleontologist. Collected fossils shall be prepared to the point of identification and cataloged before they are submitted to their final repository. Any fossils collected shall be curated at a public, nonprofit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County, if such an institution agrees to accept the fossils. If no institution accepts the fossil collection, they shall be donated to a local school in the area for educational purposes. Accompanying notes, maps, photographs, and a technical report shall also be filed at the repository and/or school.

## **Hazards and Hazardous Materials**

**HAZ-1:** The following are some simple practices that would be included in the Proposed Project and implemented on site:

- Keep potential sources of pollution out of the rain as practicable (e.g., inside a building, covered with plastic or tarps, or sealed tightly in a leak-proof container).
- Clearly identify a protected, lined area for concrete truck washouts. This area should be located away from streams, storm drain inlets, or ditches and should be cleaned out periodically.
- Park, refuel, and maintain vehicles and equipment in one area of the site to minimize the area exposed to possible spills and fuel storage. This area should be well away from streams, storm drain inlets, or ditches. Keep spill kits close by and clean up any spills or leaks immediately, including spills on pavement or earthen surfaces.
- Practice good housekeeping. Keep the construction site free of litter, construction debris, and leaking containers. Keep all waste in one area to minimize cleaning.
- Never hose down paved surfaces to clean dust, debris, or trash. This water could wash directly into storm drains or streams. Sweep up materials and dispose of them in the trash. Never bury trash or debris.
- Dispose of hazardous materials properly.

**HAZ-2:** A California Division of Occupational Safety and Health (DOSH/CalOSHA)

Certified Asbestos Consultant should be contracted to conduct monitoring and clearance of any removal/abatement of Asbestos-Containing Materials/Asbestos-Containing Construction Materials (ACMs/ACCMs) and materials containing asbestos.

**HAZ-3:** To protect construction workers contact or ingestion of contaminated soils during grading, the following note shall be placed on grading plans prior to issuance of grading permits: “Disposable gloves shall be worn by personnel who need to have contact with contaminated soil during grading and excavation. Consideration shall be given to the requirement for tear resistant gloves; Overalls shall be worn if there is the potential for contaminated soil to contact other parts of the body (legs, arms etc.); Boot covers shall be worn by personnel who need to traverse contaminated soils during grading and excavation or washable boots worn with a boot wash in place and utilized.”

**HAZ-4:** A soil vapor intrusion barrier with a venting system shall be installed beneath proposed future residential buildings located on the Site, in accordance with Regional Water Quality Control Board (RWQCB), the Department of Toxic Substances Control (DTSC).

### **Tribal Cultural Resources**

**TCR-1:** Prior to issuance of a grading permit, the applicant shall retain a Native American Monitor Prior to Commencement of Ground-Disturbing Activities:

- A. The project applicant shall retain a Native American Monitor from or approved by the Gabrieleño Band of Mission Indians – Kizh Nation. The monitor shall be retained prior to the commencement of any “ground-disturbing activity” for the subject project at all project locations (i.e., both on-site and any off-site locations that are included in the project description/definition and/or required in connection with the project, such as public improvement work). “Ground-disturbing activity” shall include, but is not limited to, demolition, pavement removal, potholing, auguring, grubbing, tree removal, boring, grading, excavation, drilling, and trenching.
- B. A copy of the executed monitoring agreement shall be submitted to the lead agency prior to the earlier of the commencement of any ground disturbing activity, or the issuance of any permit necessary to commence a ground-disturbing activity.
- C. The monitor will complete daily monitoring logs that will provide descriptions of the relevant ground-disturbing activities, the type of construction activities performed, locations of ground-disturbing activities, soil types, cultural-related materials, and any other facts, conditions, materials, or discoveries of significance to the Tribe. Monitor logs will identify and describe any discovered

TCRs, including but not limited to, Native American cultural and historical artifacts, remains, places of significance, etc., (collectively, tribal cultural resources, or “TCR”), as well as any discovered Native American (ancestral) human remains and burial goods. Copies of monitor logs will be provided to the project applicant/lead agency upon written request to the Tribe.

- D. On-site tribal monitoring shall conclude upon the latter of the following (1) written confirmation to the Kizh from a designated point of contact for the project applicant/lead agency that all ground-disturbing activities and phases that may involve ground-disturbing activities on the project site or in connection with the project are complete; or (2) a determination and written notification by the Kizh to the project applicant/lead agency that no future, planned construction activity and/or development/construction phase at the project site possesses the potential to impact Kizh TCRs.
- E. Upon discovery of any TCRs, all construction activities in the immediate vicinity of the discovery shall cease (i.e., not less than the surrounding 50 feet) and shall not resume until the discovered TCR has been fully assessed by the Kizh monitor and/or Kizh archaeologist. The Kizh will recover and retain all discovered TCRs in the form and/or manner the Tribe deems appropriate, in the Tribe’s sole discretion, and for any purpose the Tribe deems appropriate, including for educational, cultural and/or historic purposes.

**TCR-2:** Prior to issuance of grading permit, the following notes shall be listed on the grading plans for the project:

**Unanticipated Discovery of Human Remain and Associated Funerary Object**

- A. Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in Public Resources Code, Section 5097.98, are also to be treated according to this statute.
- B. If Native American human remains and/or grave goods discovered or recognized on the project site, then all construction activities shall immediately cease. Health and Safety Code, Section 7050.5, dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and all ground-disturbing activities shall immediately halt and shall remain halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe they are Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission, and Public Resources Code, Section 5097.98, shall be followed.

- C. Human remains and grave/burial goods shall be treated alike per California Public Resources Code section 5097.98(d)(1) and (2).
- D. Construction activities may resume in other parts of the project site at a minimum of 200 feet away from discovered human remains and/or burial goods, if the Kizh determines in its sole discretion that resuming construction activities at that distance is acceptable and provides the project manager express consent of that determination (along with any other mitigation measures the Kizh monitor and/or archaeologist deems necessary). (CEQA Guidelines Section 15064.5(f).)
- E. Preservation in place (i.e., avoidance) is the preferred manner of treatment for discovered human remains and/or burial goods.
- F. Any discovery of human remains/burial goods shall be kept confidential to prevent further disturbance.

**TCR-3:** Prior to issuance of grading permit, the following notes shall be listed on the grading plans or the project:

#### **Procedures for Burials and Funerary Remains**

- A. As the Most Likely Descendant (“MLD”), the Koo-nas-gna Burial Policy shall be implemented. To the Tribe, the term “human remains” encompasses more than human bones. In ancient as well as historic times, Tribal Traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains.
- B. If the discovery of human remains includes four or more burials, the discovery location shall be treated as a cemetery and a separate treatment plan shall be created.
- C. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects. Cremations will either be removed in bulk or by means as necessary to ensure complete recovery of all sacred materials.
- D. In the case where discovered human remains cannot be fully documented and recovered on the same day, the remains will be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-

hour guard should be posted outside of working hours. The Tribe will make every effort to recommend diverting the project and keeping the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed.

- E. In the event preservation in place is not possible despite good faith efforts by the project applicant/developer and/or landowner, before ground-disturbing activities may resume on the project site, the landowner shall arrange a designated site location within the footprint of the project for the respectful reburial of the human remains and/or ceremonial objects.
- F. Each occurrence of human remains and associated funerary objects will be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony will be removed to a secure container on site if possible. These items should be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site but at a location agreed upon between the Tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.
- G. The Tribe will work closely with the project's qualified archaeologist to ensure that the excavation is treated carefully, ethically and respectfully. If data recovery is approved by the Tribe, documentation shall be prepared and shall include (at a minimum) detailed descriptive notes and sketches. All data recovery data recovery-related forms of documentation shall be approved in advance by the Tribe. If any data recovery is performed, once complete, a final report shall be submitted to the Tribe and the NAHC. The Tribe does not authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains.

**DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION:**

- 19. The development project shall comply with the latest City of Placentia adopted and amended Editions of California Building Codes as CBC, CMC, CPC, CEC, CALGreen, and State Title 24 Energy Standards.
- 20. Submit approved precise grading plans upon submitting plans to the Building Division.
- 21. All public accommodation buildings and their parking stalls for accessibility requirements shall be in compliance with chapter 11B of CBC.
- 22. The apartments for accessibility requirements shall comply with Chapter 11A of CBC.
- 23. Shall provide sufficient No. of guest accessible parking stalls per chapters 11A & 11B.

24. The guest parking stalls shall have access to each designated unit on site.
25. All required site accessibility and accessible parking stalls shall be addressed on the approved precise grading plans.
26. Visitors parking stalls and accessible stalls shall be addressed on the precise grading plans along with the delineated path of access to the building's entry.
27. Complete Building, Electrical, Mechanical, Plumbing, & approved Civil plans are required for building plan check.
28. A photometric plan(s) shall be provided to address access from all apartment units to the public accommodation area(s) on site and to the public right-of-ways.
29. Prior to the issuance of a building permit, a complete acoustical report for the project shall be submitted to the Building Division that has been prepared and signed off by a certified acoustical consultant.
30. Submit a complete Geotechnical Investigation Report for the whole project site as part of the plan check submittal for the development project.
31. All foundation design plans, calculations, and details for conformance with the Geotechnical Report shall be reviewed and verified in writing with submission of two package sets of project plans.
32. The development project shall be equipped with the minimum required photovoltaic systems per the latest State Title 24 Energy Standards Code.

**PUBLIC WORKS DEPARTMENT:**

33. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
34. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances. All existing utility poles and associated overhead utility lines located along the project/property frontage shall be removed.
35. Prior to recordation of the final map, the public improvement plans as required shall signed by the City Engineer.
36. Prior to issuance of a Certificate of Occupancy, the engineer of record shall submit all approved project plans on an approved electronic format to the Public Works

Department. If the required files are unavailable, the applicant shall pay a scanning fee to cover the cost of scanning the as-built plans.

### Demolition

37. Provide a full set of plans for demolition of the existing facilities and utilities, including above ground and underground structures, footings, utilities, vaults, fences, walls, sewer lines, storm drain pipes, waterlines, etc., Plans shall address conditions and procedures, as are necessary, to show that the demolition work will be conducted without creating a hazardous condition, when excavating next to other existing footings, walls and slopes. A separate demolition permit is required from the Building Department, prior to performing any kind of demolition on site. Prepare and submit a Construction and Demolition Waste Management Plan (WMP) for City approval. An approved WMP is required in order to obtain a demolition permit.
38. A copy of the Grant deed and owner's permission on the application for demolition is required at the time of issuance of the permit.
39. The existing sanitary sewer lateral lines must be removed and capped at the property lines. The sewer cap shall be inspected, and shall not be covered until an inspection has been made by the Department of Public Works Inspector. This inspection shall be requested at least 24 hours before the inspection is needed.
40. Provide AQMD Rule 1403 permit number, prior to starting any demolition work
41. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and removal of the existing utilities, vaults and meters. It is also the applicant's responsibility to ensure applicant notifies the Building Inspection Division that these utilities have been properly disconnected.
42. Provide an erosion control, Storm Water Pollution Prevention Plans (SWPPP) for protection of the site during construction activities.

### Grading

43. Prior to the issuance of a **precise** grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/glltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long term maintenance responsibilities. The plan shall be

prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.

44. Prior to the issuance of a **precise** grading permit, the applicant shall prepare a Water Quality Management Plan (WQMP) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the locations of structural BMP's, and assignment of long term maintenance responsibilities (which shall also be included in the Maintenance Agreement). The plan shall be prepared to the general form and content shown in the City of Placentia's WQMP Template and shall be submitted to the City Engineer for review and approval. Website available at (<http://www.placentia.org/index.aspx?nid=262>)
  
45. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtained under the California's General Permit for Discharge of Storm Water Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. Prior to the issuance of a grading permit, the applicant shall submit to the City Engineer for review a Stormwater Pollution Prevention Plan (SWPPP). A copy of the approved SWPPP shall be kept at the project site and available for review upon request.
  
46. Prior to the issuance of **precise** grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.
  
47. Prior to approval of the final design plans and issuance of a grading permit, the applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected. The report shall provide grading

and structural design recommendations for avoiding liquefaction, subsidence or collapse for each of the proposed structures and percolation test for infiltration rate fulfilled per Appendix VII of OCTGD. The recommendations shall be implemented by the Applicant.

48. Prior to the issuance of a grading permit, erosion control plans and notes shall be submitted and approved by the Engineering Division of Public Works Department.
49. All private slopes of 4 feet or more in vertical height and of 4:1 or greater slope, but less than 2:1 slope, shall be, at minimum, irrigated and landscaped with appropriate ground cover for erosion control. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy.
50. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
51. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
52. The final grading plan for the parcels shall be substantially the same, specifically with regard to pad elevations, size, and configuration; as the proposed grading illustrated on the approved site plan. If there is a significant deviation between the two plans, the Community Development Director and the City Engineer will review the plans and determine if a finding of substantial conformance can be made prior to the issuance of a grading permit. The Community Development Director and the City Engineer may refer the matter to the Planning Commission for an opinion before making a decision. Failure to achieve such a finding will require processing a revised site plan.
53. All parking, common, and storage areas shall be lit to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photocell.
54. Prior to issuance of any permits (such as grading, tree removal, encroachment or building), the site grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency with each other and for consistency with the requirements and standards of the City of Placentia.
55. Prior to issuance of grading permit, the applicant shall submit a preliminary title report no older than 90 days.
56. The applicant shall provide a quitclaim or relocation of easement as applicable in plan review process prior to issuance of grading permit.

57. Provide and identify all pavement and driveway paving materials used inside the development areas.
58. Identify all storm drain structures, types, sizes and specifications on the plans.
59. Prior to issuance of occupancy permit, all public improvements shown on the plans shall be constructed to City Standards.
60. Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD.

### **Public Improvements and Construction**

61. Prior to issuance of grading permits, the applicant shall prepare and submit a street improvement plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department. All public improvements shown on the plans and/or tentative map shall be constructed to City of Placentia standards, ordinances, and policies.
62. Prior to issuance of 1<sup>st</sup> occupancy permit, all new public improvements shall be constructed satisfactorily to City Standards and match the adjacent public improvements.
63. Prior to the issuance of a building permit, the applicant shall enter into an agreement and post security bond, in a form and amount acceptable to the City Engineer, guaranteeing the construction of public improvements in conformance with the forthcoming referenced SP-5 Streetscape Master Plan, applicable City standards, and City Code, including, but not limited to the following improvements:
  - a. Street improvements including but not limited to: pavement, curb and gutter, sidewalks, driveway approaches, street lights, signing, striping, traffic signal systems and other traffic control devices as appropriate
  - b. Storm drain facilities
  - c. Landscaping
  - d. Sewer systems
  - e. Street lighting
  - f. All streetscape furnishings and other elements

64. Prior to the issuance of a Certificate of Occupancy all public improvements listed below shall be constructed and/or installed. all of the public improvements immediately adjacent to and within the boundaries of the project/property area to the centerline of Orangethorpe Avenue and Placentia Avenue are referred to as “on-site” improvements. The applicant shall remove all overhead utility lines and utility poles located along the project frontage and underground said utilities, unless they are determined to be electric transmission lines. All overhead electric distribution lines and other overhead utilities shall be removed and placed underground. All the “on-site” street improvements shall follow and comply with forthcoming referenced SP-5 Streetscape Master Plan, applicable City standards, and City Codes, and the following design standards throughout, including but not limited to tree grates, tree guards, benches, trash receptacles, bike racks, landscaping, street and pedestrian lights, in addition to the following requirements:

- a. Driveways shall conform to the applicable City of Placentia standards and shall be shown on the street improvement plans.
- b. Driveways shall be located at a minimum of two (2) feet from the property line prolongation at the curb.
- c. Provide a new raised landscape median on Placentia Avenue and on Orangethorpe Avenue.
- d. Widened 8’ concrete sidewalks shall be constructed along all public street frontages in accordance with City Standards and all curb ramps shall be constructed to current ADA or CBC standards. Applicant will be required to utilize the services of the City’s CASp inspector at applicant’s expense to provide inspection and certification of that all ADA facilities constructed within the public right-of-way are ADA-compliant.
- e. The minimum centerline and flowline grades shall be one percent unless otherwise approved by the City Engineer and Fire Marshall.
- f. The existing southernmost fire hydrant on the east side of Placentia Avenue shall be relocated to provide for ADA compliance. The relocation of the hydrant shall be approved by the Placentia Fire and Life Safety Department and shall be shown on the Street Improvement Plans.
- g. Decorative street/pedestrian combination lights with banner attachment poles shall be provided along Placentia Avenue and Orangethorpe Avenue along the project frontage.
- h. Provide irrigation service to the new trees planted in the ROW – the City will

assume ownership of all the equipment and irrigation costs once installed.

- i. Provide landscape up-lighting for the new trees in the street medians - the City will own all the related electrical equipment and electricity costs once installed.
- j. Provide 36-inch box Drake Chinese Elm Trees in the sidewalk parkways – must include tree grates and tree guards at each tree location.
- k. Provide 36-inch box Australian Willow trees in street medians. Subject to change pursuant to forthcoming streetscape master plan.
- l. Decorative street/pedestrian combination lights with banner attachment poles.
- m. Decorative street benches.
- n. Decorative trash cans.
- o. Decorative bike racks.
- p. Provide decorative and enhanced visibility crosswalks at the Orangethorpe/Placentia Avenue intersection.
- q. Applicant shall provide the development's fair share of the construction cost for the installation of the wayfinding gantry sign on Orangethorpe Avenue, which has been determined to be \$60,000. Fair share cost was determined based on the ratio of the subject project's acreage to the total specific plan acreage (approximately 0.15). This ratio was then multiplied by the estimated average cost to construct the gantry sign (\$400,000).
- r. Two (2) decorative bus shelters. One to be installed on Placentia Avenue and one on Orangethorpe Avenue.
- s. The full width of Placentia Avenue and Orangethorpe Avenue along the project frontage shall be repaved.
- t. All engineered street and public improvement plans and specifications shall be prepared in accordance with City and County of Orange Standards. Shop drawings and product data shall be provided for the City's review and approval for all the public improvement items listed above, PRIOR to their installation.

65. Improvement plans shall be based upon a centerline profile extending beyond the project boundaries a minimum distance of 150 feet at a grade and alignment approved by the City Engineer.

### **Storm Drain Improvements and Construction**

66. Unless otherwise approved by the Public Works Director, the project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points.
67. Provided there is adequate capacity in the Placentia Avenue and Orangethorpe Ave. storm drains, the development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. The storm drain catch basins shall be upsized if there is not adequate capacity. If a drainage crossing a property line is altered and involves the use of drainage pipes, culverts, and V-gutters to conduct the storm water to an approved City storm drain system, a drainage easement shall be established by the recordation of Covenants Agreements and Restrictions for the benefit of each lot. Drainage easement shall be indicated on the precise grading plans.
68. Drainage easements, when required, shall be shown on the grading plans and noted as follows: "Drainage Easement – no buildings, obstructions, or encroachments by landfills are allowed."
69. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual.
70. Prior to the approval of the improvement plans, the hydrology study shall show that the 25-year storm flow will be contained within the street from curb to curb and the 100-year storm flow shall be contained within the street right-of-way. When either of these criteria are exceeded, additional drainage facilities shall be installed. All analysis shall comply with the Orange County Hydrology Manual and County Local Drainage Manual.
71. Drainage facilities with sump conditions shall be designed to convey the tributary 25-year storm flows. Secondary emergency flow bypass shall also be provided as approved by City Engineer.

### **Sewer Line Improvements and Construction**

72. The applicant shall prepare a sewer capacity analysis including CCTV to address the future development demands. The developer shall coordinate and incorporate the results of this study into the sanitary sewer development and design. Sewer flow

calculations justifying sewer line design up to the connection points shall be prepared by a registered civil engineer and submitted as part of a sanitary sewer improvement plan for approval by the City Engineer.

73. Onsite water improvement and fire protection plans shall be approved by the Fire Marshal, the local water district, and City Engineer. The water distribution lines and appurtenances shall conform to the applicable laws and adopted regulations enforced by the Golden State Water Company.
74. Prior to the issuance of a building permit, the applicant shall dedicate ingress and egress of the access route within the project site and improve it fully operational as required by the City of Placentia Fire Department and satisfaction to the City Engineer.
75. The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.
76. Install new sanitary sewer manholes at the proposed connection to the existing City sewer line.

### **Traffic**

77. Provide new and modify the existing striping modifications on Orangethorpe Ave and on Placentia Avenue based on the results of the traffic impact study.
78. Provide Site Access Analysis and maintain sight distance for vehicles exiting at the public driveway on Orangethorpe Ave and on Placentia Avenue.
79. Parking and on-site circulation requirements shall be maintained at all times.
  - a. All pavement markings and signage including parking spaces, directional designations, no parking designations and fire land designations shall be clearly defined and said signage and markings shall be maintained in good condition at all times.
  - b. Parking site circulation and street surfaces shall be maintained in good condition at all times and shall be swept at least as frequently as public streets in Placentia.
  - c. All areas of landscaping shall be permanently and continuously maintained by the property owner.
80. Install Iteris Vantage Next Video Detection System at Placentia/Orangethorpe intersection to improve intersection performance and safety.
81. Install touchless accessible pedestrian system (APS) pushbutton and new pedestrian

countdown system at Placentia/Orangethorpe intersection, in accordance with the recent federal PROWAG guidelines

82. Replace all obsolete 8-inch signal indications with 12-inch indications at Placentia/Orangethorpe intersection
83. Install decorative traffic signal poles and luminaire fixtures at Placentia/Orangethorpe intersection; and increase the luminaire fixtures from 4 fixtures to 8 fixtures to better illuminate the crosswalks at night and in inclement weather
84. To maintain necessary traffic safety on Placentia Avenue, the proposed main access on Placentia must be configured to a right-in/right-out access only with a new median island on Placentia Avenue as well as at the driveway to prohibit vehicles from making left turns in any travel direction at the main access point. Alternatively, the developer may install a new traffic signal at the proposed main access to minimize traffic safety concerns associated with the project access.

#### **FIRE AND LIFE SAFETY DEPARTMENT**

85. The project shall comply with all requirements set forth by the California Code Regulations Title 24 Parts 1-12 respectively.
86. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Placentia Municipal Code shall apply at the time the architectural plans are submitted for construction permits.
87. Prior to the issuance of a grading permits, evidence of sufficient fire flow hours shall be provided to the City of Placentia Fire Prevention. The City of Placentia Fire Prevention Water Available/Fire Flow Form shall be utilized.
88. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
89. The fire department access road shall be inspected by Placentia Fire Prevention Bureau prior to building construction.
90. The fire department access road shall remain unobstructed at all times.
91. A fire department connection (FDC) shall be provided and located within 100 feet of a public fire hydrant. The use of a private hydrant may be used with the use of an aboveground check valve to prevent the flow from the FDC back to the fire hydrant, and with the approval of Placentia Fire Prevention Fire Prevention Bureau. The fire hydrant that supports the FDC shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.

92. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
93. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
94. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
95. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
96. Placentia Fire Prevention Bureau approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
97. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Placentia Fire Prevention Division prior to installation.
98. The building shall be provided with an automatic fire alarm system in accordance with NFPA 72. Construction plans shall be submitted for review and approval to the City of Placentia Fire Prevention Division prior to installation.
99. Prior to issuance of a Certificate of Occupancy, the building shall be provided with a Knox Lock key box located no more than six-feet above the finished surface and near the main entrance door.
100. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsections. The system shall be installed and inspected by the City of Placentia Fire Prevention Bureau prior to the Certificate of Occupancy being issued.
101. A copy of all approved alternate means and methods shall be placed on the architectural plans prior to submitting them for review and approval by the city.

## **POLICE DEPARTMENT**

102. Open bicycle storage areas shall be designed and protected as follows:
  - a. Located in areas highly visible to users of the facility.
  - b. Bicycle racks in residential complexes shall be protected by see-through metal

fencing which either fully encloses the racks with fencing or have floor to ceiling fencing, and secured either with an access control system locking device or mechanical door lock. Padlocks are prohibited.

103. Show any vehicle access control gates in the parking structure.
104. Show all pedestrian travel paths.
105. Provide details on fencing and gates.
106. Provide details on the mail/parcel room showing compliance with the Placentia Police Department Standard Development Requirements. Mailboxes not located within a room, in multi-family complexes are to be located in high visible areas adjacent to common area activity amenities and not directly accessed from inside parking structures. Mail rooms are to have glass doors and/or windows to provide visibility into them from the surrounding area. The room is to be always illuminated with a minimum five foot-candles of light on the floor at all times.
107. The dog park shall be secured as follows:
  - a. The perimeter of the dog park shall have a fence, at least five feet in height, with no more than 40 percent of it being of solid construction. Fencing shall be tubular steel with openings between pickets not more than three inches in width, and designed to prevent dogs from crawling under it.
  - b. Gates shall be a double gated entry system where one gate must be closed before the other can be opened.
  - c. Access to the dog park is to be controlled by an access control system if park is part of a residential complex.
  - d. Provide waste bag station and trash container.
  - e. All surfaces of the park shall be illuminated with a minimum maintained 0.5 foot-candles of light at ground level, during the hours of operation, including one hour thereafter.
  - f. A site plan shall be provided showing the park, buildings, parking area, walkways, detailed landscaping with tree legend (if pole lights are used) and shrub legend (if bollards are used), fixture schedule, mounting height, lighting ratio and a point-by-point photometric calculation of the required light levels. If the park is equipped with an occupancy sensor, then a point-by-point photometric calculation is required to show it meets the required minimum level of light. Foot-candles shall be measured at grade on a horizontal plane and conform to a uniformity ratio of six to one (6:1) average/minimum. Landscaping

shall not be planted so as to obscure required light levels with light fixtures exceeding eight feet in height installed at least two feet from a tree's canopy at 70 percent maturity.

108. The parking structure plans indicate shall be submitted concurrently with the remainder of the development project. Separate submittals for the development project and the parking structure shall be prohibited.
109. Provide elevations of all sides of the parking structure.
110. Prior to the issuance of building permits, provide Remote Recreation Area Surveillance Camera Plan showing camera coverage of the Fireside Chat, The Hangout recreations locations and Dog Park. Images are to clearly identify who is using these spaces and be saved on a digital video recorder and stored for at least 30 days.

## ORDINANCE NO. O-2024-05

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PLACENTIA, CALIFORNIA, AMENDING SPECIFIC PLAN NO. 5 TO PERMIT MIXED-USE DEVELOPMENT AND PARKING STRUCTURES ON PARCEL 9 AND ESTABLISHING ASSOCIATED DEVELOPMENT STANDARDS ON A 2.72-ACRE SITE ON PROPERTY LOCATED AT 777 W. ORANGETHORPE AVENUE AND 776 S. PLACENTIA AVENUE (APN 339-112-27).**

### City Attorney's Summary

This Ordinance would result in an amendment to Specific Plan No. 5 of the City of Placentia modifying Chapter 23.105, Specific Plan No. 5 (SP-5) to allow mixed use (residential-commercial development) within the SP-5, Parcel 9 boundaries and will establish development standards for new mixed uses, including but not limited to gross lot area, FAR, height, residential density, dwelling unit size, parking, setbacks and lot coverage of the City of Placentia Municipal Code (PMC), on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27).

**WHEREAS**, the City of Placentia wishes to amend the City of Placentia Municipal Code by modifying Chapter 23.105, SP-5, to modify and expand the existing land use designations allowed within SP-5, of the Parcel No. 9 boundaries (Attachment A, Exhibit 1), establishing development standards for new mixed-use developments (residential-commercial development), including but not limited to gross lot area, FAR, height, residential density, dwelling unit size, parking, setbacks and lot coverage, that said amendment to the specific plan and municipal code will not be detrimental to the health, safety, or general welfare of the persons residing or working within the neighborhood of the proposed amendment or within the city; injurious to property or improvements within the neighborhood or within the city; nor consistent with the latest adopted General Plan. for property located on an approximately 2.72-acre site along north of W. Orangethorpe Avenue, east of S. Placentia Avenue, (Attachment A) to allow for the construction and operation of a 248 multi-family residential dwelling unit development, with up to 3,000 square feet of commercial retail space and a 7-level parking structure, and certification of Mitigated Negative Declaration No. 2021-01 and finds that the MND was prepared in full compliance with the California Environmental Quality Act ("CEQA"), California Public Resources Code §§ 21000, *et seq.*, and the Environmental Guidelines of the City of Placentia; and

**WHEREAS**, on or about July 9, 2023, the Planning Commission of the City of Placentia conducted, and concluded, a duly noticed public hearing, as required by law, and recommended that the City Council of the City of Placentia deny General Plan Amendment No. 2022-01, Specific Plan Amendment No. SPA 2021-01, Development Plan Review No. DPR 2022-02; and

**WHEREAS**, the City of Placentia provided notice of the City Council’s public hearing in accordance with California Government Code Section 65090 and the City of Placentia Municipal Code Section 23.96.030; and

**WHEREAS**, on September 6<sup>th</sup>, 2023, the City Council of the City of Placentia held a duly noticed public hearing at which time it considered all evidence presented, whether written or oral; and

**WHEREAS**, all other prerequisites to the adoption of this resolution have occurred.

**NOW, THEREFORE, THE CITY COUNCIL OF PLACENTIA DOES HEREBY ORDAIN AS FOLLOWS:**

**SECTION 1.** In all respects as set forth in the Recitals of this Ordinance.

**SECTION 2. Severability.** If any section, subsection, subdivision, paragraph, sentence, clause or phrase in this Ordinance or any part thereof is for any reason held to be unconstitutional or invalid or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of this Ordinance or any part thereof. The City Council hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase thereof irrespective of the fact that any one (1) or more subsections, subdivisions, paragraphs, sentences, clauses or phrases be declared unconstitutional, or invalid, or ineffective, provided the basic purposes of this Ordinance and the benefits to the City and the public are not substantially impaired.

**SECTION 3. CEQA.** The City has complied with the requirements of CEQA and the City of Placentia Environmental Guidelines. In adopting Resolution No. R-2024-60, the City Council certified and adopted Mitigated Negative Declaration No. 2021-01 and finds that the Addendum was prepared in full compliance with the California Environmental Quality Act (“CEQA”), California Public Resources Code §§ 21000, *et seq.*, and the Environmental Guidelines of the City of Placentia.

**SECTION 4.** The City Council hereby amends the City of Placentia Municipal Code by modifying Chapter 23.105, Specific Plan No. 5 (SP-5), as set forth in Attachment “B”, attached hereto and by this reference made a part hereof. The property depicted in Attachment “A” is proposed for a site modification to allow additional land uses, including mixed-use developments (residential-commercial), and parking structures. This modification will include establishing development standards for gross lot area, floor area ratio (FAR), building height, residential density, dwelling unit size, parking requirements, setbacks, and lot coverage.

**SECTION 5.** The City Council finds, in accordance with the requirements of Section 23.96.040 (“Amendments”) of the Placentia Municipal Code, that the proposed amendment to the municipal code will not be detrimental to the health, safety or general

welfare of the persons residing or working within the neighborhood of the proposed amendment or within the city, and that it will not be injurious to property or improvements within the neighborhood or within the city. The City Council also finds that the amendment is consistent with the latest adopted General Plan.

**SECTION 6. Effective Date.** This Ordinance shall take effect on the 31<sup>st</sup> day after adoption.

**SECTION 7. Certification.** The City Clerk shall certify the passage of this ordinance and shall cause the same to be entered in the book of original ordinances of said City; shall make a minute passage and adoption thereof in the records of the meeting at which time the same is passed and adopted; and shall, within fifteen (15) days after the passage and adoption thereof, cause the same to be published as required by law, in a publication of general circulation.

**INTRODUCED** at a regular meeting of the City Council of the City of Placentia held on the 3<sup>rd</sup> day of September 2024.

**PASSED, APPROVED AND ADOPTED this 3<sup>rd</sup> day of September 2024.**

\_\_\_\_\_  
Jeremey Yamaguchi, Mayor

ATTEST:

\_\_\_\_\_  
Robert S. McKinnell, City Clerk

STATE OF CALIFORNIA  
COUNTY OF ORANGE

I, Robert S. McKinnell, City Clerk of the City of Placentia, do hereby certify that the foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Placentia, held on the 3<sup>rd</sup> day of September 2024 and adopted at a regular meeting of the City Council of the City of Placentia, held on the XX day of September 2024 by the following vote:

AYES: Councilmembers:  
NOES: Councilmembers:  
ABSENT: Councilmembers:  
ABSTAIN: Councilmembers:

ATTEST:

---

Robert S. McKinnell, City Clerk

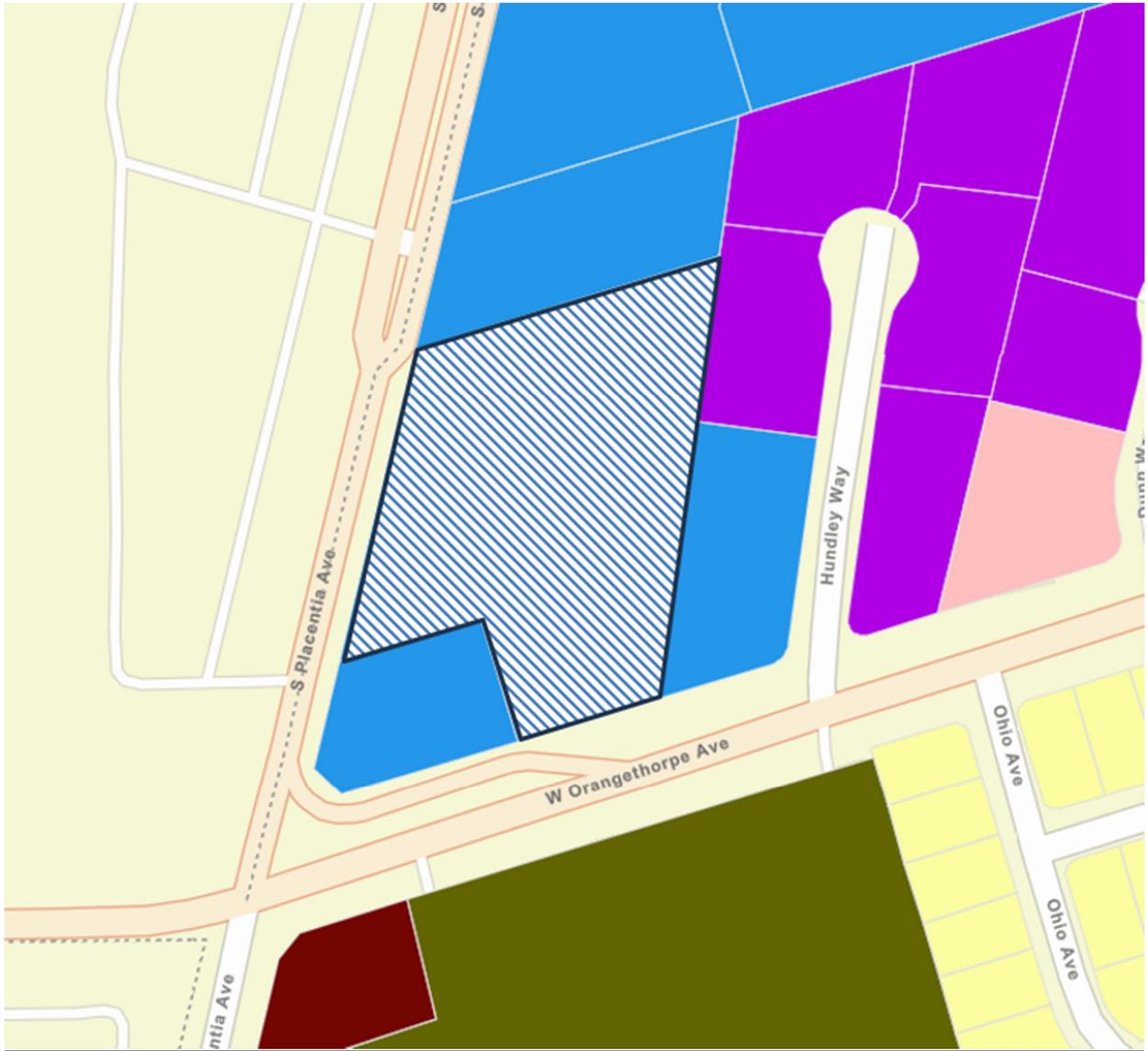
APPROVED AS TO FORM:

---

Christian L. Bettenhausen, City Attorney

ATTACHMENT A:           Map of Project Area  
ATTACHMENT B:           Amendment to Chapter 23.105, Specific Plan 5

**ATTACHMENT "A"**  
**MAP OF PROJECT AREA**



**ATTACHMENT "B"**  
**Amendment to Chapter 23.105, Specific Plan 5**

**CHAPTER 23.105 SPECIFIC PLAN 5**

**Note**

\* Prior ordinance history: Ordinances 86-O-118, 88-O-118 and 90-O-101.

**§ 23.105.010. Location.**

This specific plan shall encompass 19.13 +/- net acres at the northeast corner of Placentia Avenue and Orangethorpe Avenue, 727 +/- feet south of Crowther Avenue and lying west of Placentia Storm Drain Channel, represented by the following specific plan area map:



(Ord. 95-O-118, 1995; Ord. O-2019-05 § 3, 2019)

**§ 23.105.020. Purpose.**

The specific plan is intended to provide a site for retailers and businesses, which through the characteristics of their respective services offered, cater to the entire community.

(Ord. 95-O-118, 1995)

**§ 23.105.030. Permitted uses for parcels 1, 2, 3, 4, 5, 6, 8 and 10.**

All retail, business and office uses are permitted on these parcels as shown on Exhibit A attached to the ordinance codified in this chapter and on file in the office of the city clerk, including but not limited to the following examples:

- (1) Apparel stores;
- (2) Appliance stores;
- (3) Educational and training offices;
- (4) Financial institutions;
- (5) Food stores.

- (6) General administrative offices;
- (7) Health clubs;;
- (8) Home improvement centers;
- (9) Hotels with lounges;
- (10) Medical and dental offices and clinics;
- (11) Professional offices;
- (12) Research and development including laboratories;
- (13) Restaurants including drive-through facilities;
- (14) Sales and service operations with or without light assembly and storage;
- (15) Small outdoor seating areas per Section 23.81.165;
- (16) Use conformity determination.

Notwithstanding the provisions of this section, the planning commission of the city of Placentia may, upon application made pursuant to the provisions of Chapter 23.87, review and determine whether a proposed use, not otherwise specified in this section, conforms to the intent and purpose of this chapter with regard to permitted uses and has characteristics similar to those uses listed in this section. The city administrator shall determine the number of plot plans to be submitted together with the application. The planning commission shall make the findings required by Section 23.87.040(1) and (2) in making any such determination.

(Ord. 95-O-118, 1995; Ord. 97-O-107 § 1, 1997; Ord. O-2010-09 § 5, 2010)

**§ 23.105.040. Permitted uses for parcels 6 and 7.**

The primary purpose of parcels 6 and 7 is hotel in nature. All retail, business and office uses listed in Section 23.105.030 shall be permitted. (Ord. 95-O-118, 1995)

**§ 23.105.050. Permitted uses for parcels 9 and 11.**

The purpose of these parcels is to provide a site for motor vehicle dealerships, and for other selected other commercial uses. Hospitality uses listed in Section 23.105.030 shall be permitted. General retail, financial, office, medical, and restaurant uses including drive-through facilities listed in Section 23.105.030 shall be permitted. **On Parcel 9, a mixed-use project with up to 248 units shall be permitted.**

(Ord. 95-O-118, 1995; Ord. O-2019-05 § 3, 2019)

**§ 23.105.060. Uses subject to obtaining a use permit for all parcels.**

- (1) Establishments that sell alcoholic beverages including on- and off-sale;
- (2) Uses similar to those permitted in Section 23.105.030 with special design characteristics which have the potential to adversely affect the health, safety and general welfare of the surrounding neighborhood;
- (3) Large outdoor seating areas per Section 23.81.165.

(Ord. 95-O-118, 1995; Ord. 97-O-107 § 2, 1997)

**§ 23.105.070 Height.**

Maximum allowable building height shall be seventy-five (75) feet. Rooftop amenities and architectural projections, such as and not limited to, clubhouses, swimming pools, tennis courts, open space areas, fitness centers, are permitted to project sixteen (16) ft. above the maximum height limit if integrated into the overall design of the project and the maximum rooftop building coverage is limited to forty (40) percent of the rooftop floor area.

(Ord. 95-O-118, 1995; Ord. O-2019-05 § 3, 2019)

**§ 23.105.080 Lot coverage.**

Not more than eighty-five (85) percent of the net lot area shall be devoted to main and accessory building area, parking area or driveways except on those lots containing an auto dealership where one hundred (100) percent coverage shall be permitted.

(Ord. 95-O-118, 1995)

**§ 23.105.090 Front yard setback.**

Minimum front yard setbacks shall be fifteen (15) feet. **The front yard setbacks on Parcel 9 shall be 10 feet.** All of the required yard area shall be landscaped and maintained, except for drive entrances.

(Ord. 95-O-118, 1995)

**§ 23.105.100 Side yard.**

Minimum side yard setback shall be fifteen (15) feet when adjacent to public streets. Side yards adjacent to public streets shall be landscaped and maintained. All other side yards shall be a minimum of three (3) feet. Parking shall be permitted within the side yard setback except in areas designed for landscaping. **Minimum side yard setbacks on Parcel 9 shall be 10 feet.**

(Ord. 95-O-118, 1995)

**§ 23.105.110. Rear yard.**

Minimum rear yard setback shall be fifteen (15) feet. A minimum of five (5) feet shall be landscaped and maintained. **Minimum rear setback on Parcel 9 shall be 10 feet.**

(Ord. 95-O-118, 1995)

**§ 23.105.120. Distance between buildings.**

The minimum distance between buildings shall be twelve (12) feet, except for buildings on parcels 9 and 11.

(Ord. 95-O-118, 1995)

**§ 23.105.130. Walls and fences.**

All fences shall be six (6) feet high chain link with one (1) inch private decorative slatting, color to be compatible with architecture of building. These fences shall occur along the southerly, easterly and northerly exterior property lines on parcels 1 through 7, as shown

on Exhibit A attached to the ordinance codified in this chapter and on file in the office of the city clerk.

(Ord. 95-O-118, 1995)

### **§ 23.105.140 On-site parking.**

Parking shall be provided per Chapter 23.78 for all areas covered by the specific plan, with the following exceptions:

(1)

(A) Parking for parcels 1 and 2 shall be combined to meet requirements.

(B) Parking for parcels 3 and 4 shall be combined to meet requirements.

(2)

Reciprocal parking shall be provided between parcels 1 and 2 and parcels 3 and 4.

(Ord. 95-O-118, 1995)

**(3) Parking for a mixed-use project on Parcel 9 shall be shared between the retail and the residential units. Residential parking shall be one (1) space per dwelling unit for bachelor and one (1) bedroom units, one and one half (1.5) spaces per dwelling unit for two (2) bedroom units, two (2) spaces per dwelling unit for three (3) bedroom units, and guest parking at one (1) space per five (5) dwelling units, which guest parking shall be shared with the retail.**

### **§ 23.105.150 Signs.**

All signs shall be integrated with the design of the development and shall reflect the architecture of the building except those provided for in Section 23.90.160 (temporary advertising devices) and shall not be located in such a manner as to constitute a hazard to pedestrian or vehicular traffic, and shall comply with all local building and electrical codes and their supporting structures shall be enclosed, structurally safe and maintained in good condition.

(1)

(A) Project entry monument signs shall not exceed four (4) feet in height and twenty-four (24) feet in length.

(B) Two project entry signs as shown on Exhibit B, attached to the ordinance codified in this chapter, shall be permitted.

(2) Interior monument signs shall not exceed four (4) feet in height and ten and one-half (10.5) feet in length.

(3)

(A) Freeway signs shall not exceed twenty (20) feet in height above freeway driving surface.

(B) Freeway signs shall not exceed fifteen (15) feet in width.

(C) Two freeway signs as shown on Exhibit B, attached to the ordinance codified in this chapter, shall be permitted.

(4)

(A) Building tenant directory signs shall not exceed six and one-half (6.5) feet in height and five (5) feet in width.

(B) Seven (7) building tenant directory signs as shown on Exhibit B, attached to the ordinance codified in this chapter, shall be permitted.

- (5)
  - (A) Tenant identification signs shall meet the material and design criteria dictated by the sign specifications for the park.
  - (B) Each tenant identification sign shall not exceed one and one-half (1.5) square foot per lineal foot of building frontage on which the sign is located.
- (6)
  - (A) Truck door identification signs shall be attached to the building. No portion of any sign may project more than six (6) inches from the face of the building to which it is attached.
  - (B) Each truck door identification sign shall not exceed four (4) square feet.
- (7) Additional signs shall be permitted subject to the review and approval of the planning commission.  
(Ord. 95-O-118, 1995)

## ATTACHMENT NO. 4

Preface to Mitigated Negative Declaration No. MND 2021-01, Initial Study, MND 2021-01, Mitigation Monitoring and Reporting Program (MMRP), Public Comments and Responses, and Initial Study Appendix

(<http://www.placentia.org/index.aspx?NID=776>)

SHEET INDEX

SHEET	DESCRIPTION
G1.0	COVER SHEET
G1.1	PROJECT INFORMATION - UNIT SUMMARY, PARKING
G2.0	CONCEPTUAL PERSPECTIVES
A1.0	SITE PLAN
A1.1	OPEN SPACE PLAN
A1.3	EGRESS PLANS
A1.4	FIRE AREA PLAN
A1.5	FIRE ACCESS SITE PLAN
A1.6	FIRE ACCESS 3D MODEL
A2.0	BUILDING COMPOSITE PLAN - LEVEL 1 & 2
A2.1	BUILDING COMPOSITE PLAN - LEVEL 3 - 6
A3.0	CONCEPTUAL WEST & SOUTH BUILDING ELEVATION
A3.1	CONCEPTUAL EAST & NORTH BUILDING ELEVATION
A3.2	BUILDING SIGNAGE
A3.3	BUILDING SIGNAGE
A3.4	COLOR AND MATERIAL BOARD
A4.0	CONCEPTUAL BUILDING SECTIONS
A5.0	CONCEPTUAL UNIT PLANS
L.1	CONCEPTUAL LANDSCAPE PLAN
L.2	RETAIL PLAZA ENLARGEMENT
L.3	POOL COURTYARD ENLARGEMENT
L.4	LANDSCAPE NOTES AND PLAN PALETTE
L.5	IRRIGATION PLAN
L.6	LIGHTING PLAN
L.7	WALL AND FENCE PLAN
C.1	EXISTING CONDITION PLAN
C.2	CONCEPTUAL GRADING PLAN



Project Team

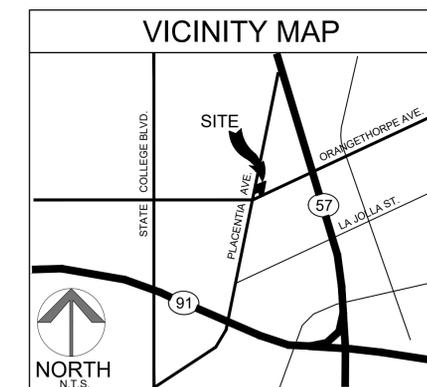
APPLICANT / OWNER  
 ORANGETHORPE INVESTMENT PARTNERS LLC  
 1000 Newport Center Drive  
 Newport Beach, CA 92660  
 (949) 510-8255  
 Contact: Gilad Ganish

RESIDENTIAL ARCHITECT  
 ARCHITECTS ORANGE  
 144 N. Orange Street  
 Orange, CA 92666  
 (714) 639-9860  
 Contact: Tobin Symmank

LANDSCAPE ARCHITECT  
 MJS LANDSCAPE ARCHITECTURE  
 507 30th Street  
 Newport Beach, CA 92663  
 (949) 675-9964  
 Contact: Matt Jackson

CIVIL ENGINEER  
 FUSCOE ENGINEERING, INC.  
 16795 Von Karman, Suite 100  
 Irvine, CA 92606  
 (949) 474-1960  
 Contact: John Olivier

**UPDATED PLANS ON 05/20/24 & 06/05/24 WITH CHANGES TO SHEETS G.1, G.1.1, A1.0, A1.2, A2.1, A3.0, A3.1, A4.0, A5.0, FMP-1, FMP-2, & FMP-3**



REVISION LOG		
NO.	DESCRIPTION	Date
1	ORIGINAL	08.23.2021
2	REVISION (6-STORY GARAGE)	05.20.2024
3		
4		
5		

**ORANGETHORPE AVE MIXED USE**

777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
 Cover Sheet



**G1.0**

Scale N/A  
 Job No. 2021-204  
 Date 05-20-2024

## BUILDING PROJECT DESCRIPTION

A 248 UNIT DEVELOPMENT CONSISTING OF A  
5-STORY TYPE III-A RESIDENTIAL BUILDING  
SURROUNDING 6 LEVELS OF TYPE II-A PARKING STRUCTURE

**GROSS LAND AREA** 118,541 SQ. FT.  
 ± **2.72 ACRES**  
 RESIDENTIAL GROSS AREA: 250,681 SQ. FT.  
 PARKING STRUCTURE GROSS AREA 132,017 SQ. FT.  
**TOTAL UNITS: 248 UNITS**  
 FAR (PARKING STRUCTURE NOT INCLUDED): 2.11 FAR  
 OPEN SPACE: 191 S.F. /D.U. 47,302 SQ. FT.  
**LOT COVERAGE: 68% 80,653 SQ. FT.**  
**CURRENT ZONING: SP-5**

RESIDENTIAL AREA (GSF) per CBC Definition	
Level 1*	51,241
Level 2	47,022
Level 3	50,806
Level 4	50,806
Level 5	50,806
<b>TOTAL GROSS AREA</b>	<b>250,681</b>
Land Area (sf)	118,541
F.A.R.	2.11

\*Note: Level 1 includes 2,703 s.f. of commercial use and 5,927 s.f. of Amenity use.

STRUCTURED PARKING AREA (GSF) per CBC Definition	
Level 1	22,111
Level 2	22,111
Level 3	22,111
Level 4	22,111
Level 5	22,111
Level 6	21,462
<b>TOTAL GROSS AREA</b>	<b>132,017</b>

Residential Multi-Family Building														05.20.24
UNITS PER LEVEL SUMMARY														
LEVEL	STUDIO		1BR								2BR			TOTAL
	S1	S1A	A1	A1A	A2	A2A	A3	A3A	A3B	A4	B1	B1A	B3	
5	6	3	4	1	5	3	8	5	1	1	10	4	2	53
4	6	3	4	1	5	3	8	5	1	1	10	4	2	53
3	6	3	4	1	5	3	8	5	1	1	10	4	2	53
2	6	3	3	1	5	3	8	5	1	1	10	3	0	49
1	5	3	2	0	6	5	6	4	1	1	6	1	0	40
	29	15	17	4	26	17	38	24	5	5	46	16	6	<b>248</b>
Totals	44		136								68			<b>248</b>
	11.7%	6.0%	6.9%	1.6%	10.5%	6.9%	15.3%	9.7%	2.0%	2.0%	18.5%	6.5%	2.4%	<b>100%</b>
	17.7%		54.8%								27.4%			

DWELLING UNIT INFO				
Unit	Unit SF	Qty.	%	SF TOT.*
S1	575	29	11.7%	16,675
S1A	534	15	6.0%	8,010
A1	638	17	6.9%	10,846
A1A	591	4	1.6%	2,364
A2	739	26	10.5%	19,214
A2A	676	17	6.9%	11,492
A3	715	38	15.3%	27,170
A3A	715	24	9.7%	17,160
A3B	701	5	2.0%	3,505
A4	759	5	2.0%	3,795
B1	1,080	46	18.5%	49,680
B1A	1,026	16	6.5%	16,416
B3	1,040	6	2.4%	6,240
<b>Avg.</b>	<b>776</b>	<b>248</b>	<b>100.0%</b>	<b>192,567</b>

\* RESIDENTIAL UNIT NET AREA

AVG. SF	
TYPE	SF
STUDIO	561
1-BR	703
2-BR	1064

PRIVATE O.S.		
Unit	DECK AREA	TOT. AREA
S1	26	754
S1A	41	615
A1	26	442
A1A	44	176
A2	26	676
A2A	55	935
A3	28	1,064
A3A	65	1,560
A3B	65	325
A4	26	130
B1	26	1,196
B1A	55	880
B3	122	732
<b>TOTAL</b>	<b>9,485</b>	

ENCLOSED AMENITY SF	
AMENITIES	
LEASING/LOBBY	1,481
CLUB	1,444
FITNESS	1,085
FITNESS MEZ.	486
CO-WORK	874
MAIL/PARCEL	1,046
<b>TOTAL</b>	<b>6,416</b>
<b>COMMERCIAL S.F.</b>	
RETAIL	2,703

OPEN SPACE	
Provided - Common	37,817
Provided - Private	9,485
<b>TOTAL PROVIDED</b>	<b>47,302</b>

BUILDING - PARKING SUMMARY				
TYPE	COUNT	PROVIDED		
		RATIO	STALLS	
STUDIO	44	1.0	44	
1 BR	136	1.0	136	
2 BR	68	1.5	102	
GUEST		0.20	50	
<b>TOTALS</b>	<b>248</b>	<b>1.34</b>	<b>332</b>	
LEASING			3	
RETAIL 4/1000 sf	0.004	2,703 SF	*	
<b>TOTAL STALLS PROVIDED</b>			<b>335</b>	

\*NOTE: Retail stalls are Shared within total Guest stall count

ACCESSIBLE STALLS REQUIRED			
	STALLS	RATIO	REQ'D
RESIDENTIAL	332	0.02	7
RETAIL			1
<b>TOTAL ACCESSIBLE PARKING REQUIRED</b>			<b>8</b>
<b>TOTAL ACCESSIBLE PARKING PROVIDED</b>			<b>8</b>

NOTE: PROVIDE (1) VAN AC. STALL FOR EVERY 6 AC. STALLS PROVIDED (PER TYPE)

EVCS PARKING REQ'D (RESID.)			
	STALLS	RATIO	REQ'D
RESIDENTIAL	335	0.1	33
<b>TOTAL EVCS PARKING REQUIRED</b>			<b>33</b>
<b>TOTAL EVCS PARKING PROVIDED</b>			<b>33</b>

NOTE: PER CBC 2022, 10% REQUIRED TO BE READY & 40% REQUIRED TO BE CAPABLE  
 ALSO, THE REQUIRED EVCS STALLS ARE INCLUDED IN THE COUNT TO MEET THE MINIMUM ZONING REQUIREMENTS FOR BOTH THE RESIDENTIAL AND LEASING PARKING REQUIREMENTS.

BUILDING - PARKING PROVIDED					
	EV Ready	STD	COMP.	Acc.	TOTAL
SURFACE PKG		6		2	8
LEVEL 1	6	33	11	2	52
LEVEL 2	6	36	11	2	55
LEVEL 3	6	37	11	1	55
LEVEL 4	5	38	11	1	55
LEVEL 5	5	38	11	1	55
LEVEL 6	5	39	11	0	55
<b>TOTAL STALLS</b>	<b>33</b>	<b>227</b>	<b>66</b>	<b>9</b>	<b>335</b>
	10%	68%	20%	3%	

PARKING STRUCTURE

## GENERAL DISCLAIMER

THESE CONCEPTUAL ARCHITECTURAL PLANS ARE FOR PLANNING & DEVELOPMENT PURPOSES ONLY. REVISIONS MAY BE REQUIRED DUE TO FURTHER REQUIREMENTS, INVESTIGATION FROM GOVERNING AGENCIES AND BUILDING CODE ANALYSIS. DIMENSIONS SHOWN ARE APPROXIMATE AND ARE BASED UPON THE INFORMATION AND SURVEYS AVAILABLE. PLEASE REFER TO CIVIL SURVEYS, DRAWINGS AND EXHIBITS FOR TECHNICAL INFORMATION AND MEASUREMENTS. PLEASE REFER TO THE LANDSCAPE ARCHITECT'S DRAWINGS AND EXHIBITS FOR ALL LANDSCAPE PLANTING, IRRIGATION, DESIGN AND SPECIFICATIONS.



AERIAL VIEW LOOKING NORTHEAST 1



VIEW ON ORANGETHORPE AVE LOOKING NORTH 2

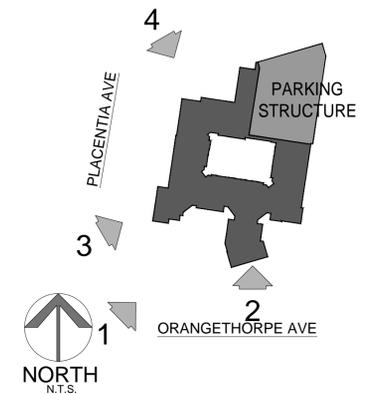


VIEW ON PLACENTIA AVE LOOKING NORTHEAST 3



VIEW ON PLACENTIA AVE LOOKING SOUTHEAST 4

KEY MAP



**ORANGETHORPE AVE MIXED USE**

777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
Conceptual Perspectives



**G2.0**

Scale N/A  
Job No. 2021-204  
Date 08-29-2023



### SITE PLAN NOTES

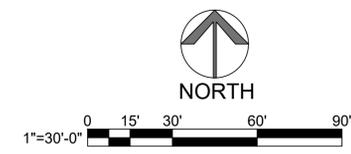
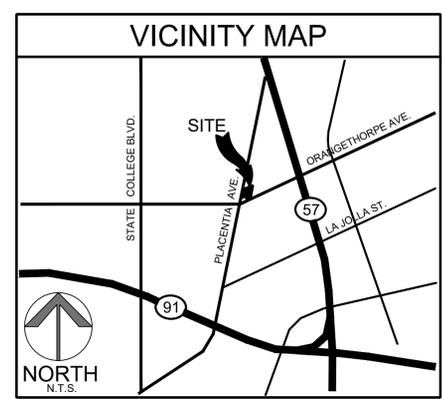
1. THIS ARCHITECTURAL SITE PLAN IS PROVIDED FOR OVERALL SITE REFERENCE. THE LOCATION OF ITEMS INCLUDED IN THIS SET OF PLANS IS FOR AGENCY DEPARTMENT USE ONLY.
2. THIS SITE PLAN IS FOR REFERENCE ONLY, AS AN ARCHITECTURAL PLAN FOR GENERAL LAYOUT AND IDENTIFICATION PURPOSES ONLY.
3. FOR LOT LINE DIMENSIONS & HORIZONTAL CONTROL, SEE CIVIL DRAWINGS.
4. FOR HARDSCAPE AND ALL SITE IMPROVEMENTS, SEE LANDSCAPE DRAWINGS.
5. FOR PARKING GARAGE, SEE SEPARATE SUBMITTAL PACKAGE.
6. FOR "FIRE LANE" DESIGN, SEE CIVIL AND LANDSCAPE DRAWINGS.
7. FOR PERIMETER FENCING, SEE LANDSCAPE DRAWINGS.
8. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SPECIFIC SITE REQUIREMENTS.
9. ALL PROPERTY LINES, EASEMENTS, AND BUILDINGS, EXISTING AND PROPOSED ARE SHOWN ON THIS PLAN BUT MUST BE VERIFIED WITH THE CIVIL PLANS.
10. BUILDING SIGNAGE IS DESIGNED BY OTHERS AND INSTALLED BY THE GENERAL CONTRACTOR.
11. SITE SIGNAGE IS DESIGNED BY OTHERS AND INSTALLED BY THE CONTRACTOR.
12. SITE WALLS ARE DESIGNED BY OTHERS.
13. DECORATIVE SITE LIGHTING IS DESIGNED BY OTHERS.
14. SURFACE WATER MUST DRAIN AWAY FROM BUILDING SEE CIVIL AND LANDSCAPE PLANS FOR DRAINAGE DESIGN.

### GENERAL NOTES

1. SEE SHEETS L1.0 - L4.0 FOR LANDSCAPE.
2. SEE SHEETS C1.0 - C2.0 FOR CIVIL.

### LEGEND

- INDICATES RESIDENTIAL BUILDING (5-STORY)
- INDICATES GROUND FLOOR RESIDENTIAL AMENITY
- INDICATES GROUND FLOOR RETAIL SPACE
- INDICATES STRUCTURED PARKING (6.9 LEVELS)

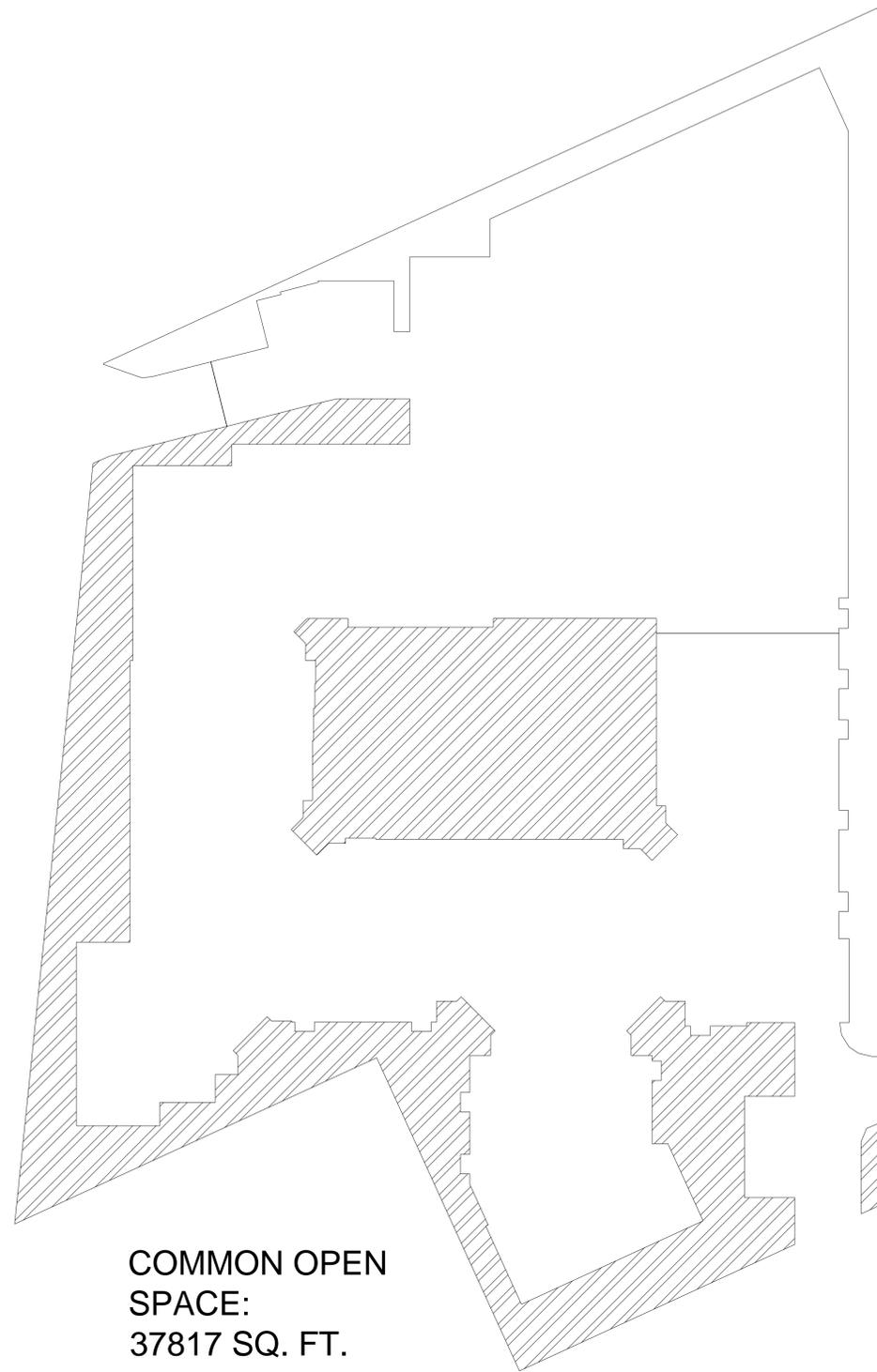


**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
 Site Plan

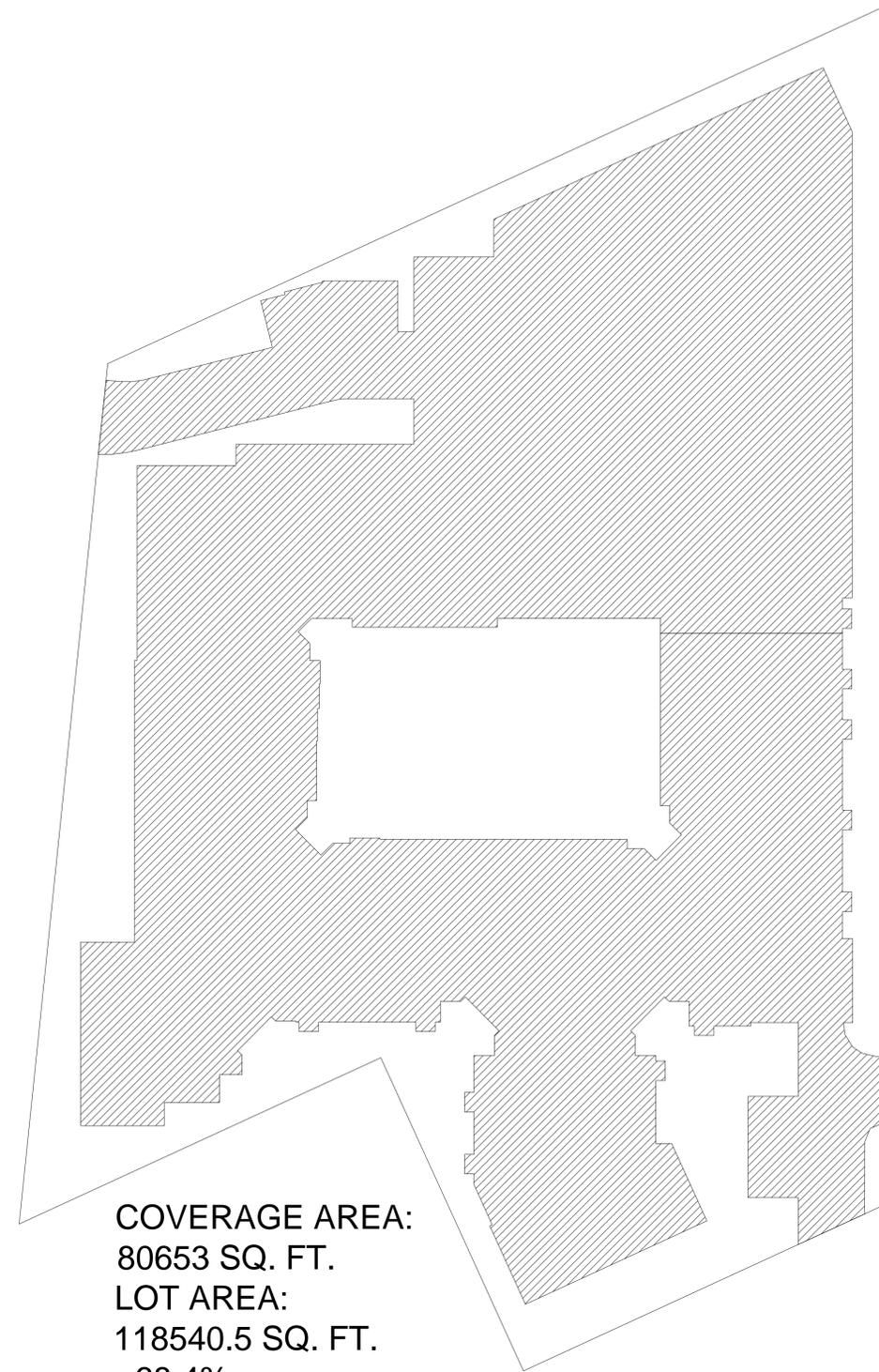


**A1.0**  
 Scale 1" = 30'  
 Job No. 2021-204  
 Date 05-20-2024



COMMON OPEN  
SPACE:  
37817 SQ. FT.

COMMON OPEN SPACE



COVERAGE AREA:  
80653 SQ. FT.  
LOT AREA:  
118540.5 SQ. FT.  
=68.4%

LOT COVERAGE

**ORANGETHORPE AVE MIXED USE**

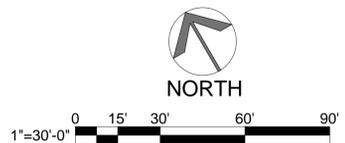
777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
Common Open Space & Lot Coverage



**A1.1**

Scale 1" = 30'  
Job No. 2021-204  
Date 08-29-2023





### NARRATIVE

THE WRITTEN SOLID WASTE DISPOSAL AND RECYCLING MANAGEMENT PLAN FOR THE RESIDENTIAL BUILDING IS EXPLAINED AS FOLLOWS:

**TRASH TRUCK ROUTING**  
TRUCKS WILL ENTER INTO THE PROJECT AT ORANGETHORPE AVE, CONTINUE ALONG THE DRIVEWAY AND UTILIZE THE DESIGNATED TURN-AROUND TO HEAD SOUTH, PARK ADJACENT TO THE TRASH STAGING AREAS AND COMMENCE OPERATIONS. AFTER COMPLETING PICK-UP, TRUCKS WILL EXIT THE PROPERTY AT ORANGETHORPE AVE.

**TRASH ROOMS**  
**SOLID WASTE:**  
A MIN. TOTAL OF THREE (3) 2-CUBIC YARD TRASH BINS ARE ANTICIPATED TO BE ON SITE WITHIN TRASH ROOM AT ALL TIMES FOR 3X A WEEK PICK-UP SCHEDULE.

**RECYCLABLE:**  
A MIN. TOTAL OF (3) 4-CUBIC YARD RECYCLE BINS ARE ANTICIPATED TO BE ON SITE WITHIN TRASH ROOM AT ALL TIMES FOR 3X A WEEK PICK-UP SCHEDULE.

**ORGANICS:**  
A MIN. TOTAL OF (3) 64-GALLON ORGANIC CART ARE ANTICIPATED TO BE ON SITE WITHIN TRASH ROOM AT ALL TIMES FOR 3X A WEEK PICK-UP SCHEDULE.

DIMENSIONS FOR TRASH ROOM IS +/- 17'-4" X 25'-6" (444 S.F.);

COLLECTION WILL BE VIA RECYCLABLE AND COMPACTED SOLID WASTE TRASH CHUTES LOCATED WITHIN ONE SEPARATE ENCLOSURE AT THE SOUTHWEST CORNER OF THE PARKING STRUCTURE AT EACH RESIDENTIAL LEVEL. THE ONE TRASH TERMINATION ROOM WILL PROVIDE FOR SOLID WASTE, RECYCLE AND ORGANICS BINS PER DESCRIPTION AND FREQUENCY ABOVE.

TENANTS WILL NOT ACCESS THE TRASH TERMINATION ROOM DIRECTLY, BUT THROUGH TRASH-CHUTE ROOMS LOCATED AT EVERY LEVEL OF THE BUILDING OFF THE RESIDENTIAL CORRIDORS. THE TRASH CHUTES WILL CONTAIN A MECHANISM THAT WILL ALLOW COMPLETE SHUT-OFF IN ORDER TO REMOVE / REPLACE THE BINS AS THEY REQUIRE EMPTYING AND LIMIT ACCESS TO ALL OTHER FLOORS WHEN ANY ONE CHUTE DOOR IS OPENED. A PORTER WILL BE REQUIRED TO MONITOR THE TRASH LEVELS THROUGHOUT THE DAY AS A PART OF DAILY DUTIES. A VEHICLE APPROPRIATE FOR TOWING TRASH BINS (eg. WASTE-CADDY) WILL BE PART OF MANAGEMENT OPERATIONS OR VIA CONTRACTING WITH THE SERVICE PROVIDER.

**TEMPORARY STAGING ROOM**  
TEMPORARY STAGING AWAITING ARRIVAL AND POSITIONING OF WASTE TRUCK.

**STAGING AREA**  
THE STAGING AREA IS WHERE THE COLLECTION OF ALL BINS WILL TAKE PLACE AND WHERE THE HAULER (TRASH TRUCK) WILL PICK-UP THE BINS.

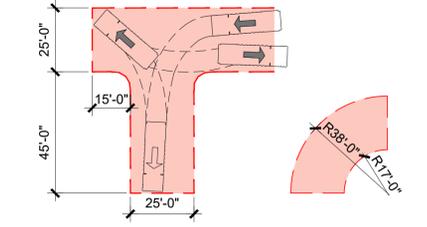
**MAINTENANCE OF TRASH ROOMS**  
THE MAINTENANCE OF THE TRASH ROOMS WILL BE MONITORED AND MANAGED BY PROPERTY MANAGEMENT.

**ROLL OUT SERVICE AND PICK-UP**  
TRASH COLLECTION BINS WILL BE MOVED FROM THE ONE TRASH ROOMS AT LEVEL 1 (PARKING STRUCTURE) WITH AN APPROPRIATE RETRIEVAL VEHICLE (eg. WASTE-CADDY). THE PROPERTY OWNER WILL CONTRACT FOR THE PROPERTY MANAGEMENT COMPANY TO PROVIDE ON-SITE TRASH MANAGEMENT TO ENSURE THAT FULL BINS ARE REPLACED WITH EMPTY ONES. A SERVICE PROVIDER WILL BE CONTRACTED BY THE PROPERTY OWNER TO EMPTY THE BINS AS NECESSARY PER SCHEDULE.

THE RENTAL / OWNERSHIP OF THE BINS AND THE TRASH SERVICE FOR THE TENANTS WILL BE PAID FOR BY THE BUILDING OWNER.

RESIDENTIAL BUILDING TRASH SUMMARY						
SOLID WASTE CALCULATIONS						
UNITS	C.Y./UNIT /WK	TOTAL C.Y. (50%)	COMPACTION RATIO	COMPACTED TRASH (C.Y.)	No. of 2 C.Y. BINS REQ'D	No. of 2 C.Y. BINS REQ'D /ROOM
248	0.29	71.92	3:1	24	12	4
RECYCLING CALCULATIONS						
UNITS	C.Y./UNIT /WK	TOTAL C.Y. (50%)	TOTAL UNCOMPACTED (C.Y.)	No. of 4 C.Y. BINS REQ'D	No. of TRASH ROOMS	No. of 4 C.Y. BINS REQ'D /ROOM
248	0.12	29.76	30	8	1	3
ORGANICS CALCULATIONS						
UNITS	GALLONS/ WEEK	TOTAL (GAL/ WEEK)	NUMBER OF 64 GALLON CARTS	No. of TRASH ROOMS	No. of PICK-UPS PER WEEK	64 GAL. CARTS REQ'D /ROOM
248	2.4	595.2	9	1	3	3

### LEGEND

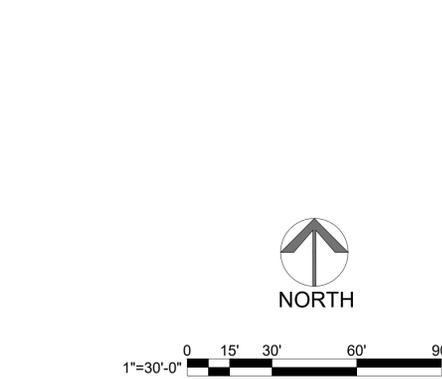
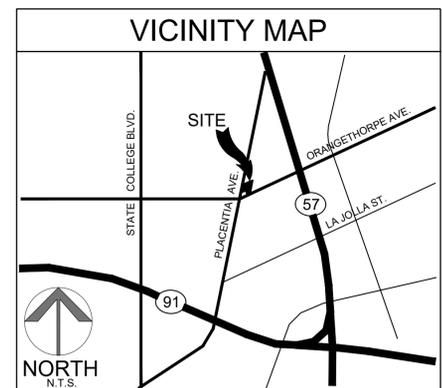


TRASH TRUCK TURN-AROUND  
SANITATION TRUCK  
HAMMERHEAD TURN AREA 14'  
MINIMUM VERTICAL CLEARANCE



### GENERAL NOTES

- TRASH ENCLOSURE AREAS ARE FULLY ROOFED AND CONTAINED WITHIN THE PARKING STRUCTURE.
- STAGING AREA AVAILABLE ON DAYS OF SERVICE FROM 7am to 1pm.
- MINIMUM VERTICAL CLEARANCE OF 25' AT STAGING AREA FOR BIN CLEARANCE.
- ALL DRIVEWAYS & STAGING AREAS MUST BE ABLE TO CARRY MIN. 60,000 POUND GROSS VEHICLE WEIGHT



**ORANGETHORPE AVE MIXED USE**  
777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
Waste Management Plan



**A1.2**

Scale 1" = 30'  
Job No. 2021-204  
Date 05-20-2024

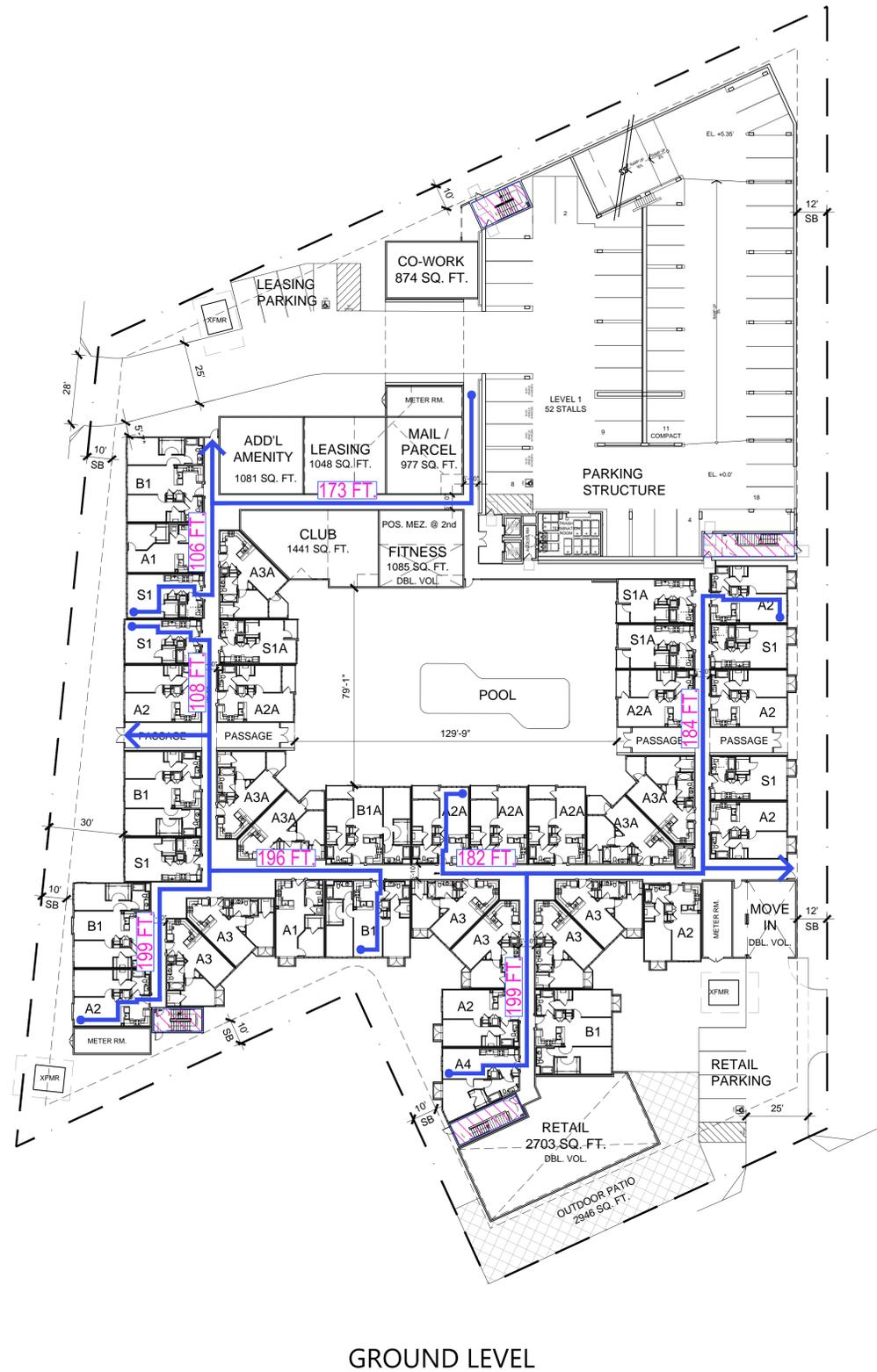
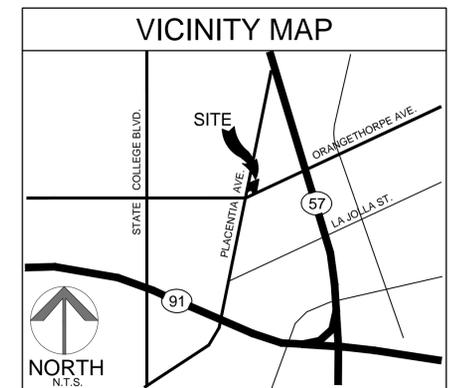
# GENERAL NOTES

- EXIT ACCESS TRAVEL DISTANCES SHOWN ARE MEASURED FROM THE MOST REMOTE POINT WITHIN EACH DWELLING UNIT TO EITHER AN EXTERIOR EXIT STAIRWAY OR EXIT DISCHARGE AS PER CBC SECTION 1016.
- THE MAXIMUM LENGTHS OF EXIT ACCESS TRAVEL PER OCCUPANCY ARE LISTED BELOW AS PER CBC TABLE 1016.1:  
 A: 250 FEET (WITH SPRINKLER SYSTEM)  
 B: 300 FEET (WITH SPRINKLER SYSTEM)  
 R: 250 FEET (WITH SPRINKLER SYSTEM)  
 S-2: 400 FEET (WITH SPRINKLER SYSTEM)
- EGRESS THROUGH AN INTERVENING SPACE SHALL COMPLY WITH SECTION 1014.2
- THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED THE FOLLOWING DISTANCES PER SECTIONS 1014.3 AND 1028.8:  
 A: 75 FEET\*  
 B: 100 FEET\*  
 R-2: 125 FEET\*  
 S-2: 100 FEET\*  
 (\* = PROVIDED THAT THE BUILDING IS PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2)
- SEE ELECTRICAL DRAWINGS AND ARCHITECTURAL REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION REGARDING EXIT SIGNS.
- EXIT ACCESS (SECTION 1002): THAT PORTION OF A MEANS OF EGRESS SYSTEM THAT LEADS FROM ANY OCCUPIED PORTION OF A BUILDING OR STRUCTURE TO AN EXIT.
- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. SECTION 1006.2
- THE MEAN OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF A POWER SUPPLY FAILURE, AN AUTOMATIC EMERGENCY ELECTRICAL SYSTEM SHALL BE PROVIDED PER SECTION 1006.3.
- APPROVED EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL AS REQUIRED BY BUILDING CODE 1011.1; AND SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AS REQUIRED BY SECTION 1011.3 IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN SECTIONS 1011.5 AND 1011.6. NOTE: ADDITIONAL EXIT SIGNS MAY BE REQUIRED AT THE TIME OF FIELD INSPECTION.
- IN THE EVENT OF POWER FAILURE AN EMERGENCY ELECTRICAL SYSTEM SHALL ILLUMINATE EXIT SIGNS FOR A DURATION OF NOT LESS THAN 90 MINUTES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN SECTION 1011.6.3

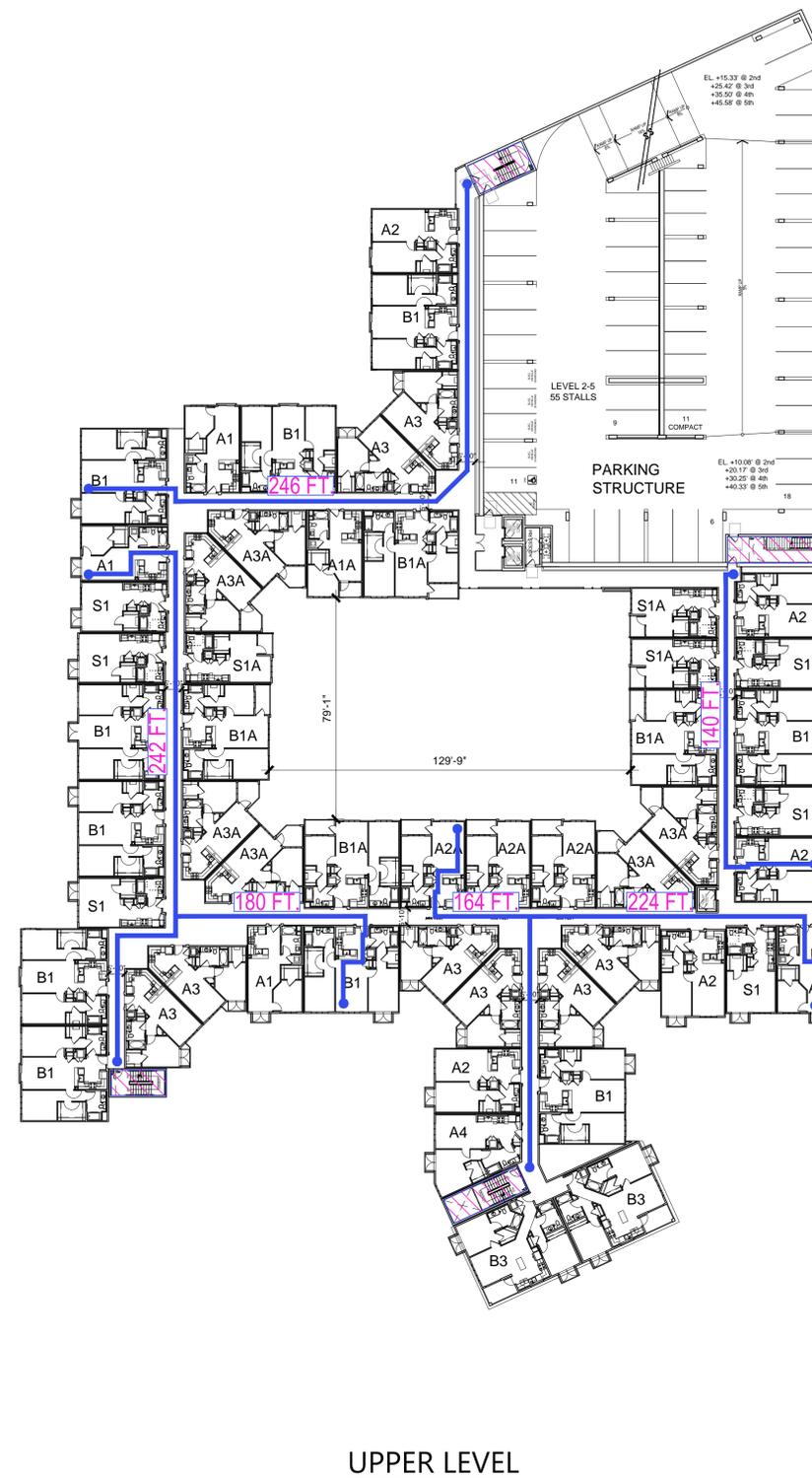
# LEGEND

-  2-HOUR VERTICAL EXIT ENCLOSURE
-  2-HOUR EXIT PASSAGEWAY
-  EXIT PATH

NOTE: MAXIMUM TRAVEL DISTANCE FROM UNIT TO EXIT TO PUBLIC WAY SHALL EXCEED 250 FEET.



GROUND LEVEL



UPPER LEVEL

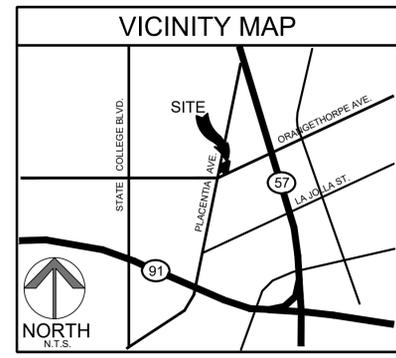
**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
 Egress Plans



**A1.3**

Scale 1" = 30'  
 Job No. 2021-204  
 Date 08-29-2023



**2019 CBC - BUILDING CODE ANALYSIS - HEIGHT AND AREA - TYPE III-A CONSTRUCTION**

Building Use	Occup. Group	Const. Type	Sprinklers (903.3.1.1)	Allowable Ht / Stories	Height Provided	Allowable Building Area			Max Bldg Area per Bldg Section	Avg. Bldg Area per Story (5-5f)
						Tab. 506.2	Non-sprinklered (Sec. 506.2.3)	Frontage Increase (Sec. 506.3)		
Parking Structure	S-2	II-A	NFPA 13	UL	8 Tiers	117,000	-	-	117,000	-
Leasing Office	B	III-A	NFPA 13	85' / 6 St.	1 St.	85,500	-	-	-	-
Recreation/Fitness	A-3	III-A	NFPA 13	85' / 4 St.	1 St.	14,000	-	-	14,000	-
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	24,000	+ ( 24,000 x 0 )	x 2	48,000	9,600
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	24,000	+ ( 24,000 x 0.25 )	x 2	60,000	12,000
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	24,000	+ ( 24,000 x 0.50 )	x 2	72,000	14,400

- NOTES:**
- Approved sprinklers (NFPA 13) used for Height and Story increase, NOT area increase
  - Frontage Increase =  $F/F - 0.25$  W/30; [0-1 side = 0 sf increase; 2 sides = 6,000 sf increase; 3 sides = 12,000 sf increase]
  - 2019 CBC Section 510.2 & 510.4 allows multiple stories below a horizontal assembly (podium)
  - Highest occupable floor level is less than 75' above lowest level of fire department access and therefore building is not considered a High-rise per Section 202
  - Building corridors shall comply with the requirements of CBC Section 1020
  - Building Exit Passageways shall comply with the requirements of CBC Section 1024
  - Where an exit enclosure is extended to an exit discharge or a public way by an exit passageway, the exit enclosure shall be separated from the exit passageway by a fire barrier constructed in accordance with CBC Section 707 or a horizontal assembly constructed in accordance with Section 711, or both.
  - 50' max. dead-end corridor where the building is equipped with an approved automatic fire sprinkler system (NFPA 13) per CBC Section 1020.4

**Placentia Fire Department Access & Water Plan Notes**  
 All of the notes listed in the INSPECTION REQUIREMENTS and GENERAL REQUIREMENTS sections shall be placed, verbatim, on the plan under the heading "FIRE DEPARTMENT ACCESS & WATER NOTES."

- INSPECTION REQUIREMENTS**
1. Placentia site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a re-inspection fee. Call (714) 993-8135 OR email FireCRR@placentia.org to schedule inspections.
  2. A lumber drop inspection shall be performed prior to bringing combustible materials (or combustible fixtures and finishes for structures of non-combustible construction). All-weather access roads capable of supporting 77,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
  3. For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. Use the fuel modification plan service request number to schedule the vegetation clearance inspection.
  4. Phased installation of fire access roads requires additional inspections not covered by the fees paid at plan submittal. Contact (714) 993-8135 to arrange for additional inspections that may be needed and any fees that may be due.
  5. An original approved, signed, wet-stamped Placentia fire access & water plan shall be available on-site at time of inspection.
  6. Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections.
  7. Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the Placentia Fire Department, City of Placentia prior to use.
  8. The project address shall be clearly posted and visible from the public road during construction.
  9. All gates in construction fencing shall be equipped with either a Knox or breakaway padlock.
  10. Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

- GENERAL REQUIREMENTS**
11. Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved Placentia fire department access & water plan and standards identified in Placentia Fire Community Risk Reduction Access & Water Guideline for all portions of the fire access roads.
  12. Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 77,000 lbs. and surfaced to provide all-weather driving capabilities.
  13. Fire lane signs and red curbs shall meet the specifications shown in Placentia Fire Community Risk Reduction Access & Water Guideline and shall be installed as described therein. Additional fire lane markings may be required at the time of inspection depending on field conditions.
  14. All fire hydrants shall have a "Blue Reflective Pavement Marker" indicating their location per the Placentia standard. On private property markers are to be maintained in good condition by the property owner.
  15. Address numbers shall be located and be of a color and size so as to be plainly visible and legible from the roadway from which the building is addressed in accordance with Placentia Fire Community Risk Reduction Access & Water Guideline.
  16. Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC and Placentia Prevention Bureau Access & Water Guideline.
  17. Approved access walkways shall be provided to all required openings and all rescue windows.
  18. Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
  19. Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
  20. Any future modification to the approved Placentia Fire Community Risk Reduction Access & Water Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the Placentia Fire Department, City of Placentia.
  21. Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in Placentia Fire Community Risk Reduction Access & Water Guideline and related portions of the CFC and CBC. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.

Fire access roads shall be designed, constructed, and maintained to support the imposed loads of Placentia fire apparatus with a total weight of 77,000 pounds. Apparatus weight is distributed as 50,000 pounds on tandem rear axles, and 27,000 pounds on the front axle. The surface shall be designed, constructed, and maintained to provide all-weather driving capabilities. A 20-foot minimum road width is required.

**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

**RESIDENTIAL BUILDING**  
 Fire Master Plan - Fire Area Plan & Notes



**A1.4**

Scale 1" = 30'  
 Job No. 2021-204  
 Date 08-29-2023

**2019 CBC - BUILDING CODE ANALYSIS - HEIGHT AND AREA - TYPE III-A CONSTRUCTION**

Building Use	Occup. Group	Const. Type	Sprinklers (903.3.1.1)	Allowable Ht / Stories	Height Provided	Allowable Building Area				Max Bldg Area per Bldg Section	Avg. Bldg Area per Story (5-St)
						Tab. 506.2	Nonsprinklered (Sec. 506.2.3)	Frontage Increase (Sec. 506.3)	Sec 506.2.3		
Parking Structure	S-2	II-A	NFPA 13	8 Tiers	6 Tiers	117,000	-	-	-	117,000	-
Leasing Office	B	III-A	NFPA 13	85' / 6 St.	1 St.	85,500	-	-	-	-	-
Recreation/Fitness	A-3	III-A	NFPA 13	85' / 4 St.	1 St.	14,000	-	-	-	14,000	-
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0 ) ] x 2	2	48,000	9,600	-	-
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0.25 ) ] x 2	2	60,000	12,000	-	-
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0.50 ) ] x 2	2	72,000	14,400	-	-

- NOTES:**
- Approved sprinklers (NFPA 13) used for Height and Story increase, NOT area increase
  - Frontage increase  $I = [P - 0.25]W/30$ ; (0-1 side = 0 sf increase; 2 sides = 6,000 sf increase; 3 sides = 12,000 sf increase)
  - 2019 CBC Section 510.2 & 510.4 allows multiple stories below a horizontal assembly (podium)
  - Highest occupiable floor level is less than 75' above lowest level of fire department access and therefore building is not considered a High-rise per Section 202
  - Building corridors shall comply with the requirements of CBC Section 1020
  - Building Exit Passageways shall comply with the requirements of CBC Section 1024
  - Where an exit enclosure is extended to an exit discharge or a public way by an exit passageway, the exit enclosure shall be separated from the exit passageway by a fire barrier constructed in accordance with CBC Section 707 or a horizontal assembly constructed in accordance with Section 711, or both.
  - 50' max. dead-end corridor where the building is equipped with an approved automatic fire sprinkler system (NFPA 13) per CBC Section 1020.4

**BUILDING PROJECT DESCRIPTION**

A 248 UNIT DEVELOPMENT CONSISTING OF A 5-STORY TYPE III-A RESIDENTIAL BUILDING SURROUNDING 6 LEVELS OF TYPE II-A PARKING STRUCTURE

**GROSS LAND AREA** 118,541 SQ. FT. ± 2.72 ACRES

**RESIDENTIAL GROSS AREA:** 250,481 SQ. FT.

**PARKING STRUCTURE GROSS AREA** 132,017 SQ. FT.

**TOTAL UNITS:** 248 UNITS

**Orangethorpe Mixed-Use**

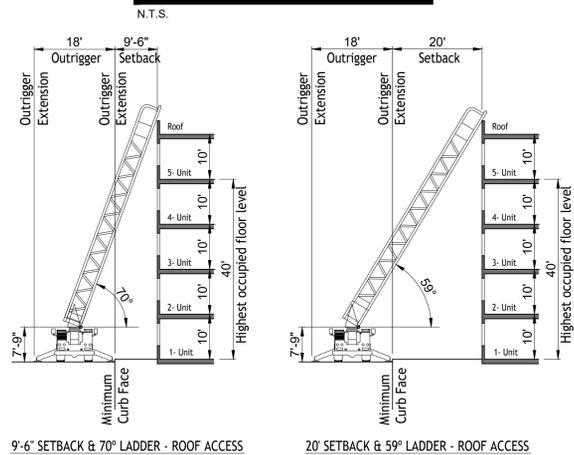
**TABLE C105.4 NUMBER AND DISTRIBUTION OF FIRE HYDRANTS**

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS** (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT*
1,750 or less	1	500	250
2,000-2,250	2	450	225
2,500	3	450	225
3,000	3	400	225
3,500-4,000	4	350	210
4,500-5,000	5	300	180
5,500	6	300	180
6,000	6	250	150
6,500-7,000	7	250	150
7,500 or more	8 or more*	200	120

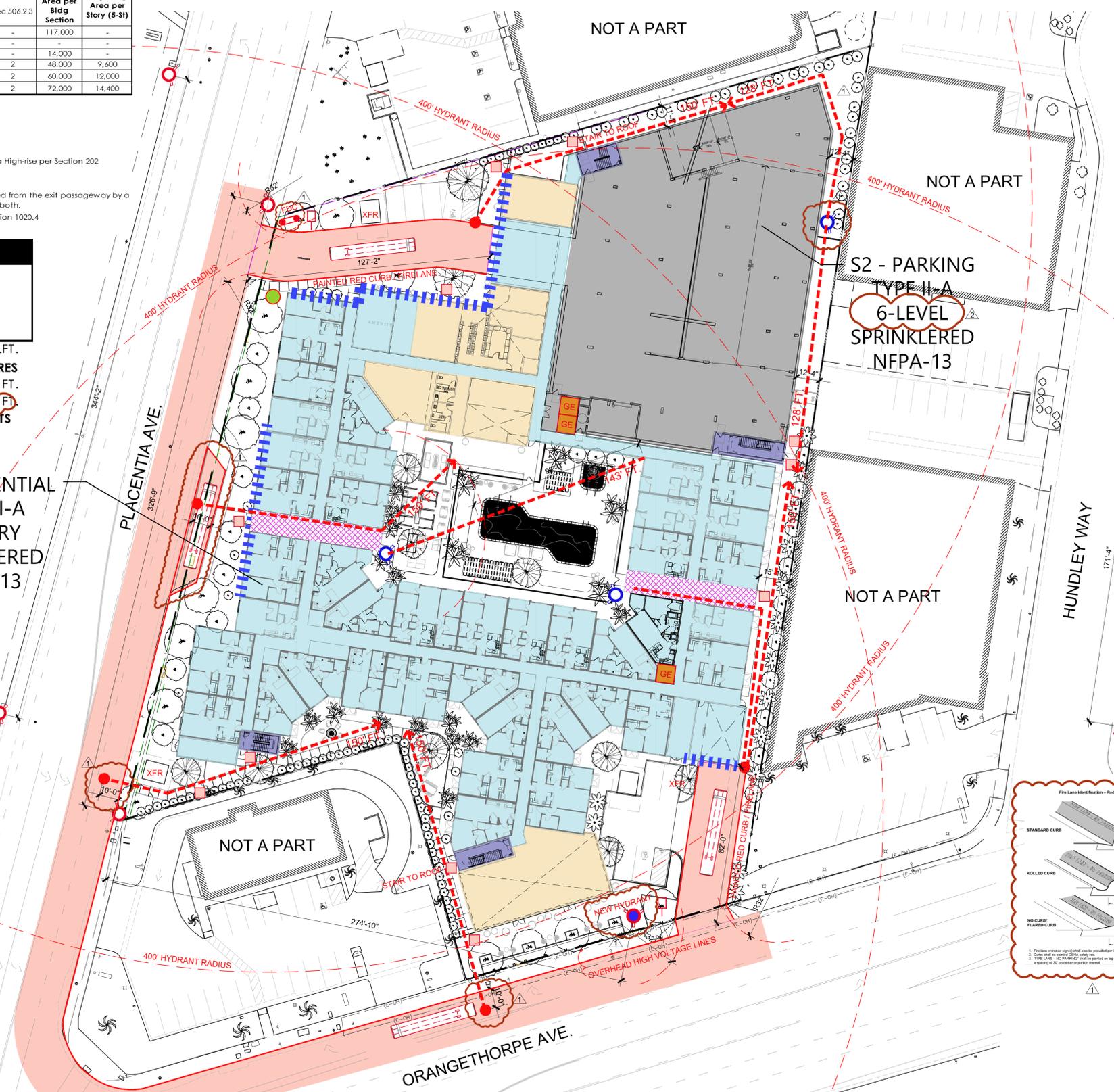
- For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.
- Reduce by 100 feet for dead-end streets or roads.
  - Where streets are provided with median dividers which cannot be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis up to a fire-flow requirement of 7,000 gallons per minute and 400 feet for higher fire-flow requirements.
  - Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
  - Reduce by 50 feet for dead-end streets or roads.
  - One hydrant for each 1,000 gallons per minute or fraction thereof.

**SITE PROVISION: 3 HYDRANTS ON SAME SIDE OF STREET @ 426' AVG. SPACING; 6 TOTAL HYDRANTS (INCLUDING 2 ACROSS STREET) @ 345' AVG. SPACING**

**AERIAL LADDERING**



R2-RESIDENTIAL TYPE III-A 5-STORY SPRINKLERED NFPA-13



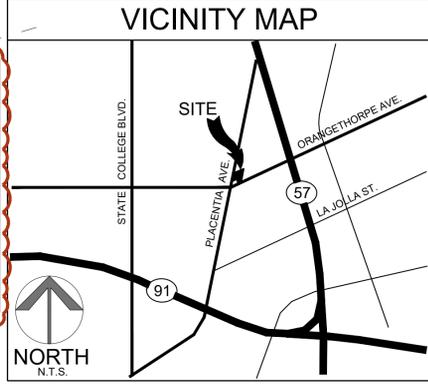
**NEW PAVEMENT CERTIFICATION:**  
Fire access roads shall be designed, constructed, and maintained to support the imposed loads of Placentia fire apparatus with a total weight of 77,000 pounds. Apparatus weight is distributed as 50,000 pounds on tandem rear axels, and 27,000 pounds on the front axel. The surface shall be designed, constructed, and maintained to provide all-weather driving capabilities. A 20-foot minimum road width is required.

**LEGEND**

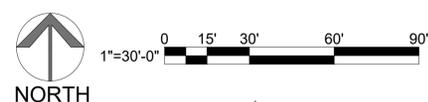
- FIRE APPARATUS
- LOCATIONS WITH MINIMUM OF 4" HIGH WITH MINIMUM STROKE WIDTH OF 1/2". FINAL COUNT AND LOCATION SHALL BE FINALIZED WITH THE LOCAL JURISDICTION AND THE FIRE CODE OFFICIAL
- FIRE DEPARTMENT CONNECTION
- FIRE LANE ENTRANCE SIGN. SEE DETAIL THIS PAGE
- KNOX BOX / LOCKED KEY SWITCH
- GURNEY SIZED ELEVATOR(S)
- EXISTING PUBLIC FIRE HYDRANT
- NEW PUBLIC FIRE HYDRANT
- NEW WHARF HYDRANT WITHIN COURTYARD (OR BUILDING FACE MOUNTED)
- FIRELANE RED CURB. REFER TO DETAIL
- 150'-0" HOSE PULL
- AERIAL TRUCK LADDER ACCESS TO BUILDING (REFER TO DETAIL)
- BUILDING FOOTPRINT - GROUND FLOOR RETAIL OR LEASING/AMENITY (WITH RESIDENTIAL ABOVE)
- BUILDING FOOTPRINT - RESIDENTIAL R2 OCCUPANCY, 5 STORIES TYPE III-A CONST. SPRINKLERED THROUGHOUT
- 3-HOUR CMU FIRE RATED EXIT CORRIDOR ANY DOORS WITHIN THIS SHALL BE RATED COMMENSURATE WITH THIS RATING AND CAN BE HELD OPEN WITH AN AUTOMATIC RELEASE TIED TO THE FIRE ALARM SYSTEM
- EXIT STAIR (ROOF ACCESS WHERE NOTED)
- 25'-0" WIDE PAVED FIRELANE

**Mounting Specifications for Fire Lane Entrance and No Parking Signs**

**NOTICE**  
NO PARKING IN AREAS MARKED AS FIRE LANE  
VIOLATING VEHICLES WILL BE CITED OR TOWED AT OWNER'S EXPENSE



**PARCEL MAP:**  
A.P.N. 339-112-27



REVISION 08-23-2023  
REVISION 05-20-2024

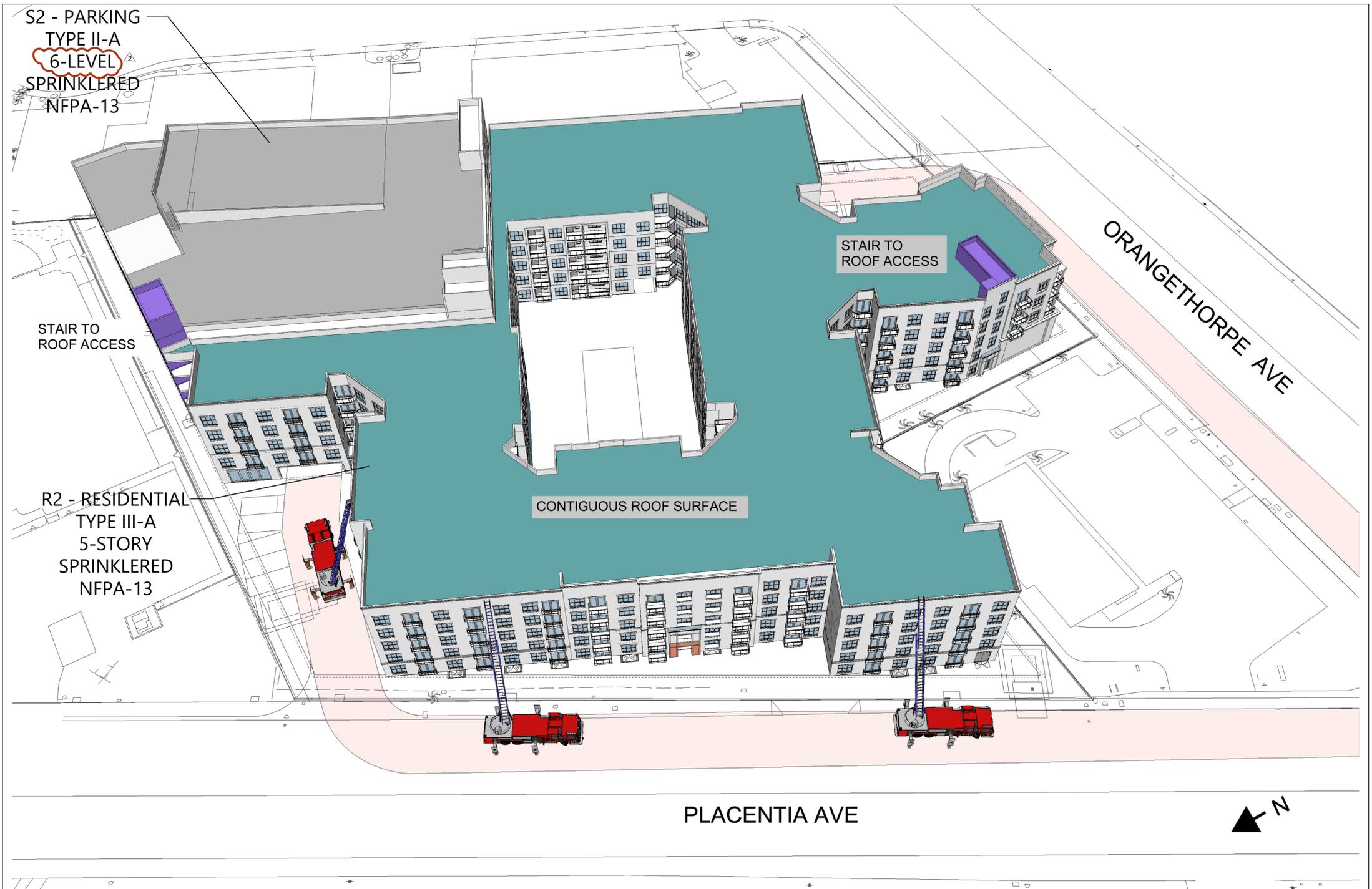
**ORANGETHORPE AVE MIXED USE**  
777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

**RESIDENTIAL BUILDING**  
Fire Master Plan - Site

**AO** Architecture. Design. Relationships.

**FMP-1**

Scale 1" = 30'  
Job No. 2021-204  
Date 05-20-2024



**Parking Enforcement Letter**  
 July 12, 2023  
 Fire and Life Safety Department  
 City of Placentia  
 401 E. Chapman Ave  
 Placentia, CA. 92870

Re: Orangethorpe Mixed Use, 777 Orangethorpe Avenue  
 Parking Enforcement Plan

The fire lane parking enforcement plan for the above referenced project is stated as follows:

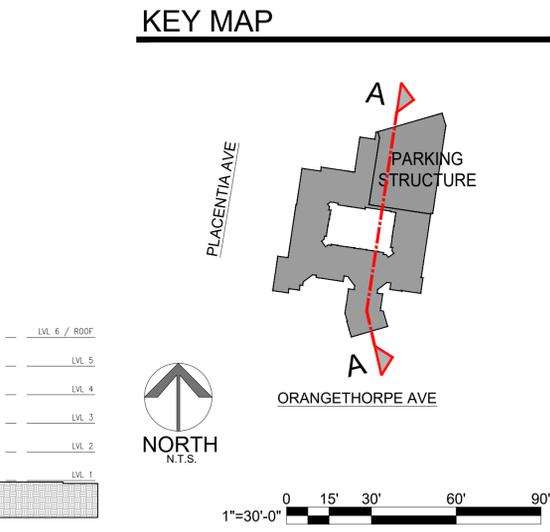
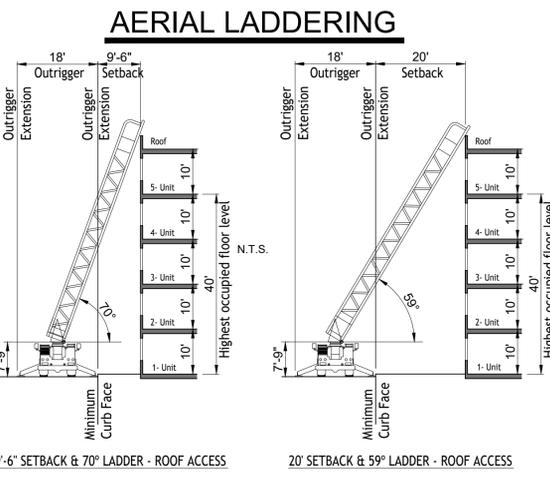
All fire lanes within 777 Orangethorpe Avenue shall be maintained and in no event shall parking be permitted along any portion of a street or drive that required fire lanes or any area designated as a fire lane for turn-around purposes either during construction or after occupancy.

Property Management shall adopt reasonable rules and regulations regarding the parking of vehicles along the streets, roads and or drives within the project that are not in conflict with applicable law.

In furtherance thereof, Property Management, through its agents, will establish the "parking" and "no parking" areas within the property in accordance with Section 22658.2 of the California Vehicle Code and Placentia Fire Community Risk Reduction Access & Water Guideline. The law shall be enforced through such rules and regulations by all lawful means, including, written warnings, citing, levying fines and towing vehicles in violation.

Property Management will contract with a certified patrol and towing company to remove vehicles that violate no parking restrictions. First time violators will receive a written warning and with subsequent violations, the vehicle shall be subject to towing. The vehicle owner shall be responsible for all costs incurred in remedying such violation, including without limitation towing cost, citations and legal fees.

Property Management Company  
 Authorized Agent Signature

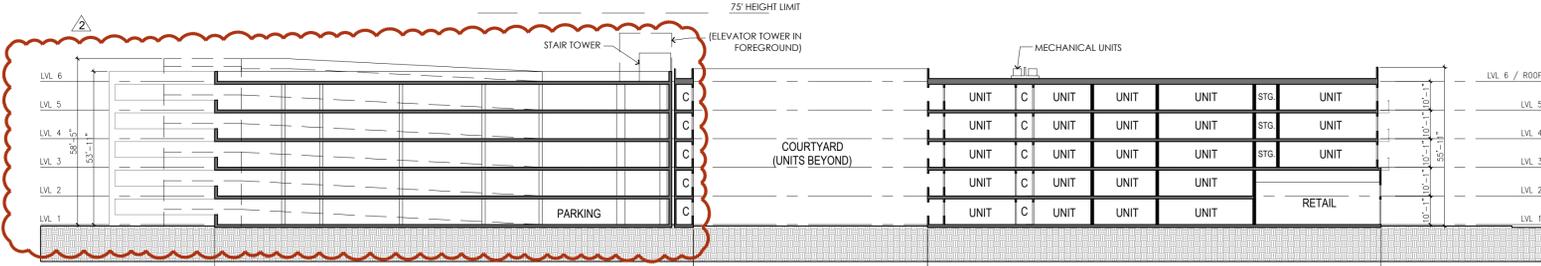


**2019 CBC - BUILDING CODE ANALYSIS - HEIGHT AND AREA - TYPE III-A CONSTRUCTION**

Building Use	Occup. Group	Const. Type	Sprinklers (903.3.1.1)	Allowable Ht / Stories	Height Provided	Allowable Building Area			Max Bldg Area per Bldg Section	Avg. Bldg Area per Story (5-5f)
						Tab. 506.2	Nonsprinklered (Sec. 506.2.3)	Frontage Increase (Sec. 506.3)		
Parking Structure	S-2	II-A	NFPA 13	8 Tiers	6 Tiers	117,000	-	-	117,000	-
Leasing Office	B	III-A	NFPA 13	85' / 6 St.	1 St.	85,500	-	-	-	-
Recreation/Fitness	A-3	III-A	NFPA 13	85' / 4 St.	1 St.	14,000	-	-	14,000	-
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0 ) ] x 2	24,000	0	48,000	9,600
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0.25 ) ] x 2	24,000	0.25	60,000	12,000
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0.50 ) ] x 2	24,000	0.50	72,000	14,400

**NOTES:**

- Approved sprinklers (NFPA 13) used for Height and Story Increase, NOT area increase
- Frontage Increase  $H=(F/P-0.25)W/30$ ; (0-1 side = 0 sf increase; 2 sides = 6,000 sf increase; 3 sides = 12,000 sf increase)
- 2019 CBC Section 510.2 & 510.4 allows multiple stories below a horizontal assembly (podium)
- Highest occupiable floor level is less than 75' above lowest level of fire department access and therefore building is not considered a High-rise per Section 202
- Building corridors shall comply with the requirements of CBC Section 1020
- Building Exit Passageways shall comply with the requirements of CBC Section 1024
- Where an exit enclosure is extended to an exit discharge or a public way by an exit passageway, the exit enclosure shall be separated from the exit passageway by a fire barrier constructed in accordance with CBC Section 707 or a horizontal assembly constructed in accordance with Section 711, or both.
- 50' max. dead-end corridor where the building is equipped with an approved automatic fire sprinkler system (NFPA 13) per CBC Section 1020.4



**BUILDING SECTION A-A**

**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

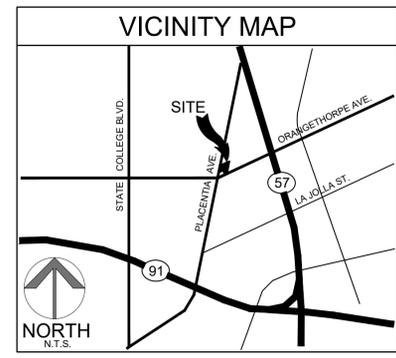
RESIDENTIAL BUILDING  
 Fire Master Plan - 3D Model & Sections



**FMP-2**

Scale 0" = 0'  
 Job No. 2021-204  
 Date 05-20-2024

REVISION 05-20-2024



**LEGEND**



**2019 CBC - BUILDING CODE ANALYSIS - HEIGHT AND AREA - TYPE III-A CONSTRUCTION**

Building Use	Occup. Group	Const. Type	Sprinklers (903.3.1.1)	Allowable Ht / Stories	Height Provided	Allowable Building Area			Max Bldg Area per Bldg Section	Avg. Bldg Area per Story (5-51)
						Tab. 506.2	Non-sprinklered (Sec. 506.2.3)	Frontage Increase (Sec. 506.3)		
Parking Structure	S-2	II-A	NFPA 13	8 Tiers	6 Tiers	117,000	-	-	117,000	-
Leasing Office	B	III-A	NFPA 13	85' / 6 St.	1 St.	85,500	-	-	-	-
Recreation/Fitness	A-3	III-A	NFPA 13	85' / 4 St.	1 St.	14,000	-	-	14,000	-
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0 ) ] x 2	-	-	48,000	9,600
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0.25 ) ] x 2	-	-	60,000	12,000
Residential Dwelling Units	R-2	III-A	NFPA 13	85' / 5 St.	60' / 5 St.	[ 24,000 + ( 24,000 x 0.50 ) ] x 2	-	-	72,000	14,400

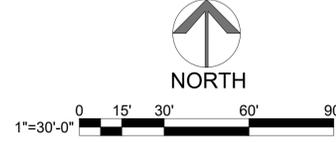
- NOTES:**
- Approved sprinklers (NFPA 13) used for Height and Story increase, NOT area increase
  - Frontage Increase  $I = [P - 0.25]W/30$ ; (0-1 side = 0 sf increase; 2 sides = 6,000 sf increase; 3 sides = 12,000 sf increase)
  - 2019 CBC Section 510.2 & 510.4 allows multiple stories below a horizontal assembly (podium)
  - Highest occupiable floor level is less than 75' above lowest level of fire department access and therefore building is not considered a High-rise per Section 202
  - Building corridors shall comply with the requirements of CBC Section 1020
  - Building Exit Passageways shall comply with the requirements of CBC Section 1024
  - Where an exit enclosure is extended to an exit discharge or a public way by an exit passageway, the exit enclosure shall be separated from the exit passageway by a fire barrier constructed in accordance with CBC Section 707 or a horizontal assembly constructed in accordance with Section 711, or both.
  - 50' max. dead-end corridor where the building is equipped with an approved automatic fire sprinkler system (NFPA 13) per CBC Section 1020.4

**Placentia Fire Department Access & Water Plan Notes**

- All of the notes listed in the INSPECTION REQUIREMENTS and GENERAL REQUIREMENTS sections shall be placed, verbatim, on the plan under the heading "FIRE DEPARTMENT ACCESS & WATER NOTES."
- INSPECTION REQUIREMENTS**
1. Placentia site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a re-inspection fee. Call (714) 993-8135 OR email FireCRR@placentia.org to schedule inspections.
  2. A lumber drop inspection shall be performed prior to bringing combustible materials (or combustible fixtures and finishes for structures of non-combustible construction). All-weather access roads capable of supporting 77,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
  3. For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. Use the fuel modification plan service request number to schedule the vegetation clearance inspection.
  4. Phased installation of fire access roads requires additional inspections not covered by the fees paid at plan submittal. Contact (714) 993-8135 to arrange for additional inspections that may be needed and any fees that may be due.
  5. An original approved, signed, wet-stamped Placentia fire access & water plan shall be available on-site at time of inspection.
  6. Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections.
  7. Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the Placentia Fire Department, City of Placentia prior to use.
  8. The project address shall be clearly posted and visible from the public road during construction.
  9. All gates in construction fencing shall be equipped with either a Knox or breakaway padlock.
  10. Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

- GENERAL REQUIREMENTS**
11. Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved Placentia fire department access & water plan and standards identified in Placentia Fire Community Risk Reduction Access & Water Guideline for all portions of the fire access roads.
  12. Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 77,000 lbs. and surfaced to provide all-weather driving capabilities.
  13. Fire lane signs and red curbs shall meet the specifications shown in Placentia Fire Community Risk Reduction Access & Water Guideline and shall be installed as described therein. Additional fire lane markings may be required at the time of inspection depending on field conditions.
  14. All fire hydrants shall have a "Blue Reflective Pavement Marker" indicating their location per the Placentia standard. On private property markers are to be maintained in good condition by the property owner.
  15. Address numbers shall be located and be of a color and size so as to be plainly visible and legible from the roadway from which the building is addressed in accordance with Placentia Fire Community Risk Reduction Access & Water Guideline.
  16. Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC and Placentia Prevention Bureau Access & Water Guideline.
  17. Approved access walkways shall be provided to all required openings and all rescue windows.
  18. Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
  19. Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
  20. Any future modification to the approved Placentia Fire Community Risk Reduction Access & Water Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the Placentia Fire Department, City of Placentia.
  21. Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in Placentia Fire Community Risk Reduction Access & Water Guideline and related portions of the CFC and CBC. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.

Fire access roads shall be designed, constructed, and maintained to support the imposed loads of Placentia fire apparatus with a total weight of 77,000 pounds. Apparatus weight is distributed as 50,000 pounds on tandem rear axles, and 27,000 pounds on the front axle. The surface shall be designed, constructed, and maintained to provide all-weather driving capabilities. A 20-foot minimum road width is required.



**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

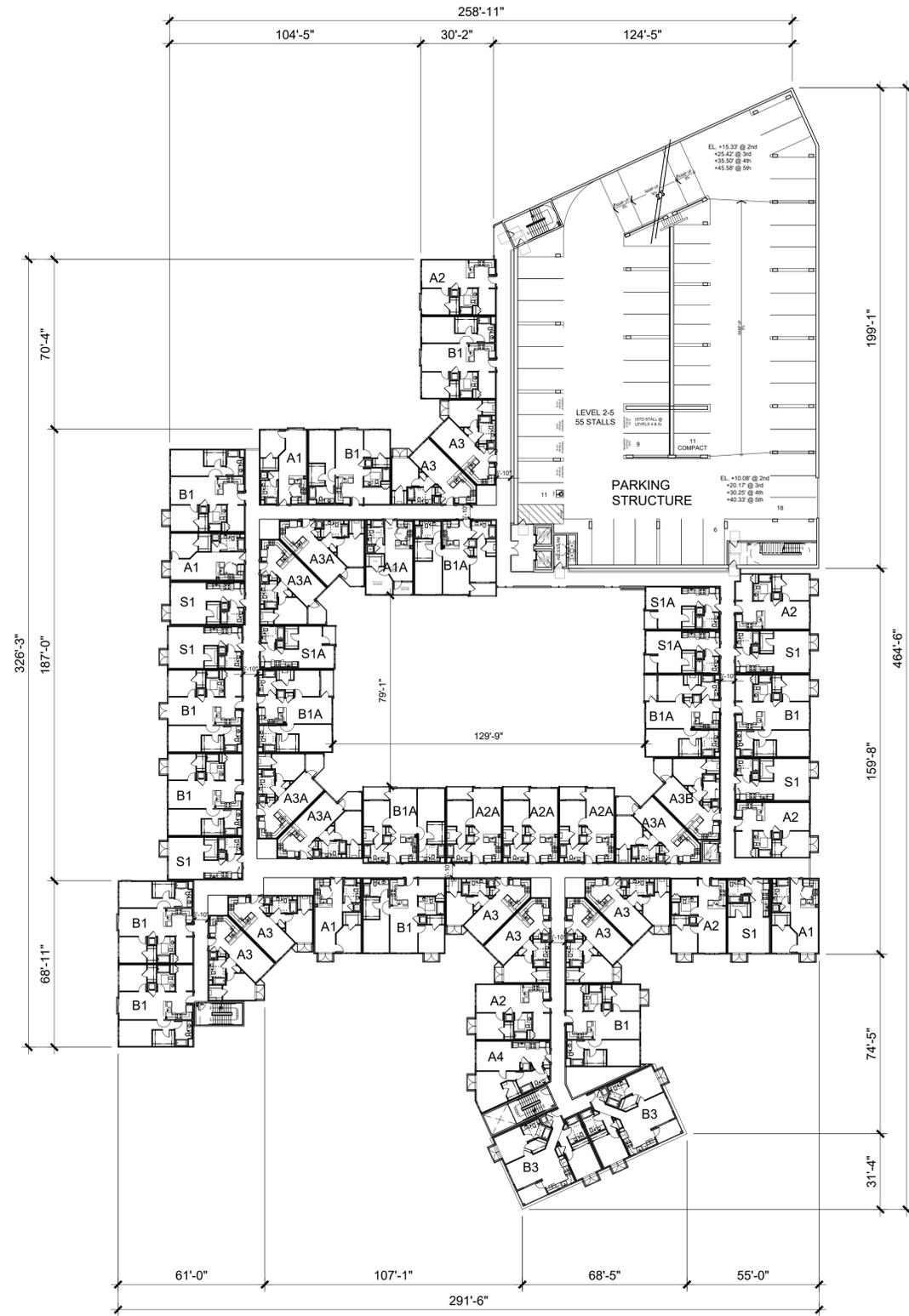
RESIDENTIAL BUILDING  
 Fire Master Plan - Fire Area Plan & Notes



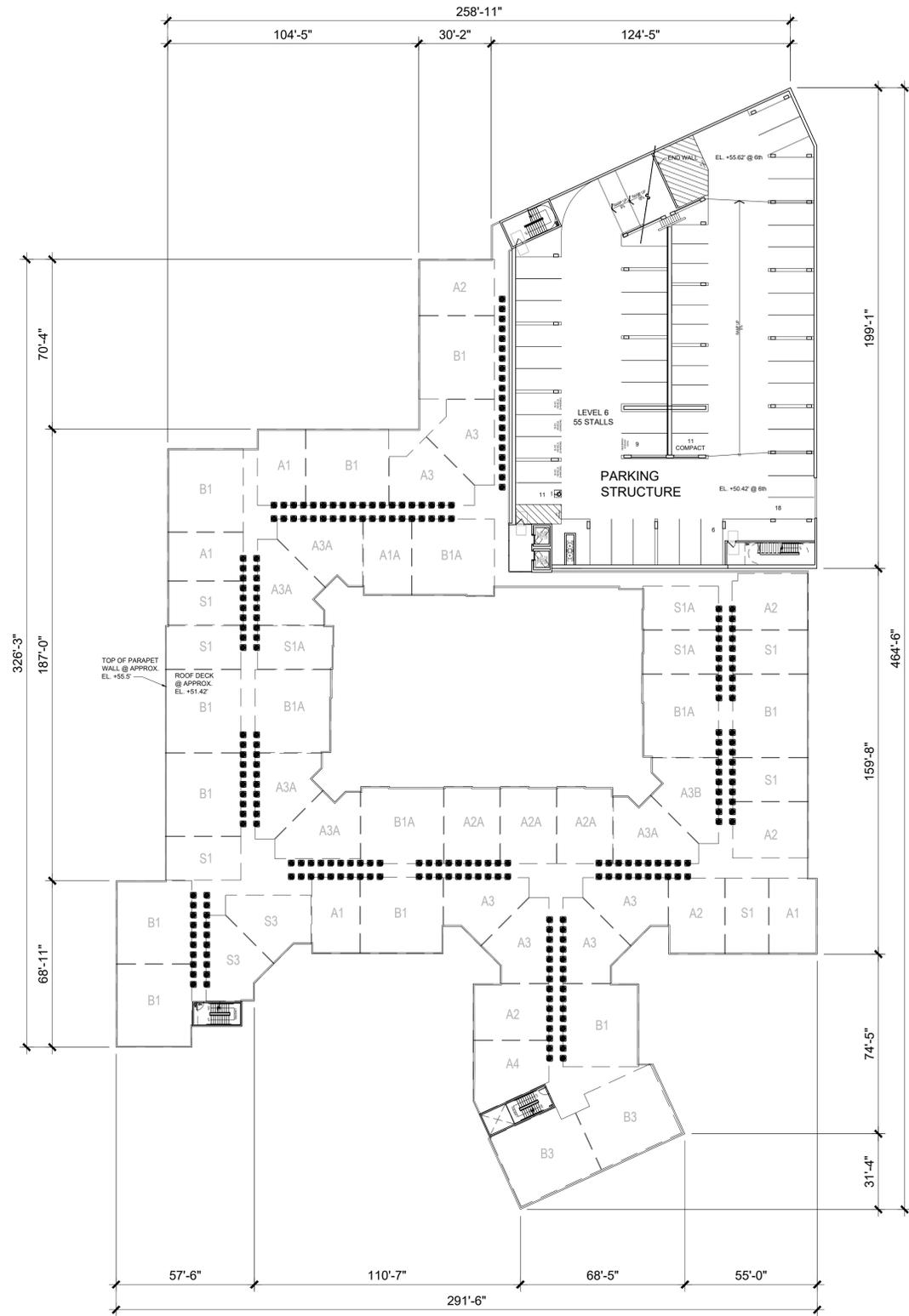
**FMP-3**  
 Scale 1" = 30'  
 Job No. 2021-204  
 Date 05-20-2024

REVISION 05-20-2024





BUILDING LEVELS 3-5



BUILDING LEVEL 6



**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
 Building Floor Plans - 3-7



**A2.1**

Scale 1" = 30'  
 Job No. 2021-204  
 Date 05-20-2024

MATERIAL LEGEND			
1	PAINTED STUCCO - 20/30 FINISH	8	DECORATIVE SIGNAGE
2	BRICK VENEER 1	9	EXTERIOR METAL DOWNSPOUT
3	BRICK VENEER 2	10	ACCENT LIGHT FIXTURE
4	METAL RAILING WITH MESH GRID	11	DECORATIVE MURAL
5	FOAM TRIM	12	DECORATIVE MARQUEE
6	VINYL WINDOW/DOOR	13	METAL CANOPY
7	STOREFRONT WINDOW/DOOR	14	METAL DECK
A	OFF-WHITE	E	GRAY 2
B	ROSE-GRAY	F	CHARCOAL
C	GRAY 1	G	BRICK RED
D	SLATE		

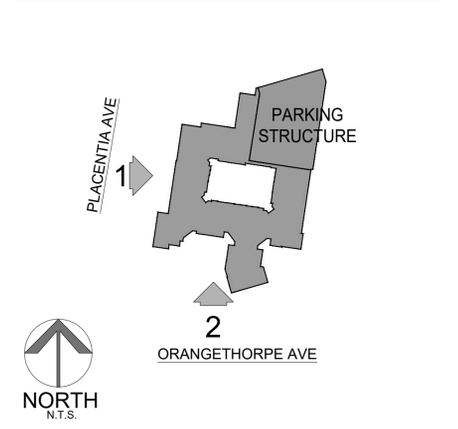


WEST ELEVATION 1



SOUTH ELEVATION 2

KEY MAP



**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

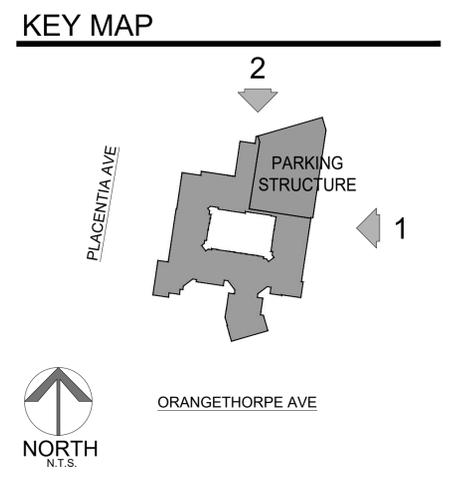
RESIDENTIAL BUILDING  
 Conceptual West & South Building Elevation



**A3.0**  
 Scale 0" = 00'  
 Job No. 2021-204  
 Date 05-20-2024

### MATERIAL LEGEND

1	PAINTED STUCCO - 20/30 FINISH	8	DECORATIVE SIGNAGE
2	BRICK VENEER 1	9	EXTERIOR METAL DOWNSPOUT
3	BRICK VENEER 2	10	ACCENT LIGHT FIXTURE
4	METAL RAILING WITH MESH GRID	11	DECORATIVE MURAL
5	FOAM TRIM	12	DECORATIVE MARQUEE
6	VINYL WINDOW/DOOR	13	METAL CANOPY
7	STOREFRONT WINDOW/DOOR	14	METAL DECK
A	OFF-WHITE	E	GRAY 2
B	ROSE-GRAY	F	CHARCOAL
C	GRAY 1	G	BRICK RED
D	SLATE		



**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

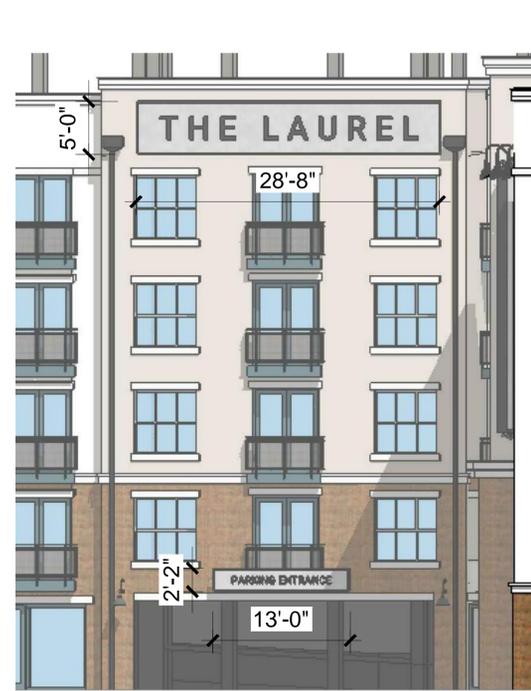
RESIDENTIAL BUILDING  
 Conceptual East & North Building Elevation



**A3.1**  
 Scale 0" = 00"  
 Job No. 2021-204  
 Date 05-20-2024

**MATERIAL LEGEND**

1	PAINTED STUCCO - 20/30 FINISH	8	DECORATIVE SIGNAGE
2	BRICK VENEER 1	9	EXTERIOR METAL DOWNSPOUT
3	BRICK VENEER 2	10	ACCENT LIGHT FIXTURE
4	METAL RAILING WITH MESH GRID	11	DECORATIVE MURAL
5	FOAM TRIM	12	DECORATIVE MARQUEE
6	VINYL WINDOW/DOOR	13	METAL CANOPY
7	STOREFRONT WINDOW/DOOR	14	METAL DECK
A	OFF-WHITE	E	GRAY 2
B	ROSE-GRAY	F	CHARCOAL
C	GRAY 1	G	BRICK RED
D	SLATE		



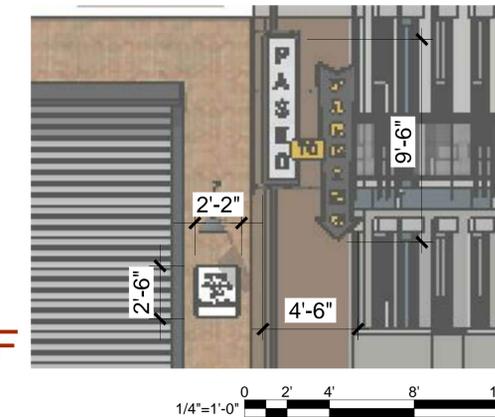
1-WEST ELEVATION



A

B

C



D

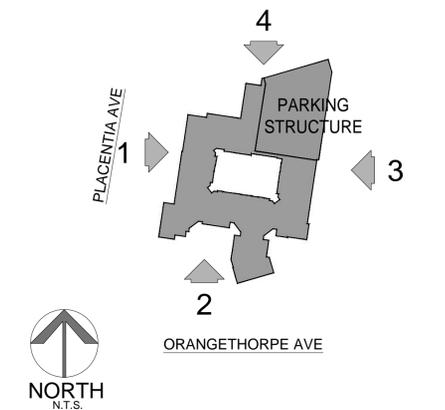
E

F



2-SOUTH ELEVATION

**KEY MAP**



**ORANGETHORPE AVE MIXED USE**

777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
Building Signage



**A3.2**

Scale 0" = 00'  
Job No. 2021-204  
Date 08-29-2023



3-EAST ELEVATION



G

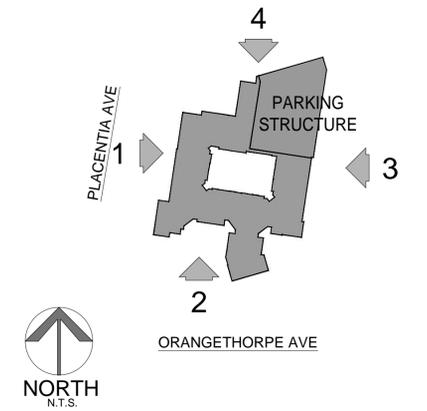


4-NORTH ELEVATION

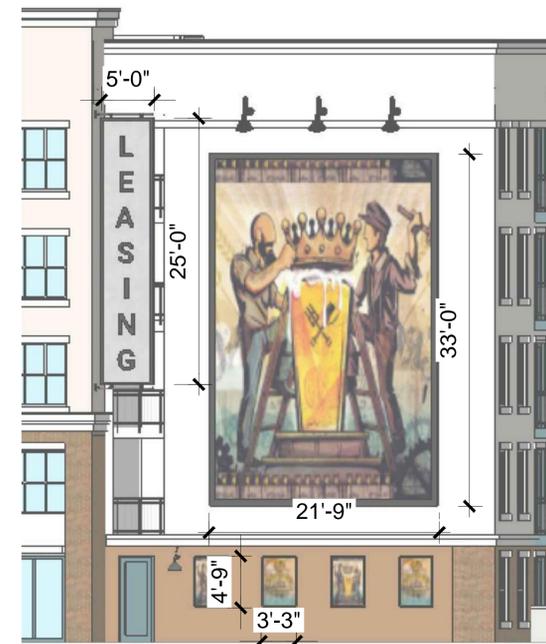
**MATERIAL LEGEND**

1	PAINTED STUCCO - 20/30 FINISH	8	DECORATIVE SIGNAGE
2	BRICK VENEER 1	9	EXTERIOR METAL DOWNSPOUT
3	BRICK VENEER 2	10	ACCENT LIGHT FIXTURE
4	METAL RAILING WITH MESH GRID	11	DECORATIVE MURAL
5	FOAM TRIM	12	DECORATIVE MARQUEE
6	VINYL WINDOW/DOOR	13	METAL CANOPY
7	STOREFRONT WINDOW/DOOR	14	METAL DECK
A	OFF-WHITE	E	GRAY 2
B	ROSE-GRAY	F	CHARCOAL
C	GRAY 1	G	BRICK RED
D	SLATE		

**KEY MAP**



H



I



**ORANGETHORPE AVE MIXED USE**

777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
Building Signage



**A3.3**

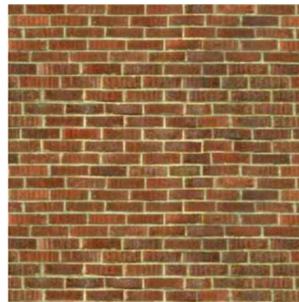
Scale 0" = 00'  
Job No. 2021-204  
Date 08-29-2023



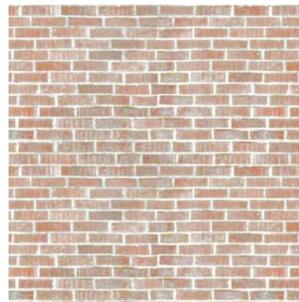
SOUTH ELEVATION



1. Painted Stucco - 20/30 Finish



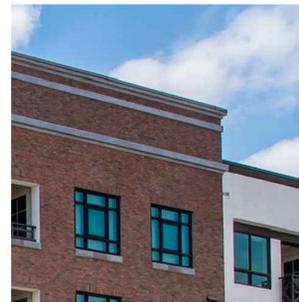
2. Brick Veneer 1



3. Brick Veneer 2



4. Metal Balcony with Wire Mesh Railing



5. Foam Trim



6. Vinyl Window / Door



7. Storefront Window / Door



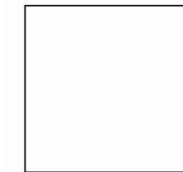
8. Metal Scupper & Downspout



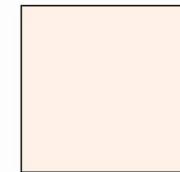
9. Accent Light Fixture



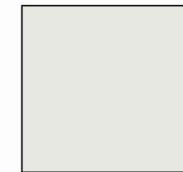
10. Metal Canopy



A. Off-White



B. Rose-Gray



C. Gray 1



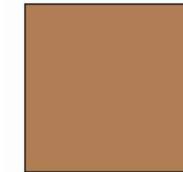
D. Slate



E. Gray 2



F. Charcoal



G. Brick Red

**ORANGETHORPE AVE MIXED USE**

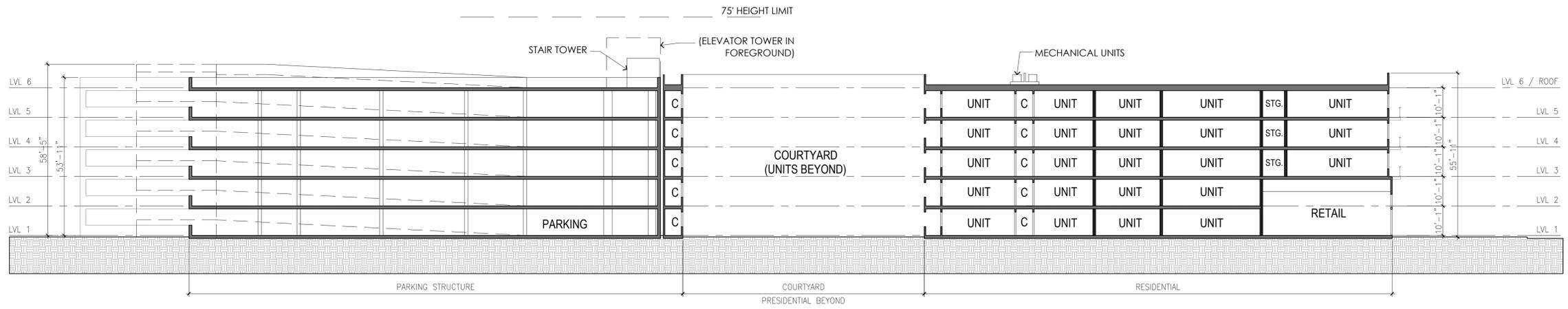
777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
Color and Material Board

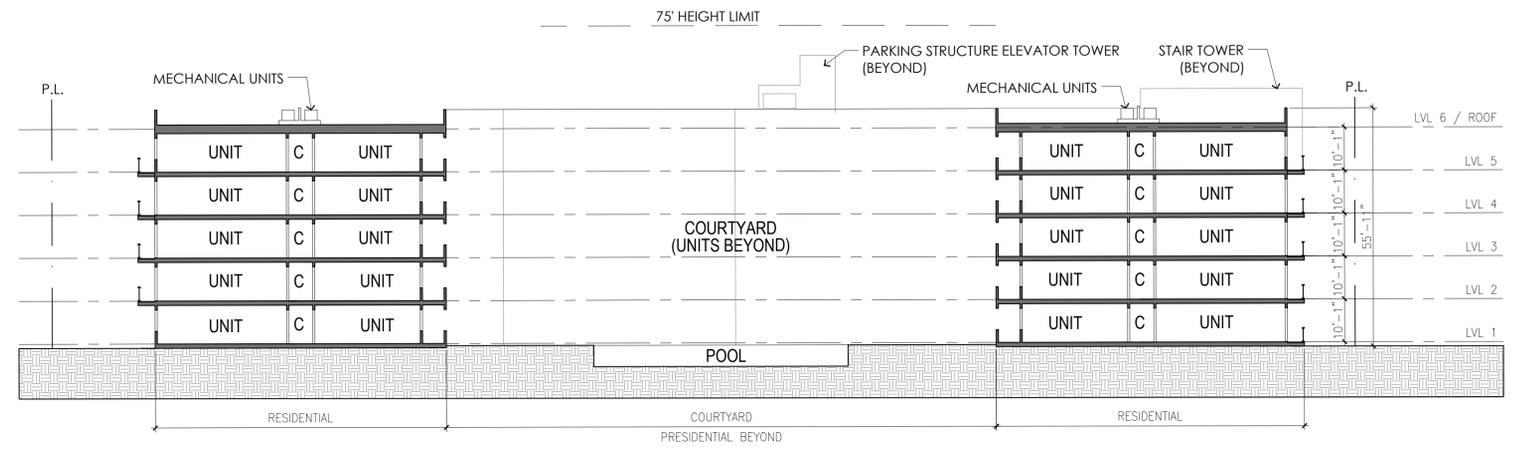


**A3.4**

Scale NTS  
Job No. 2021-204  
Date 08-29-2023

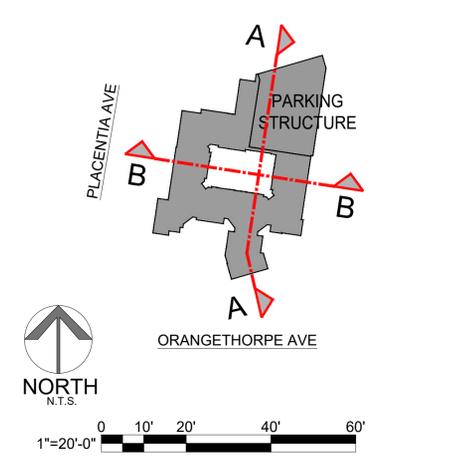


BUILDING SECTION A



BUILDING SECTION B

KEY MAP

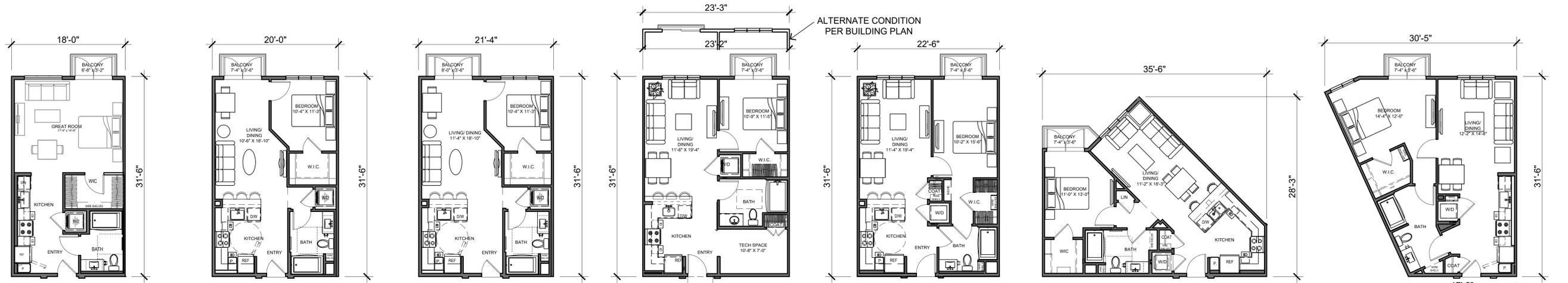


**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
 Building Sections



**A4.0**  
 Scale 0" = 00"  
 Job No. 2021-204  
 Date 05-20-2024



**UNIT S1**  
STUDIO - 1 BATH  
UNIT AREA: 575 SQ. FT.  
PATIO/BALCONY: 26 SQ. FT.

**UNIT A1**  
JR. 1 BED - 1 BATH  
UNIT AREA: 638 SQ. FT.  
PATIO/BALCONY: 26 SQ. FT.

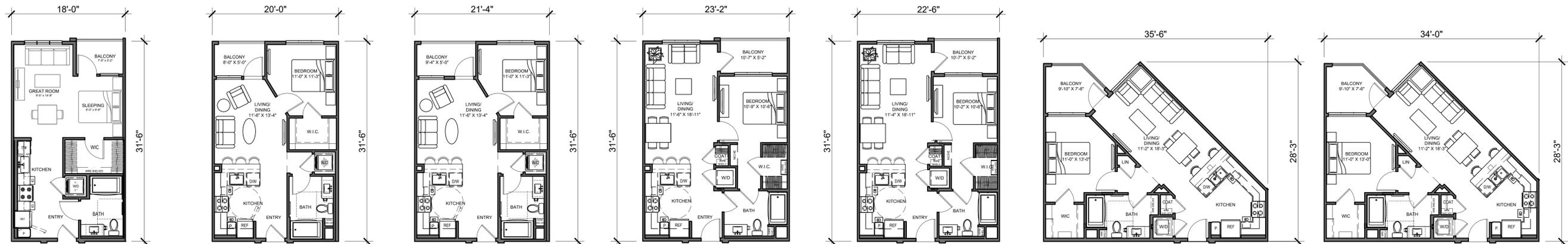
**UNIT A5\***  
JR. 1 BED - 1 BATH  
UNIT AREA: 676 SQ. FT.  
PATIO/BALCONY: 30 SQ. FT.

**UNIT A2**  
1 BDRM - 1 BATH  
UNIT AREA: 739 SQ. FT.  
PATIO/BALCONY: 26 SQ. FT.

**UNIT A6\***  
1 BDRM - 1 BATH  
UNIT AREA: 708 SQ. FT.  
PATIO/BALCONY: 26 SQ. FT.

**UNIT A3**  
1 BDRM - 1 BATH  
UNIT AREA: 715 SQ. FT.  
PATIO/BALCONY: 28 SQ. FT.

**UNIT A4**  
1 BDRM - 1 BATH  
UNIT AREA: 759 SQ. FT.  
PATIO/BALCONY: 26 SQ. FT.



**UNIT S1A**  
STUDIO - 1 BATH  
UNIT AREA: 534 SQ. FT.  
PATIO/BALCONY: 41 SQ. FT.

**UNIT A1A**  
JR. 1 BED - 1 BATH  
UNIT AREA: 591 SQ. FT.  
PATIO/BALCONY: 44 SQ. FT.

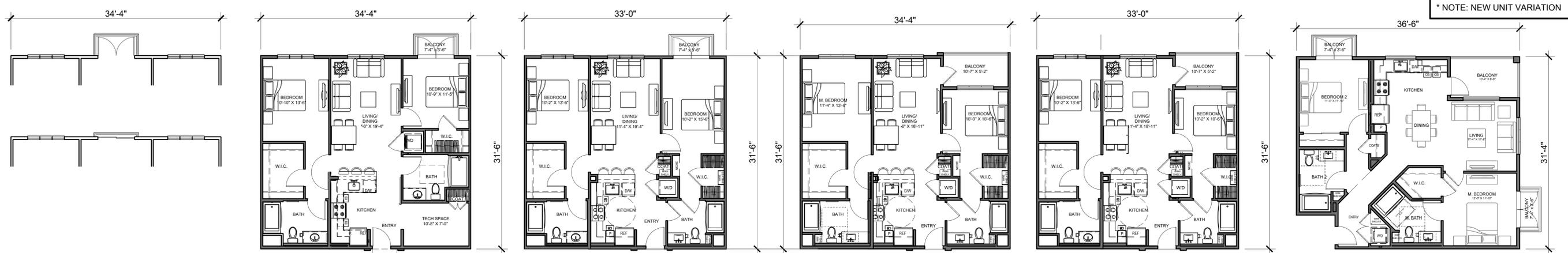
**UNIT A5A\***  
JR. 1 BED - 1 BATH  
UNIT AREA: 626 SQ. FT.  
PATIO/BALCONY: 51 SQ. FT.

**UNIT A2A**  
1 BDRM - 1 BATH  
UNIT AREA: 676 SQ. FT.  
PATIO/BALCONY: 55 SQ. FT.

**UNIT A6A\***  
1 BDRM - 1 BATH  
UNIT AREA: 656 SQ. FT.  
PATIO/BALCONY: 52 SQ. FT.

**UNIT A3A**  
1 BDRM - 1 BATH  
UNIT AREA: 715 SQ. FT.  
PATIO/BALCONY: 65 SQ. FT.

**UNIT A3B\***  
1 BDRM - 1 BATH  
UNIT AREA: 701 SQ. FT.  
PATIO/BALCONY: 65 SQ. FT.



**UNIT B1**  
2 BDRM - 2 BATH  
UNIT AREA: 1080 SQ. FT.  
PATIO/BALCONY: 26 SQ. FT.

**UNIT B2\***  
2 BDRM - 2 BATH  
UNIT AREA: 1038 SQ. FT.  
PATIO/BALCONY: 26 SQ. FT.

**UNIT B1A**  
2 BDRM - 2 BATH  
UNIT AREA: 1026 SQ. FT.  
PATIO/BALCONY: 55 SQ. FT.

**UNIT B2A\***  
2 BDRM - 2 BATH  
UNIT AREA: 987 SQ. FT.  
PATIO/BALCONY: 52 SQ. FT.

**UNIT B3**  
2 BDRM - 2 BATH  
UNIT AREA: 1040 SQ. FT.  
BALCONY: 70 SQ. FT. + 26 SQ. FT. + 26 SQ. FT.

\* NOTE: NEW UNIT VARIATION

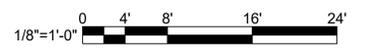
ALTERNATE CONDITION  
PER BUILDING PLAN

**ORANGETHORPE AVE MIXED USE**  
777 ORANGETHORPE AVENUE - PLACENTIA, CA  
ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
Conceptual Unit Plans



**A5.0**



Scale 0" = 0'  
Job No. 2021-204  
Date 05-20-2024



CO-WORK LOUNGE  
 • communal work tables  
 • festival lights

PROJECT ENTRY  
 • specimen tree  
 • enhanced planting

FIRESIDE CHAT  
 • see sheet L.2

THE HANGOUT  
 • see sheet L.2

CO-WORK

PARCEL

LEASING

CLUB

FITNESS

LANDSCAPE AREA SECURED with FENCING SEE SHEET L.7

DOG PARK  
 • decomposed granite  
 • festival lights  
 • dog drinking fountain  
 • seating

POOL COURTYARD  
 • see sheet L.3

PASEO  
 • connection to retail

RETAIL PLAZA  
 • see sheet L.2

PLACENTIA AVE.

ORANGETHORPE AVE.

RETAIL



- FIRESIDE CHAT**
- lounge chairs
  - firepit
  - synthetic turf
  - festival lighting

- THE HANGOUT**
- dining tables
  - specimen tree
  - bamboo screen

- PASEO**
- connection to retail
  - tree alley

- RETAIL PLAZA**
- cafe tables
  - shade trees
  - pottery
  - umbrellas
  - low wall

ORANGETHORPE AVE.



- THE RETREAT
- firepit
  - lounge seating
  - pottery
  - specimen tree w/ enhanced planting
  - festival lighting
  - outdoor kitchen w/ sit up bar
  - cafe tables
  - umbrellas

- THE GAME LAWN
- game table
  - sofa
  - synthetic turf
  - specimen tree

- POOL LOUNGE
- spa - 134 s.f.
  - pool - 1,083 s.f.
  - chaise lounge chairs
  - day beds
  - synthetic turf
  - pottery
  - lounge seating
  - cabanas



PROPOSED TREE PALETTE:			
ALL PLANTS ARE CAL-IPC NON-INVASIVE and WUCOLS MEDIUM/LOW WATER CONSUMPTIVE (REGION 3 - SOUTH COASTAL) VARIETIES FOR THEIR PROPOSED GROWING CONDITIONS. THESE PLANTS ARE WATER CONSERVING and USED FOR THEIR DEEP ROOT SYSTEMS WHICH STABILIZES SOIL and MINIMIZES EROSION IMPACTS.			
BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
<b>TREES:</b>			
ACACIA PURPUREA	PURPLE ACACIA Standard	24" BOX	LOW
AGONIS FLEXUOSA	PEPPERMINT WILLOW Standard	36" BOX	LOW
ARBUTUS x MARINA	HYBRID STRAWBERRY Multi-Trunk	24" BOX	MEDIUM
ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM Multi-Trunk	36" BOX	MEDIUM
CINNAMOMUM CAMPHORA	CAMPHOR TREE Standard	36" BOX	MEDIUM
JACARANDA ACUTIFOLIA	JACARANDA	36" BOX	MEDIUM
MAGNOLIA G. 'LITTLE GEM'	MAGNOLIA Low Branch	24" BOX	MEDIUM
MELALEUCA QUINQUEMNERIA	CAJUPUT TREE Multi-Trunk	24" BOX	MEDIUM
METROSIDEROS EXCELSA	NZ CHRISTMAS TREE Standard	24" BOX	MEDIUM
OLEA 'SWAN HILL'	FRUITLESS OLIVE Multi-Trunk	36" BOX	MEDIUM
PHOENIX DACTYLIFERA 'MEDJOO'	DATE PALM	32" BTH	MEDIUM
PINUS CANARIENSIS	CANARY ISLAND PINE	24" BOX	LOW
PINUS ELDARICA	AFGHAN PINE Low Branching	24" BOX	LOW
PINUS TORREYANA	TORREY PINE Low Branching	24" BOX	LOW
PLATANUS MEXICANA	MEXICAN SYCAMORE	24" BOX	LOW
QUERCUS AGRIFOLIA	COAST LIVE OAK Standard	36" BOX	LOW
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK Standard	36" BOX	MEDIUM
RHUS LANCEA	AFRICAN SUMAC Standard	24" BOX	LOW
TRISTANIA CONFERTA	BRISBANE BOX Low Branching	24" BOX	MEDIUM
WASHINGTONIA FILIFERA 'HYBRID'	CALIFORNIA FAN PALM	18" BTH	LOW
<b>ACCENT:</b>			
ALOE BAINSEII	TREE ALOE	24" BOX	LOW
BRAHEA ARMATA	MEXICAN BLUE PALM	24" BOX	LOW
CERCIDIUM X 'DESERT MUSEUM'	HYBRID PALO VERDE	24" BOX	LOW
DRACAENA DRACO	DRAGON TREE	36" BOX	LOW
CERCOIS CANADENSIS 'FOREST PANSY'	RED BUD Standard	36" BOX	MEDIUM
PODOCARPUS 'ICEE BLUE'	LONG-LEAFED YELLOWWOOD	24" BOX	MEDIUM
<b>STREET TREES:</b>			
NO STREET TREES PROPOSED			

PROPOSED SHRUB PALETTE:			
BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
<b>SHRUBS:</b>			
<b>IRRIGATION HYDROZONE 1: LOW WATER CONSERVING PLANTING AREA:</b>			
ECHVEVERIA GLAUCA	HENS & CHICKS	1 GAL	LOW
ECHVEVERIA PEACOCKII	PEACOCK ECHVEVERIA	5 GAL	LOW
AEONIUM ARBOREUM 'SCHWARZKOPF'	AEONIUM	5 GAL	LOW
AGAVE AMERICANA	CENTURY PLANT	15 GAL	LOW
ALOE STRIATA	CORAL ALOE	5 GAL	LOW
DASYLIRION WHEELERI	DESERT SPOON	15 GAL	LOW
HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	VERY LOW
HETEROMELES ARBUTIFOLIA	TOYON	15 GAL	LOW
KALANCHOE BEHARENSIS	FELT PLANT	15 GAL	LOW
MUHLENBURGIA CAPILLARIS	PINK MUHLY	5 GAL	LOW
SENECIO MANDRALISCAE	SENECIO	1 GAL	LOW
WESTRINGIA FLORIBUNDA	COAST ROSEMARY	5 GAL	LOW
<b>IRRIGATION HYDROZONE 2: MEDIUM / LOW TRANSITION PLANTING AREAS:</b>			
AEONIUM 'URBICUM' 'SALAD BOWL'	AEONIUM	5 GAL	LOW
ALOE BAINSEII	TREE ALOE	24" BOX	LOW
ALOE STRIATA	CORAL ALOE	5 GAL	LOW
ARBUTUS 'COMPACTA'	DWARF STRAWBERRY	5 GAL	LOW
BOUGAINVILLEA ROSENKA	SHRUB BOUGAINVILLEA	5 GAL	LOW
CALLISTEMON 'LITTLE JOHN'	DWARF CALLISTEMON	5 GAL	LOW
CAREX DIVULSA	BERKELEY SEDGE	5 GAL	MEDIUM
CHONDRPETALUM 'ELEPHANTINUM'	LARGE CAPE RUSH	5 GAL	LOW
DIANELLA REVOLUTA	LITTLE REV	5 GAL	LOW
DRACAENA DRACO	DRAGON TREE	24" BOX	LOW
FESTUCA MAIREI	ATLAS FESCUE	1 GAL	LOW
FESTUCA OVINA GLAUCA	BLUE FESCUE	5 GAL	LOW
LOMANDRA LONGIFOLIA 'BREEZE'	SPINY-HEADED MAT RUSH	5 GAL	MEDIUM
ROSMARINUS PROSTRATUS	DWARF ROSEMARY	5 GAL	LOW
SALVIA CLEVELANDII	CA BLUE SAGE	5 GAL	LOW
TEUCRIUM CHAMAEDRYS	GERMANDER	5 GAL	LOW
<b>IRRIGATION HYDROZONE 3: MEDIUM / LOW ENHANCED SHRUBS:</b>			
AGAVE ATTENUATA 'NOVA'	FOXTAIL AGAVE	15 GAL	LOW
ALYOGYNE HUEGELII	BLUE HIBISCUS	15 GAL	LOW
ASPARAGUS DENSIPLORUS 'MYERSII'	MYER ASPARAGUS	5 GAL	LOW
BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	5 GAL	MEDIUM
CARISSA M. 'HORIZONTALIS'	NATAL PLUM	5 GAL	MEDIUM
CRASSULA OVATA	JADE PLANT	15 GAL	LOW
FURCRACEA FOETIDA 'MEDIOPICTA'	MAURITIUS HEMP	15 GAL	LOW
PHORMIUM HYBRIDS	NEW ZEALAND FLAX	5 GAL	LOW
PITTIOSPORUM C. 'COMPACTUM'	PITTIOSPORUM	5 GAL	MEDIUM
PITTIOSPORUM T. 'GOLF BALL'	'GOLF BALL' KOHUIHU	5 GAL	MEDIUM
PRUNUS ILICIFOLIA SPP. LYONII	CATALINA CHERRY	24" BOX	VERY LOW
<b>ORGANIC MULCHES:</b>			
3" THICK SHREDDED BARK MULCH (SHRUB AREAS - ALL HYDROZONES)			

LIMITED USE AREA (Line of Sight) NOTE:
ALL TREE BRANCHES TO BE TRIMMED TO 8' HIGH ABOVE FINISH GRADE. ALL SHRUBS WITHIN LIMITED USE AREA TO BE MAINTAINED AT 24" HIGH MAXIMUM.
WATER EFFICIENT LANDSCAPING NOTE:
THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:
1. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS OF THE CITY OF PLACENTIA LANDSCAPE GUIDELINES FOR WATER EFFICIENT LANDSCAPES.
2. THE ESTIMATED APPLIED WATER USE ALLOWED FOR THE LANDSCAPE AREA SHALL NOT EXCEED THE MAWA CALCULATION.

## LANDSCAPE NOTES and PLAN PALETTE

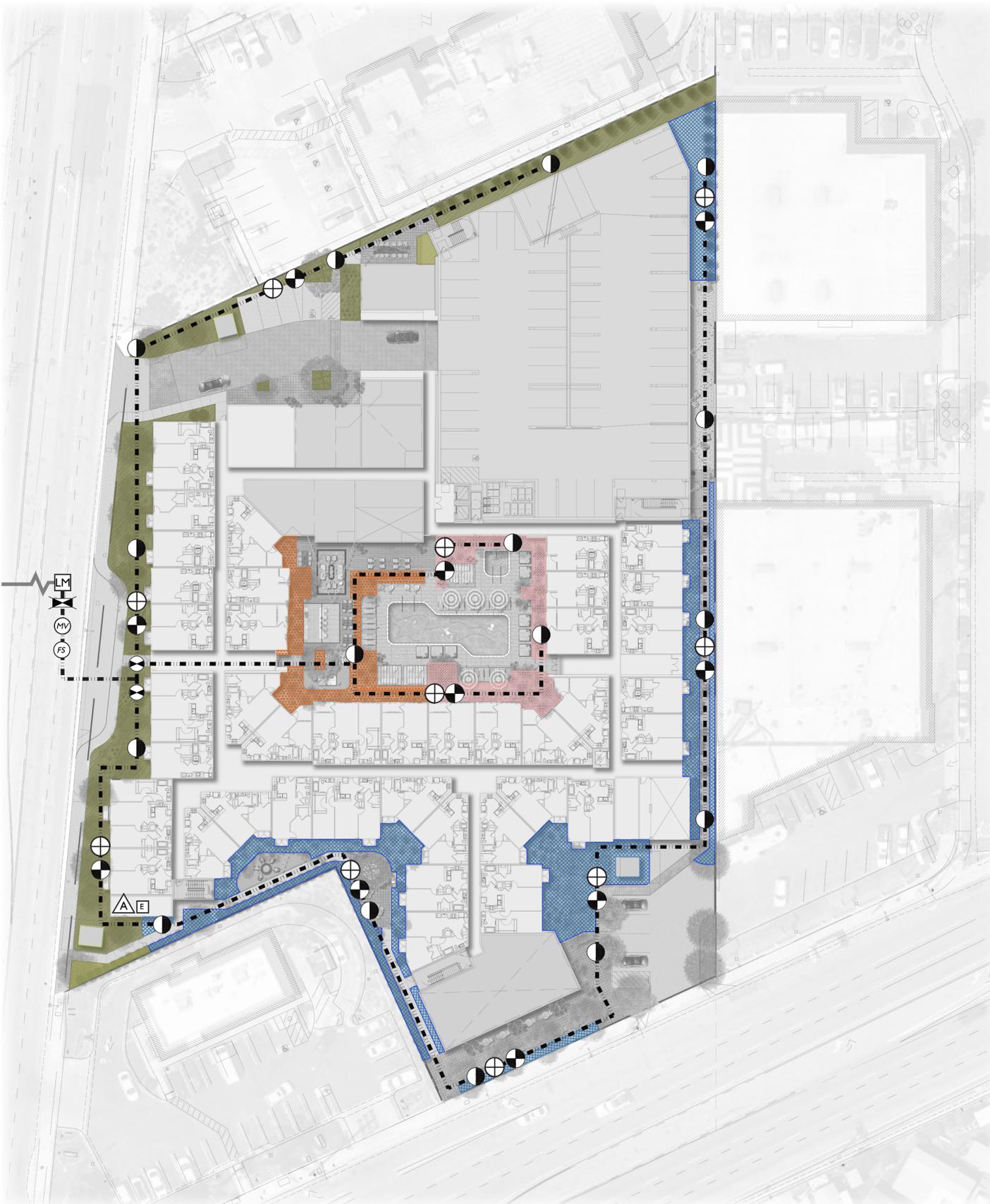


L.4

08-29-2023

Orangethorpe Ave Mixed Use  
Placentia, CA

ORANGETHORPE INVESTMENT PARTNERS LLC



### IRRIGATION HYDROZONES:

	HYDRO-ZONE 1 - NORTH/WEST FACING - 10,031 S.F. IRRIGATION TECHNIQUE TREES - BUBBLERS SHRUBS - SUB SURFACE DRIP IRRIGATION
	HYDRO-ZONE 2 - SOUTH/EAST FACING - 7,163 S.F. IRRIGATION TECHNIQUE TREES - BUBBLERS SHRUBS - SUB SURFACE DRIP IRRIGATION
	HYDRO-ZONE 3 - COURTYARD NORTH/WEST - 1,748 S.F. IRRIGATION TECHNIQUE TREES - BUBBLERS SHRUBS - SUB SURFACE DRIP IRRIGATION
	HYDRO-ZONE 4 - COURTYARD SOUTH/EAST - 1,850 S.F. IRRIGATION TECHNIQUE TREES - BUBBLERS SHRUBS - SUB SURFACE DRIP IRRIGATION
TOTAL LANDSCAPE AREA: 20,747 S.F.	

### IRRIGATION EQUIPMENT SCHEDULE:

#### IRRIGATION UTILITIES

	WATER METER	1.5" DEDICATED LANDSCAPE WATER METER. SEE CIVIL ENGINEER PLANS.
	FEBCO 825Y	1.5" BACKFLOW PREVENTION UNIT - TO BE LOCATED IN UTILITY ROOM. FINAL LOCATION TO BE COORDINATED WITH OWNERS REPRESENTATIVE.
	WILKINS KING BROS.	GATE VALVE - BLOCKED TRUE UNION PVC - 2" & SMALLER
	HUNTER	HQ33-LRC 3/4" QUICK COUPLER VALVE with LOCKING RUBBER CAP. INSTALLED AT 75' o.c. MAX. SPACING THROUGHOUT THE SITE.
	HUNTER	PGV-ASV SERIES - PLASTIC INDUSTRIAL ELECTRIC REMOTE CONTROL VALVE with ACCU-SYNC ADJUSTABLE PRESSURE REGULATING DIAL - SIZE AS SHOWN ON PLAN.
	RAINBIRD	1" MASTER VALVE - PESB SERIES VALVE
	DATA INDUSTRIAL	1" IR-100 SERIES FLOW SENSOR

#### IRRIGATION CONTROLLER

	RAINBIRD	ESP-LXM1F WALL MOUNT CONTROLLER with FLOW SENSING and RAINBIRD WEATHER SMART ET MANAGER and NECESSARY ACCESSORIES. WEATHER REACH SIGNAL PROVIDER I-(877)-351-6588. ALLOW TWO EXTRA AVAILABLE STATIONS MIN. INCLUDING MASTER VALVE and FLOW STATION. INSTALL in POWDER COATED LOCKING METAL CABINET. LXM1M.
NO SYMBOL	RAINBIRD	WR2-RC WIRELESS RAIN SENSOR. INSTALL per MANUFACTURER'S SPECIFICATIONS.
	POWER for CONTROLLER	120 VOLT ELECTRICAL PROVIDED BY ELECTRICIAN. FIELD VERIFY ACTUAL LOCATION.



#### California Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET <sub>a</sub> )	49.7		Project Type	Residential	ETAF	0.55
Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>						
Hydrozone 1 - North/West Facing	0.4	Drip	0.81	0.49	10031	4954
Hydrozone 2 - South/East Facing	0.4	Drip	0.81	0.49	7163	3537
Hydrozone 3 - Courtyard North/West	0.3	Drip	0.81	0.37	1748	647
Hydrozone 4 - Courtyard South/East	0.3	Drip	0.81	0.37	1850	685
					Totals	20792
					ETAF x Area	9823
					ETWU Total	302700
					Maximum Allowed Water Allowance (MAWA) <sup>e</sup>	352377

#### ETAF Calculations

<b>Regular Landscape Areas</b>	
Total ETAF x Area	9823
Total Area	20792
Average ETAF	0.47

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

<b>All Landscape Areas</b>	
Total ETAF x Area	9823
Total Area	20792
Average ETAF	0.47

### SUB-SURFACE IRRIGATION

HUNTER	ICZ-FS-101/151-AS-ADJ REMOTE CONTROL DRIP ZONE KIT with FILTER and ACCU-SENSE ADJUSTABLE PRESSURE REGULATOR. (INSTALL WITHOUT FLOW CONTROL AT LOW FLOW CONDITIONS.)
HUNTER	PLD-ESD-06-12 SUB-SURFACE DRIPLINE TUBING 0.6 GPH EMITTERS at 12" ON CENTER SPACING- ALL TUBING SHALL BE INSTALLED 4" MINIMUM BELOW FINISHED SOIL GRADE w/ 9" WIRE STAKES FIVE (4) FEET ON CENTER. VERIFY THE LAYOUT AND 12" ON CENTER SPACING IN THE FIELD PRIOR TO STARTING WORK. INSTALL SUB-SURFACE DRIP IRRIGATION SYSTEM per MANUFACTURER'S SPECIFICATIONS.
HUNTER	USE HUNTER FITTINGS FOR CONNECTION BETWEEN PVC LATERAL LINES AND DRIPLINE TUBING. WITH 17MM INSERT FITTINGS. IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.
HUNTER	DRIPLINE AUTOMATIC LINE FLUSH VALVE. - PROVIDE SCH 40 OR SCH 80 SOLVENT-WELD BALL VALVE FOR FLUSH OFF OF PVC EXHAUST MANIFOLD PIPE(SIZE PER PLAN). INSTALL FLUSH VALVE INSIDE 6" ROUND VALVE BOX. ONE AT THE END OF ANY TECHLINE CV LATERAL or PVC EXHAUST HEADER. INSTALL MINIMUM OF ONE FLUSH VALVE PER MAXIMUM OF 800' OF TUBING. MULTIPLE FLUSH VALVES MAY BE REQUIRED WITHIN TECHLINE-CV LAYOUT. ALWAYS INSTALL VALVES IN OPPOSITE DIRECTIONS OF THE PVC/DRIPLINE CONNECTION MANIFOLD.
HUNTER	PLD-ARV-100 AIR/VACUUM RELIEF VALVE INSTALLED with COMBINATION TEE AND A 3/4" x 1/2" REDUCER BUSHING. INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER. MIN. 1 ARV PER 500' OF DISTRIBUTION TUBING. USING AIR RELIEF LATERAL. CONNECT AIR RELIEF VALVE TO ALL DRIPLINE LATERALS WITHIN THE ELEVATED AREA.
AS APPROVED	NON-PRESSURE LATERAL SCH. 40 SUPPLY LATERAL with NECESSARY FITTINGS. NOTE EXHAUST LATERALS NOT SHOWN.
*	DRIPLINE LAYOUT NOTE: NOT ALL SUPPLY/EXHAUST LATERALS SHOWN ON PLAN for GRAPHIC CLARITY - INSTALL LATERALS per MANUFACTURER'S SPECIFICATIONS and RECOMMENDATIONS TO AVOID LOW PRESSURE THROUGH DRIPLINE and CONNECTIONS.
HUNTER	TREE DRIPPER RING: PLD-10-12 SUB-SURFACE DRIPLINE TUBING 1.0 GPH EMITTERS at 8" ON CENTER CONCENTRIC RING SPACING- ALL TUBING SHALL BE INSTALLED 4" MINIMUM BELOW FINISHED SOIL GRADE w/ 9" WIRE STAKES FIVE (5) FEET ON CENTER. VERIFY THE LAYOUT AND 12" ON CENTER SPACING IN THE FIELD PRIOR TO STARTING WORK. SEE DETAIL.

### IRRIGATION PIPING

AS APPROVED	NON-PRESSURE LATERAL SCH. 40 FOR SIZES 3/4" - 2" W/ PVC SCH. 40 FITTINGS - BURY MIN. 12" BELOW GRADE (SIZE AS NOTED ON PLAN).
AS APPROVED	1" PRESSURE MAINLINE SCH. 40 PVC. IN PLANTER AREA FOR SIZES 3/4" - 1 1/2". - BURY MIN. 18" BELOW GRADE (SIZE AS NOTED ON PLAN).
AS APPROVED	PVC PIPE SCH. 40 SLEEVING. TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED - EXTEND 12" BEYOND EDGE OF PAVING & PLACE BELOW ALL PAVING, HARDSCAPE, ETC., AND AS DIRECTED BY OWNERS AUTHORIZED REPRESENTATIVE.

### IRRIGATION MISCELLANEOUS EQUIPMENT

NO SYMBOL	AS APPROVED	IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)
NO SYMBOL	SPEARS	DS-400 PRE-FILLED WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS
NO SYMBOL	3M	DBY DIRECT BURIAL WATER-PROOF WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS





**LIGHTING CONCEPT:**  
 THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.  
 WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTUSIVE. LIGHT SOURCES WILL BE TUNGSTEN OR METAL HALIDE.  
 LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED.  
 ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE SYMPATHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.

EXTERIOR LIGHTING LEGEND			EXTERIOR LIGHTING LEGEND		
SYMBOL	TYPE/TECHNIQUE	LOCATION	SYMBOL	TYPE/TECHNIQUE	LOCATION
	12 HT THEME POLE	PEDESTRIAN WALKWAYS/ENTRY DRIVE FIXTURE WILL NOT PRODUCE OFF-SITE GLARE		OVERHEAD FESTIVAL LIGHTING	ATTACHED TO BUILDING. MINIMUM 12' ABOVE FINISH SURFACE
	12 HT POLE	COURTYARDS		BUILDING MOUNTED SCONCE	TO BE SELECTED BY ARCHITECT
	STREET LIGHT	STREETSCAPE LIGHTS PER CITY STANDARDS AND APPROVED PLAN, AS NEEDED PER THE CITY STANDARDS AND THE APPROVED STREET IMPROVEMENT PLANS		CEILING LIGHT	METAL TRELLIS STRUCTURES / ARCHITECTURE. FIXTURE WILL NOT PRODUCE OFF-SITE GLARE
	42" HT LIGHT BOLLARD	PEDESTRIAN WALKWAYS		ARM LIGHT AT MURAL	GOOSE NECK LIGHT



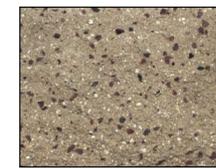


existing 8' h CMU wall

existing 6' h CMU wall

existing buidling wall

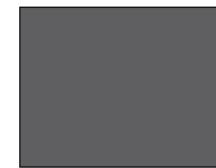
existing buidling wall



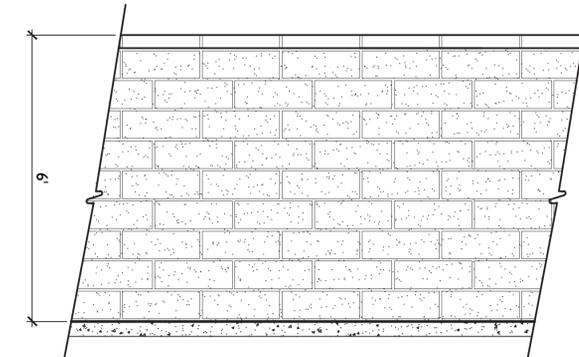
ORCO WHEAT MW



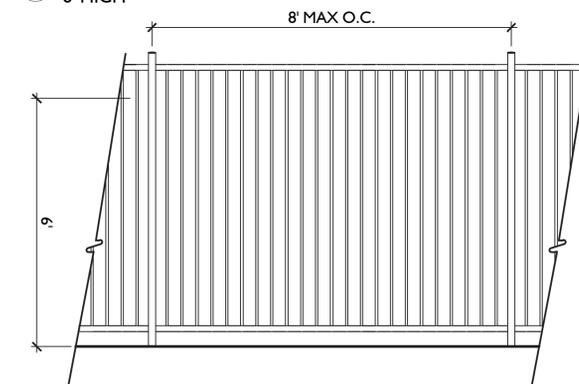
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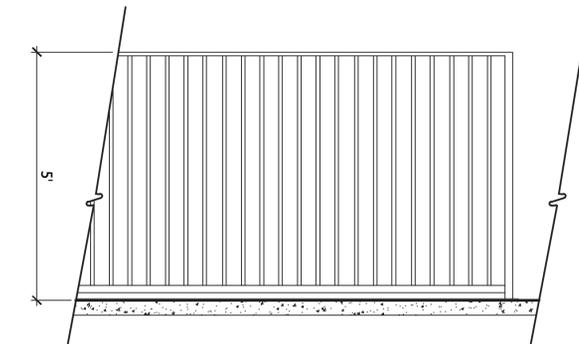
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1 SPLIT FACED BLOCK ACCENT WALL  
6' HIGH

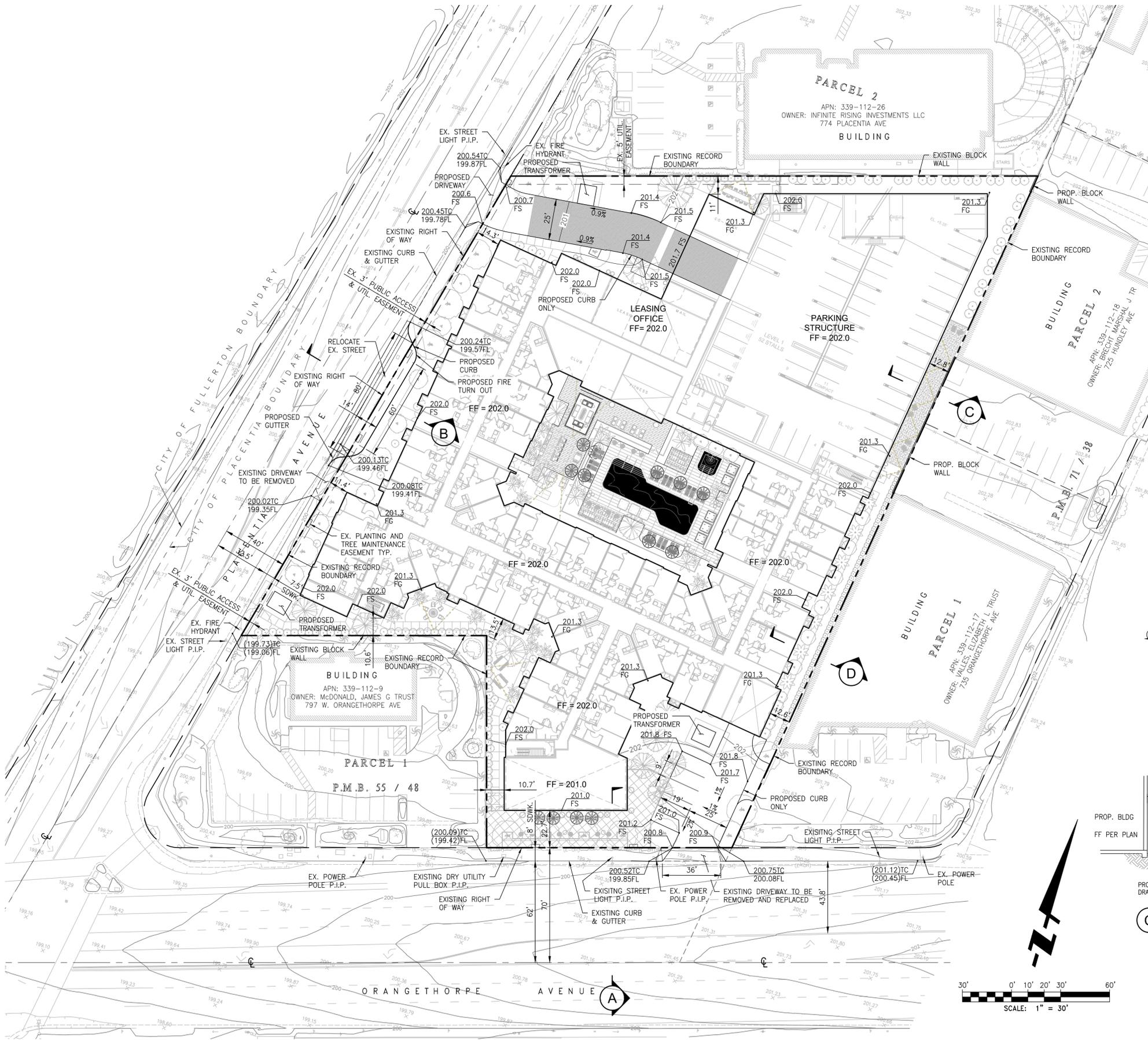


2 TUBULAR STEEL VIEW FENCE  
6' HIGH



3 TUBULAR STEEL POOL ENCLOSURE  
5' HIGH





**LEGEND**

	EXISTING EDGE OF PAVEMENT		EXISTING CONTOUR
	EXISTING CURB AND GUTTER		EXISTING CATCH BASIN
	EXISTING RIGHT OF WAY		EXISTING WATER METER
	EXISTING EDISON LINE		EXISTING TELECOMMUNICATION PULL BOX
	EXISTING GAS LINE		EXISTING ELECTRIC PULL BOX
	EXISTING TELEPHONE LINE		EXISTING MANHOLE (SMH, SDMW or EMH)
	EXISTING STORM DRAIN		EXISTING FIRE HYDRANT
	EXISTING WATER MAIN		EXISTING WATER VALVE
	EXISTING RECYCLED WATER MAIN		EXISTING POWER POLE
	EXISTING SEWER MAIN		EXISTING GUY ANCHOR
	EXISTING EASEMENT		EXISTING SIGN
	CENTER LINE		EXISTING STREET LIGHT POLE
	PROPOSED RIGHT OF WAY		EXISTING TRAFFIC SIGNAL LIGHT
	EXISTING RECORD BOUNDARY		EXISTING CHAIN LINK FENCE
	PROPOSED CURB AND GUTTER		EXISTING WALL
	PROPOSED BUILDING FOOT PRINT		

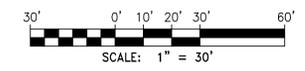
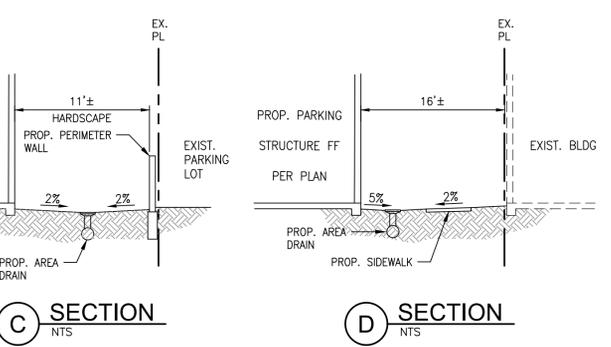
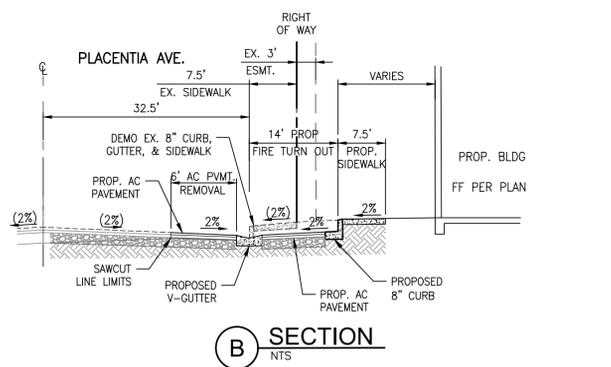
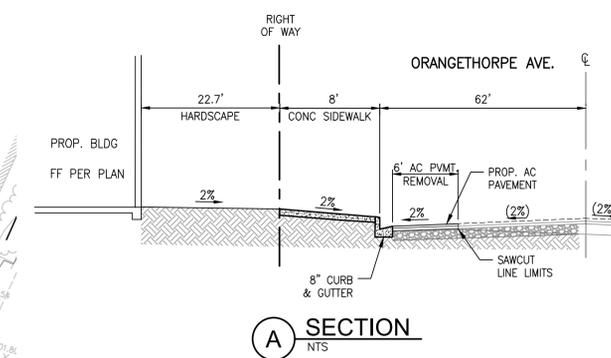
**ABBREVIATIONS**

A.C., AC	ASPHALT CONCRETE
AB	AGGREGATE BASE
BW	BACK OF WALK
CB	CATCH BASIN
CF	CURB FACE
C/L, CL	CENTER LINE
CIP, C.I.P.	CAST IRON PIPE
CONC.	CONCRETE
DW	DOMESTIC WATER
EA, EA.	EACH
EG	EXISTING GROUND
EL, EL.	ELEVATION
EX., EXIST., (E)	EXISTING
FH	FIREHYDRANT
FF	FINISHED GRADE
FG	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
FW	FIRE WATER
GB	GRADE BREAK
HP	HIGH POINT
INV, INV.	INVERT OF PIPE
L.F., LF	LINEAL FEET
LP	LOW POINT
LS, L/S	LANDSCAPE
L.S.	LUMP SUM

MAX, MAX.	MAXIMUM
MIN, MIN.	MINIMUM
MH	MANHOLE
(N)	NEW
PRKG	PARKING
P.C.C.	PORTLAND CEMENT CONCRETE
P/L, PL	PROPERTY LINE
PROP.	PROPOSED
P.V.C., PVC	POLYMERIZING VINYL CHLORIDE
POC, P.O.C.	POINT OF CONNECTION
R.C.P., RCP	REINFORCED CONCRETE PIPE
RW	RECYCLE WATER
R/W	RIGHT OF WAY
SD	STORM DRAIN
SS, SW	SEWER
S/W, SDWK	SIDEWALK
ST., ST	STREET
STD.	STANDARD
TC	TOP OF CURB
TG	TOP OF GRATE
TYP.	TYPICAL
DW, W	WATER

**NOTE:**  
 1. DRIVEWAYS WILL BE DESIGNED PER O.C.P.W. STD. 1210.  
 2. ADA RAMPS WILL BE INSTALLED AS REQUIRED.



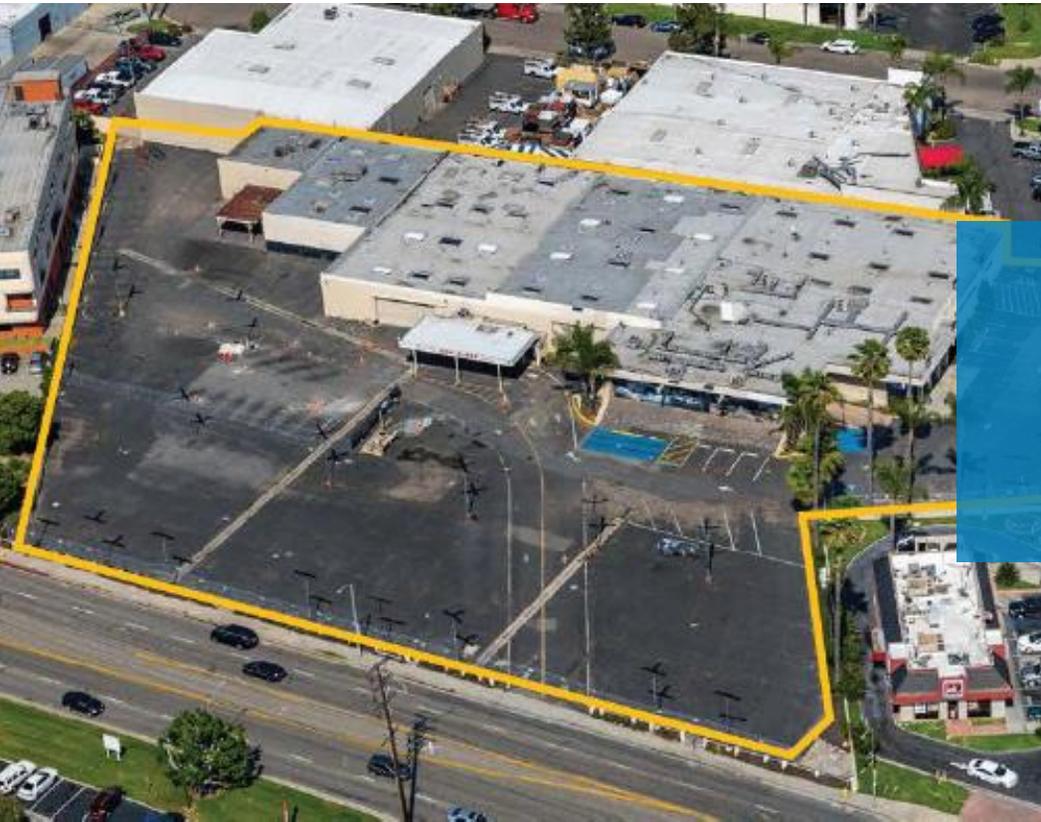
**ORANGETHORPE & PLACENTIA**  
 PLACENTIA, CA

CONCEPTUAL GRADING PLAN



**C.2**

Scale AS SHOWN  
 Job No. 1404-007  
 Date 08-29-2023



# 777 W Orangethorpe Avenue Development Impact Analysis

Prepared For: City of Placentia

Completed By: Jon Stover & Associates

April 2024



**JS&A** Economic  
Development  
Consulting

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# Executive Summary

The City of Placentia, California (“the City”), is assessing the impact of various possible development scenarios at 777 W. Orangethorpe Avenue/776 S. Placentia Avenue, currently a vacant car dealership. The City retained Jon Stover & Associates (JS&A) to quantify the economic and fiscal impacts of three potential redevelopment scenarios to guide the City in future decision-making. As part of this analysis, JS&A assessed the anticipated economic and net fiscal impacts generated by each scenario. Key findings, summarized below, reflect both the construction periods and stabilized operations of each scenario.

## DEVELOPMENT SCENARIOS

	RESIDENTIAL DEVELOPMENT	HOTEL DEVELOPMENT	NEW CAR DEALERSHIP
	 <b>RESIDENTIAL DEVELOPMENT</b> 248 Multifamily Rental Units with 2,703 SF of Ground-Floor Retail	 <b>HOTEL DEVELOPMENT</b> 123 Hotel Rooms with 5,000 SF of Standalone Retail	 <b>NEW CAR DEALERSHIP</b> New On-Site Car Dealership No On-Site Retail
<b>Economic Impact<sup>1</sup></b> <i>To what extent does the development create local jobs, wages, and business revenue?</i>	<b>Slight Positive Impact</b> Adds \$10.4 million in annual economic output, 49 annual jobs; \$3.5 million in annual wages to the City once complete.	<b>Strong Positive Impact</b> Adds \$17.4 million in annual economic output, 130 annual jobs; \$7 million in annual wages to the City once complete.	<b>Slight Positive Impact</b> Adds \$11.8 million in annual economic output, 56 annual jobs; \$5.2 million in annual wages to the City once complete.
<b>Fiscal Impact<sup>2</sup></b> <i>To what extent does the development increase general fund reserves?</i>	<b>Neutral</b> Net loss of \$58,000 annually; will take approximately 22 years to offset one-time construction fiscal impact.	<b>Strong Positive Impact</b> Generates \$577,000 in net fiscal revenue annually; \$9.1 million net fiscal impact over first 15 years.	<b>Strong Positive Impact</b> Generates \$470,000 in net fiscal revenue annually; \$7.1 million net fiscal impact over first 15 years.
<b>Community Impact<sup>3</sup></b> <i>To what extent does the development achieve stated local planning objectives?</i>	<b>Slight Negative Impact</b> Limited alignment with stated planning objectives; conflicts with the current land use map and zoning; activates a vacant property; helps achieve goal to grow housing supply.	<b>Strong Positive Impact</b> Allowed by-right; aligns with current land use map and zoning; achieves stated economic development goals; activates a vacant property.	<b>Slight Positive Impact</b> Allowed by-right; aligns with current land use map and zoning; activates a vacant property; lacks on-site retail.
	<b>Neutral</b> Slightly negative net fiscal impact upon stabilized operations, relatively minimal economic impact.	<b>Strong Positive Impact</b> Features strong annual fiscal returns to City, with strong ongoing job creation.	<b>Slight Positive Impact</b> Features strong annual fiscal returns to City; relatively minimal economic impact; and slight alignment with zoning and local planning objectives.

IMPACT SUMMARY

OVERALL IMPACT

-  **Economic Impact<sup>1</sup>**  
*To what extent does the development create local jobs, wages, and business revenue?*
-  **Fiscal Impact<sup>2</sup>**  
*To what extent does the development increase general fund reserves?*
-  **Community Impact<sup>3</sup>**  
*To what extent does the development achieve stated local planning objectives?*

(1) Annually at stabilization; includes direct, indirect, and induced; jobs located within City of Placentia  
 (2) Includes unrestricted general fund revenues (other revenues and expenses generated onsite are assumed to be roughly revenue neutral)  
 (3) Stated planning objectives according to City of Placentia General Plan, current Land Use Map, 2021-2029 Updated Housing Element

# Executive Summary (Continued)

## Economic & Fiscal Impact Detail

The potential development scenarios are anticipated to generate the following economic and fiscal impacts<sup>(1)</sup>:



### Residential Development

248 multifamily rental units  
2,703 SF of ground-floor retail

#### Fiscal Impact

Net City General Fund Tax Revenue:  
During Construction: \$1,236,879  
Annual Once Complete: **-\$58,338**  
15-Year Cumulative<sup>(2)</sup> **\$361,808**

#### Economic Impact

\$10.4 Million  
Annual Economic Output  
  
49 Jobs<sup>(3)</sup>  
Annually Upon Stabilized Operations  
  
\$3.5 Million  
Annual Salaries and Wages



### Hotel Development

123 hotel rooms<sup>(4)</sup>  
5,000 SF of standalone retail

#### Fiscal Impact

Net City General Fund Tax Revenue:  
During Construction: \$414,771  
Annual Once Complete: \$577,361  
15-Year Cumulative<sup>(2)</sup>: **\$9,075,188**

#### Economic Impact

\$17.4 Million  
Annual Economic Output  
  
130 Jobs<sup>(3)</sup>  
Annually Upon Stabilized Operations  
  
\$7 Million  
Annual Salaries and Wages



### New Car Dealership Use

Renovation of existing commercial building  
with continued use as a new car dealership<sup>(5)</sup>

#### Fiscal Impact

Net City General Fund Tax Revenue:  
During Construction: \$83,665  
Annual Once Complete: \$470,353  
15-Year Cumulative<sup>(2)</sup>: **\$7,138,959**

#### Economic Impact

\$11.8 Million  
Annual Economic Output  
  
56 Jobs<sup>(3)</sup>  
Annually Upon Stabilized Operations  
  
\$5.2 Million  
Annual Salaries and Wages

(1) Development programs are conceptual and will likely vary from final building programs of future redevelopment. Conceptual development programs used for this study are based on conceptual proposals submitted by developers for the project. Actual impact will vary based on the final development program and design.  
 (2) Fifteen-year cumulative fiscal impact includes construction period tax revenues and anticipated net fiscal revenues during first fifteen years of stabilized operations.  
 (3) Employment figures include full-time and part-time jobs.  
 (4) A larger hotel development with more rooms would have a larger economic and fiscal impact that would be approximately proportional to the increase in rooms. For a 150-room hotel, the annual fiscal impact upon stabilized operations would be approximately \$697,000, with a 15-year cumulative net fiscal impact of \$10.9 million.  
 (5) Analysis assumes that an on-site car dealership has comparable sales and employment levels as the former tenant (a Chrysler Jeep dealership). Impacts will vary depending on the type of dealership. A used car dealership may or may not result in lower impact figures, as impact is depending on annual sales and on-site employment.

Note: Jon Stover & Associates (JS&A), an economic development consulting firm, conducted this analysis on behalf of the City of Placentia. All findings subject to change. See full report for detail on impact analysis methodology and assumptions.

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# Project Background & Purpose

# Project Background

## Background & Study Purpose

The City of Placentia, CA (“The City”) is assessing the anticipated impacts of various possible development projects at 777 W. Orangethorpe Avenue/776 S. Placentia Avenue, the current site of a vacant car dealership. The City selected Jon Stover & Associates to conduct an independent study to assess the economic impacts of three potential developments, including the renovation of the existing on-site commercial building with the site continuing its former use as a car dealership. The study also assesses the anticipated state and local tax revenue, or fiscal impact, generated by each potential development scenario.

## About JS&A

Jon Stover & Associates (JS&A) is an Economic Development Consulting firm located in Washington, DC. JS&A specializes in economic and fiscal impact analysis, real estate analysis, market analysis, and economic development strategy.

Founded in 2009, JS&A has completed hundreds of projects around the country for town, city, and state agencies, placed-based nonprofit organizations, and private developers and business owners. JS&A has completed over 50 development impact analyses for a range of municipalities and developers across the country.

## Analysis Components

This study includes the following assessments for three potential redevelopment scenarios:

**Economic Impact.** Estimation of the number of jobs, total salaries and wages, and business revenue the three scenarios will create and support during construction and sustained operations.

**Fiscal Impact.** Fiscal impact assessment to understand the direct state and local tax revenues generated from these three scenarios during construction and stabilized operations.

**Community Impact.** Summary of how the three scenarios will benefit the surrounding community and align with established local neighborhood and citywide goals.



# Analysis Methodology

## Data Sources

For the purpose of this study, IMPLAN, a software and data provider, was used to (a) provide needed data multipliers and (b) generate a model that uses inputs from a development program to estimate the corresponding impact on job and wage growth and industry revenue. The analysis also uses development program assumptions and building permit and plan check fee estimates provided by the City of Placentia.

## Construction Vs. Operations

Two main development phases affect job growth: (a) the period during site construction and (b) the period of time once the project is stabilized and approaching full occupancy. Site construction generates temporary construction jobs and associated fees and taxes. Once the subject site operations stabilize, the primary sources of municipal revenues are property taxes, sales taxes, and Transient Occupancy Taxes (for hotel uses).

As such, the employment assessment is presented in separate tables for (1) the planning and construction period of the development and (2) expected annual impacts of stabilized on-site operations once the site is fully developed and leased to residents and/or commercial tenants.

## Impact On Local Employment And Tax Revenue

Leveraging IMPLAN, which uses data and multipliers specific to Orange County, the total expected jobs were estimated for each type of tenant expected to locate on-site. Economic impact figures are broken down by direct, indirect, and induced impacts.

JS&A conducted an independent analysis of the applicable state, local, and city taxes and fees to determine the expected tax revenue generated by development scenarios during both the period of construction and during stabilized operations. Tax revenue sources include sales taxes, property taxes, building permit fees, impact fees, and various planning and development fees. A net fiscal impact analysis was conducted for the City of Placentia. Gross fiscal impact figures were calculated for Orange County and the State of California.

*Note: Throughout this report, figures may not sum to total impact figures, due to rounding.*

## Definitions of Key Terms

**Economic Impact** The impact of spending in a particular industry or industries on a given region.

**Direct Impact** The revenue, jobs, wages, and other economic activity generated from the operations of businesses or industries.

**Indirect Impact** The supply chain of goods and services from other industries that enable activity in a particular business or industries (i.e., business-to-business transactions).

**Induced Impact** The results, or spending, from personal income (salary and wages) that is recirculated in the economy caused by the direct and indirect impacts.

**Fiscal Impact** The amount of tax revenue generated as a result of economic activity, including sales tax, property tax, development impact fees, and transient occupancy tax.

**Net Fiscal Impact** The amount of tax revenue generated as a result of a development or economic activity minus the amount of fiscal expenditures necessitated by such development or economic activity.

**IMPLAN** The industry-leading input-output economic impact assessment modeling system that models impacts of economic changes on a specific region.

# Subject Site Overview

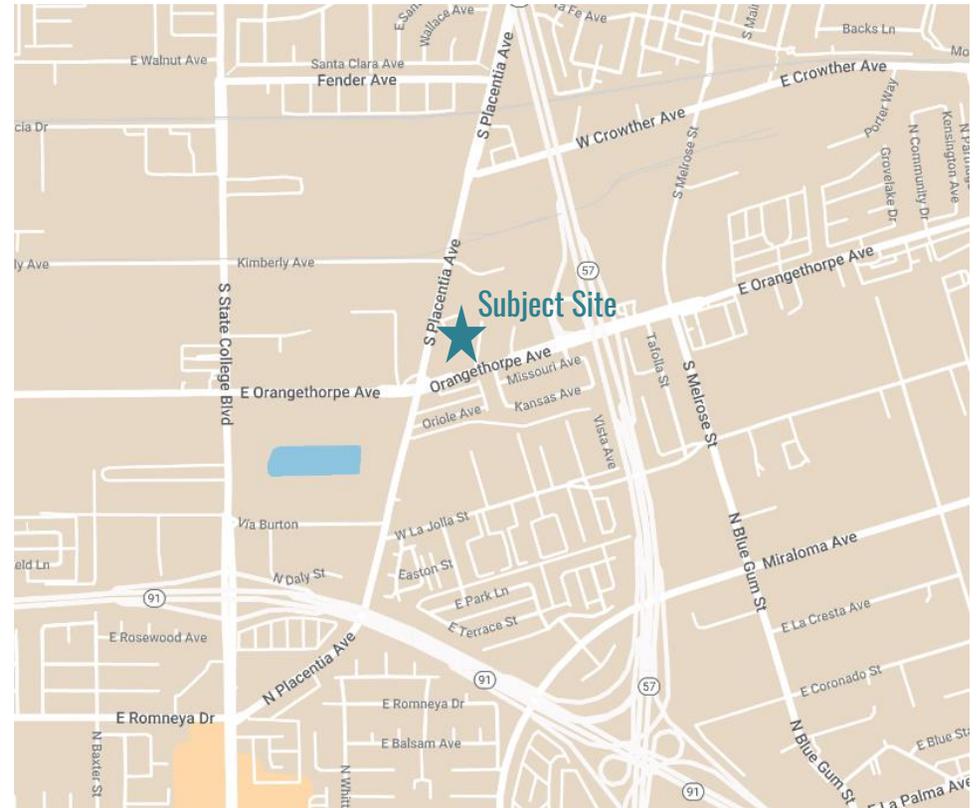
The site location is surrounded primarily by auto-oriented commercial and industrial uses, with several car dealerships and low-density commercial buildings adjacent to the site. The site abuts Orangethorpe Avenue to the south and S Placentia Avenue to the west, two highly trafficked thoroughfares. The site is located just a half-mile from Orange Freeway, one mile from Riverside Freeway, and 3.5 miles from the Anaheim Canyon train station.

The subject site was previously occupied by Don-A-Vee Premier Chrysler Jeep and has been vacant since the dealership left the site in May 2018. In the interim, there have been multiple offers to purchase or lease the subject site, including proposals from car dealerships, hotel developers, and other project types. The 35,073 SF one-story building previously occupied by Don-A-Vee Premier Chrysler Jeep remains on-site.



*The on-site commercial building previously used as a car dealership.*

Source: LoopNet



Source: Google Maps

Source: Rosemurgy Properties

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# Conceptual Development Scenarios

The City of Placentia has identified three potential uses for the subject site to be assessed as part of this study. The City of Placentia selected these scenarios, which represent three potential development options, including two ground-up construction projects and a renovation of the existing on-site building, which would continue to be used as a car dealership. The impact analysis estimates the economic and fiscal impacts for each of these three scenarios. These scenarios vary in size and cost and their associated impact figures reflect these differences.

## 1 Residential Development

- 5-story residential building with 248 market-rate rental units
- 2,703 SF of ground-floor retail
- 7-story parking garage with 248 parking spaces
- Residential Gross Area: 250,681 SF
- Parking Gross Area: 151,900 SF

*Note: Development scenario based on a conceptual development program submitted to the City of Placentia by Orangethorpe Investment Partners LLC in August 2021. Final residential development program will likely vary from this proposal.*

## 2 Hotel Development

- Upscale Hotel
- 123 Hotel Rooms
- 5,000 SF of retail
- Est. Hotel Gross Area: 86,015 SF
- No parking garages or other parking structures

*Note: Hotel development scenario based on submitted development proposal for subject site from established hotel operator. Estimated gross area square footage based on 659 Gross Building Area SF per hotel room average from set of comparable hotels. The specific development program of a hotel at the subject site may differ from this conceptual scenario. A larger hotel concept would result in a greater economic and fiscal impact approximately proportional to the increase in on-site rooms.*

## 3 New Car Development Use

- New car dealership tenant to operate within existing 35,073 SF building.
- Renovation of existing on-site commercial building. No new ground-up construction.

*Note: This scenario assumes that the site will be used by a new car dealership brand comparable to the previous tenant (Chrysler Jeep). Impacts will vary depending on the type of dealership. A used car dealership may or may not result in lower impact figures, as impact is dependent on annual sales and on-site employment upon stabilized operations.*

# Economic Impact

The following section quantifies the economic impacts anticipated through the construction period and during stabilized operations for the three development scenarios.

# Economic Impact During Construction

## One-Time Economic Impact by Development Scenario

The impact of a development's construction will be generally proportional to its size and design quality. As such, the largest and most expensive of the three development scenarios, the residential development, has a greater potential economic impact than the hotel development during the period of construction.

The planning and construction of a redevelopment will generate both direct economic impacts (from spending by the developer during the planning and construction of the project) and secondary impacts that generate revenue and employment in other supporting industries that indirectly benefit from construction-related activity.

In total, the construction of a new residential development is expected to generate approximately \$150 million of revenue in construction and supporting industries, 924 jobs, and \$74.5 million in wages over the course of construction. Construction of a new hotel and accompanying retail space will support approximately \$47.8 million in revenue, 293 jobs, and \$23.3 million in wages over the course of construction.

A new car dealership use would likely require extensive build-out costs given the poor quality of the existing on-site building. This renovation would support approximately 36 jobs over the course of the renovation, supporting \$2.9 million in total wages. This impact would increase if a new car dealership tenant decided to construct a new building on-site.

### Total One-Time Economic Impact of Construction by Scenario<sup>(1)(2)</sup>

Conceptual Development Scenario	Estimated Development Costs <sup>(3)</sup>	Anticipated Industry Revenue <sup>(4)</sup>	Anticipated Employment <sup>(5)</sup>	Anticipated Salary and Wages <sup>(6)</sup>
Residential Development	\$92,704,235	\$149,953,451	924	\$74,525,728
Hotel Development	\$31,851,042	\$47,774,688	293	\$23,372,192
New Car Dealership Use	\$6,000,000	\$9,522,166	36	\$2,873,720

(1) Figures reflect combined direct, indirect, and induced effects for each scenario. For detail of each scenario, see the Appendix.

(2) Changes in the anticipated development program and market forces may impact the anticipated industry revenue, employment, and salary and wages of employees.

(3) Residential costs based on "Construction Costs of Residential Buildings in U.S. Cities (Statista, 2024). Construction costs for "New Car Dealership Use" based on submitted estimate from comparable car dealership. Infrastructure, public realm and land acquisition costs are unknown at this time and therefore excluded from the analysis.

(4) Industry revenue reflects "Industry Output," or annual revenues plus net inventory change.

(5) Anticipated employment represents jobs defined as full-time equivalent jobs years during the duration of development and construction.

(6) Anticipated salary and wages calculated using IMPLAN with the latest version of the regional-specific multipliers.

# Economic Impact Upon Stabilized Operations

## Annual Economic Impact by Development Scenario

An on-site hotel use would support the highest overall number of jobs and wages among the three development scenarios. This employment is supported through a mix of on-site hotel staff and spending by hotel guests.

An on-site hotel and its accompanying retail uses are expected to directly support approximately 96 full-time and part-time jobs on-site. This includes on-site hotel staff, retail staff, and jobs supported by local spending from hotel guests. In total, these direct jobs will result in approximately \$4.4 million in wages annually.

The car dealership is expected to directly support approximately 35 on-site jobs, \$3.7 million in wages, and \$7.5 million in industry revenue annually. The proposed residential development has the smallest economic impact, supporting approximately 18 jobs on-site. These 18 jobs include property management staff, employees at the ground-floor retail space, and self-employed residents with home-based businesses.

Stabilized Operations Economic Impact Type	Anticipated Industry Revenue <sup>(1)</sup>	Anticipated Employment <sup>(2)</sup>	Anticipated Wages <sup>(3)</sup>
<b>Residential Development<sup>(4)(5)(6)(7)</sup></b>	<b>\$10,445,118</b>	<b>49 Jobs</b>	<b>\$3,496,935</b>
Direct (On-Site Uses)	\$4,179,866	18	\$1,223,475
Indirect (Supply Chain Transactions)	\$1,994,399	10	\$793,816
Induced <sup>(7)</sup> (Spending of Wages)	\$4,270,852	22	\$1,479,644
<b>Hotel Development</b>	<b>\$17,435,910</b>	<b>130 Jobs</b>	<b>\$6,982,199</b>
Direct (On-Site Uses)	\$10,354,562	96	\$4,414,480
Indirect (Supply Chain Transactions)	\$3,446,909	16	\$1,302,062
Induced (Spending of Wages)	\$3,634,439	19	\$1,265,657
<b>New Car Dealership Use</b>	<b>\$11,808,631</b>	<b>56 Jobs</b>	<b>\$5,193,145</b>
Direct (On-Site Uses)	\$7,503,111	35	\$3,674,871
Indirect (Supply Chain Transactions)	\$1,623,468	7	\$584,344
Induced (Spending of Wages)	\$2,682,051	14	\$933,931

- (1) Industry revenue reflects "Industry Output" as calculated by IMPLAN, defined as annual revenues plus net inventory change.
- (2) Employment figures reflect jobs as calculated by IMPLAN which includes full-time and part-time jobs.
- (3) Anticipated salary and wages calculated via IMPLAN with regional-specific multipliers.
- (4) Residential impact figures assume 6.4% vacancy rate, based on average of multifamily properties built from 2018-2022 within 3-mile radius from project site. Properties built in 2023 are excluded, to avoid properties still in lease-up period.
- (5) Estimate of on-site property management employment on a per unit basis utilizing national averages from 2023 National Apartment Association survey.
- (6) Residential Development figures assume 2.5% of residents have work-from-home businesses as primary source of income and use residential address as primary business address.
- (7) Induced impact figures for Residential Development scenario assume that 15% of residents are moving from outside region.

Note: Figures in chart may not add up due to rounding.

Source: IMPLAN, 2024

# Fiscal Impact

The following section quantifies the tax revenue attributable to the three proposed development scenarios during construction and upon stabilized operations.

# Fiscal Impacts During Construction

The residential development scenario is estimated to generate approximately \$1.2 million in one-time tax revenue during its planning and construction – the highest fiscal impact of the three development scenarios.

This tax revenue is generated through Building Permit fees, Plan Check fees, and the Transfer Tax. New development will generate a significant amount of development impact fees, with fees for the residential development scenario reaching nearly \$6.9 million. These development impact fees include traffic impact fees, sewer impact fees, and parks and recreation impact fees that are incurred on a per dwelling unit basis. These impact fees are expected to be net-neutral revenues for the City, as they would likely offset associated increases in municipal services costs.

Anticipated One-Time Tax Revenue to City of Placentia <sup>(1)(2)</sup>			
Revenue Source	Residential Development	Hotel Development	New Car Dealership Use
<b>Net-Neutral Revenues<sup>(3)</sup></b>			
Development Impact Fees	\$5,004,915	\$274,363	\$127,205
Outside Agency Fees	\$1,846,289	\$441,776	\$194,498
<b>Revenue Subtotal</b>	<b>\$6,851,203</b>	<b>\$716,139</b>	<b>\$320,703</b>
<b>General Fund Revenue</b>			
Building Permit Fee <sup>(4)</sup>	\$929,937	\$321,406	\$62,890
Plan Check Fee <sup>(4)</sup>	\$242,906	\$84,688	\$17,475
Transfer Tax Revenue	\$64,036	\$8,677	\$3,300
<b>Revenue Subtotal</b>	<b>\$1,236,879</b>	<b>\$414,771</b>	<b>\$83,665</b>
<b>Tax Revenue to City of Placentia General Fund During Construction<sup>(5)</sup></b>	<b>\$1,236,879</b>	<b>\$414,771</b>	<b>\$83,665</b>

(1) Tax revenue figures represent fiscal impacts of the direct effects only. The fiscal impact of indirect and induced effects are excluded from this analysis.

(2) Development impact fees and outside agency fees calculated using City of Placentia Development Impact Fee calculator.

(3) Net tax revenue from "Net-Neutral Revenues" is estimated to be zero dollars, under assumption that development impact fees and outside agency fees are proportional to increased expenditures necessitated by development.

(4) Building Permit and Plan Check Fees provided by City of Placentia based on anticipated construction costs for each scenario.

(5) Figures represent gross fiscal revenue, and do not account for any fiscal expenditures necessitated by on-site construction.

Note: Figures may not sum to total figure due to rounding.

Source: JS&A, City of Placentia

# Net Fiscal Impact of Stabilized Operations for City of Placentia

The hotel development scenario would generate the highest net fiscal return for the City of Placentia among the three scenarios, generating approximately \$577,000 of additional annual General Fund revenue upon reaching stabilized operations.

This strong fiscal return is largely driven by \$575,733 in Transient Occupancy Tax revenue estimated to be generated annually. A hotel would also result in lower overall fiscal expenditures to accommodate on-site users, as hotel guests typically require fewer municipal services than full-time residents. In its first fifteen years of stabilized operations, it would generate a cumulative \$9.1 million in General Fund revenue. A larger hotel development with more rooms would have a larger economic and fiscal impact that would be approximately proportional to the increase in rooms. For reference, a 150-room hotel would have an annual fiscal impact of \$697,000 upon stabilized operations, and cumulative net fiscal impact of \$10.9 million in its first 15 years.

Conversely, the proposed residential development would have a negative net annual fiscal impact of \$58,338 upon stabilized operations. This is due to the enhanced municipal services needed to serve the estimated 384 residents that would reside in the development. The residential scenario would generate a positive net return of approximately \$361,808 over its first fifteen years (including one-time tax revenues during construction), significantly lower than the other two scenarios. It would take approximately 22 years for the negative annual fiscal losses to be offset by the \$1.2 million in revenue generated during construction.

A new car dealership use would generate approximately \$483,000 in annual tax revenue (predominantly generated through sales taxes), and require a very minimal increase in fiscal expenditures, resulting in an annual net fiscal impact of approximately \$470,000.

Anticipated Annual Net Tax Revenue for City of Placentia General Fund <sup>(1)</sup>

Tax Revenue/Expenditure Type	Residential Development	Hotel Development <sup>(2)</sup>	New Car Dealership Use
<b>Est. Annual Revenue to City of Placentia General Fund</b>	<b>\$188,097</b>	<b>\$686,149</b>	<b>\$483,207</b>
Property Taxes <sup>(3)</sup>	\$158,955	\$24,583	\$8,100
Sales Tax (Bradley Burns)	\$13,957	\$43,770	\$237,554
Sales Tax (Transactions & Use)	\$15,186	\$42,062	\$237,554
Transient Occupancy Tax	\$0	\$575,733	\$0
<b>Est. Annual Expenditures from City of Placentia General Fund by User<sup>(4)</sup></b>	<b>(\$246,435)</b>	<b>(\$108,788)</b>	<b>(\$12,855)</b>
Residents	(\$242,267)	\$0	\$0
Workers	(\$4,168)	(\$28,053)	(\$12,855)
Hotel Guests	\$0	(\$80,735)	\$0
<b>Annual Net Fiscal Impact to City General Fund</b>	<b>(\$58,338)</b>	<b>\$577,361</b>	<b>\$470,353</b>
<b>Net Fiscal Impact to City General Fund Over 15-Yr Period (Construction + Annual)<sup>(6)</sup></b>	<b>\$361,808</b>	<b>\$9,075,188</b>	<b>\$7,138,959</b>

- (1) Estimated impacts are presented in current (2024) dollars. Tax revenue figures represent impacts of the direct effects only. Fiscal impact of indirect and induced effects are excluded from analysis. Actual impacts may vary.
- (2) Analysis assumes 75% of hotel guest spending occurs within City of Placentia. Analysis assumes the remaining 25% goes toward other local municipalities and is therefore excluded from this analysis.
- (3) Sales tax revenue estimates for residential development account for taxes collected on residents' online transactions and in-person spending at Placentia retailers. Spending estimates calculated by IMPLAN based on anticipated on-site household incomes. Analysis assumes 20% of in-person retail spending will occur at businesses in Placentia.
- (4) Analysis assumes the following property valuations for each development scenario: Residential Development: \$117,744,296, Hotel Development: \$18,209,927, New Car Dealership Use: \$6,000,000. Residential Development and Hotel Development figures include property valuations of on-site retail spaces. Property valuations for Residential and Hotel Development based on local comparable projects. Car Dealership property valuation based on estimate from prospective new dealership at subject site.
- (5) Analysis assumes the following per-user fiscal expenditures: \$631 per new resident, \$363 per new worker, and \$85 per new hotel guest. These estimates are based on FY2023-24 expenditures, divided by the current base of each user group. Figures are adjusted based on anticipated share of costs attributable to each user group.
- (6) Net fiscal impact to City General Fund Over 15-Year Period includes tax revenue generated during construction period and net General Fund revenue in first fifteen years of stabilized operations.

# Community Impact

The following section assesses how the project will benefit the surrounding community and how these impacts align with established local planning goals.

# Community Impact

The community impacts of the three proposed development scenarios were assessed based on alignment with the City of Placentia’s current zoning, proposed General Plan Land Use Map, and alignment with strategic housing and economic development objectives identified in the City’s General Plan and 2021-2029 Housing Element Update. Findings are summarized below, with evaluations ranging from “Does Not Align” to “Strong Alignment”.

Planning Objectives	Residential Development	Hotel Development	New Car Dealership Use
<b>Current Zoning</b> <i>Subject site is zoned for office and commercial uses, with maximum allowable height of 75 feet.</i>	<b>Does Not Align</b> Residential not allowed by-right; would require zoning variance.	<b>Strong Alignment</b> Hotel and retail uses align with current zoning and would add new retail amenities for nearby residents.	<b>Strong Alignment</b> Car dealership aligns with current commercial use zoning, though it lacks any retail amenities to serve surrounding community.
<b>Proposed General Plan Land Use Map</b> <i>Specific Plan 5: Office and commercial uses “intended to provide a site for retailers and businesses, which through the characteristics of their [services], cater to the entire community.”</i>	<b>Does Not Align</b> Residential not allowed by-right; would require zoning variance.	<b>Strong Alignment</b> Hotel and retail uses align with current zoning and would add new commercial amenities for nearby residents.	<b>Strong Alignment</b> Car dealership aligns with current commercial use zoning, though it lacks any retail amenities to serve surrounding community.
<b>General Plan Economic Development Goals</b> <i>Relevant goals include but are not limited to a) diversifying City revenue sources, b) creating new jobs, c) attracting and expanding community-serving retail businesses, and d) encouraging densification along major corridors.</i>	<b>Moderate Alignment</b> Adds mixed-use project and 2,703 SF of retail along major corridor; has relatively minimal impact on local employment.	<b>Strong Alignment</b> Boosts Transient Occupancy Tax revenue, while adding 5,000 retail SF along major arterial road; will support approx. 96 jobs.	<b>Moderate Alignment</b> Diversifies City revenue stream; relatively minimal impact on local employment. Does not add any community-serving retail amenities or mixed-use activity to subject site.
<b>2021-2029 Housing Element Update</b> <i>Update establishes goal to add 2,374 new housing units by 2029; add senior, affordable, and single-housing occupancy units.</i>	<b>Neutral</b> Adds 248 units to help meet housing supply targets. Does not include any affordable or senior units; not within walking distance of major transit station.	<b>Neutral</b> Does not include any residential units.	<b>Neutral</b> Does not include any residential units.
<b>Overall Community Impact Evaluation</b>	<b>Minimal Alignment</b> Conflicts with the current land use map; conflicts with zoning. Moderate alignment with economic development priorities.	<b>Strong Alignment</b> Allowed by-right; aligns with current land use map and with zoning; achieves stated economic development goals.	<b>Moderate Alignment</b> Allowed by-right; aligns with current land use map and zoning; activates a vacant property; directly support approx. 35 jobs.

# Summary of Findings & Implications

# Summary of Impact Analysis Findings

JS&A assessed the anticipated economic, community, and net fiscal impacts generated by each site scenario. Key findings, summarized below, reflect both the construction periods and stabilized operations of each scenario.

## DEVELOPMENT SCENARIOS

	RESIDENTIAL DEVELOPMENT <i>248 Multifamily Rental Units with 2,703 SF of Ground-Floor Retail</i>	HOTEL DEVELOPMENT <i>123 Hotel Rooms with 5,000 SF of Standalone Retail</i>	NEW CAR DEALERSHIP <i>New On-Site Car Dealership No On-Site Retail</i>
<b>Economic Impact</b> <i>To what extent does the development create local jobs, wages, and business revenue?</i>	<b>Slight Positive Impact</b> Adds \$10.4 million in annual economic output, 49 annual jobs; \$3.5 million in annual wages to the City once complete.	<b>Strong Positive Impact</b> Adds \$17.4 million in annual economic output, 130 annual jobs; \$7 million in annual wages to the City once complete.	<b>Slight Positive Impact</b> Adds \$11.8 million in annual economic output, 56 annual jobs; \$5.2 million in annual wages to the City once complete.
<b>Fiscal Impact</b> <i>To what extent does the development increase City general fund reserves?</i>	<b>Neutral</b> Net loss of \$58,000 annually; will take approximately 22 years to offset one-time construction fiscal impact.	<b>Strong Positive Impact</b> Generates \$577,000 in net fiscal revenue annually; \$9.1 million net fiscal impact over first 15 years.	<b>Strong Positive Impact</b> Generates \$470,000 in net fiscal revenue annually; \$7.1 million net fiscal impact over first 15 years.
<b>Community Impact</b> <i>To what extent does the development achieve stated local planning objectives?</i>	<b>Slight Negative Impact</b> Limited alignment with stated planning objectives; conflicts with the current land use map and zoning; activates a vacant property; helps achieve goal to grow housing supply.	<b>Strong Positive Impact</b> Allowed by-right; aligns with current land use map and zoning; achieves stated economic development goals; activates a vacant property.	<b>Slight Positive Impact</b> Allowed by-right; aligns with current land use map and zoning; activates a vacant property; lacks on-site retail.
<b>Overall Impact</b>	<b>Neutral</b> Slightly negative net fiscal impact upon stabilized operations, relatively minimal economic impact.	<b>Strong Positive Impact</b> Features strong annual fiscal returns to City, with strong ongoing job creation.	<b>Slight Positive Impact</b> Features strong annual fiscal returns to City; relatively minimal economic impact; and slight alignment with zoning and local planning objectives.

IMPACT SUMMARY

OVERALL IMPACT



(1) Annually at stabilization; includes direct, indirect, and induced; jobs located within City of Placentia  
 (2) Includes unrestricted general funds revenues (other revenues and expenses generated onsite are assumed to be roughly revenue neutral)  
 (3) Stated planning objectives according to City of Placentia General Plan, Future Land Use Map, 2021-2029 Updated Housing Element

# Summary of Findings & Implications for City of Placentia

The City of Placentia has conducted a significant amount of planning and research to assess the feasibility and impacts of various potential development scenarios at the subject site. This study leverages the prior due diligence conducted by the City, using submitted development proposals to inform assumptions and inputs for the economic, fiscal, and community impact analysis.

The impact analysis finds that a potential hotel development has the strongest overall economic, fiscal, and community impact on the City, compared to a residential development or new car dealership. A hotel use closely aligns with stated planning objectives to diversify revenue streams (by boosting Transient Occupancy Tax revenue), attract new retail businesses, create new job opportunities, and add mixed-use projects to major corridors. Furthermore, the hotel development scenario has the highest fiscal return to the City over a fifteen-year timeframe.

Conversely, the residential development is expected to produce a slight negative annual fiscal impact upon stabilized operations, given the increased municipal services required to serve new residents. The use also does not align with current Specific Plan 5 zoning. The City has designated other locations for this type of high-density residential use in areas that are more pedestrian-friendly, transit-accessible, and proximate to retail amenities. The retained use of a car dealership on-site would not align with stated planning objectives to densify along major corridors or add new community-serving retail. However, a new car dealership would still activate the now-vacant site and generate a positive fiscal impact for the City, due to the high volume of sales tax revenue generated on-site.

**Considering the above factors, this study recommends prioritizing the redevelopment of the site as a hotel with on-site retail uses.** It is important to note that this impact analysis is not a market analysis. The impact analysis assumes that each development scenario is financially viable and will be able to achieve a sufficient level of demand to sustain operations for at least fifteen years. The City has already received specific proposals to develop the site for each proposed use. Given this established interest from developers, a City-conducted market analysis is likely not necessary. However, the City may want to explore further market research if such demand weakens.



05

# Appendix

## A.1

# Residential Development One-Time Economic Impact During Construction

The residential development scenario would be expected to generate approximately \$150 million of one-time revenue in construction and supporting industries.

Impact Type	Anticipated Industry Revenue <sup>(1)</sup>	Anticipated Employment <sup>(2)</sup>	Anticipated Salary and Wages <sup>(3)</sup>
Direct ( <i>On-Site Uses</i> )	\$92,704,235	642	\$54,178,782
Indirect ( <i>Supply Chain Transactions</i> )	\$17,573,714	80	\$6,527,526
Induced ( <i>Spending of Wages</i> )	\$39,675,502	203	\$13,819,420
<b>Total Anticipated Economic Impact<sup>(4)</sup></b>	<b>\$149,953,451</b>	<b>924</b>	<b>\$74,525,728</b>

Note: Changes in the anticipated development program and market forces may impact the anticipated industry revenue, employment, and salary and wages of employees.

(1) Industry revenue reflects "Industry Output," or annual revenues plus net inventory change.

(2) Anticipated employment represents jobs defined as full-time equivalent jobs years during the duration of development and construction.

(3) Anticipated salary and wages calculated using IMPLAN with the latest version of the regional-specific multipliers.

(4) Figures represent impact of the full development program, including 248-unit multifamily building and 2,703 SF ground-floor retail space.

Source: IMPLAN, 2024

## A.2

# Hotel Development One-Time Economic Impact During Construction

The hotel development scenario would be expected to generate approximately \$47.8 million of one-time revenue in construction and supporting industries.

Impact Type	Anticipated Industry Revenue <sup>(1)</sup>	Anticipated Employment <sup>(2)</sup>	Anticipated Salary and Wages <sup>(3)</sup>
Direct ( <i>On-Site Uses</i> )	\$29,410,543	202	\$16,848,419
Indirect ( <i>Supply Chain Transactions</i> )	\$5,925,913	27	\$2,191,254
Induced ( <i>Spending of Wages</i> )	\$12,438,233	63	\$4,332,520
<b>Total Anticipated Economic Impact<sup>(4)</sup></b>	<b>\$47,774,688</b>	<b>293</b>	<b>\$23,372,192</b>

Note: Changes in the anticipated development program and market forces may impact the anticipated industry revenue, employment, and salary and wages of employees.

(1) Industry revenue reflects "Industry Output," or annual revenues plus net inventory change.

(2) Anticipated employment represents jobs defined as full-time equivalent jobs years during the duration of development and construction.

(3) Anticipated salary and wages calculated using IMPLAN with the latest version of the regional-specific multipliers.

(4) Figures represent impact of the full development program, including 123-room hotel and 5,000 SF of retail space.

Source: IMPLAN, 2024

## A.3

# New Car Dealership Use

## One-Time Economic Impact During Construction

The anticipated build-out costs of a new car dealership would be expected to generate approximately \$9.5 million of one-time revenue in construction and supporting industries.

Impact Type	Anticipated Industry Revenue <sup>(1)</sup>	Anticipated Employment <sup>(2)</sup>	Anticipated Salary and Wages <sup>(3)</sup>
Direct ( <i>On-Site Uses</i> ) <sup>(4)</sup>	\$6,000,000	21	\$1,696,526
Indirect ( <i>Supply Chain Transactions</i> )	\$1,995,789	8	\$645,529
Induced ( <i>Spending of Wages</i> )	\$1,526,377	8	\$531,665
<b>Total Anticipated Economic Impact<sup>(5)</sup></b>	<b>\$9,522,166</b>	<b>36</b>	<b>\$2,873,720</b>

Note: Changes in the anticipated development program and market forces may impact the anticipated industry revenue, employment, and salary and wages of employees.

(1) Industry revenue reflects "Industry Output," or annual revenues plus net inventory change.

(2) Anticipated employment represents jobs defined as full-time equivalent jobs years during the duration of development and construction.

(3) Anticipated salary and wages calculated using IMPLAN with the latest version of the regional-specific multipliers.

(4) Construction costs for "New Car Dealership Use" based on submitted estimate from comparable car dealership. Infrastructure, public realm and land acquisition costs are unknown at this time and therefore excluded from the analysis.

(5) Figures represent impact of the full development program, with new car dealership tenant operating within renovated 35,073 SF building that exists on-site.

Source: IMPLAN, 2024

## B.1

# Residential Development Annual Economic Impact During Stabilized Operations

Upon stabilized operations, the proposed residential development would be expected to generate approximately \$3.5 million and 49 jobs annually in the local economy.

Impact Type	Anticipated Industry Revenue <sup>(1)</sup>	Anticipated Employment <sup>(2)</sup>	Anticipated Salary and Wages <sup>(3)</sup>
<b>Multifamily</b>			
Direct (On-Site Uses) <sup>(4)(5)</sup>	\$3,289,623	12	\$900,128
Indirect (Supply Chain Transactions)	\$1,722,984	9	\$684,940
Induced (Spending of Wages) <sup>(6)</sup>	\$3,996,806	20	\$1,384,238
<b>Subtotal</b>	<b>\$9,009,412</b>	<b>40</b>	<b>\$2,969,305</b>
<b>Retail</b>			
Direct (On-Site Uses)	\$890,244	7	\$323,347
Indirect (Supply Chain Transactions)	\$271,415	1	\$108,876
Induced (Spending of Wages)	\$274,047	1	\$95,407
<b>Subtotal</b>	<b>\$1,435,706</b>	<b>9</b>	<b>\$527,630</b>
<b>Total Development Program</b>			
Direct (On-Site Uses)	\$4,179,866	18	\$1,223,475
Indirect (Supply Chain Transactions)	\$1,994,399	10	\$793,816
Induced (Spending of Wages)	\$4,270,852	22	\$1,479,644
<b>Total Anticipated Economic Impact</b>	<b>\$10,445,118</b>	<b>49</b>	<b>\$3,496,935</b>

(1) Industry revenue reflects "Industry Output," or annual revenues plus net inventory change.

(2) Employment figures reflect jobs as calculated by IMPLAN which includes full-time and part-time jobs.

(3) Anticipated salary and wages calculated via IMPLAN with regional-specific multipliers.

(4) Direct impact includes impact from on-site retail uses, property management, at-home businesses, and resident spending on local Placentia retailers.

(5) Residential Development figures assume 2.5% of residents at-home businesses as primary source of income and use residential address as primary business address.

(6) Induced impact figures for Residential Development scenario assume that 15% of residents are moving from outside region.

## B.2

# Hotel Development Annual Economic Impact During Stabilized Operations

Upon stabilized operations, the hotel development scenario would be expected to generate approximately \$17.4 million and 130 jobs annually in the local economy.

Impact Type	Anticipated Industry Revenue <sup>(1)</sup>	Anticipated Employment <sup>(2)</sup>	Anticipated Salary and Wages <sup>(3)</sup>
<b>Hotel (Operations)</b>			
Direct (On-Site Uses) <sup>(4)</sup>	\$5,757,335	40	\$2,216,698
Indirect (Supply Chain Transactions)	\$1,678,408	9	\$655,855
Induced (Spending of Wages)	\$1,805,777	9	\$628,819
<b>Subtotal</b>	<b>\$9,241,520</b>	<b>58</b>	<b>\$3,501,371</b>
<b>Hotel (Guest Spending)</b>			
Direct (On-Site Uses) <sup>(5)</sup>	\$3,277,081	44	\$1,758,340
Indirect (Supply Chain Transactions)	\$1,241,952	5	\$453,441
Induced (Spending of Wages)	\$1,422,813	7	\$495,500
<b>Subtotal</b>	<b>\$5,941,846</b>	<b>57</b>	<b>\$2,707,281</b>
<b>Retail</b>			
Direct (On-Site Uses)	\$1,320,147	11	\$439,442
Indirect (Supply Chain Transactions)	\$526,549	2	\$192,766
Induced (Spending of Wages)	\$405,849	2	\$141,339
<b>Subtotal</b>	<b>\$2,252,545</b>	<b>15</b>	<b>\$773,547</b>
<b>Total Development Program</b>			
Direct (On-Site Uses)	\$10,354,562	96	\$4,414,480
Indirect (Supply Chain Transactions)	\$3,446,909	16	\$1,302,062
Induced (Spending of Wages)	\$3,634,439	19	\$1,265,657
<b>Total Anticipated Economic Impact</b>	<b>\$17,435,910</b>	<b>130</b>	<b>\$6,982,199</b>

(1) Industry revenue reflects "Industry Output," or annual revenues plus net inventory change.

(2) Employment figures reflect jobs as calculated by IMPLAN which includes full-time and part-time jobs.

(3) Anticipated salary and wages calculated via IMPLAN with regional-specific multipliers.

(4) Direct impact includes impact from on-site retail uses, hotel operations, and hotel guest spending.

(5) Analysis estimates that on-site hotel guests will spend approximately \$3.7 million at local Placentia retailers annually, based on Orange County tourism spending averages (Visit Anaheim, CIC Research, Inc.). Direct industry revenue impact is lower than this \$3.7 million figure due to retail margin coefficients that factor in cost of transportation and the wholesale/retail services.

### B.3

# New Car Dealership Use

## Annual Economic Impact During Stabilized Operations

Upon stabilized operations, a new car dealership operating in the existing on-site commercial building would be expected to generate approximately \$11.8 million and 56 jobs annually in the local economy.

Impact Type	Anticipated Industry Revenue <sup>(1)</sup>	Anticipated Employment <sup>(2)</sup>	Anticipated Salary and Wages <sup>(3)</sup>
Direct ( <i>On-Site Uses</i> )	\$7,503,111	35	\$3,674,871
Indirect ( <i>Supply Chain Transactions</i> )	\$1,623,468	7	\$584,344
Induced ( <i>Spending of Wages</i> )	\$2,682,051	14	\$933,931
<b>Total Anticipated Economic Impact<sup>(4)</sup></b>	<b>\$11,808,631</b>	<b>56</b>	<b>\$5,193,145</b>

(1) Industry revenue reflects "Industry Output," or annual revenues plus net inventory change.

(2) Employment figures reflect jobs as calculated by IMPLAN which includes full-time and part-time jobs.

(3) Anticipated salary and wages calculated via IMPLAN with regional-specific multipliers.

Source: IMPLAN, 2024

## C.1

# Residential Development

## Gross Annual Fiscal Expenditures by On-Site User Type

The chart below details the estimated amount of additional City of Placentia General Fund expenditures required to serve the increase in on-site residents and employees from the residential development scenario. In total, the scenario would be expected to necessitate approximately \$246,000 in additional General Fund expenses annually.

City of Placentia General Fund Expenditure Type	Residents	On-Site Employees	Total
Administrative Services	\$35,581	\$718	\$36,299
Finance	\$7,736	\$156	\$7,892
Development Services	\$8,731	\$235	\$8,966
Public Safety – Police	\$79,682	\$1,628	\$81,310
Fire & Life Safety	\$26,364	\$539	\$26,902
Public Works	\$29,845	\$430	\$30,275
Community Services	\$20,748	\$88	\$20,836
General Government	\$33,581	\$374	\$33,955
<b>Total</b>	<b>\$242,267</b>	<b>\$4,168</b>	<b>\$246,435</b>

(1) On-site employment includes employees at on-site retail spaces and residential property management staff.

(2) Figures based on estimated 384 new residents in residential development, 6 on-site retail employees, and 6 on-site property management staff.

(3) Estimated figures calculated based on average expenditure by current user type in FY2023-24 City of Placentia budget. Analysis assumes that legislative and City Administrator costs remain fixed and are not impacted by incremental increase in population or workforce.

Source: JS&A, City of Placentia FY2023-24 Budget

## C.2

# Hotel Development

## Gross Annual Fiscal Expenditures by On-Site User Type

The chart below details the estimated amount of additional City of Placentia General Fund expenditures required to serve the increase in on-site hotel guests and employees from the hotel development scenario. In total, the scenario would be expected to necessitate approximately \$109,000 in additional General Fund expenses annually.

City of Placentia General Fund Expenditure Type	Hotel Guests	On-Site Employees	Total
Administrative Services	\$0	\$4,832	\$4,832
Finance	\$0	\$1,051	\$1,051
Development Services	\$0	\$1,581	\$1,581
Public Safety – Police	\$39,082	\$10,959	\$50,040
Fire & Life Safety	\$12,931	\$3,626	\$16,556
Public Works	\$13,767	\$2,895	\$16,662
Community Services	\$0	\$593	\$593
General Government	\$14,956	\$2,516	\$17,472
<b>Total</b>	<b>\$80,735</b>	<b>\$28,053</b>	<b>\$108,788</b>

(1) On-site employment includes employees at on-site retail spaces and hotel staff.

(2) Figures based on estimated 34,749 annual guest nights, 66 on-site hotel staff, and 11 on-site retail employees.

(3) Estimated figures calculated based on average expenditure by current user type in FY2023-24 City of Placentia budget. Analysis assumes that legislative and City Administrator costs remain fixed and are not impacted by incremental increase in population or workforce.

Source: JS&A, City of Placentia FY2023-24 Budget

### C.3

# New Car Dealership Development

## Gross Annual Fiscal Expenditures by On-Site User Type

The chart below details the estimated amount of additional City of Placentia General Fund expenditures required to serve the increase in on-site employees from a new car dealership at the subject site. In total, a new car dealership would be expected to necessitate approximately \$13,000 in additional General Fund expenses annually.

City of Placentia General Fund Expenditure Type	On-Site Employees	Total
Administrative Services	\$2,214	\$2,214
Finance	\$481	\$481
Development Services	\$724	\$724
Public Safety – Police	\$5,021	\$5,021
Fire & Life Safety	\$1,661	\$1,661
Public Works	\$1,327	\$1,327
Community Services	\$272	\$272
General Government	\$1,153	\$1,153
<b>Total</b>	<b>\$12,855</b>	<b>\$12,855</b>

(1) On-site employment includes employees at new car dealership.

(2) Figures based on estimated 35 on-site car dealership employees.

(3) Estimated figures calculated based on average expenditure by current user type in FY2023-24 City of Placentia budget. Analysis assumes that legislative and City Administrator costs remain fixed and are not impacted by incremental increase in population or workforce.

Source: JS&A, City of Placentia FY2023-24 Budget

## D.1

# Gross Fiscal Impact of Stabilized Operations by Development Scenario

Annual Revenue Source by Jurisdiction <sup>(1)</sup>	Residential Development	Hotel Development <sup>(2)</sup>	New Car Dealership
<b>City of Placentia General Fund</b>			
Property Tax <sup>(3)</sup>	\$158,955	\$24,583	\$8,100
Sales Tax (Bradley Burns) <sup>(4)</sup>	\$13,957	\$43,770	\$237,554
Sales Tax (Transactions & Use) <sup>(4)</sup>	\$15,186	\$42,062	\$237,554
Transient Occupancy Tax	\$0	\$575,733	\$0
<b>Orange County</b>			
Property Tax	\$1,018,488	\$157,516	\$51,900
Retail Sales Tax	\$6,589	\$10,943	\$296,942
<b>State of California</b>			
Retail Sales Tax	\$52,709	\$262,621	\$1,425,322
<b>Other Local Taxing Districts</b>			
Property Tax: Placentia-Yorba Linda Unified School District	\$49,876	\$7,714	\$2,542
Property Tax: North OC Community College	\$20,193	\$3,123	\$1,029
Property Tax: MWDOC	\$4,121	\$637	\$210
<b>Subtotal of Annual Tax Revenue by Recipient</b>			
City of Placentia General Fund	\$188,097	\$686,149	\$483,207
Orange County	\$1,025,077	\$168,458	\$348,842
State of California	\$52,709	\$262,621	\$1,425,322
Other Local Taxing Districts	\$74,191	\$11,474	\$3,781
<b>Total Direct Fiscal Impact<sup>(4)(5)</sup></b>	<b>\$1,340,074</b>	<b>\$1,128,702</b>	<b>\$2,261,152</b>

(1) Tax revenue figures represent fiscal impacts of the direct effects only. The fiscal impact of indirect and induced effects are excluded from this analysis. Actual impacts may vary.

(2) Analysis assumes 75% of hotel guest spending occurs within City of Placentia. Analysis assumes the remaining 25% goes toward other local municipalities and is therefore excluded from this analysis.

(3) Analysis assumes the following property valuations for each development scenario: Residential Development: \$117,744,296, Hotel Development: \$18,209,927, New Car Dealership Use: \$6,000,000. Residential Development and Hotel Development figures include property valuations of on-site retail spaces. Property valuations for Residential and Hotel Development based on local comparable projects. Car Dealership property valuation based on estimate from prospective new dealership at subject site.

(4) Sales tax revenue estimates for residential development account for taxes collected on residents' online transactions and in-person spending at Placentia retailers. Spending estimates calculated by IMPLAN based on anticipated on-site household incomes. Analysis assumes 20% of in-person retail spending will occur at businesses in Placentia.



**JS&A**

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Development  
Consulting

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# ATTACHMENT NO. 7

## Public Correspondence

1. Written letter of support from Barry Holmes, CEO with The Bruery, dated July 29, 2021
2. Written letter of opposition from Craig S. Green received January 25, 2024
3. Written correspondence of general inquiry from Vicki Braithwaite representing Interface Rehab, Inc., received June 26, 2024
4. Written letter of opposition from Craig S. Green received July 9, 2024
5. Written correspondence of concern from resident Lilia Queen (resident) received July 9, 2024
6. Written letter of opposition from Lozeau Drury, LLP, representing SAFER received July 8, 2024
7. Written letter of concern from James Thornbrough II, President of Patriot Environmental Laboratory Services, Inc., received August 11, 2024
8. Written letter of concern from Lacie Gammell, Office Manager with Air Filter Supply, received August 12, 2024
9. Written letter of concern from Dave Anderson, President of ShootSoCal, LLC, received August 20, 2024

July 29, 2021

City of Placentia  
401 East Chapman Avenue  
Placentia, CA 92870

**RE: The Laurel Mixed Use Project**

Dear City Council,

We recently sat down with the developer of The Laurel mixed use project down the street from The Bruery and he has explained the project to us in detail. As you know, our business is growing and having a high quality project like this nearby will help us in the future. We are also exploring the possibility of being involved in the ground floor commercial space along Orangethorpe.

Being a member of the Placentia community is important to us and we think this project will help with that effort as well. We liked a lot about the project, especially the efforts to make the area more walkable and people friendly. Frankly we couldn't be more excited about what a project like this will mean for our business and the area as a whole. This project has our emphatic support.

Sincerely,

A handwritten signature in black ink, appearing to read 'BH' with a stylized flourish.

Barry Holmes

CEO

RECEIVED

JAN 25 2024

PLANNING

## 777 ORANGETHORPE ISSUES

Comments by: Craig S. Green, Placentia Resident

Property is Zoned Commercial – has been for years

As a resident of Placentia, I prefer that the property remain a Commercial parcel and that it should continue to provide the City with income via sales taxes or TOT (Transient Occupancy Tax) otherwise known as “bed tax”, depending on what business comes to town. To rezone the parcel for residential, the revenues to the City would be limited and, at the same time, dramatically increase “calls for service” by our Police and Fire and Life Safety Departments and other services that increase costs to Placentia tax payers. Previous City Council’s failed this City by rejecting things like the Albertson’s shopping center on Placentia Avenue, now in Fullerton, as well as the Home Depot over on Placentia Avenue, also in FULLERTON. Our City has missed out on millions of dollars of sales tax revenues over the decades as Fullerton as reaped them in. It’s issues such as this that resulted in Placentia having such poor financial positions over the years. We know that there is great interest by hotel groups in this parcel and I certainly hope that is what takes place. I believe that the current owner of the parcel is tied up in escrow by this developer so he is limited, at the moment, with what he can do with this parcel. It appears that this developer may be counting on assistance from possible allies on the City Council to change things that may allow this development to proceed. I certainly hope that this is not the case. I’m sure that there will be some individuals pursuing Public Records Requests to ascertain whether donations may have been made by this developer to any political campaigns of individuals that he believes may try and help him get possible changes made to City Zoning, planning, etc. to help his project proceed. Again, I certainly hope not.

Apartments: not zoned for that; Apartments would increase problems with parking issues on Orangethorpe and Placentia Avenues, regardless of any

possible signage changes/additions; Are the parking plans for this proposed development consistent with current law? Does the parking plan for this development provide for “Sane parking” availability or “Insane parking” that would cause drastic problems in the area surrounding the parcel. This area is NOT a Transit Oriented Development that usually relies on limited parking requirements due to perceived use of things like trains and busses that, in a TOD, would be close to the parcel being developed, such as the parcels on Crowther with the planned Metro-Link station. What about increased sewer needs? What about increased traffic developments? What about increased water and power requirements? Take a drive down Chapman avenue from Bradford to Orangethorpe some evening after about 7pm. You’ll see, first hand, a great reason to NOT put an apartment complex on 777 Orangethorpe. People being people, I believe that parking on Orangethorpe in such a massive scale would create incredible safety problems, traffic accidents, pedestrian vs. vehicle incidents and street cleaning problems.

Thank You for the opportunity to provide some input on this item.

## Andrew Gonzales

---

**From:** Vicki Braithwaite <Vicki@interfacerehab.com>  
**Sent:** Wednesday, June 26, 2024 2:36 PM  
**To:** Andrew Gonzales  
**Subject:** Proposed redevelopment of 777 W. Orangethorpe Avenue Former Premier Chrysler Auto Dealership  
**Attachments:** doc20240116142410.pdf

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Good day!

I was just curious if you know when the redevelopment will take place?

My office window is at ground zero and I thought it would be sometime in the Spring 2024.



Best,

Vicki Braithwaite

*Executive Assistant*

*interface rehab, inc.*

**FreeSpeech, inc.**

Direct: 714.646.8253

**eFax: 714.646.8191**

Email: [vicki@interfacerehab.com](mailto:vicki@interfacerehab.com)

[774 S. Placentia Ave., Suite 200](#)

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[www.interfacerehab.com](http://www.interfacerehab.com)

[www.FreeSpeechinc.com](http://www.FreeSpeechinc.com)

[www.maXumtherapy.com](http://www.maXumtherapy.com)



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## 777 ORANGETHORPE ISSUES

Comments by: Craig S. Green, Placentia Resident

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Planning Commission Meeting July 9, 2024

Good evening Chair Perez, Planning Commissioners and City Staff: My name is Craig Green and I'm here this evening to address this agenda item dealing with 777 Orangethorpe. For over 20 years I've tracked the fiscal health of Placentia and fought very hard to help make it better. I was on the Audit Oversight Committee, a member of this Planning Commission and was Chair as well. I went on to be the City Treasurer, City Councilmember and Mayor so I am very familiar with the past history of our City missing opportunities for developing sustainable revenue sources to help keep our City fiscally afloat and I hope that you vote to deny the application. That Property is Zoned Commercial – and as a resident of Placentia, I prefer that the property remain a Commercial parcel to be developed in such a way as to provide the City with ongoing revenue via sales taxes or Transient Occupancy Tax otherwise known as “bed tax”, depending on what business comes to town. Some have said that the sight is blighted and looks terrible and I would have to agree with that BUT, that's only because the developer involved with this project has tied the parcel up in some kind of an escrow scheme with the owner and I'm sure they don't want to put any money into upkeep while, at the same time, the escrow arrangement seems to also dissuade other developers from pursuing other possibilities. I've been told that there is considerable interest in that parcel from many hotel groups. Rezoning and developing the parcel for residential use would result in some severe traffic and personnel safety issues as well as limited revenues to the City while, at the same time, dramatically increasing “calls for service” by our Police and Fire and Life Safety Departments and other services that would increase costs to Placentia taxpayers. Previous Planning Commissions and City Council's years ago failed this City by rejecting things like annexing the Albertson's shopping center on Placentia Avenue, now in Fullerton, as well as the Home Depot over on Placentia Avenue, also in FULLERTON. Our City has missed out on millions of dollars of

sales tax revenues over the decades as Fullerton has reaped them in. It's issues such as this that resulted in Placentia having such poor financial positions over the years. It wasn't that many years ago that we closed the City's fiscal year with only \$49 in the bank,,, \$49!!!! We know that there is great interest by hotel groups in this parcel and I certainly hope that is what takes place. I believe that the current owner of the parcel is tied up in escrow by this developer so he is limited, at the moment, with what he can do with this parcel

Apartments, REALLY?: **not zoned for that**; Apartments would increase parking issues on Orangethorpe and Placentia Avenues, regardless of any possible signage changes/additions. The presentation for this project shows the construction of 248 apartments and a parking structure that provides 342 parking spaces. If we calculate a VERY CONSERVATIVE number of 2 cars per apartment (more likely 3-4), this plan is starting out with a 158 parking space deficit. I'm sure the developer will try and sell the idea that parking is not necessary with bus and train transportation in close proximity to the site. The developer is also trying to sell the idea of using parts of the proposed parking structure to provide parking for the proposed 3,000 square feet of retail use. Experience **and reality itself**, prove those thought processes to be pure folly. This area is NOT a Transit Oriented Development PERIOD!! What about increased sewer needs? What about increased traffic developments? What about increased water and power requirements? Take a drive down Chapman avenue from Bradford to Orangethorpe some evening after about 7pm. You'll see, firsthand, a great reason to NOT put an apartment complex on 777 Orangethorpe, especially one with built in parking problems. People being people, I believe that parking spilling out onto Orangethorpe on such a massive scale would create incredible safety problems, traffic accidents, pedestrian vs. vehicle incidents and street cleaning problems. Please do NOT change the zoning of the parcel in question and do NOT approve this short-sighted project. This would NOT only increase costs to the city but would also create a very unsafe environment within our own City limits.

Thank You for the opportunity to provide some input on this item.

**Andrew Gonzales**

**From:** City Clerk  
**Sent:** Tuesday, July 9, 2024 8:29 AM  
**To:** Joseph Lambert; Andrew Gonzales  
**Subject:** FW: 777 Orangethorpe Project

**Importance:** High

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Good morning,

Please see attached Public Comment for 777 Orangethorpe Project.

**Carole M. Wayman, CMC** | Deputy City Clerk | Administration  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
Phone: 714-993-8244 | Fax: 714-961-0283 | Email: [cwayman@placentia.org](mailto:cwayman@placentia.org)



Download the iPlacentia Mobile App:



**From:** Lilia Queen <lq.lilia@gmail.com>  
**Sent:** Monday, July 8, 2024 9:57 PM  
**To:** City Clerk <cityclerk@placentia.org>  
**Cc:** Rhonda Shader <rshader@placentia.org>  
**Subject:** 777 Orangethorpe Project

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Dear Planning Comission,

My name is Lilia Queen and I'm a resident of Placentia. I've lived at 835 Iowa Place for the last 23 years. I haven't seen many improvements in our area during this time and I'm hoping that the construction of an apartment complex at the old Jeep Dealership will help kick start a renovation phase for the south side. I've seen the beautification that the apartments at Crowther have brought to that neighborhood and I'm hopeful that the same will happen on Placentia and Orangethorp. However, I do hope the developer has a serious plan regarding the parking situation if stores at the street level are brought in. Our neighborhood has ran into issues when the brewery has hosted events that cause their patrons to park in our neighborhood and leaving trash behind. I hope the city considers this development to help bring improvements to the south side instead of having an empty lot full of weeds, trash and graffiti.

Sincerely,

Lilia

**Andrew Gonzales**

**From:** Victoria Yundt <victoria@lozeaudrury.com>  
**Sent:** Monday, July 8, 2024 1:39 PM  
**To:** Joseph Lambert; Andrew Gonzales  
**Cc:** Rebecca Davis; Chase Preciado; Madeline Dawson; Layne Fajeau  
**Subject:** Re: Supporters Alliance for Environmental Responsibility's Comment on Mitigated Negative Declaration for the Orangethorpe/Placentia Mixed Use Project, July 9, 2024 Planning Commission Meeting Agenda Item 2  
**Attachments:** 2024.07.08 777 W. Orangethorpe Ave MND\_ SAFER Comment - FINAL&Exs. A-B.pdf

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Dear Chair Perez, Honorable Members of the City of Placentia Planning Commission, Director Lambert, and Mr. Gonzales:

On behalf of Supporters Alliance for Environmental Responsibility ("SAFER") and its members living and working in and around Placentia, please find attached comments regarding the mitigated negative declaration ("MND") prepared for the Orangethorpe/Placentia Mixed Use Project ("Project"), which is scheduled to be heard as Agenda Item 2 at the Planning Commission's July 9, 2024 meeting.

If you could please confirm receipt of this email and the attached comments, it would be greatly appreciated. Thank you for your assistance.

Sincerely,  
 Victoria

--  
 Victoria Yundt  
 Lozeau | Drury LLP  
 1939 Harrison St., Suite 150  
 Oakland, CA 94612  
 P: 510.836.4200  
 C: 510.607.8242  
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 (she/her)

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**VIA EMAIL**

July 8, 2024

Frank Perez, Chair  
Nick Polichetti, Vice Chair  
Brandon Evans, Commissioner  
Thomas Ingalls, Commissioner  
Juan Navarro, Commissioner  
Matthew Rocke, Commissioner  
Susan Silverstri, Commissioner  
Placentia Planning Commission  
c/o Joseph Lambert, Director of  
Development Services  
City of Placentia  
401 E. Chapman Avenue  
Placentia, CA 92870  
jlambert@placentia.org

Andrew Gonzales, Planning Manager  
City of Placentia  
401 E. Chapman Avenue  
Placentia, CA 92870  
agonzales@placentia.org

**Re: Comment on Mitigated Negative Declaration for the Orangethorpe/Placentia Mixed Use Project**

Dear Chair Perez, Honorable Members of the City of Placentia Planning Commission, Director Lambert, and Mr. Gonzales:

This comment is submitted on behalf of Supporters Alliance for Environmental Responsibility (“SAFER”) and its members living and working in and around Placentia regarding the mitigated negative declaration (“MND”) prepared for the Orangethorpe/Placentia Mixed Use Project (“Project”), which proposes the development of 248 multi-family residential dwelling units, up to 3,000 square feet of commercial retail use, and a 7-level parking structure, located at 776 S. Placentia Avenue & 777 W. Orangethorpe Avenue, in the City of Placentia.

SAFER’s review of the MND was assisted by Certified Industrial Hygienist, Francis Offermann, PE, CIH, and air quality experts Matt Hagemann, P.G., C.Hg., and Paul E. Rosenfeld, Ph.D., of the Soil/Water/Air Protection Enterprise (“SWAPE”). The written comments of Mr. Offermann and SWAPE are attached hereto as Exhibit A and Exhibit B, respectively. As discussed below, SAFER is concerned that several of the MND’s conclusions are not supported by substantial evidence and that there is a fair argument that the Project may result in significant environmental impact. As such, SAFER is requesting that the City prepare an environmental impact report (“EIR”) in conformance with the California Environmental Quality Act (“CEQA”)

## PROJECT DESCRIPTION

The Project includes the demolition of the existing car dealership structures and parking lot and the new construction and operation of a five-story mixed use project that would include 248 residential units, up to 3,000 square feet of commercial uses, and a 78-foot high, 7-level parking structure at the northeast corner of the Project site. The Project requires approval of General Plan Amendment 2022-01, Specific Plan Amendment 2021-01, and Development Review Plan 2021-02.

## LEGAL STANDARD FOR NEGATIVE DECLARATIONS

As the California Supreme Court held, “[i]f no EIR has been prepared for a nonexempt project, but substantial evidence in the record supports a fair argument that the project may result in significant adverse impacts, the proper remedy is to order preparation of an EIR.” (*Communities for a Better Env’t v. South Coast Air Quality Mgmt. Dist.* (2010) 48 Cal.4th 310, 319-20.) “Significant environmental effect” is defined very broadly as “a substantial or potentially substantial adverse change in the environment.” (Pub. Res. Code (“PRC”) § 21068; see also 14 CCR § 15382.) An effect on the environment need not be “momentous” to meet the CEQA test for significance; it is enough that the impacts are “not trivial.” (*No Oil, Inc. v. City of Los Angeles* (1974) 13 Cal.3d 68, 83.) “The ‘foremost principle’ in interpreting CEQA is that the Legislature intended the act to be read so as to afford the fullest possible protection to the environment within the reasonable scope of the statutory language.” (*Communities for a Better Env’t v. Cal. Res. Agency* (2002) 103 Cal.App.4th 98, 109.)

The EIR is the very heart of CEQA. (*Bakersfield Citizens for Local Control v. City of Bakersfield* (2004) 124 Cal.App.4th 1184, 1214; *Pocket Protectors v. City of Sacramento* (2004) 124 Cal.App.4th 903, 927.) The EIR is an “environmental ‘alarm bell’ whose purpose is to alert the public and its responsible officials to environmental changes before they have reached the ecological points of no return.” (*Bakersfield Citizens*, 124 Cal.App.4th at 1220.) The EIR also functions as a “document of accountability,” intended to “demonstrate to an apprehensive citizenry that the agency has, in fact, analyzed and considered the ecological implications of its action.” (*Laurel Heights Improvements Assn. v. Regents of Univ. of Cal.* (1988) 47 Cal.3d 376, 392.) The EIR process “protects not only the environment but also informed self-government.” (*Pocket Protectors*, 124 Cal.App.4th at 927.)

An EIR is required if “there is substantial evidence, in light of the whole record before the lead agency, that the project may have a significant effect on the environment.” (PRC § 21080(d); see also *Pocket Protectors*, 124 Cal.App.4th at 927.) An MND instead of an EIR is proper only if project revisions would avoid or mitigate the potentially significant effects identified in the initial study “to a point where clearly no significant effect on the environment would occur, and . . . there is no substantial evidence in light of the whole record before the public agency that the project, as revised, may have a significant effect on the environment.” (*Mejia v. City of Los Angeles* (2005) 130 Cal.App.4th 322, 331 [quoting PRC §§ 21064.5,

21080(c)(2)].) In that context, “may” means a reasonable possibility of a significant effect on the environment. (PRC §§ 21082.2(a), 21100, 21151(a); *Pocket Protectors*, 124 Cal.App.4th at 927; *League for Protection of Oakland's etc. Historic Res. v. City of Oakland* (1997) 52 Cal.App.4th 896, 904-05.)

An EIR must be prepared rather than an MND “whenever it can be fairly argued on the basis of substantial evidence that the project may have a significant environmental impact.” (*No Oil, Inc.*, 13 Cal.3d at 75.) Under this “fair argument” standard, an EIR is required if any substantial evidence in the record indicates that a project may have an adverse environmental effect—even if contrary evidence exists to support the agency’s decision. (14 CCR § 15064(f)(1); *Pocket Protectors*, 124 Cal.App.4th at 931; *Stanislaus Audubon Society v. County of Stanislaus* (1995) 33 Cal.App.4th 144, 150-51; *Quail Botanical Gardens Found., Inc. v. City of Encinitas* (1994) 29 Cal.App.4th 1597, 1602.) The “fair argument” standard creates a “low threshold” favoring environmental review through an EIR rather than through issuance of negative declarations or notices of exemption from CEQA. (*Pocket Protectors*, 124 Cal.App.4th at 928.)

The “fair argument” standard is virtually the opposite of the typical deferential standard accorded to agencies. As a leading CEQA treatise explains:

This ‘fair argument’ standard is very different from the standard normally followed by public agencies in making administrative determinations. Ordinarily, public agencies weigh the evidence in the record before them and reach a decision based on a preponderance of the evidence. [Citations]. The fair argument standard, by contrast, prevents the lead agency from weighing competing evidence to determine who has a better argument concerning the likelihood or extent of a potential environmental impact. The lead agency’s decision is thus largely legal rather than factual; it does not resolve conflicts in the evidence but determines only whether substantial evidence exists in the record to support the prescribed fair argument.

(Kostka & Zishcke, *Practice Under CEQA*, §6.29, pp. 273-74.) The Courts have explained that “it is a question of law, not fact, whether a fair argument exists, and the courts owe no deference to the lead agency’s determination. Review is de novo, with a preference for resolving doubts in favor of environmental review.” (*Pocket Protectors*, 124 Cal.App.4th at 928.)

## DISCUSSION

### **I. An EIR is Required to Disclose and Mitigate the Project’s Significant Air Quality Impacts from Emissions of VOCs.**

Matt Hagemann, P.G., C.Hg., and Dr. Paul E. Rosenfeld, Ph.D., of the environmental consulting firm SWAPE reviewed the MND’s analysis of the Project’s air quality impacts. SWAPE’s comment letter and CVs are attached as Exhibit B. As discussed below, SWAPE

concluded that the MND underestimated the Project's emissions and failed to identify a significant impact from emissions of volatile organic compounds ("VOCs"). An EIR is required to disclose and mitigate this impact.

**A. The MND's analysis of the Project's air quality impacts is not supported by substantial evidence.**

SWAPE found that the MND underestimated the Project's emissions and therefore cannot be relied upon to determine the significance of the Project's air quality impacts. (Ex. B, pp. 1-4.) To estimate the Project's emissions, the MND utilized the California Emissions Estimator Model Version CalEEMod.2020.4.0 ("CalEEMod"). (Ex. B, p. 1.) CalEEMod relies on recommended default values based on site specific information related to a number of factors (*Id.*) CEQA requires that any changes to the default values must be justified by substantial evidence. (Ex. B, pp. 1-2.)

SWAPE reviewed the Project's CalEEMod output files and found that the values input into the model were inconsistent with information provided in the MND. (Ex. B, p. 2.) This results in an underestimation of the Project's emissions. (*Id.*)

Specifically, SWAPE found that the following values used in the MND's air quality analysis were either inconsistent with information provided in the MND or otherwise unjustified:

1. Unsubstantiated changes to individual construction phase lengths. (Ex. B, pp. 2-3.)
2. Unsubstantiated reductions to acres of grading values. (Ex. B, pp. 3-4.)

As a result of these errors, the MND underestimates the Project's construction and operational emissions and cannot be relied upon to determine the significance of the Project's air quality impacts.

**B. The Project will result in a significant air quality impact from emissions of VOCs.**

In an effort to accurately determine the proposed Project's construction and operational emissions, SWAPE prepared an updated CalEEMod with the site-specific information provided in the MND. (Ex. B, pp. 4-5.) SWAPE's updated model corrected the MND's changes to the construction phase lengths and acres of grading values. (*Id.*) SWAPE's updated analysis found that the Project's construction-related VOC emissions exceed the 75 pounds per day ("lbs/day") significance threshold set by South Coast Air Quality Management District ("SCAQMD"). (*Id.*)

SWAPE Criteria Air Pollutant Emissions	
Construction	ROG (lbs/day)
IS/MND	44.1
SWAPE	160.04
% Increase	263%
SCAQMD Threshold	75
Exceeds?	Yes

SWAPE’s expert analysis of the Project’s air quality impacts establishes a fair argument that the Project may result in significant VOC impacts. SWAPE also provided a number of mitigation measures that could be applied to the Project to reduce air quality impacts. (Ex. B, pp. 15-17.) Under CEQA, SWAPE’s fair argument requires the preparation of an EIR to disclose and mitigate this impact.

**II. An EIR is Required to Disclose and Mitigate the Project’s Significant Health Impacts from Emissions of Diesel Particulate Matter.**

SWAPE also reviewed the Project’s impacts on human health due to emissions of diesel particulate matter (“DPM”). SWAPE concluded that the MND failed to identify a significant impact from emissions of DPM. An EIR is required to disclose and mitigate this impact.

**A. The MND failed to adequately analyze the Project’s health impacts from emissions of diesel particulate matter.**

The MND’s analysis of the cancer risk posed by emissions of DPM was inadequate. The MND failed to provide a quantitative analysis of the emissions resulting from *construction* or *operation* of the Project. (Ex. B, p. 4-5.) The MND’s failure to conduct a quantified health risk assessment (“HRA”) for the Project’s construction and operational emissions resulted in an inadequate evaluation of the Project’s impacts and calls into question the MND’s less-than-significant conclusion.

As noted by SWAPE, CEQA requires that the MND “correlate the increase in emissions that the Project would generate to the adverse impacts on human health caused by those emissions.” (Ex. B, p. 6.) However, such an analysis is not possible without a quantified HRA. Furthermore, the failure of the MND to provide a quantified HRA is inconsistent with the most recent guidance of the Office of Environmental Health Hazard Assessment (“OEHHA”). (Ex. B, pp. 6-7.) OEHHA recommends that exposure from projects lasting more than 6 months be evaluated for the duration of the project and recommends that an exposure duration of 30 years be used to estimate individual cancer risk for the maximally exposed individual resident (“MEIR”). (*Id.*) OEHHA additionally recommends that agencies evaluate the cumulative impact of construction and operation of the Project combined. (*Id.*) Thus, a quantified HRA for

construction and operation of the Project is necessary to ensure that the Project's health risks are disclosed, compared to the applicable SCAQMD significance thresholds, and properly mitigated.

**B. The Project may result in significant increased cancer risks from emissions of diesel particulate matter.**

SWAPE prepared a screening-level HRA to evaluate potential impacts to human health from DPM during construction and operation of the Project. (Ex. B, pp. 7-12.) SWAPE used AERSCREEN, the leading screening-level air quality dispersion model. (Ex. B, pp. 7-9.) SWAPE relied on estimates of diesel particulate emissions from the MND's air quality analysis, utilized a sensitive receptor distance of 75 meters, and analyzed impacts to individuals at different stages of life based on OEHHA guidance. (Ex. B, pp. 10-11.)

SWAPE found that increased cancer risk to infants, children, and adults during construction and operation of the Project would be 101, 85.2, and 13.1 in one million, respectively. (Ex. B, p. 11.) The combined cancer risks of construction and operation of the Project would result in an excess cancer risk of approximately 204 in one million over the course of a residential lifetime (i.e. 30 years). (*Id.*) Each of the above exceeds the SCAQMD's significance threshold of 10 in one million. Therefore, SWAPE's expert analysis of the Project's significant cancer risks established a fair argument that the Project may result in significant impacts. SWAPE also provided a number of mitigation measures that could be applied to the Project to reduce air quality impacts. (Ex. B, pp. 15-17.) Under CEQA, SWAPE's fair argument requires that the City prepare an EIR to disclose and mitigate this impact.

**III. An EIR is Required to Disclose and Mitigate the Project's Greenhouse Gas Emissions.**

SWAPE analyzed the Project's potential greenhouse gas ("GHG") emissions and found that the MND failed to adequately analyze the Project's GHG impacts, which SWAPE found to be potentially significant. (Ex. B pp. 12-14.)

The MND incorrectly concludes that the Project will have a less than significant GHG impact because it does not exceed 4.0 metric tons of carbon dioxide equivalents per service population per year ("MT CO<sub>2</sub>e/SP/year"). However, as SWAPE explains, the MND relied on an outdated service population threshold of 4.0 MT CO<sub>2</sub>e/SP/year. (Ex. B, p. 13.) SWAPE explains that the MND's reliance on that threshold is incorrect because "the guidance that provided the 4.0 MT CO<sub>2</sub>e/year threshold, the SCAQMD's 2008 *Interim CEQA GHG Significance Threshold for Stationary Sources, Rules, and Plans* report," is outdated, as it "was developed when [AB 32] was the governing statute for GHG reductions in California," which required "reduc[ing] GHG emissions to 1990 levels by 2020." (*Id.*)<sup>1</sup> Since it is currently July

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<sup>1</sup> See also, "Beyond Newhall and 2020: A Field Guide to New CEQA Greenhouse Gas Thresholds and Climate Action Plan Targets for California," Association of Environmental Professionals (AEP), Oct. 2016, p. 39, available at: [https://califaep.org/docs/AEP-2016\\_Final\\_White\\_Paper.pdf](https://califaep.org/docs/AEP-2016_Final_White_Paper.pdf) [{"F]or evaluating projects with a post-2020 horizon,

2024, thresholds for 2020 are not applicable to the Project. (Ex. B, p. 13.) Instead, the MND should have applied the SCAQMD 2035 service population threshold of 3.0 MT CO<sub>2</sub>e/SP/year to the Project. (*Id.*)

The calculation to determine if the project would exceed the SCAQMD 2035 MT CO<sub>2</sub>e/SP/year threshold involves dividing the Project’s net GHG emissions by the number of residents and jobs supported by the Project. (*Id.*, p. 14.) The MND estimated that the Project would result in GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year. (MND, p. 78.) The MND also estimated that the Project would accommodate a maximum of 744 residents and employ a maximum of 7 retail employees. (*Id.*) When dividing the Project’s net GHG emissions by the service population of 751 people, SWAPE calculated that the Project exceeds SCAMQD’s 3.0 MT CO<sub>2</sub>e/SP/year threshold:

IS/MND Greenhouse Gas Emissions	
Annual Emissions (MT CO <sub>2</sub> e/year)	2,651
Service Population	751
Service Population Efficiency (MT CO <sub>2</sub> e/SP/year)	3.5
<b>SCAQMD 2035 Threshold</b>	<b>3.0</b>
Exceeds?	<b>Yes</b>

(Ex. B, p. 14.) This exceedance of the SCAMQD’s 3.0 MT CO<sub>2</sub>e/SP/year threshold indicates a significant GHG impact that must be disclosed and mitigated in an EIR. SWAPE also provided a number of mitigation measures that could be applied to the Project to reduce GHG impacts. (Ex. B, pp. 15-17.)

**IV. An EIR is Required Because there is a Fair Argument that the Project May Have a Significant Impact on Human Health.**

The MND fails to discuss, disclose, analyze, and mitigate the significant health risks posed by the Project from formaldehyde, a toxic air contaminant (“TAC”). Certified Industrial Hygienist, Francis Offermann, PE, CIH conducted a review of the Project and relevant documents regarding the Project’s indoor air emissions. Mr. Offermann is one of the world’s leading experts on indoor air quality and has published extensively on the topic. As discussed below and in Mr. Offermann’s comments, the Project’s emissions of formaldehyde will result in very significant cancer risks to future residents of the Project’s residential units. Mr. Offerman’s comments and CV is attached as Exhibit A.

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the threshold will need to be revised based on a new gap analysis that would examine development and reduction potentials out to the next GHG reduction milestone.”].)

Formaldehyde is a known human carcinogen and is listed by the State as a TAC. The SCAQMD has established a significance threshold of health risks for carcinogenic TACs of 10 in one million. (Ex. A, p. 2.) The MND fails to acknowledge the significant indoor air emissions that will result from the Project. Specifically, there is no discussion of impacts or health risks, no analysis, and no identification of mitigations for significant emissions of formaldehyde from the Project.

Mr. Offermann explains that many composite wood products typically used in home and apartment building construction contain formaldehyde-based glues which off-gas formaldehyde over a very long period. He states, “[t]he primary source of formaldehyde indoors is composite wood products manufactured with urea-formaldehyde resins, such as plywood, medium density fiberboard, and particleboard. These materials are commonly used in building construction for flooring, cabinetry, baseboards, window shades, interior doors, and window and door trims.” (Ex. A, pp. 2-3.)

Mr. Offermann found that future residents of the Project’s residential units will be exposed to a cancer risk of 120 per million, even assuming all materials are compliant with the California Air Resources Board’s (“CARB”) formaldehyde airborne toxics control measure. (Ex. A, pp. 3-4) This is more than 12 times SCAQMD’s CEQA significance threshold of 10 per million.

Mr. Offermann also found that there is a fair argument that future employees of the commercial spaces will be exposed to a cancer risk from formaldehyde of approximately 17.7 per million, even assuming all materials are compliant with CARB’s formaldehyde airborne toxics control measure. (*Id.*, pp. 4-5.) This exceeds the SCAQMD CEQA significance threshold for airborne cancer risk of 10 per million. (*Id.*)

Mr. Offermann concludes that these significant environmental impacts must be analyzed in an EIR and mitigation measures should be imposed to reduce the risk of formaldehyde exposure. (Ex. A, pp. 5, 12-14.) He prescribes a methodology for estimating the Project’s formaldehyde emissions in order to do a more project-specific health risk assessment. (*Id.*, pp. 6-10.) Mr. Offermann also suggests several feasible mitigation measures, such as requiring the use of no-added-formaldehyde composite wood products, which are readily available. (*Id.*, pp. 12-14.) Mr. Offermann also suggests requiring air ventilation systems which would reduce formaldehyde levels. (*Id.*) Since the MND does not analyze this impact at all, none of these or other mitigation measures have been considered.

When a Project exceeds a duly adopted CEQA significance threshold, as here, this alone establishes substantial evidence that the project will have a significant adverse environmental impact. Indeed, in many instances, such air quality thresholds are the only criteria reviewed and treated as dispositive in evaluating the significance of a project’s air quality impacts. (See, e.g. *Schenck v. County of Sonoma* (2011) 198 Cal.App.4th 949, 960 [County applies Air District’s “published CEQA quantitative criteria” and “threshold level of cumulative significance”]; see

also *Communities for a Better Env't v. Cal. Res. Agency* (2002) 103 Cal.App.4th 98, 110-111 [“A ‘threshold of significance’ for a given environmental effect is simply that level at which the lead agency finds the effects of the project to be significant”].)

The California Supreme Court made clear the substantial importance that an air district significance threshold plays in providing substantial evidence of a significant adverse impact. (*Communities for a Better Env't v. South Coast Air Quality Management Dist.* (2010) 48 Cal.4th 310, 327 [“As the District’s established significance threshold for NOx is 55 pounds per day, these estimates [of NOx emissions of 201 to 456 pounds per day] constitute substantial evidence supporting a fair argument for a significant adverse impact.”].) Since expert evidence demonstrates that the Project will exceed the SCAQMD’s CEQA significance threshold, there is substantial evidence that an “unstudied, **potentially significant environmental effect**” exists. (See, *Friends of Coll. of San Mateo Gardens v. San Mateo Cty. Cmty. Coll. Dist.* (2016) 1 Cal.5th 937, 958 [emphasis added].)

The failure of the MND to address the Project’s formaldehyde emissions is contrary to the California Supreme Court’s decision in *California Building Industry Ass’n v. Bay Area Air Quality Mgmt. Dist.* (“*CBIA*”) (2015) 62 Cal.4th 369, 386. In that case, the Supreme Court expressly holds that potential adverse impacts to future users and residents from pollution generated by a proposed project **must be addressed** under CEQA. At issue in *CBIA* was whether the Air District could enact CEQA guidelines that advised lead agencies that they must analyze the impacts of adjacent environmental conditions on a project. The Supreme Court held that CEQA does not generally require lead agencies to consider the environment’s effects on a project. (*CBIA*, 62 Cal.4th at 800-01.) However, to the extent a project may exacerbate existing environmental conditions at or near a project site, those would still have to be considered pursuant to CEQA. (*Id.* at 801.) In so holding, the Court expressly held that CEQA’s statutory language required lead agencies to disclose and analyze “impacts on **a project’s users or residents** that arise **from the project’s effects** on the environment.” (*Id.* at 800 [emphasis added].)

The carcinogenic formaldehyde emissions identified by Mr. Offermann are not an existing environmental condition. Those emissions will be from the Project. People will be residing in the Project’s buildings once built and emitting formaldehyde. Once built, the Project will begin to emit formaldehyde at levels that pose significant direct and cumulative health risks. The Supreme Court in *CBIA* expressly finds that this type of air emission and health impact by the project on the environment and a “project’s users and residents” must be addressed in the CEQA process. The existing TAC sources near the Project site would have to be considered in evaluating the cumulative effect on future residents of both the Project’s TAC emissions as well as those existing off-site emissions.

The Supreme Court’s reasoning is well-grounded in CEQA’s statutory language. CEQA expressly includes a project’s effects on human beings as an effect on the environment that must be addressed in an environmental review. “Section 21083(b)(3)’s express language, for example, requires a finding of a ‘significant effect on the environment’ (§ 21083(b)) whenever the

‘environmental effects of a project will cause substantial adverse effects *on human beings*, either directly or indirectly.’” (*CBIA*, 62 Cal.4th at 800.) Likewise, “the Legislature has made clear—in declarations accompanying CEQA’s enactment—that public health and safety are of great importance in the statutory scheme.” (*Id.* [citing e.g., PRC §§ 21000, 21001].) It goes without saying that the future residents of the Project are human beings and their health and safety must be subject to CEQA’s safeguards.

The City has a duty to investigate issues relating to a project’s potential environmental impacts. (See, *County Sanitation Dist. No. 2 v. County of Kern*, (2005) 127 Cal.App.4th 1544, 1597–98. [“[U]nder CEQA, the lead agency bears a burden to investigate potential environmental impacts.”].) The proposed buildings will have significant impacts on air quality and health risks by emitting cancer-causing levels of formaldehyde into the air that will expose future residents to cancer risks potentially in excess of SCAQMD’s threshold of significance for cancer health risks of 10 in a million. Currently, outside of Mr. Offermann’s comments, the City does not have any idea what risks will be posed by formaldehyde emissions from the Project. As a result, the City must include an analysis and discussion in an EIR which discloses and analyzes the health risks that the Project’s formaldehyde emissions may have on future residents and identifies appropriate mitigation measures.

Mr. Offermann’s comments are substantial evidence that the Project may have a significant impact on human health, necessitating preparation of an EIR.

### CONCLUSION

As discussed above, the MND fails to provide substantial evidence to support several of its conclusions related to the Project’s impacts to air quality, human health, and greenhouse gases. Furthermore, SAFER’s experts have established a fair argument that the Project may have significant impacts on air quality, human health, and greenhouse gases. For those reasons, SAFER respectfully requests that the City not rely on the MND but instead prepare and circulate an EIR prior to further consideration of the Project.

Sincerely,



Victoria Yundt  
Lozeau Drury LLP

# EXHIBIT A



Date: December 11, 2023

To: Victoria Yundt  
Lozeau | Drury LLP  
1939 Harrison Street, Suite 150  
Oakland, California 94612

From: Francis J. Offermann PE CIH

Subject: Indoor Air Quality: Orangethorpe/Placentia Mixed Use Project, Placentia, CA.  
(IEE File Reference: P-4768)

Pages: 19

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## **Indoor Air Quality Impacts**

Indoor air quality (IAQ) directly impacts the comfort and health of building occupants, and the achievement of acceptable IAQ in newly constructed and renovated buildings is a well-recognized design objective. For example, IAQ is addressed by major high-performance building rating systems and building codes (California Building Standards Commission, 2014; USGBC, 2014). Indoor air quality in homes is particularly important because occupants, on average, spend approximately ninety percent of their time indoors with the majority of this time spent at home (EPA, 2011). Some segments of the population that are most susceptible to the effects of poor IAQ, such as the very young and the elderly, occupy their homes almost continuously. Additionally, an increasing number of adults are working from home at least some of the time during the workweek. Indoor air quality also is a serious concern for workers in hotels, offices and other business establishments.

The concentrations of many air pollutants often are elevated in homes and other buildings relative to outdoor air because many of the materials and products used indoors contain and release a variety of pollutants to air (Hodgson et al., 2002; Offermann and Hodgson,

2011). With respect to indoor air contaminants for which inhalation is the primary route of exposure, the critical design and construction parameters are the provision of adequate ventilation and the reduction of indoor sources of the contaminants.

**Indoor Formaldehyde Concentrations Impact.** In the California New Home Study (CNHS) of 108 new homes in California (Offermann, 2009), 25 air contaminants were measured, and formaldehyde was identified as the indoor air contaminant with the highest cancer risk as determined by the California Proposition 65 Safe Harbor Levels (OEHHA, 2017a), No Significant Risk Levels (NSRL) for carcinogens. The NSRL is the daily intake level calculated to result in one excess case of cancer in an exposed population of 100,000 (i.e., ten in one million cancer risk) and for formaldehyde is 40  $\mu\text{g}/\text{day}$ . The NSRL concentration of formaldehyde that represents a daily dose of 40  $\mu\text{g}$  is 2  $\mu\text{g}/\text{m}^3$ , assuming a continuous 24-hour exposure, a total daily inhaled air volume of 20  $\text{m}^3$ , and 100% absorption by the respiratory system. All of the CNHS homes exceeded this NSRL concentration of 2  $\mu\text{g}/\text{m}^3$ . The median indoor formaldehyde concentration was 36  $\mu\text{g}/\text{m}^3$ , and ranged from 4.8 to 136  $\mu\text{g}/\text{m}^3$ , which corresponds to a median exceedance of the 2  $\mu\text{g}/\text{m}^3$  NSRL concentration of 18 and a range of 2.3 to 68.

Therefore, the cancer risk of a resident living in a California home with the median indoor formaldehyde concentration of 36  $\mu\text{g}/\text{m}^3$ , is 180 per million as a result of formaldehyde alone. The CEQA significance threshold for airborne cancer risk is 10 per million, as established by the San Diego County Air Pollution Control District (SDAPCD, 2021).

Besides being a human carcinogen, formaldehyde is also a potent eye and respiratory irritant. In the CNHS, many homes exceeded the non-cancer reference exposure levels (RELs) prescribed by California Office of Environmental Health Hazard Assessment (OEHHA, 2017b). The percentage of homes exceeding the RELs ranged from 98% for the Chronic REL of 9  $\mu\text{g}/\text{m}^3$  to 28% for the Acute REL of 55  $\mu\text{g}/\text{m}^3$ .

The primary source of formaldehyde indoors is composite wood products manufactured with urea-formaldehyde resins, such as plywood, medium density fiberboard, and

particleboard. These materials are commonly used in building construction for flooring, cabinetry, baseboards, window shades, interior doors, and window and door trims.

In January 2009, the California Air Resources Board (CARB) adopted an airborne toxics control measure (ATCM) to reduce formaldehyde emissions from composite wood products, including hardwood plywood, particleboard, medium density fiberboard, and also furniture and other finished products made with these wood products (California Air Resources Board 2009). While this formaldehyde ATCM has resulted in reduced emissions from composite wood products sold in California, they do not preclude that homes built with composite wood products meeting the CARB ATCM will have indoor formaldehyde concentrations below cancer and non-cancer exposure guidelines.

A follow up study to the California New Home Study (CNHS) was conducted in 2016-2018 (Singer et. al., 2019), and found that the median indoor formaldehyde in new homes built after 2009 with CARB Phase 2 Formaldehyde ATCM materials had lower indoor formaldehyde concentrations, with a median indoor concentrations of  $22.4 \mu\text{g}/\text{m}^3$  (18.2 ppb) as compared to a median of  $36 \mu\text{g}/\text{m}^3$  found in the 2007 CNHS. Unlike in the CNHS study where formaldehyde concentrations were measured with pumped DNPH samplers, the formaldehyde concentrations in the HENGH study were measured with passive samplers, which were estimated to under-measure the true indoor formaldehyde concentrations by approximately 7.5%. Applying this correction to the HENGH indoor formaldehyde concentrations results in a median indoor concentration of  $24.1 \mu\text{g}/\text{m}^3$ , which is 33% lower than the  $36 \mu\text{g}/\text{m}^3$  found in the 2007 CNHS.

Thus, while new homes built after the 2009 CARB formaldehyde ATCM have a 33% lower median indoor formaldehyde concentration and cancer risk, the median lifetime cancer risk is still 120 per million for homes built with CARB compliant composite wood products. This median lifetime cancer risk is more than 12 times the OEHHA 10 in a million cancer risk threshold (OEHHA, 2017a).

With respect to the Orangethorpe/Placentia Mixed Use Project, Placentia, CA, the buildings consist of residential and commercial spaces.

The residential occupants will potentially have continuous exposure (e.g. 24 hours per day, 52 weeks per year). These exposures are anticipated to result in significant cancer risks resulting from exposures to formaldehyde released by the building materials and furnishing commonly found in residential construction.

Because these residences will be constructed with CARB Phase 2 Formaldehyde ATCM materials, and be ventilated with the minimum code required amount of outdoor air, the indoor residential formaldehyde concentrations are likely similar to those concentrations observed in residences built with CARB Phase 2 Formaldehyde ATCM materials, which is a median of 24.1  $\mu\text{g}/\text{m}^3$  (Singer et. al., 2020)

Assuming that the residential occupants inhale 20  $\text{m}^3$  of air per day, the average 70-year lifetime formaldehyde daily dose is 482  $\mu\text{g}/\text{day}$  for continuous exposure in the residences. This exposure represents a cancer risk of 120 per million, which is more than 12 times the CEQA cancer risk of 10 per million. For occupants that do not have continuous exposure, the cancer risk will be proportionally less but still substantially over the CEQA cancer risk of 10 per million (e.g. for 12/hour/day occupancy, more than 6 times the CEQA cancer risk of 10 per million).

The employees of the commercial spaces are expected to experience significant indoor exposures (e.g., 40 hours per week, 50 weeks per year). These exposures for employees are anticipated to result in significant cancer risks resulting from exposures to formaldehyde released by the building materials and furnishing commonly found in offices, warehouses, residences and hotels.

Because the commercial spaces will be constructed with CARB Phase 2 Formaldehyde ATCM materials, and ventilated with the minimum code required amount of outdoor air, the indoor formaldehyde concentrations are likely similar to those concentrations observed in residences built with CARB Phase 2 Formaldehyde ATCM materials, which is a median of 24.1  $\mu\text{g}/\text{m}^3$  (Singer et. al., 2020)

Assuming that the employees of commercial spaces work 8 hours per day and inhale 20 m<sup>3</sup> of air per day, the formaldehyde dose per work-day at the offices is 161 µg/day.

Assuming that these employees work 5 days per week and 50 weeks per year for 45 years (start at age 20 and retire at age 65) the average 70-year lifetime formaldehyde daily dose is 70.9 µg/day.

This is 1.77 times the NSRL (OEHHA, 2017a) of 40 µg/day and represents a cancer risk of 17.7 per million, which exceeds the CEQA cancer risk of 10 per million. This impact should be analyzed in an environmental impact report (“EIR”), and the agency should impose all feasible mitigation measures to reduce this impact. Several feasible mitigation measures are discussed below and these and other measures should be analyzed in an EIR.

In addition, we note that the average outdoor air concentration of formaldehyde in California is 3 ppb, or 3.7 µg/m<sup>3</sup>, (California Air Resources Board, 2004), and thus represents an average pre-existing background airborne cancer risk of 1.85 per million. Thus, the indoor air formaldehyde exposures describe above exacerbate this pre-existing risk resulting from outdoor air formaldehyde exposures.

Additionally, the SCAQMD’s Multiple Air Toxics Exposure Study (“MATES V”) identifies an existing cancer risk at the Project site of 443 per million due to the site’s elevated ambient air contaminant concentrations, which are due to the area’s high levels of vehicle traffic. These impacts would further exacerbate the pre-existing cancer risk to the building occupants, which result from exposure to formaldehyde in both indoor and outdoor air.

Appendix A, Indoor Formaldehyde Concentrations and the CARB Formaldehyde ATCM, provides analyses that show utilization of CARB Phase 2 Formaldehyde ATCM materials will not ensure acceptable cancer risks with respect to formaldehyde emissions from composite wood products.

Even composite wood products manufactured with CARB certified ultra low emitting formaldehyde (ULEF) resins do not insure that the indoor air will have concentrations of formaldehyde that meet the OEHHA cancer risks that substantially exceed 10 per million. The permissible emission rates for ULEF composite wood products are only 11-15% lower than the CARB Phase 2 emission rates. Only use of composite wood products made with no-added formaldehyde resins (NAF), such as resins made from soy, polyvinyl acetate, or methylene diisocyanate can insure that the OEHHA cancer risk of 10 per million is met.

The following describes a method that should be used, prior to construction in the environmental review under CEQA, for determining whether the indoor concentrations resulting from the formaldehyde emissions of specific building materials/furnishings selected exceed cancer and non-cancer guidelines. Such a design analyses can be used to identify those materials/furnishings prior to the completion of the City's CEQA review and project approval, that have formaldehyde emission rates that contribute to indoor concentrations that exceed cancer and non-cancer guidelines, so that alternative lower emitting materials/furnishings may be selected and/or higher minimum outdoor air ventilation rates can be increased to achieve acceptable indoor concentrations and incorporated as mitigation measures for this project.

#### Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment

This formaldehyde emissions assessment should be used in the environmental review under CEQA to assess the indoor formaldehyde concentrations from the proposed loading of building materials/furnishings, the area-specific formaldehyde emission rate data for building materials/furnishings, and the design minimum outdoor air ventilation rates. This assessment allows the applicant (and the City) to determine, before the conclusion of the environmental review process and the building materials/furnishings are specified, purchased, and installed, if the total chemical emissions will exceed cancer and non-cancer guidelines, and if so, allow for changes in the selection of specific material/furnishings and/or the design minimum outdoor air ventilations rates such that cancer and non-cancer guidelines are not exceeded.

1.) Define Indoor Air Quality Zones. Divide the building into separate indoor air quality zones, (IAQ Zones). IAQ Zones are defined as areas of well-mixed air. Thus, each ventilation system with recirculating air is considered a single zone, and each room or group of rooms where air is not recirculated (e.g. 100% outdoor air) is considered a separate zone. For IAQ Zones with the same construction material/furnishings and design minimum outdoor air ventilation rates. (e.g. hotel rooms, apartments, condominiums, etc.) the formaldehyde emission rates need only be assessed for a single IAQ Zone of that type.

2.) Calculate Material/Furnishing Loading. For each IAQ Zone, determine the building material and furnishing loadings (e.g., m<sup>2</sup> of material/m<sup>2</sup> floor area, units of furnishings/m<sup>2</sup> floor area) from an inventory of all potential indoor formaldehyde sources, including flooring, ceiling tiles, furnishings, finishes, insulation, sealants, adhesives, and any products constructed with composite wood products containing urea-formaldehyde resins (e.g., plywood, medium density fiberboard, particleboard).

3.) Calculate the Formaldehyde Emission Rate. For each building material, calculate the formaldehyde emission rate (µg/h) from the product of the area-specific formaldehyde emission rate (µg/m<sup>2</sup>-h) and the area (m<sup>2</sup>) of material in the IAQ Zone, and from each furnishing (e.g. chairs, desks, etc.) from the unit-specific formaldehyde emission rate (µg/unit-h) and the number of units in the IAQ Zone.

NOTE: As a result of the high-performance building rating systems and building codes (California Building Standards Commission, 2014; USGBC, 2014), most manufacturers of building materials furnishings sold in the United States conduct chemical emission rate tests using the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers,” (CDPH, 2017), or other equivalent chemical emission rate testing methods. Most manufacturers of building furnishings sold in the United States conduct chemical emission rate tests using ANSI/BIFMA M7.1 Standard Test Method for Determining VOC Emissions (BIFMA, 2018), or other equivalent chemical emission rate testing methods.

CDPH, BIFMA, and other chemical emission rate testing programs, typically certify that a material or furnishing does not create indoor chemical concentrations in excess of the maximum concentrations permitted by their certification. For instance, the CDPH emission rate testing requires that the measured emission rates when input into an office, school, or residential model do not exceed one-half of the OEHHA Chronic Exposure Guidelines (OEHHA, 2017b) for the 35 specific VOCs, including formaldehyde, listed in Table 4-1 of the CDPH test method (CDPH, 2017). These certifications themselves do not provide the actual area-specific formaldehyde emission rate (i.e.,  $\mu\text{g}/\text{m}^2\text{-h}$ ) of the product, but rather provide data that the formaldehyde emission rates do not exceed the maximum rate allowed for the certification. Thus, for example, the data for a certification of a specific type of flooring may be used to calculate that the area-specific emission rate of formaldehyde is less than  $31 \mu\text{g}/\text{m}^2\text{-h}$ , but not the actual measured specific emission rate, which may be 3, 18, or  $30 \mu\text{g}/\text{m}^2\text{-h}$ . These area-specific emission rates determined from the product certifications of CDPH, BIFA, and other certification programs can be used as an initial estimate of the formaldehyde emission rate.

If the actual area-specific emission rates of a building material or furnishing is needed (i.e. the initial emission rates estimates from the product certifications are higher than desired), then that data can be acquired by requesting from the manufacturer the complete chemical emission rate test report. For instance if the complete CDPH emission test report is requested for a CDHP certified product, that report will provide the actual area-specific emission rates for not only the 35 specific VOCs, including formaldehyde, listed in Table 4-1 of the CDPH test method (CDPH, 2017), but also all of the cancer and reproductive/developmental chemicals listed in the California Proposition 65 Safe Harbor Levels (OEHHA, 2017a), all of the toxic air contaminants (TACs) in the California Air Resources Board Toxic Air Contamination List (CARB, 2011), and the 10 chemicals with the greatest emission rates.

Alternatively, a sample of the building material or furnishing can be submitted to a chemical emission rate testing laboratory, such as Berkeley Analytical Laboratory (<https://berkeleyanalytical.com>), to measure the formaldehyde emission rate.

4.) Calculate the Total Formaldehyde Emission Rate. For each IAQ Zone, calculate the total formaldehyde emission rate (i.e.  $\mu\text{g/h}$ ) from the individual formaldehyde emission rates from each of the building material/furnishings as determined in Step 3.

5.) Calculate the Indoor Formaldehyde Concentration. For each IAQ Zone, calculate the indoor formaldehyde concentration ( $\mu\text{g/m}^3$ ) from Equation 1 by dividing the total formaldehyde emission rates (i.e.  $\mu\text{g/h}$ ) as determined in Step 4, by the design minimum outdoor air ventilation rate ( $\text{m}^3/\text{h}$ ) for the IAQ Zone.

$$C_{in} = \frac{E_{total}}{Q_{oa}} \quad (\text{Equation 1})$$

where:

$C_{in}$  = indoor formaldehyde concentration ( $\mu\text{g/m}^3$ )

$E_{total}$  = total formaldehyde emission rate ( $\mu\text{g/h}$ ) into the IAQ Zone.

$Q_{oa}$  = design minimum outdoor air ventilation rate to the IAQ Zone ( $\text{m}^3/\text{h}$ )

The above Equation 1 is based upon mass balance theory, and is referenced in Section 3.10.2 “Calculation of Estimated Building Concentrations” of the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers”, (CDPH, 2017).

6.) Calculate the Indoor Exposure Cancer and Non-Cancer Health Risks. For each IAQ Zone, calculate the cancer and non-cancer health risks from the indoor formaldehyde concentrations determined in Step 5 and as described in the OEHHA Air Toxics Hot Spots Program Risk Assessment Guidelines; Guidance Manual for Preparation of Health Risk Assessments (OEHHA, 2015).

7.) Mitigate Indoor Formaldehyde Exposures of exceeding the CEQA Cancer and/or Non-Cancer Health Risks. In each IAQ Zone, provide mitigation for any formaldehyde exposure risk as determined in Step 6, that exceeds the CEQA cancer risk of 10 per million or the CEQA non-cancer Hazard Quotient of 1.0.

Provide the source and/or ventilation mitigation required in all IAQ Zones to reduce the

health risks of the chemical exposures below the CEQA cancer and non-cancer health risks.

Source mitigation for formaldehyde may include:

- 1.) reducing the amount materials and/or furnishings that emit formaldehyde
- 2.) substituting a different material with a lower area-specific emission rate of formaldehyde

Ventilation mitigation for formaldehyde emitted from building materials and/or furnishings may include:

- 1.) increasing the design minimum outdoor air ventilation rate to the IAQ Zone.

NOTE: Mitigating the formaldehyde emissions through use of less material/furnishings, or use of lower emitting materials/furnishings, is the preferred mitigation option, as mitigation with increased outdoor air ventilation increases initial and operating costs associated with the heating/cooling systems.

Further, we are not asking that the builder “speculate” on what and how much composite materials be used, but rather at the design stage to select composite wood materials based on the formaldehyde emission rates that manufacturers routinely conduct using the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers,” (CDPH, 2017), and use the procedure described earlier above (i.e. Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment) to insure that the materials selected achieve acceptable cancer risks from material off gassing of formaldehyde.

**Outdoor Air Ventilation Impact.** Another important finding of the CNHS, was that the outdoor air ventilation rates in the homes were very low. Outdoor air ventilation is a very important factor influencing the indoor concentrations of air contaminants, as it is the primary removal mechanism of all indoor air generated contaminants. Lower outdoor air exchange rates cause indoor generated air contaminants to accumulate to higher indoor air concentrations. Many homeowners rarely open their windows or doors for ventilation as a

result of their concerns for security/safety, noise, dust, and odor concerns (Price, 2007). In the CNHS field study, 32% of the homes did not use their windows during the 24-hour Test Day, and 15% of the homes did not use their windows during the entire preceding week. Most of the homes with no window usage were homes in the winter field session. Thus, a substantial percentage of homeowners never open their windows, especially in the winter season. The median 24-hour measurement was 0.26 air changes per hour (ach), with a range of 0.09 ach to 5.3 ach. A total of 67% of the homes had outdoor air exchange rates below the minimum California Building Code (2001) requirement of 0.35 ach. Thus, the relatively tight envelope construction, combined with the fact that many people never open their windows for ventilation, results in homes with low outdoor air exchange rates and higher indoor air contaminant concentrations.

The Orangethorpe/Placentia Mixed Use Project, Placentia, CA is close to roads with moderate to high traffic (e.g., East Orangethorpe Avenue, South Placentia Avenue, Orange Freeway-57 etc.), thus the Project site is a sound impacted site.

According to the Orangethorpe/Placentia Mixed Use Project, Placentia, CA (Harris & Associates, 2023), there has been no study of the current or future ambient noise levels at the Project location. In order to design the building for this Project such that interior noise levels are acceptable, an acoustic study with actual on-site measurements of the existing ambient noise levels and modeled future ambient noise levels needs to be conducted. The acoustic study of the existing ambient noise levels should be conducted over a minimum of a one-week period and report the dBA CNEL or Ldn. This study will allow for the selection of a building envelope and windows with a sufficient STC such that the indoor noise levels are acceptable. A mechanical supply of outdoor air ventilation to allow for a habitable interior environment with closed windows and doors will also be required. Such a ventilation system would allow windows and doors to be kept closed at the occupant's discretion to control exterior noise within building interiors.

**PM<sub>2.5</sub> Outdoor Concentrations Impact.** An additional impact of the nearby motor vehicle traffic associated with this project, are the outdoor concentrations of PM<sub>2.5</sub>. According to the Orangethorpe/Placentia Mixed Use Project, Placentia, CA (Harris & Associates, 2023),

the Project is located in the South Coast Air Basin, which is a State and Federal non-attainment area for PM<sub>2.5</sub>.

Additionally, the SCAQMD's MATES V study cites an existing cancer risk of 443 per million at the Project site due to the site's high concentration of ambient air contaminants resulting from the area's high levels of motor vehicle traffic.

An air quality analyses should be conducted to determine the concentrations of PM<sub>2.5</sub> in the outdoor and indoor air that people inhale each day. This air quality analyses needs to consider the cumulative impacts of the project related emissions, existing and projected future emissions from local PM<sub>2.5</sub> sources (e.g. stationary sources, motor vehicles, and airport traffic) upon the outdoor air concentrations at the Project site. If the outdoor concentrations are determined to exceed the California and National annual average PM<sub>2.5</sub> exceedence concentration of 12 µg/m<sup>3</sup>, or the National 24-hour average exceedence concentration of 35 µg/m<sup>3</sup>, then the buildings need to have a mechanical supply of outdoor air that has air filtration with sufficient removal efficiency, such that the indoor concentrations of outdoor PM<sub>2.5</sub> particles is less than the California and National PM<sub>2.5</sub> annual and 24-hour standards.

It is my experience that based on the projected high traffic noise levels, the annual average concentration of PM<sub>2.5</sub> will exceed the California and National PM<sub>2.5</sub> annual and 24-hour standards and warrant installation of high efficiency air filters (i.e. at least MERV 13, or possibly MERV 14 or 15 depending on the results of the Project ambient PM<sub>2.5</sub> concentrations) in all mechanically supplied outdoor air ventilation systems.

### **Indoor Air Quality Impact Mitigation Measures**

The following are recommended mitigation measures to minimize the impacts upon indoor quality:

Indoor Formaldehyde Concentrations Mitigation. Use only composite wood materials (e.g. hardwood plywood, medium density fiberboard, particleboard) for all interior finish

systems that are made with CARB approved no-added formaldehyde (NAF) resins (CARB, 2009). CARB Phase 2 certified composite wood products, or ultra-low emitting formaldehyde (ULEF) resins, do not insure indoor formaldehyde concentrations that are below the CEQA cancer risk of 10 per million. Only composite wood products manufactured with CARB approved no-added formaldehyde (NAF) resins, such as resins made from soy, polyvinyl acetate, or methylene diisocyanate can insure that the OEHHA cancer risk of 10 per million is met.

Alternatively, conduct the previously described Pre-Construction Building Material/Furnishing Chemical Emissions Assessment, to determine that the combination of formaldehyde emissions from building materials and furnishings do not create indoor formaldehyde concentrations that exceed the CEQA cancer and non-cancer health risks.

It is important to note that we are not asking that the builder “speculate” on what and how much composite materials be used, but rather at the design stage to select composite wood materials based on the formaldehyde emission rates that manufacturers routinely conduct using the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers”, (CDPH, 2017), and use the procedure described above (i.e. Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment) to insure that the materials selected achieve acceptable cancer risks from material off gassing of formaldehyde.

Outdoor Air Ventilation Mitigation. Provide each habitable room with a continuous mechanical supply of outdoor air that meets or exceeds the California 2016 Building Energy Efficiency Standards (California Energy Commission, 2015) requirements of the greater of 15 cfm/occupant or 0.15 cfm/ft<sup>2</sup> of floor area. Following installation of the system conduct testing and balancing to insure that required amount of outdoor air is entering each habitable room and provide a written report documenting the outdoor airflow rates. Do not use exhaust only mechanical outdoor air systems, use only balanced outdoor air supply and exhaust systems or outdoor air supply only systems. Provide a manual for the occupants or

maintenance personnel, that describes the purpose of the mechanical outdoor air system and the operation and maintenance requirements of the system.

PM<sub>2.5</sub> Outdoor Air Concentration Mitigation. Install air filtration with sufficient PM<sub>2.5</sub> removal efficiency (e.g. MERV 13 or higher) to filter the outdoor air entering the mechanical outdoor air supply systems, such that the indoor concentrations of outdoor PM<sub>2.5</sub> particles are less than the California and National PM<sub>2.5</sub> annual and 24-hour standards. Install the air filters in the system such that they are accessible for replacement by the occupants or maintenance personnel. Include in the mechanical outdoor air ventilation system manual instructions on how to replace the air filters and the estimated frequency of replacement.

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## APPENDIX A

### INDOOR FORMALDEHYDE CONCENTRATIONS AND THE CARB FORMALDEHYDE ATCM

With respect to formaldehyde emissions from composite wood products, the CARB ATCM regulations of formaldehyde emissions from composite wood products, do not assure healthful indoor air quality. The following is the stated purpose of the CARB ATCM regulation - *The purpose of this airborne toxic control measure is to “reduce formaldehyde emissions from composite wood products, and finished goods that contain composite wood products, that are sold, offered for sale, supplied, used, or manufactured for sale in California”*. In other words, the CARB ATCM regulations do not “assure healthful indoor air quality”, but rather “reduce formaldehyde emissions from composite wood products”.

Just how much protection do the CARB ATCM regulations provide building occupants from the formaldehyde emissions generated by composite wood products? Definitely some, but certainly the regulations do not “*assure healthful indoor air quality*” when CARB Phase 2 products are utilized. As shown in the Chan 2019 study of new California homes, the median indoor formaldehyde concentration was of 22.4  $\mu\text{g}/\text{m}^3$  (18.2 ppb), which corresponds to a cancer risk of 112 per million for occupants with continuous exposure, which is more than 11 times the CEQA cancer risk of 10 per million.

Another way of looking at how much protection the CARB ATCM regulations provide building occupants from the formaldehyde emissions generated by composite wood products is to calculate the maximum number of square feet of composite wood product that can be in a residence without exceeding the CEQA cancer risk of 10 per million for occupants with continuous occupancy.

For this calculation I utilized the floor area (2,272  $\text{ft}^2$ ), the ceiling height (8.5 ft), and the number of bedrooms (4) as defined in Appendix B (New Single-Family Residence Scenario) of the Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers, Version 1.1, 2017, California Department of Public Health,

For the outdoor air ventilation rate I used the 2019 Title 24 code required mechanical ventilation rate (ASHRAE 62.2) of 106 cfm (180 m<sup>3</sup>/h) calculated for this model residence. For the composite wood formaldehyde emission rates I used the CARB ATCM Phase 2 rates.

The calculated maximum number of square feet of composite wood product that can be in a residence, without exceeding the CEQA cancer risk of 10 per million for occupants with continuous occupancy are as follows for the different types of regulated composite wood products.

Medium Density Fiberboard (MDF) – 15 ft<sup>2</sup> (0.7% of the floor area), or  
Particle Board – 30 ft<sup>2</sup> (1.3% of the floor area), or  
Hardwood Plywood – 54 ft<sup>2</sup> (2.4% of the floor area), or  
Thin MDF – 46 ft<sup>2</sup> (2.0 % of the floor area).

For offices and hotels the calculated maximum amount of composite wood product (% of floor area) that can be used without exceeding the CEQA cancer risk of 10 per million for occupants, assuming 8 hours/day occupancy, and the California Mechanical Code minimum outdoor air ventilation rates are as follows for the different types of regulated composite wood products.

Medium Density Fiberboard (MDF) – 3.6 % (offices) and 4.6% (hotel rooms), or  
Particle Board – 7.2 % (offices) and 9.4% (hotel rooms), or  
Hardwood Plywood – 13 % (offices) and 17% (hotel rooms), or  
Thin MDF – 11 % (offices) and 14 % (hotel rooms)

Clearly the CARB ATCM does not regulate the formaldehyde emissions from composite wood products such that the potentially large areas of these products, such as for flooring, baseboards, interior doors, window and door trims, and kitchen and bathroom cabinetry, could be used without causing indoor formaldehyde concentrations that result in CEQA

cancer risks that substantially exceed 10 per million for occupants with continuous occupancy.

Even composite wood products manufactured with CARB certified ultra low emitting formaldehyde (ULEF) resins do not insure that the indoor air will have concentrations of formaldehyde that meet the OEHHA cancer risks that substantially exceed 10 per million. The permissible emission rates for ULEF composite wood products are only 11-15% lower than the CARB Phase 2 emission rates. Only use of composite wood products made with no-added formaldehyde resins (NAF), such as resins made from soy, polyvinyl acetate, or methylene diisocyanate can insure that the OEHHA cancer risk of 10 per million is met.

If CARB Phase 2 compliant or ULEF composite wood products are utilized in construction, then the resulting indoor formaldehyde concentrations should be determined in the design phase using the specific amounts of each type of composite wood product, the specific formaldehyde emission rates, and the volume and outdoor air ventilation rates of the indoor spaces, and all feasible mitigation measures employed to reduce this impact (e.g. use less formaldehyde containing composite wood products and/or incorporate mechanical systems capable of higher outdoor air ventilation rates). See the procedure described earlier (i.e. Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment) to insure that the materials selected achieve acceptable cancer risks from material off gassing of formaldehyde.

Alternatively, and perhaps a simpler approach, is to use only composite wood products (e.g. hardwood plywood, medium density fiberboard, particleboard) for all interior finish systems that are made with CARB approved no-added formaldehyde (NAF) resins.

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## Indoor Environmental Engineering

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### **Education**

M.S. Mechanical Engineering (1985)  
Stanford University, Stanford, CA.

Graduate Studies in Air Pollution Monitoring and Control (1980)  
University of California, Berkeley, CA.

B.S. in Mechanical Engineering (1976)  
Rensselaer Polytechnic Institute, Troy, N.Y.

### **Professional Experience**

President: Indoor Environmental Engineering, San Francisco, CA. December, 1981 - present.

Direct team of environmental scientists, chemists, and mechanical engineers in conducting State and Federal research regarding indoor air quality instrumentation development, building air quality field studies, ventilation and air cleaning performance measurements, and chemical emission rate testing.

Provide design side input to architects regarding selection of building materials and ventilation system components to ensure a high quality indoor environment.

Direct Indoor Air Quality Consulting Team for the winning design proposal for the new State of Washington Ecology Department building.

Develop a full-scale ventilation test facility for measuring the performance of air diffusers; ASHRAE 129, Air Change Effectiveness, and ASHRAE 113, Air Diffusion Performance Index.

Develop a chemical emission rate testing laboratory for measuring the chemical emissions from building materials, furnishings, and equipment.

Principle Investigator of the California New Homes Study (2005-2007). Measured ventilation and indoor air quality in 108 new single family detached homes in northern and southern California.

Develop and teach IAQ professional development workshops to building owners, managers, hygienists, and engineers.

Air Pollution Engineer: Earth Metrics Inc., Burlingame, CA, October, 1985 to March, 1987.

Responsible for development of an air pollution laboratory including installation a forced choice olfactometer, tracer gas electron capture chromatograph, and associated calibration facilities. Field team leader for studies of fugitive odor emissions from sewage treatment plants, entrainment of fume hood exhausts into computer chip fabrication rooms, and indoor air quality investigations.

Staff Scientist: Building Ventilation and Indoor Air Quality Program, Energy and Environment Division, Lawrence Berkeley Laboratory, Berkeley, CA. January, 1980 to August, 1984.

Deputy project leader for the Control Techniques group; responsible for laboratory and field studies aimed at evaluating the performance of indoor air pollutant control strategies (i.e. ventilation, filtration, precipitation, absorption, adsorption, and source control).

Coordinated field and laboratory studies of air-to-air heat exchangers including evaluation of thermal performance, ventilation efficiency, cross-stream contaminant transfer, and the effects of freezing/defrosting.

Developed an *in situ* test protocol for evaluating the performance of air cleaning systems and introduced the concept of effective cleaning rate (ECR) also known as the Clean Air Delivery Rate (CADR).

Coordinated laboratory studies of portable and ducted air cleaning systems and their effect on indoor concentrations of respirable particles and radon progeny.

Co-designed an automated instrument system for measuring residential ventilation rates and radon concentrations.

Designed hardware and software for a multi-channel automated data acquisition system used to evaluate the performance of air-to-air heat transfer equipment.

Assistant Chief Engineer: Alta Bates Hospital, Berkeley, CA, October, 1979 to January, 1980.

Responsible for energy management projects involving installation of power factor correction capacitors on large inductive electrical devices and installation of steam meters on physical plant steam lines. Member of Local 39, International Union of Operating Engineers.

Manufacturing Engineer: American Precision Industries, Buffalo, NY, October, 1977 to October, 1979.

Responsible for reorganizing the manufacturing procedures regarding production of shell and tube heat exchangers. Designed customized automatic assembly, welding, and testing equipment. Designed a large paint spray booth. Prepared economic studies justifying new equipment purchases. Safety Director.

Project Engineer: Arcata Graphics, Buffalo, N.Y. June, 1976 to October, 1977.

Responsible for the design and installation of a bulk ink storage and distribution system and high speed automatic counting and marking equipment. Also coordinated material handling studies which led to the purchase and installation of new equipment.

### **PROFESSIONAL ORGANIZATION MEMBERSHIP**

American Society of Heating, Refrigeration and Air Conditioning Engineers (ASHRAE)

- Chairman of SPC-145P, Standards Project Committee - Test Method for Assessing the Performance of Gas Phase Air Cleaning Equipment (1991-1992)
- Member SPC-129P, Standards Project Committee - Test Method for Ventilation Effectiveness (1986-97)
  - Member of Drafting Committee
- Member Environmental Health Committee (1992-1994, 1997-2001, 2007-2010)
  - Chairman of EHC Research Subcommittee
  - Member of Man Made Mineral Fiber Position Paper Subcommittee
  - Member of the IAQ Position Paper Committee
  - Member of the Legionella Position Paper Committee
  - Member of the Limiting Indoor Mold and Dampness in Buildings Position Paper Committee
- Member SSPC-62, Standing Standards Project Committee - Ventilation for Acceptable Indoor Air Quality (1992 to 2000)
  - Chairman of Source Control and Air Cleaning Subcommittee
- Chairman of TC-4.10, Indoor Environmental Modeling (1988-92)
  - Member of Research Subcommittee
- Chairman of TC-2.3, Gaseous Air Contaminants and Control Equipment (1989-92)
  - Member of Research Subcommittee

American Society for Testing and Materials (ASTM)

- D-22 Sampling and Analysis of Atmospheres
  - Member of Indoor Air Quality Subcommittee
- E-06 Performance of Building Constructions

American Board of Industrial Hygiene (ABIH)

American Conference of Governmental Industrial Hygienists (ACGIH)

- Bioaerosols Committee (2007-2013)

American Industrial Hygiene Association (AIHA)

Cal-OSHA Indoor Air Quality Advisory Committee

International Society of Indoor Air Quality and Climate (ISIAQ)

- Co-Chairman of Task Force on HVAC Hygiene

U. S. Green Building Council (USGBC)

- Member of the IEQ Technical Advisory Group (2007-2009)
- Member of the IAQ Performance Testing Work Group (2010-2012)

Western Construction Consultants (WESTCON)

### **PROFESSIONAL CREDENTIALS**

Licensed Professional Engineer - Mechanical Engineering

Certified Industrial Hygienist - American Board of Industrial Hygienists

### **SCIENTIFIC MEETINGS AND SYMPOSIA**

Biological Contamination, Diagnosis, and Mitigation, Indoor Air'90, Toronto, Canada, August, 1990.

Models for Predicting Air Quality, Indoor Air'90, Toronto, Canada, August, 1990.

Microbes in Building Materials and Systems, Indoor Air '93, Helsinki, Finland, July, 1993.

Microorganisms in Indoor Air Assessment and Evaluation of Health Effects and Probable Causes, Walnut Creek, CA, February 27, 1997.

Controlling Microbial Moisture Problems in Buildings, Walnut Creek, CA, February 27, 1997.

Scientific Advisory Committee, Roomvent 98, 6<sup>th</sup> International Conference on Air Distribution in Rooms, KTH, Stockholm, Sweden, June 14-17, 1998.

Moisture and Mould, Indoor Air '99, Edinburgh, Scotland, August, 1999.

Ventilation Modeling and Simulation, Indoor Air '99, Edinburgh, Scotland, August, 1999.

Microbial Growth in Materials, Healthy Buildings 2000, Espoo, Finland, August, 2000.

Co-Chair, Bioaerosols X- Exposures in Residences, Indoor Air 2002, Monterey, CA, July 2002.

Healthy Indoor Environments, Anaheim, CA, April 2003.

Chair, Environmental Tobacco Smoke in Multi-Family Homes, Indoor Air 2008, Copenhagen, Denmark, July 2008.

Co-Chair, ISIAQ Task Force Workshop; HVAC Hygiene, Indoor Air 2002, Monterey, CA, July 2002.

Chair, ETS in Multi-Family Housing: Exposures, Controls, and Legalities Forum, Healthy Buildings 2009, Syracuse, CA, September 14, 2009.

Chair, Energy Conservation and IAQ in Residences Workshop, Indoor Air 2011, Austin, TX, June 6, 2011.

Chair, Electronic Cigarettes: Chemical Emissions and Exposures Colloquium, Indoor Air 2016, Ghent, Belgium, July 4, 2016.

### **SPECIAL CONSULTATION**

Provide consultation to the American Home Appliance Manufacturers on the development of a standard for testing portable air cleaners, AHAM Standard AC-1.

Served as an expert witness and special consultant for the U.S. Federal Trade Commission regarding the performance claims found in advertisements of portable air cleaners and residential furnace filters.

Conducted a forensic investigation for a San Mateo, CA pro se defendant, regarding an alleged homicide where the victim was kidnapped in a steamer trunk. Determined the air exchange rate in the steamer trunk and how long the person could survive.

Conducted *in situ* measurement of human exposure to toluene fumes released during nailpolish application for a plaintiffs attorney pursuing a California Proposition 65 product labeling case. June, 1993.

Conducted a forensic *in situ* investigation for the Butte County, CA Sheriff's Department of the emissions of a portable heater used in the bedroom of two twin one year old girls who suffered simultaneous crib death.

Consult with OSHA on the 1995 proposed new regulation regarding indoor air quality and environmental tobacco smoke.

Consult with EPA on the proposed Building Alliance program and with OSHA on the proposed new OSHA IAQ regulation.

Johnson Controls Audit/Certification Expert Review; Milwaukee, WI. May 28-29, 1997.

Winner of the nationally published 1999 Request for Proposals by the State of Washington to conduct a comprehensive indoor air quality investigation of the Washington State Department of Ecology building in Lacey, WA.

Selected by the State of California Attorney General's Office in August, 2000 to conduct a comprehensive indoor air quality investigation of the Tulare County Court House.

Lawrence Berkeley Laboratory IAQ Experts Workshop: "Cause and Prevention of Sick Building Problems in Offices: The Experience of Indoor Environmental Quality Investigators", Berkeley, California, May 26-27, 2004.

Provide consultation and chemical emission rate testing to the State of California Attorney General's Office in 2013-2015 regarding the chemical emissions from e-cigarettes.

#### **PEER-REVIEWED PUBLICATIONS :**

F.J.Offermann, C.D.Hollowell, and G.D.Roseme, "Low-Infiltration Housing in Rochester, New York: A Study of Air Exchange Rates and Indoor Air Quality," *Environment International*, 8, pp. 435-445, 1982.

W.W.Nazaroff, F.J.Offermann, and A.W.Robb, "Automated System for Measuring Air Exchange Rate and Radon Concentration in Houses," *Health Physics*, 45, pp. 525-537, 1983.

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W.J.Fisk, K.M.Archer, R.E Chant, D. Hekmat, F.J.Offermann, and B.Pedersen, "Performance of Residential Air-to-Air Heat Exchangers During Operation with Freezing and Periodic Defrosts," *ASHRAE Annual Transactions*, 91-1B, 1984.

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F.J.Offermann, "Ventilation Effectiveness and ADPI Measurements of a Forced Air Heating System," *ASHRAE Transactions* , Volume 94, Part 1, pp 694-704, 1988.

F.J.Offermann and D. Int-Hout "Ventilation Effectiveness Measurements of Three Supply/Return Air Configurations," *Environment International* , Volume 15, pp 585-592 1989.

F.J. Offermann, S.A. Loiselle, M.C. Quinlan, and M.S. Rogers, "A Study of Diesel Fume Entrainment in an Office Building," *IAQ '89*, The Human Equation: Health and Comfort, pp 179-183, ASHRAE, Atlanta, GA, 1989.

R.G.Sextro and F.J.Offermann, "Reduction of Residential Indoor Particle and Radon Progeny Concentrations with Ducted Air Cleaning Systems," submitted to *Indoor Air*, 1990.

S.A.Loiselle, A.T.Hodgson, and F.J.Offermann, "Development of An Indoor Air Sampler for Polycyclic Aromatic Compounds", *Indoor Air* , Vol 2, pp 191-210, 1991.

F.J.Offermann, S.A.Loiselle, A.T.Hodgson, L.A. Gundel, and J.M. Daisey, "A Pilot Study to Measure Indoor Concentrations and Emission Rates of Polycyclic Aromatic Compounds", *Indoor Air* , Vol 4, pp 497-512, 1991.

F.J. Offermann, S. A. Loiselle, R.G. Sextro, "Performance Comparisons of Six Different Air Cleaners Installed in a Residential Forced Air Ventilation System," *IAQ'91*, Healthy Buildings, pp 342-350, ASHRAE, Atlanta, GA (1991).

F.J. Offermann, J. Daisey, A. Hodgson, L. Gundell, and S. Loiselle, "Indoor Concentrations and Emission Rates of Polycyclic Aromatic Compounds", *Indoor Air*, Vol 4, pp 497-512 (1992).

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S.B. Hayward, K.S. Liu, L.E. Alevantis, K. Shah, S. Loiselle, F.J. Offermann, Y.L. Chang, L. Webber, "Effectiveness of Ventilation and Other Controls in Reducing Exposure to ETS in Office Buildings," *Indoor Air '93*, Helsinki, Finland, July 4-8, 1993.

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K.S. Liu, L.E. Alevantis, and F.J. Offermann, "A Survey of Environmental Tobacco Smoke Controls in California Office Buildings", *Indoor Air*, Vol 11, pp. 26-34, 2001.

F.J. Offermann, R. Colfer, P. Radzinski, and J. Robertson, "Exposure to Environmental Tobacco Smoke in an Automobile", *Indoor Air* 2002, Monterey, California, July 2002.

F. J. Offermann, J.P. Robertson, and T. Webster, "The Impact of Tracer Gas Mixing on Airflow Rate Measurements in Large Commercial Fan Systems", *Indoor Air* 2002, Monterey, California, July 2002.

M. J. Mendell, T. Brennan, L. Hathon, J.D. Odom, F.J. Offermann, B.H. Turk, K.M. Wallingford, R.C. Diamond, W.J. Fisk, "Causes and prevention of Symptom Complaints

in Office Buildings: Distilling the Experience of Indoor Environmental Investigators”, submitted to Indoor Air 2005, Beijing, China, September 4-9, 2005.

F.J. Offermann, “Ventilation and IAQ in New Homes With and Without Mechanical Outdoor Air Systems”, Healthy Buildings 2009, Syracuse, CA, September 14, 2009.

F.J. Offermann, “ASHRAE 62.2 Intermittent Residential Ventilation: What’s It Good For, Intermittently Poor IAQ”, IAQVEC 2010, Syracuse, CA, April 21, 2010.

F.J. Offermann and A.T. Hodgson, “Emission Rates of Volatile Organic Compounds in New Homes”, Indoor Air 2011, Austin, TX, June, 2011.

P. Jenkins, R. Johnson, T. Phillips, and F. Offermann, “Chemical Concentrations in New California Homes and Garages”, Indoor Air 2011, Austin, TX, June, 2011.

W. J. Mills, B. J. Grigg, F. J. Offermann, B. E. Gustin, and N. E. Spingarm, “Toluene and Methyl Ethyl Ketone Exposure from a Commercially Available Contact Adhesive”, Journal of Occupational and Environmental Hygiene, 9:D95-D102 May, 2012.

F. J. Offermann, R. Maddalena, J. C. Offermann, B. C. Singer, and H. Wilhelm, “The Impact of Ventilation on the Emission Rates of Volatile Organic Compounds in Residences”, HB 2012, Brisbane, AU, July, 2012.

F. J. Offermann, A. T. Hodgson, P. L. Jenkins, R. D. Johnson, and T. J. Phillips, “Attached Garages as a Source of Volatile Organic Compounds in New Homes”, HB 2012, Brisbane, CA, July, 2012.

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NV, October 1-2, 1992; New York City, NY, October 26-27, 1992, Las Vegas, NV, March 18-19, 1993; Lake Tahoe, CA, July 14-15, 1994; Las Vegas, NV, April 3-4, 1995; Lake Tahoe, CA, July 11-12, 1996; Miami, FL, December 9-10, 1996.

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"Operating Healthy Buildings", Association of Plant Engineers, Oakland, CA, November 14, 1991.

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"Emerging IAQ Issues", Fifth National Conference on Indoor Air Pollution, University of Tulsa, Tulsa, OK, April 13-14, 1992.

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"Techniques for Airborne Disease Control", EPRI Healthcare Initiative Symposium; San Francisco, CA; June 7, 1994.

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“ASHRAE Standard 62: Improving Indoor Environments”, Pacific Gas and Electric Energy Center, San Francisco, CA, October 29, 1996.

“Operating and Maintaining Healthy Buildings”, April 3-4, 1996, San Jose, CA; July 30, 1997, Monterey, CA.

“IAQ Primer”, Local 39, April 16, 1997; Amdahl Corporation, June 9, 1997; State Compensation Insurance Fund’s Safety & Health Services Department, November 21, 1996.

“Tracer Gas Techniques for Measuring Building Air Flow Rates”, ASHRAE, Philadelphia, PA, January 26, 1997.

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“Environmental Engineer: What Is It?”, Monte Vista High School Career Day; April 10, 1997.

“Indoor Environment Controls: What’s Hot and What’s Not”, Shaklee Corporation; San Francisco, CA, July 15, 1997.

“Measurement of Ventilation System Performance Parameters in the US EPA BASE Study”, Healthy Buildings/IAQ’97, Washington, DC, September 29, 1997.

“Operations and Maintenance for Healthy and Comfortable Indoor Environments”, PASMA; October 7, 1997.

“Designing for Healthy and Comfortable Indoor Environments”, Construction Specification Institute, Santa Rosa, CA, November 6, 1997.

“Ventilation System Design for Good IAQ”, University of Tulsa 10<sup>th</sup> Annual Conference, San Francisco, CA, February 25, 1998.

“The Building Shell”, Tools For Building Green Conference and Trade Show, Alameda County Waste Management Authority and Recycling Board, Oakland, CA, February 28, 1998.

“Identifying Fungal Contamination Problems In Buildings”, The City of Oakland Municipal Employees, Oakland, CA, March 26, 1998.

“Managing Indoor Air Quality in Schools: Staying Out of Trouble”, CASBO, Sacramento, CA, April 20, 1998.

“Indoor Air Quality”, CSOOC Spring Conference, Visalia, CA, April 30, 1998.

“Particulate and Gas Phase Air Filtration”, ACGIH/OSHA, Ft. Mitchell, KY, June 1998.

“Building Air Quality Facts and Myths”, The City of Oakland / Alameda County Safety Seminar, Oakland, CA, June 12, 1998.

“Building Engineering and Moisture”, Building Contamination Workshop, University of California Berkeley, Continuing Education in Engineering and Environmental Management, San Francisco, CA, October 21-22, 1999.

“Identifying and Mitigating Mold Contamination in Buildings”, Western Construction Consultants Association, Oakland, CA, March 15, 2000; AIG Construction Defect Seminar, Walnut Creek, CA, May 2, 2001; City of Oakland Public Works Agency, Oakland, CA, July 24, 2001; Executive Council of Homeowners, Alamo, CA, August 3, 2001.

“Using the EPA BASE Study for IAQ Investigation / Communication”, Joint Professional Symposium 2000, American Industrial Hygiene Association, Orange County & Southern California Sections, Long Beach, October 19, 2000.

“Ventilation,” Indoor Air Quality: Risk Reduction in the 21<sup>st</sup> Century Symposium, sponsored by the California Environmental Protection Agency/Air Resources Board, Sacramento, CA, May 3-4, 2000.

“Workshop 18: Criteria for Cleaning of Air Handling Systems”, Healthy Buildings 2000, Espoo, Finland, August 2000.

“Closing Session Summary: ‘Building Investigations’ and ‘Building Design & Construction’”, Healthy Buildings 2000, Espoo, Finland, August 2000.

“Managing Building Air Quality and Energy Efficiency, Meeting the Standard of Care”, BOMA, MidAtlantic Environmental Hygiene Resource Center, Seattle, WA, May 23<sup>rd</sup>, 2000; San Antonio, TX, September 26-27, 2000.

“Diagnostics & Mitigation in Sick Buildings: When Good Buildings Go Bad,” University of California Berkeley, September 18, 2001.

“Mold Contamination: Recognition and What To Do and Not Do”, Redwood Empire Remodelers Association; Santa Rosa, CA, April 16, 2002.

“Investigative Tools of the IAQ Trade”, Healthy Indoor Environments 2002; Austin, TX; April 22, 2002.

“Finding Hidden Mold: Case Studies in IAQ Investigations”, AIHA Northern California Professionals Symposium; Oakland, CA, May 8, 2002.

“Assessing and Mitigating Fungal Contamination in Buildings”, Cal/OSHA Training; Oakland, CA, February 14, 2003 and West Covina, CA, February 20-21, 2003.

“Use of External Containments During Fungal Mitigation”, Invited Speaker, ACGIH Mold Remediation Symposium, Orlando, FL, November 3-5, 2003.

Building Operator Certification (BOC), 106-IAQ Training Workshops, Northwest Energy Efficiency Council; Stockton, CA, December 3, 2003; San Francisco, CA, December 9, 2003; Irvine, CA, January 13, 2004; San Diego, January 14, 2004; Irwindale, CA, January 27, 2004; Downey, CA, January 28, 2004; Santa Monica, CA, March 16, 2004; Ontario, CA, March 17, 2004; Ontario, CA, November 9, 2004, San Diego, CA, November 10, 2004; San Francisco, CA, November 17, 2004; San Jose, CA, November 18, 2004; Sacramento, CA, March 15, 2005.

“Mold Remediation: The National QUEST for Uniformity Symposium”, Invited Speaker, Orlando, Florida, November 3-5, 2003.

“Mold and Moisture Control”, Indoor Air Quality workshop for The Collaborative for High Performance Schools (CHPS), San Francisco, December 11, 2003.

“Advanced Perspectives In Mold Prevention & Control Symposium”, Invited Speaker, Las Vegas, Nevada, November 7-9, 2004.

“Building Sciences: Understanding and Controlling Moisture in Buildings”, American Industrial Hygiene Association, San Francisco, CA, February 14-16, 2005.

“Indoor Air Quality Diagnostics and Healthy Building Design”, University of California Berkeley, Berkeley, CA, March 2, 2005.

“Improving IAQ = Reduced Tenant Complaints”, Northern California Facilities Exposition, Santa Clara, CA, September 27, 2007.

“Defining Safe Building Air”, Criteria for Safe Air and Water in Buildings, ASHRAE Winter Meeting, Chicago, IL, January 27, 2008.

“Update on USGBC LEED and Air Filtration”, Invited Speaker, NAFA 2008 Convention, San Francisco, CA, September 19, 2008.

“Ventilation and Indoor air Quality in New California Homes”, National Center of Healthy Housing, October 20, 2008.

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“Mechanical Outdoor air Ventilation Systems and IAQ in New Homes”, ACI Home Performance Conference, Kansas City, MO, April 29, 2009.

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“Ten Ways to Improve Your Air Quality”, Northern California Facilities Exposition, Santa Clara, CA, September 30, 2009.

“New Developments in Ventilation and Indoor Air Quality in Residential Buildings”, Westcon meeting, Alameda, CA, March 17, 2010.

“Intermittent Residential Mechanical Outdoor Air Ventilation Systems and IAQ”, ASHRAE SSPC 62.2 Meeting, Austin, TX, April 19, 2010.

“Measured IAQ in Homes”, ACI Home Performance Conference, Austin, TX, April 21, 2010.

“Respiration: IEQ and Ventilation”, AIHce 2010, How IH Can LEED in Green buildings, Denver, CO, May 23, 2010.

“IAQ Considerations for Net Zero Energy Buildings (NZEB)”, Northern California Facilities Exposition, Santa Clara, CA, September 22, 2010.

“Energy Conservation and Health in Buildings”, Berkeley High School Green Career Week, Berkeley, CA, April 12, 2011.

“What Pollutants are Really There ?”, ACI Home Performance Conference, San Francisco, CA, March 30, 2011.

“Energy Conservation and Health in Residences Workshop”, Indoor Air 2011, Austin, TX, June 6, 2011.

“Assessing IAQ and Improving Health in Residences”, US EPA Weatherization Plus Health, September 7, 2011.

“Ventilation: What a Long Strange Trip It’s Been”, Westcon, May 21, 2014.

“Chemical Emissions from E-Cigarettes: Direct and Indirect Passive Exposures”, Indoor Air 2014, Hong Kong, July, 2014.

“Infectious Disease Aerosol Exposures With and Without Surge Control Ventilation System Modifications”, Indoor Air 2014, Hong Kong, July, 2014.

“Chemical Emissions from E-Cigarettes”, IMF Health and Welfare Fair, Washington, DC, February 18, 2015.

“Chemical Emissions and Health Hazards Associated with E-Cigarettes”, Roswell Park Cancer Institute, Buffalo, NY, August 15, 2014.

“Formaldehyde Indoor Concentrations, Material Emission Rates, and the CARB ATCM”, Harris Martin’s Lumber Liquidators Flooring Litigation Conference, WQ Minneapolis Hotel, May 27, 2015.

“Chemical Emissions from E-Cigarettes: Direct and Indirect Passive Exposure”, FDA Public Workshop: Electronic Cigarettes and the Public Health, Hyattsville, MD June 2, 2015.

“Creating Healthy Homes, Schools, and Workplaces”, Chautauqua Institution, Athenaeum Hotel, August 24, 2015.

“Diagnosing IAQ Problems and Designing Healthy Buildings”, University of California Berkeley, Berkeley, CA, October 6, 2015.

“Diagnosing Ventilation and IAQ Problems in Commercial Buildings”, BEST Center Annual Institute, Lawrence Berkeley National Laboratory, January 6, 2016.

“A Review of Studies of Ventilation and Indoor Air Quality in New Homes and Impacts of Environmental Factors on Formaldehyde Emission Rates From Composite Wood Products”, AIHce2016, May, 21-26, 2016.

“Admissibility of Scientific Testimony”, Science in the Court, Proposition 65 Clearinghouse Annual Conference, Oakland, CA, September 15, 2016.

“Indoor Air Quality and Ventilation”, ASHRAE Redwood Empire, Napa, CA, December 1, 2016.

# EXHIBIT B



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January 4, 2024

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**Subject: Comments on the 777 W. Orangethorpe Mixed Use Project**

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Dear Ms. Yundt,

We have reviewed the November 2023 Initial Study and Mitigated Negative Declaration (“IS/MND”) for the 777 W. Orangethorpe Mixed Use (“Project”) located in the City of Placentia (“City”). The Project proposes to demolish the existing 40,000-square-feet (“SF”) of industrial space and construct 248 residential units, 3,000-SF of commercial space, and 342 parking spaces on the 2.72-acre-site.

Our review concludes that the IS/MND fails to adequately evaluate the Project’s air quality, health risk, and greenhouse gas impacts. As a result, emissions and health risk impacts associated with construction and operation of the proposed Project may be underestimated and inadequately addressed. An Environmental Impact Report (“EIR”) should be prepared to adequately assess and mitigate the potential air quality, health risk, and greenhouse gas impacts that the project may have on the environment.

## Air Quality

### Unsubstantiated Input Parameters Used to Estimate Project Emissions

The IS/MND’s air quality analysis relies on emissions calculated with California Emissions Estimator Model (“CalEEMod”) Version 2020.4.0 (p. 50).<sup>1</sup> CalEEMod provides recommended default values based on site-specific information, such as land use type, meteorological data, total lot acreage, project type and typical equipment associated with project type. If more specific project information is known, the user can change the default values and input project-specific values, but the California Environmental

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<sup>1</sup> “CalEEMod Version 2020.4.0.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <http://www.aqmd.gov/caleemod/download-model>.

Quality Act (“CEQA”) requires that such changes be justified by substantial evidence. Once all of the values are inputted into the model, the Project’s construction and operational emissions are calculated, and “output files” are generated. These output files disclose which parameters are used in calculating the Project’s air pollutant emissions by identifying any changes to default values. Justifications are provided for each altered value.

When reviewing the Project’s CalEEMod output files, provided in the Air Quality and GHG Emissions Assessment (“AQ & GHG Assessment”), provided as Appendix A to the IS/MND, we found that several model inputs are not consistent with information disclosed in the IS/MND. As a result, the Project’s construction and operational emissions may be underestimated. An EIR should be prepared to include an updated air quality analysis that adequately evaluates the impacts that operation of the Project will have on local and regional air quality.

*Unsubstantiated Changes to Individual Construction Phase Lengths*

Review of the CalEEMod output files demonstrates that the “OrangethorpePlacentia” model includes a change to the default construction schedule (see excerpt below) (Appendix A, pp. 2, 38, 67):

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	40.00

As a result, the model includes the following construction schedule (see excerpt below) (Appendix A, pp. 57, 118).

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days
1	Demolition	Demolition	10/29/2021	11/25/2021	5	20
2	Site Preparation	Site Preparation	11/26/2021	11/29/2021	5	2
3	Grading	Grading	11/30/2021	12/3/2021	5	4
4	Building Construction	Building Construction	12/4/2021	9/9/2022	5	200
5	Paving	Paving	9/10/2022	9/23/2022	5	10
6	Architectural Coating	Architectural Coating	9/24/2022	11/18/2022	5	40

As demonstrated above, in the “OrangethorpePlacentia” model, the paving phase is increased by 300%, from the default value of 10 to 40 days.

As previously mentioned, the CalEEMod User’s Guide requires any changes to model defaults be justified.<sup>2</sup> According to the “User Entered Comments & Non-Default Data” table, the justification provided for these changes is:

“Adjusted coating to 20% of building construction” (Appendix A, pp.2, 38, 67).

Regarding construction activities, the IS/MND states:

<sup>2</sup> “CalEEMod User’s Guide Version 2020.4.0.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user-s-guide>, p. 1, 14.

“Construction was assumed to require approximately 14 months of construction. Construction phases include demolition (1 month), site preparation (1 week), grading (1 week), building construction (10 months), paving (2 weeks), and architectural coatings (2 months)” (p. 62).

However, the changes to the individual construction phase lengths remain unsubstantiated as the IS/MND fails to provide an adequate source for the individual construction phase lengths. While the IS/MND states the total duration of Project construction to equate to 14 months, the IS/MND fails to substantiate the *individual* construction phase lengths. As the IS/MND fails to provide an adequate source for the revised construction phase lengths, we cannot verify the changes. Until a proper source is provided, the model should have included proportionately altered individual phase lengths to match the proposed construction durations of 14 months.

The construction schedules included in the model present an issue, as the construction emissions are improperly spread out over a longer period of time for some phases, but not for others. According to the CalEEMod User’s Guide, each construction phase is associated with different emissions activities (see excerpt below).<sup>3</sup>

Demolition involves removing buildings or structures.

Site Preparation involves clearing vegetation (grubbing and tree/stump removal) and removing stones and other unwanted material or debris prior to grading.

Grading involves the cut and fill of land to ensure that the proper base and slope is created for the foundation.

Building Construction involves the construction of the foundation, structures and buildings.

Architectural Coating involves the application of coatings to both the interior and exterior of buildings or structures, the painting of parking lot or parking garage striping, associated signage and curbs, and the painting of the walls or other components such as stair railings inside parking structures.

Paving involves the laying of concrete or asphalt such as in parking lots, roads, driveways, or sidewalks.

By disproportionately altering and extending some of the individual construction phase lengths without proper justification, the model assumes there are a greater number of days to complete the construction activities required by the prolonged phases. As a result, there will be less construction activities required per day and, consequently, less pollutants emitted per day. Until we are able to verify the revised construction schedule, the model may underestimate the peak daily emissions associated with some phases of construction and should not be relied upon to determine Project significance.

### *Unsubstantiated Reductions to Acres of Grading Values*

Review of the CalEEMod output files demonstrates that “OrangethorpePlacentia” model includes reductions to the default acres of grading values (see excerpt below) (Appendix A, pp. 3, 37, 69).

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<sup>3</sup> “CalEEMod User’s Guide.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user's-guide>, p. 32.

Table Name	Column Name	Default Value	New Value
tbiGrading	AcresOfGrading	4.00	2.72
tbiGrading	AcresOfGrading	1.88	2.72
tbiGrading	MaterialImported	0.00	3,000.00

As previously mentioned, the CalEEMod User’s Guide requires any changes to model defaults be justified.<sup>4</sup> According to the “User Entered Comments & Non-Default Data” table, the justification provided for this change is:

“Adjusted to lot area” (Appendix A, pp. 2, 38, 67).

Furthermore, the IS/MND states (see excerpt below):

“The Proposed Project would be developed on a 2.72-acre site” (p. 2)

However, this change is incorrect. According to the CalEEMod User’s Guide:

“[T]he dimensions (e.g., length and width) of the grading site have no impact on the calculation, only the total area to be graded. In order to properly grade a piece of land multiple passes with equipment may be required. The acres is based on the equipment list and days in grading or site preparation phase according to the anticipated maximum number of acres a given piece of equipment can pass over in an 8-hour workday.”<sup>5</sup>

The default acres of grading values are calculated based on construction equipment and the length of the grading and site preparation phases. Here, the model uses the acres of the Project site as the acres of grading. As the dimensions of the Project site have no impact on the acres of grading value, the revised value is unsubstantiated.

These unsubstantiated reductions present an issue, as CalEEMod uses the acres of grading values to estimate the dust emissions associated with grading.<sup>6</sup> By including incorrect reductions to the default acres of grading values, the model may underestimate the Project’s construction-related emissions and should not be relied upon to determine Project significance.

### Updated Analysis Indicates a Potentially Significant Air Quality Impact

In an effort to more accurately estimate the Project’s construction-related emissions, we prepared an updated CalEEMod model, using the Project-specific information provided by the IS/MND. In our updated model, we proportionately altered the individual construction phase lengths to match the

<sup>4</sup> “CalEEMod User’s Guide.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user's-guide>, p. 1, 14.

<sup>5</sup> “Appendix A – Calculation Details for CalEEMod.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <http://www.aqmd.gov/caleemod/user's-guide>, p. 9.

<sup>6</sup> “Appendix A – Calculation Details for CalEEMod.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user's-guide>, p. 9.

proposed construction duration of 14 months and omitted the unsubstantiated changes reductions to acres of grading values.<sup>7</sup>

Our updated analysis estimates that the volatile organic compound (“VOC”) emissions associated with Project construction exceed the applicable South Coast Air Quality Management District (“SCAQMD”) threshold of 75 pounds per day (“lbs/day”), as referenced by the IS/MND (p. 51) (see table below).<sup>8</sup>

SWAPE Criteria Air Pollutant Emissions	
Construction	ROG (lbs/day)
IS/MND	44.1
SWAPE	160.04
% Increase	263%
SCAQMD Threshold	<b>75</b>
<i>Exceeds?</i>	<b>Yes</b>

As demonstrated above, construction-related VOC emissions, as estimated by SWAPE, increase by approximately 263% and exceed the applicable SCAQMD significance threshold. Our updated modeling demonstrates that the Project may result in a potentially significant air quality impact that was not previously identified or addressed by the IS/MND. As a result, an EIR should be prepared to adequately assess and mitigate the potential air quality impacts that the Project may have on the environment.

### Diesel Particulate Matter Emissions Inadequately Evaluated

The IS/MND concludes that the Project would have a less-than-significant health risk impact without conducting a quantified construction or operational health risk analysis (“HRA”). Regarding the health risk impacts associated with Project construction, the IS/MND states:

“Table 4 shows that the construction emission rates would not exceed the LSTs for the existing residences in the area surrounding the Proposed Project Site. Impacts would be less than significant” (p. 54).

Furthermore, regarding the health risk impacts associated with the Project operations, the IS/MND states:

“As shown in Table 5, the operational emission rates would not exceed the LSTs for sensitive receptors in the Proposed Project area. Therefore, the proposed operational activity would not result in a locally significant air quality impact and impacts would be less than significant” (p. 54).

<sup>7</sup> See Appendix A for updated CalEEMod model.

<sup>8</sup> “South Coast AQMD Air Quality Significance Thresholds.” SCAQMD, April 2019, available at: <http://www.aqmd.gov/docs/default-source/ceqa/handbook/scaqmd-air-quality-significance-thresholds.pdf>.

As demonstrated above, the IS/MND claims that because emissions associated with Project construction and operations would not exceed the Localized Significance Threshold (“LST”), the Project will result in a less-than-significant health risk impact. However, the IS/MND’s evaluation of the Project’s potential health risk impacts, as well as the subsequent less-than-significant impact conclusion, is unreliable for four reasons.

First, the use of a LST analysis to determine the health risk impacts posed to nearby, existing sensitive receptors as a result of the Project’s operational toxic air contaminant (“TAC”) emissions is incorrect. While the LST method assesses the impact of pollutants at a local level, it only evaluates impacts from criteria air pollutants. According to the *Final Localized Significance Threshold Methodology* document prepared by the South Coast Air Quality Management District (“SCAQMD”), LST analyses are only applicable to NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> emissions, which are collectively referred to as criteria air pollutants.<sup>9</sup> Because LST methods can only be applied to criteria air pollutants, they cannot be used to determine whether emissions from TACs, specifically Diesel Particulate Matter (“DPM”), a known human carcinogen, would result in a significant health risk impact to nearby sensitive receptors. As a result, health impacts during Project operation from exposure to TACs, such as DPM, were not analyzed, leaving a gap in the IS/MND’s analysis.

Second, by failing to prepare a quantified construction HRA, the IS/MND is inconsistent with CEQA’s requirement to correlate the increase in emissions that the Project would generate to the adverse impacts on human health caused by those emissions.<sup>10</sup> This is incorrect, as construction of the proposed Project will produce DPM emissions through the exhaust stacks of construction equipment over a total construction duration of 14 months (p. 50). However, the IS/MND fails to evaluate the potential Project-generated TACs or indicate the concentrations at which such pollutants would trigger adverse health effects. Without making a reasonable effort to connect the Project’s construction-related TAC emissions to the potential health risks posed to nearby receptors, the IS/MND is inconsistent with CEQA’s requirement to correlate the increase in emissions generated by the Project with the potential adverse impacts on human health.

Third, the Office of Environmental Health Hazard Assessment (“OEHHA”), the organization responsible for providing guidance on conducting HRAs in California, released its most recent *Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments* in February 2015. This guidance document describes the types of projects that warrant the preparation of an HRA. Specifically, OEHHA recommends that all short-term projects lasting at least 2 months assess cancer risks.<sup>11</sup> Additionally, according to OEHHA:

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<sup>9</sup> “Final Localized Significance Threshold Methodology.” South Coast Air Quality Management District (SCAQMD), Revised July 2008, available at: <http://www.aqmd.gov/docs/default-source/ceqa/handbook/localized-significance-thresholds/final-lst-methodology-document.pdf>.

<sup>10</sup> “Sierra Club v. County of Fresno.” Supreme Court of California, December 2018, available at: <https://cegaportal.org/decisions/1907/Sierra%20Club%20v.%20County%20of%20Fresno.pdf>.

<sup>11</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-18.

“Exposure from projects lasting more than 6 months should be evaluated for the duration of the project. In all cases, for assessing risk to residential receptors, the exposure should be assumed to start in the third trimester to allow for the use of the ASFs (OEHHA, 2009).”<sup>12</sup>

As the Project’s anticipated construction duration exceeds the 2-month and 6-month requirements set forth by OEHHA, construction of the Project meets the threshold warranting a quantified HRA under OEHHA guidance and should be evaluated for the entire 14-month construction period. Furthermore, OEHHA recommends that an exposure duration of 30 years should be used to estimate the individual cancer risk at the maximally exposed individual resident (“MEIR”).<sup>13</sup> While the IS/MND fails to provide the expected lifetime of the proposed Project, we can reasonably assume that the Project would operate for at least 30 years, if not more. Therefore, operation of the Project also exceeds the 2-month and 6-month requirements set forth by OEHHA and should be evaluated for the entire 30-year residential exposure duration, as indicated by OEHHA guidance. These recommendations reflect the most recent state health risk policies, and as such, an EIR should be prepared to include an analysis of health risk impacts posed to nearby sensitive receptors from Project-generated DPM emissions.

Fourth, by claiming a less-than-significant impact without conducting a quantified construction or operational HRA for nearby, existing sensitive receptors, the IS/MND fails to compare the Project’s excess cancer risk to the SCAQMD’s specific numeric threshold of 10 in one million.<sup>14</sup> In accordance with the most relevant guidance, an assessment of the health risk posed to nearby, existing receptors as a result of Project construction and operation should be conducted.

### Screening-Level Analysis Demonstrates Potentially Significant Health Risk Impact

In order to conduct our screening-level risk assessment we relied upon AERSCREEN, which is a screening level air quality dispersion model.<sup>15</sup> AERSCREEN is included in the OEHHA and the California Air Pollution Control Officers Associated (“CAPCOA”) guidance as the appropriate air dispersion model for Level 2 health risk screening assessments (“HRSA”).<sup>16, 17</sup> A Level 2 HRSA utilizes a limited amount of site-specific information to generate maximum reasonable downwind concentrations of air contaminants to which nearby sensitive receptors may be exposed. If an unacceptable air quality hazard is determined to be possible using AERSCREEN, a more refined modeling approach should be conducted prior to approval of the Project.

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<sup>12</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-18.

<sup>13</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 2-4.

<sup>14</sup> “South Coast AQMD Air Quality Significance Thresholds.” SCAQMD, March 2023, available at: <https://www.aqmd.gov/docs/default-source/ceqa/handbook/south-coast-aqmd-air-quality-significance-thresholds.pdf?sfvrsn=25>.

<sup>15</sup> “Air Quality Dispersion Modeling - Screening Models,” U.S. EPA, available at: <https://www.epa.gov/scram/air-quality-dispersion-modeling-screening-models>.

<sup>16</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>.

<sup>17</sup> “Health Risk Assessments for Proposed Land Use Projects.” CAPCOA, July 2009, available at: [http://www.valleyair.org/transportation/CAPCOA\\_HRA\\_LU\\_Guidelines\\_8-6-09.pdf](http://www.valleyair.org/transportation/CAPCOA_HRA_LU_Guidelines_8-6-09.pdf).

We prepared a preliminary HRA of the Project’s construction and operational health risk impact to residential sensitive receptors using the annual PM<sub>10</sub> exhaust estimates from the IS/MND’s CalEEMod output files. Consistent with recommendations set forth by OEHHA, we assumed residential exposure begins during the third trimester stage of life.<sup>18</sup> The IS/MND’s CalEEMod model indicates that construction activities will generate approximately 110 pounds of DPM over the 385-day construction period.<sup>19</sup> The AERSCREEN model relies on a continuous average emission rate to simulate maximum downward concentrations from point, area, and volume emission sources. To account for the variability in equipment usage and truck trips over Project construction, we calculated an average DPM emission rate by the following equation:

$$\text{Emission Rate} \left( \frac{\text{grams}}{\text{second}} \right) = \frac{110.4 \text{ lbs}}{385 \text{ days}} \times \frac{453.6 \text{ grams}}{\text{lbs}} \times \frac{1 \text{ day}}{24 \text{ hours}} \times \frac{1 \text{ hour}}{3,600 \text{ seconds}} = \mathbf{0.001505 \text{ g/s}}$$

Using this equation, we estimated a construction emission rate of 0.00151 grams per second (“g/s”). Subtracting the 385-day construction period from the total residential duration of 30 years, we assumed that after Project construction, the sensitive receptor would be exposed to the Project’s operational DPM for an additional 28.95 years. The IS/MND’s operational CalEEMod emissions indicate that operational activities will generate approximately 83 net pounds of DPM per year throughout operation. Applying the same equation used to estimate the construction DPM rate, we estimated the following emission rate for Project operation:

$$\text{Emission Rate} \left( \frac{\text{grams}}{\text{second}} \right) = \frac{83 \text{ lbs}}{365 \text{ days}} \times \frac{453.6 \text{ grams}}{\text{lbs}} \times \frac{1 \text{ day}}{24 \text{ hours}} \times \frac{1 \text{ hour}}{3,600 \text{ seconds}} = \mathbf{0.001194 \text{ g/s}}$$

Using this equation, we estimated an operational emission rate of 0.0011 g/s. Construction and operation were simulated as a 2.72-acre rectangular area source in AERSCREEN, with approximate dimensions of 148- by 74-meters. A release height of three meters was selected to represent the height of stacks of operational equipment and other heavy-duty vehicles, and an initial vertical dimension of one and a half meters was used to simulate instantaneous plume dispersion upon release. An urban meteorological setting was selected with model-default inputs for wind speed and direction distribution. The population of Placentia was obtained from U.S. 2021 Census data.<sup>20</sup>

The AERSCREEN model generates maximum reasonable estimates of single-hour DPM concentrations from the Project Site. The U.S. EPA suggests that the annualized average concentration of an air pollutant be estimated by multiplying the single-hour concentration by 10% in screening procedures.<sup>21</sup> According to the IS/MND, the nearest sensitive receptor is located 120 feet, or 37 meters, from the Project site (p. 53). However, review of the AERSCREEN output files demonstrates that the *maximally* exposed individual receptor (“MEIR”) is located approximately 75 meters from the Project site. Thus, the

<sup>18</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-18.

<sup>19</sup> See Attachment A for health risk calculations.

<sup>20</sup> “Placentia.” U.S. Census Bureau, 2021, available at: <https://datacommons.org/place/geoid/0657526>.

<sup>21</sup> “Screening Procedures for Estimating the Air Quality Impact of Stationary Sources Revised.” U.S. EPA, October 1992, available at: [http://www.epa.gov/ttn/scram/guidance/guide/EPA-454R-92-019\\_OCR.pdf](http://www.epa.gov/ttn/scram/guidance/guide/EPA-454R-92-019_OCR.pdf).

single-hour concentration estimated by AERSCREEN for Project construction is approximately 4.121  $\mu\text{g}/\text{m}^3$  DPM at approximately 75 meters downwind. Multiplying this single-hour concentration by 10%, we get an annualized average concentration of 0.4121  $\mu\text{g}/\text{m}^3$  for Project construction at the MEIR. For Project operation, the single-hour concentration estimated by AERSCREEN is 3.269  $\mu\text{g}/\text{m}^3$  DPM at approximately 75 meters downwind. Multiplying this single-hour concentration by 10%, we get an annualized average concentration of 0.3269  $\mu\text{g}/\text{m}^3$  for Project operation at the MEIR.

We calculated the excess cancer risk to the nearest sensitive receptor using applicable HRA methodologies prescribed by OEHHA, as recommended by SCAQMD.<sup>22</sup> Specifically, guidance from OEHHA and the California Air Resources Board (“CARB”) recommends the use of a standard point estimate approach, including high-point estimate (i.e. 95<sup>th</sup> percentile) breathing rates and age sensitivity factors (“ASF”) in order to account for the increased sensitivity to carcinogens during early-in-life exposure and accurately assess risk for susceptible subpopulations such as children. The residential exposure parameters, such as the daily breathing rates (“BR/BW”), exposure duration (“ED”), age sensitivity factors (“ASF”), fraction of time at home (“FAH”), and exposure frequency (“EF”) utilized for the various age groups in our screening-level HRA are as follows:

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<sup>22</sup> “AB 2588 and Rule 1402 Supplemental Guidelines.” SCAQMD, October 2020, *available at:* <http://www.aqmd.gov/docs/default-source/planning/risk-assessment/ab-2588-supplemental-guidelines.pdf?sfvrsn=19>, p. 2.

**Exposure Assumptions for Residential Individual Cancer Risk**

<b>Age Group</b>	<b>Breathing Rate (L/kg-day)<sup>23</sup></b>	<b>Age Sensitivity Factor<sup>24</sup></b>	<b>Exposure Duration (years)</b>	<b>Fraction of Time at Home<sup>25</sup></b>	<b>Exposure Frequency (days/year)<sup>26</sup></b>	<b>Exposure Time (hours/day)</b>
3rd Trimester	361	10	0.25	1	350	24
Infant (0 - 2)	1090	10	2	1	350	24
Child (2 - 16)	572	3	14	1	350	24
Adult (16 - 30)	261	1	14	0.73	350	24

For the inhalation pathway, the procedure requires the incorporation of several discrete variates to effectively quantify dose for each age group. Once determined, contaminant dose is multiplied by the cancer potency factor (“CPF”) in units of inverse dose expressed in milligrams per kilogram per day (mg/kg/day<sup>-1</sup>) to derive the cancer risk estimate. Therefore, to assess exposures, we utilized the following dose algorithm:

$$Dose_{AIR,per\ age\ group} = C_{air} \times EF \times \left[ \frac{BR}{BW} \right] \times A \times CF$$

where:

- Dose<sub>AIR</sub> = dose by inhalation (mg/kg/day), per age group
- C<sub>air</sub> = concentration of contaminant in air (µg/m<sup>3</sup>)
- EF = exposure frequency (number of days/365 days)
- BR/BW = daily breathing rate normalized to body weight (L/kg/day)
- A = inhalation absorption factor (default = 1)
- CF = conversion factor (1x10<sup>-6</sup>, µg to mg, L to m<sup>3</sup>)

To calculate the overall cancer risk, we used the following equation for each appropriate age group:

$$Cancer\ Risk_{AIR} = Dose_{AIR} \times CPF \times ASF \times FAH \times \frac{ED}{AT}$$

<sup>23</sup> “Supplemental Guidelines for Preparing Risk Assessments for the Air Toxics ‘Hot Spots’ Information and Assessment Act.” SCAQMD, October 2020, available at: <http://www.aqmd.gov/docs/default-source/planning/risk-assessment/ab-2588-supplemental-guidelines.pdf?sfvrsn=19>, p. 19; see also “Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>.

<sup>24</sup> “Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-5 Table 8.3.

<sup>25</sup> “Risk Assessment Procedures.” SCAQMD, August 2017, available at: [http://www.aqmd.gov/docs/default-source/rule-book/Proposed-Rules/1401/riskassessmentprocedures\\_2017\\_080717.pdf](http://www.aqmd.gov/docs/default-source/rule-book/Proposed-Rules/1401/riskassessmentprocedures_2017_080717.pdf), p. 7.

<sup>26</sup> “Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 5-24.

where:

- Dose<sub>AIR</sub> = dose by inhalation (mg/kg/day), per age group
- CPF = cancer potency factor, chemical-specific (mg/kg/day)<sup>-1</sup>
- ASF = age sensitivity factor, per age group
- FAH = fraction of time at home, per age group (for residential receptors only)
- ED = exposure duration (years)
- AT = averaging time period over which exposure duration is averaged (always 70 years)

Consistent with the 385-day construction schedule, the annualized average concentration for construction was used for the entire third trimester of pregnancy (0.25 years), and the first 0.80 years of the infantile (0 – 2) stage of life. The annualized average concentration for operation was used for the remainder of the 30-year exposure period, which makes up the latter 1.20- years of the infantile stage of life, the entire child stage of life (2 – 16), as well the entire adult (16 – 30 years) stage of life. The results of our calculations are shown in the table below.

<b>The Maximally Exposed Individual at an Existing Residential Receptor</b>				
<b>Age Group</b>	<b>Emissions Source</b>	<b>Duration (years)</b>	<b>Concentration (ug/m3)</b>	<b>Cancer Risk</b>
3rd Trimester	Construction	0.25	0.4121	1.76E-06
	<i>Construction</i>	<i>0.80</i>	<i>0.4121</i>	<i>4.63E-05</i>
	<i>Operation</i>	<i>1.20</i>	<i>0.3269</i>	<i>4.45E-05</i>
Infant (0 - 2)	Total	2		1.01E-04
Child (2 - 16)	Operation	14	0.3269	8.52E-05
Adult (16 - 30)	Operation	14	0.3269	1.31E-05
<b>Lifetime</b>		<b>30</b>		<b>2.04E-04</b>

As demonstrated in the table above, the excess cancer risks for the 3<sup>rd</sup> trimester of pregnancy, infants, children, and adults at the MEIR located approximately 75 meters away, over the course of Project construction and operation, are approximately 1.76, 101, 85.2 and 13.1 in one million, respectively. The excess cancer risk over the course of a residential lifetime (30 years) is approximately 204 in one million. The infant, child and lifetime cancer risks exceed the SCAQMD threshold of 10 in one million, resulting in a potentially significant impact not previously addressed or identified by the IS/MND.

Our analysis represents a screening-level HRA, which is known to be conservative and tends to err on the side of health protection. The purpose of the screening-level HRA is to demonstrate the potential link between Project-generated emissions and adverse health risk impacts. According to the U.S. EPA:

“EPA’s Exposure Assessment Guidelines recommend completing exposure assessments iteratively using a tiered approach to ‘strike a balance between the costs of adding detail and refinement to an assessment and the benefits associated with that additional refinement’ (U.S. EPA, 1992).

In other words, an assessment using basic tools (e.g., simple exposure calculations, default values, rules of thumb, conservative assumptions) can be conducted as the first phase (or tier) of the overall assessment (i.e., a screening-level assessment).

The exposure assessor or risk manager can then determine whether the results of the screening-level assessment warrant further evaluation through refinements of the input data and exposure assumptions or by using more advanced models.”

Screening-level analyses warrant further evaluation in a refined modeling approach. Our screening-level HRA demonstrates that since construction and operation of the Project could result in a potentially significant health risk impact, an EIR should be prepared to include a refined health risk analysis which adequately and accurately evaluates health risk impacts associated with both Project construction and operation. If the refined analysis similarly concludes that the Project would result in a significant health risk impact, then mitigation measures should be incorporated, as described below in the “Feasible Mitigation Measures Available to Reduce Emissions” section.

## Greenhouse Gas

### Failure to Adequately Evaluate Greenhouse Gas Impacts

The IS/MND estimates that the Project would generate net annual greenhouse gas (“GHG”) emissions of 2,651.2 metric tons of carbon dioxide equivalents per year (“MT CO<sub>2</sub>e/year”) (p. 79, Table 9).

**Table 9. Estimated Annual Operational Emissions**

Emissions Source	Total CO <sub>2</sub> e Emissions (MT CO <sub>2</sub> e)
Electricity	355.0
Natural Gas	176.8
Solid Waste	68.2
Water Use	90.6
Area Sources	4.5
Mobile Sources	1,944.0
Total Operation	2,639.1
Amortized Construction Emissions	12.1
<b>Total Project Emissions</b>	<b>2651.2</b>

As demonstrated above, the IS/MND concludes that Project’s GHG emissions which exceeds the Tier 3 screening threshold of 2,520 MT CO<sub>2</sub>e/year. As such, the proposed Project is compared to the Tier 4 efficient metric threshold of 4.0 MT CO<sub>2</sub>e/yr/SP (IS/MND, p. 78). The proposed Project does not exceed this threshold, as the Project’s estimated emission efficiency is 3.5 MT CO<sub>2</sub>e/SP/yr. The IS/MND consequently concludes that the Project would result in a less-than-significant impact (IS/MND, p. 78).

However, the IS/MND’s analysis, as well as the subsequent less-than-significant impact conclusion, is incorrect for three reasons.

- (1) The IS/MND’s quantitative GHG analysis relies upon a flawed air model;
- (2) The IS/MND’s quantitative GHG analysis relies upon an outdated threshold; and
- (3) The IS/MND’s unsubstantiated air model indicates a potentially significant impact.

### *1) Incorrect and Unsubstantiated Quantitative Analysis of Emissions*

As previously stated, the IS/MND estimates that the Project would generate net annual GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year (p. 79, Table 9). However, the IS/MND’s quantitative GHG analysis is unsubstantiated. As previously discussed, the IS/MND relies on CalEEMod Version 2020.4.0 to estimate the Project’s air quality emissions and fails to provide the complete output files required to adequately evaluate model’s analysis. Furthermore, when reviewing the CalEEMod output files included in the AQ & GHG Assessment, we were able to identify several model inputs that are inconsistent with information disclosed in the IS/MND. As a result, the models may underestimate the Project’s emissions, and the IS/MND’s quantitative GHG analysis should not be relied upon to determine Project significance. An EIR should be prepared that adequately assesses the potential GHG impacts that construction and operation of the proposed Project may have on the environment.

### *2) Incorrect Reliance on an Outdated Quantitative GHG Threshold*

As previously stated, the IS/MND estimates that the Project would generate net annual GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year, which would not exceed the Tier 4 efficient threshold of 4.0 MT CO<sub>2</sub>e/yr/SP (IS/MND, p. 78). However, the guidance that provided the 4.0 MT CO<sub>2</sub>e/year threshold, the SCAQMD’s 2008 *Interim CEQA GHG Significance Threshold for Stationary Sources, Rules, and Plans* report, was developed when the Global Warming Solutions Act of 2006, commonly known as “AB 32”, was the governing statute for GHG reductions in California. AB 32 requires California to reduce GHG emissions to 1990 levels by 2020.<sup>27</sup> Furthermore, AEP guidance states:

“[F]or evaluating projects with a post 2020 horizon, the threshold will need to be revised based on a new gap analysis that would examine 17 development and reduction potentials out to the next GHG reduction milestone.”<sup>28</sup>

As it is currently January 2023, thresholds for 2020 are not applicable to the proposed Project and should be revised to reflect the current GHG reduction target. As such, the SCAQMD bright-line threshold of 4.0 MT CO<sub>2</sub>e/yr/SP is outdated and inapplicable to the proposed Project, and the IS/MND’s less-than-significant GHG impact conclusion should not be relied upon. Instead, we recommend that the Project apply the SCAQMD 2035 service population efficiency target of 3.0 metric tons of carbon dioxide

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<sup>27</sup> “Health & Safety Code 38550.” California State Legislature, January 2007, *available at*: [https://leginfo.ca.gov/faces/codes\\_displaySection.xhtml?lawCode=HSC&sectionNum=38550](https://leginfo.ca.gov/faces/codes_displaySection.xhtml?lawCode=HSC&sectionNum=38550).

<sup>28</sup> “Beyond Newhall and 2020: A Field Guide to New CEQA Greenhouse Gas Thresholds and Climate Action Plan Targets for California.” Association of Environmental Professionals (AEP), October 2016, *available at*: [https://califaep.org/docs/AEP-2016\\_Final\\_White\\_Paper.pdf](https://califaep.org/docs/AEP-2016_Final_White_Paper.pdf), p. 39.

equivalents per service population per year (“MT CO<sub>2</sub>e/SP/year”), which was calculated by applying a 40% reduction to the 2020 targets.<sup>29</sup>

### 3) Failure to Identify a Potentially Significant GHG Impact

In an effort to quantitatively evaluate the Project’s GHG emissions, we compared the Project’s GHG emissions, as estimated by the IS/MND, to the SCAQMD 2035 service population efficiency target of 3.0 MT CO<sub>2</sub>e/SP/year. When applying this threshold, the Project’s air model indicates a potentially significant GHG impact. As previously stated, the IS/MND estimates that the Project would generate net annual GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year (p. 79, Table 9). According to CAPCOA’s *CEQA & Climate Change* report, a service population (“SP”) is defined as “the sum of the number of residents and the number of jobs supported by the project.”<sup>30</sup> Furthermore, according to the IS/MND, the Project’s service population would be 751 (p. 78).<sup>31</sup> When dividing the Project’s net annual GHG emissions, as estimated by the IS/MND, by an SP of 751 people, we find that the Project would emit approximately 3.5 MT CO<sub>2</sub>e/SP/year (see table below).<sup>32</sup>

IS/MND Greenhouse Gas Emissions	
Annual Emissions (MT CO <sub>2</sub> e/year)	2,651
Service Population	751
Service Population Efficiency (MT CO <sub>2</sub> e/SP/year)	3.5
<b>SCAQMD 2035 Threshold</b>	<b>3.0</b>
<i>Exceeds?</i>	<b>Yes</b>

As demonstrated above, the Project’s service population efficiency value, as estimated by the IS/MND’s provided net annual GHG emission estimates and SP, exceeds the SCAQMD 2035 efficiency target of 3.0 MT CO<sub>2</sub>e/SP/year, indicating a potentially significant impact not previously identified or addressed by the IS/MND. As a result, the IS/MND’s less-than-significant GHG impact conclusion should not be relied upon. An EIR should be prepared to include an updated GHG analysis which incorporates additional mitigation measures to reduce the Project’s GHG emissions to less-than-significant levels.

## Mitigation

### Feasible Mitigation Measures Available to Reduce Emissions

Our analysis demonstrates that the Project would result in potentially significant air quality, health risk, and GHG impacts that should be mitigated further. As such, in an effort to reduce the Project’s

<sup>29</sup> “Minutes for the GHG CEQA Significance Threshold Stakeholder Working Group #15.” SCAQMD, September 2010, available at: [http://www.aqmd.gov/docs/default-source/ceqa/handbook/greenhouse-gases-\(ghg\)-ceqa-significance-thresholds/year-2008-2009/ghg-meeting-15/ghg-meeting-15-minutes.pdf](http://www.aqmd.gov/docs/default-source/ceqa/handbook/greenhouse-gases-(ghg)-ceqa-significance-thresholds/year-2008-2009/ghg-meeting-15/ghg-meeting-15-minutes.pdf), p. 2.

<sup>30</sup> CAPCOA (Jan. 2008) *CEQA & Climate Change*, p. 71-72, <http://www.capcoa.org/wp-content/uploads/2012/03/CAPCOA-White-Paper.pdf>.

<sup>32</sup> Calculated: (2,651 MT CO<sub>2</sub>e/year) / (751 service population) = (3.5 MT CO<sub>2</sub>e/SP/year).

emissions, we identified several mitigation measures that are applicable to the proposed Project. Therefore, to reduce the Project’s emissions, we recommend consideration of SCAG’s 2020 RTP/SCS PEIR’s Air Quality Project Level Mitigation Measures (“PMM-AQ-1”) and Greenhouse Gas Project Level Mitigation Measures (“PMM-GHG-1”), as described below:<sup>33</sup>

<b>SCAG RTP/SCS 2020-2045</b>
<b>Air Quality Project Level Mitigation Measures – PMM-AQ-1:</b>
In accordance with provisions of sections 15091(a)(2) and 15126.4(a)(1)(B) of the <i>State CEQA Guidelines</i> , a Lead Agency for a project can and should consider mitigation measures to reduce substantial adverse effects related to violating air quality standards. Such measures may include the following or other comparable measures identified by the Lead Agency:
a) Minimize land disturbance.
b) Suspend grading and earth moving when wind gusts exceed 25 miles per hour unless the soil is wet enough to prevent dust plumes.
c) Cover trucks when hauling dirt.
d) Stabilize the surface of dirt piles if not removed immediately.
e) Limit vehicular paths on unpaved surfaces and stabilize any temporary roads.
f) Minimize unnecessary vehicular and machinery activities.
g) Sweep paved streets at least once per day where there is evidence of dirt that has been carried on to the roadway.
h) Revegetate disturbed land, including vehicular paths created during construction to avoid future off-road vehicular activities.
j) Require contractors to assemble a comprehensive inventory list (i.e., make, model, engine year, horsepower, emission rates) of all heavy-duty off-road (portable and mobile) equipment (50 horsepower and greater) that could be used an aggregate of 40 or more hours for the construction project. Prepare a plan for approval by the applicable air district demonstrating achievement of the applicable percent reduction for a CARB-approved fleet.
k) Ensure that all construction equipment is properly tuned and maintained.
l) Minimize idling time to 5 minutes—saves fuel and reduces emissions.
m) Provide an operational water truck on-site at all times. Use watering trucks to minimize dust; watering should be sufficient to confine dust plumes to the project work areas. Sweep paved streets at least once per day where there is evidence of dirt that has been carried on to the roadway.
n) Utilize existing power sources (e.g., power poles) or clean fuel generators rather than temporary power generators.
o) Develop a traffic plan to minimize traffic flow interference from construction activities. The plan may include advance public notice of routing, use of public transportation, and satellite parking areas with a shuttle service. Schedule operations affecting traffic for off-peak hours. Minimize obstruction of through-traffic lanes. Provide a flag person to guide traffic properly and ensure safety at construction sites.

<sup>33</sup> “4.0 Mitigation Measures.” Connect SoCal Program Environmental Impact Report Addendum #1, September 2020, available at: [https://scag.ca.gov/sites/main/files/file-attachments/fpeir\\_connectsocial\\_addendum\\_4\\_mitigationmeasures.pdf?1606004420](https://scag.ca.gov/sites/main/files/file-attachments/fpeir_connectsocial_addendum_4_mitigationmeasures.pdf?1606004420), p. 4.0-2 – 4.0-10; 4.0-19 – 4.0-23; See also: “Certified Final Connect SoCal Program Environmental Impact Report.” Southern California Association of Governments (SCAG), May 2020, available at: <https://scag.ca.gov/peir>.

p) As appropriate require that portable engines and portable engine-driven equipment units used at the project work site, with the exception of on-road and off-road motor vehicles, obtain CARB Portable Equipment Registration with the state or a local district permit. Arrange appropriate consultations with the CARB or the District to determine registration and permitting requirements prior to equipment operation at the site.
q) Require projects within 500 feet of residences, hospitals, or schools to use Tier 4 equipment for all engines above 50 horsepower (hp) unless the individual project can demonstrate that Tier 4 engines would not be required to mitigate emissions below significance thresholds.
r) Projects located within the South Coast Air Basin should consider applying for South Coast AQMD "SOON" funds which provides funds to applicable fleets for the purchase of commercially available low-emission heavy-duty engines to achieve near-term reduction of NOx emissions from in-use off-road diesel vehicles.
s) Projects located within AB 617 communities should review the applicable Community Emissions Reduction Plan (CERP) for additional mitigation that can be applied to individual projects.
t) Where applicable, projects should provide information about air quality related programs to schools, including the Environmental Justice Community Partnerships (EJCP), Clean Air Ranger Education (CARE), and Why Air Quality Matters programs.
u) Projects should work with local cities and counties to install adequate signage that prohibits truck idling in certain locations (e.g., near schools and sensitive receptors).
z) Develop an ongoing monitoring, inspection, and maintenance program for the MERV filters.
aa) Consult the SCAG Environmental Justice Toolbox for potential measures to address impacts to low-income and/or minority communities.
bb) The following criteria related to diesel emissions shall be implemented on by individual project sponsors as appropriate and feasible: <ul style="list-style-type: none"> <li>- Diesel nonroad vehicles on site for more than 10 total days shall have either (1) engines that meet EPA on road emissions standards or (2) emission control technology verified by EPA or CARB to reduce PM emissions by a minimum of 85%</li> <li>- Diesel generators on site for more than 10 total days shall be equipped with emission control technology verified by EPA or CARB to reduce PM emissions by a minimum of 85%.</li> <li>- Nonroad diesel engines on site shall be Tier 2 or higher.</li> <li>- Diesel nonroad construction equipment on site for more than 10 total days shall have either (1) engines meeting EPA Tier 4 nonroad emissions standards or (2) emission control technology verified by EPA or CARB for use with nonroad engines to reduce PM emissions by a minimum of 85% for engines for 50 hp and greater and by a minimum of 20% for engines less than 50 hp.</li> <li>- Emission control technology shall be operated, maintained, and serviced as recommended by the emission control technology manufacturer.</li> <li>- Diesel vehicles, construction equipment, and generators on site shall be fueled with ultra-low sulfur diesel fuel (ULSD) or a biodiesel blend approved by the original engine manufacturer with sulfur content of 15 ppm or less.</li> <li>- The construction contractor shall maintain a list of all diesel vehicles, construction equipment, and generators to be used on site. The list shall include the following: <ul style="list-style-type: none"> <li>i. Contractor and subcontractor name and address, plus contact person responsible for the vehicles or equipment.</li> <li>ii. Equipment type, equipment manufacturer, equipment serial number, engine manufacturer, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation.</li> <li>iii. For the emission control technology installed: technology type, serial number, make, model, manufacturer, EPA/CARB verification number/level, and installation date and hour-meter reading on installation date.</li> </ul> </li> <li>- The contractor shall establish generator sites and truck-staging zones for vehicles waiting to load or unload material on site. Such zones shall be located where diesel emissions have the least impact on abutters, the general public, and especially sensitive receptors such as hospitals, schools, daycare facilities, elderly housing, and convalescent facilities.</li> </ul>

- The contractor shall maintain a monthly report that, for each on road diesel vehicle, nonroad construction equipment, or generator onsite, includes:
  - i. Hour-meter readings on arrival on-site, the first and last day of every month, and on off-site date.
  - ii. Any problems with the equipment or emission controls.
  - iii. Certified copies of fuel deliveries for the time period that identify:
    - 1. Source of supply
    - 2. Quantity of fuel
    - 3. Quantity of fuel, including sulfur content (percent by weight)

cc) Project should exceed Title-24 Building Envelope Energy Efficiency Standards (California Building Standards Code). The following measures can be used to increase energy efficiency:

- Provide pedestrian network improvements, such as interconnected street network, narrower roadways and shorter block lengths, sidewalks, accessibility to transit and transit shelters, traffic calming measures, parks and public spaces, minimize pedestrian barriers.
- Provide traffic calming measures, such as:
  - i. Marked crosswalks
  - ii. Count-down signal timers
  - iii. Curb extensions
  - iv. Speed tables
  - v. Raised crosswalks
  - vi. Raised intersections
  - vii. Median islands
  - viii. Tight corner radii
  - ix. Roundabouts or mini-circles
  - x. On-street parking
  - xi. Chicanes/chokers
- Create urban non-motorized zones
- Provide bike parking in non-residential and multi-unit residential projects
- Dedicate land for bike trails
- Limit parking supply through:
  - i. Elimination (or reduction) of minimum parking requirements
  - ii. Creation of maximum parking requirements
  - iii. Provision of shared parking
- Require residential area parking permit.
- Provide ride-sharing programs
  - i. Designate a certain percentage of parking spacing for ride sharing vehicles
  - ii. Designating adequate passenger loading and unloading and waiting areas for ride-sharing vehicles
  - iii. Providing a web site or messaging board for coordinating rides
  - iv. Permanent transportation management association membership and finding requirement.

**Greenhouse Gas Project Level Mitigation Measures – PMM-GHG-1**

In accordance with provisions of sections 15091(a)(2) and 15126.4(a)(1)(B) of the *State CEQA Guidelines*, a Lead Agency for a project can and should consider mitigation measures to reduce substantial adverse effects related to violating air quality standards. Such measures may include the following or other comparable measures identified by the Lead Agency:

b) Reduce emissions resulting from projects through implementation of project features, project design, or other measures, such as those described in Appendix F of the State CEQA Guidelines.

c) Include off-site measures to mitigate a project’s emissions.

d) Measures that consider incorporation of Best Available Control Technology (BACT) during design, construction and operation of projects to minimize GHG emissions, including but not limited to:

- i. Use energy and fuel-efficient vehicles and equipment;
- ii. Deployment of zero- and/or near zero emission technologies;
- iii. Use lighting systems that are energy efficient, such as LED technology;
- iv. Use the minimum feasible amount of GHG-emitting construction materials;
- v. Use cement blended with the maximum feasible amount of flash or other materials that reduce GHG emissions from cement production;
- vi. Incorporate design measures to reduce GHG emissions from solid waste management through encouraging solid waste recycling and reuse;
- vii. Incorporate design measures to reduce energy consumption and increase use of renewable energy;
- viii. Incorporate design measures to reduce water consumption;
- ix. Use lighter-colored pavement where feasible;
- x. Recycle construction debris to maximum extent feasible;
- xi. Plant shade trees in or near construction projects where feasible; and
- xii. Solicit bids that include concepts listed above.

e) Measures that encourage transit use, carpooling, bike-share and car-share programs, active transportation, and parking strategies, including, but not limited to the following:

- i. Promote transit-active transportation coordinated strategies;
- ii. Increase bicycle carrying capacity on transit and rail vehicles;
- iii. Improve or increase access to transit;
- iv. Increase access to common goods and services, such as groceries, schools, and day care;
- v. Incorporate affordable housing into the project;
- vi. Incorporate the neighborhood electric vehicle network;
- vii. Orient the project toward transit, bicycle and pedestrian facilities;
- viii. Improve pedestrian or bicycle networks, or transit service;
- ix. Provide traffic calming measures;
- x. Provide bicycle parking;
- xi. Limit or eliminate park supply;
- xii. Unbundle parking costs;
- xiii. Provide parking cash-out programs;
- xiv. Implement or provide access to commute reduction program;

f) Incorporate bicycle and pedestrian facilities into project designs, maintaining these facilities, and providing amenities incentivizing their use; and planning for and building local bicycle projects that connect with the regional network;

g) Improving transit access to rail and bus routes by incentives for construction and transit facilities within developments, and/or providing dedicated shuttle service to transit stations; and

h) Adopting employer trip reduction measures to reduce employee trips such as vanpool and carpool programs, providing end-of-trip facilities, and telecommuting programs including but not limited to measures that:

- i. Provide car-sharing, bike sharing, and ride-sharing programs;
- ii. Provide transit passes;
- iii. Shift single occupancy vehicle trips to carpooling or vanpooling, for example providing ride-matching services;
- iv. Provide incentives or subsidies that increase that use of modes other than single-occupancy vehicle;
- v. Provide on-site amenities at places of work, such as priority parking for carpools and vanpools, secure bike parking, and showers and locker rooms;

<ul style="list-style-type: none"> <li>vi. Provide employee transportation coordinators at employment sites;</li> <li>vii. Provide a guaranteed ride home service to users of non-auto modes.</li> </ul>
i) Designate a percentage of parking spaces for ride-sharing vehicles or high-occupancy vehicles, and provide adequate passenger loading and unloading for those vehicles;
j) Land use siting and design measures that reduce GHG emissions, including: <ul style="list-style-type: none"> <li>i. Developing on infill and brownfields sites;</li> <li>ii. Building compact and mixed-use developments near transit;</li> <li>iii. Retaining on-site mature trees and vegetation, and planting new canopy trees;</li> <li>iv. Measures that increase vehicle efficiency, encourage use of zero and low emissions vehicles, or reduce the carbon content of fuels, including constructing or encouraging construction of electric vehicle charging stations or neighborhood electric vehicle networks, or charging for electric bicycles; and</li> <li>v. Measures to reduce GHG emissions from solid waste management through encouraging solid waste recycling and reuse.</li> </ul>
k) Consult the SCAG Environmental Justice Toolbox for potential measures to address impacts to low-income and/or minority communities. The measures provided above are also intended to be applied in low income and minority communities as applicable and feasible.
l) Require at least five percent of all vehicle parking spaces include electric vehicle charging stations, or at a minimum, require the appropriate infrastructure to facilitate sufficient electric charging for passenger vehicles and trucks to plug-in.
m) Encourage telecommuting and alternative work schedules, such as: <ul style="list-style-type: none"> <li>i. Staggered starting times</li> <li>ii. Flexible schedules</li> <li>iii. Compressed work weeks</li> </ul>
n) Implement commute trip reduction marketing, such as: <ul style="list-style-type: none"> <li>i. New employee orientation of trip reduction and alternative mode options</li> <li>ii. Event promotions</li> <li>iii. Publications</li> </ul>
o) Implement preferential parking permit program
p) Implement school pool and bus programs
q) Price workplace parking, such as: <ul style="list-style-type: none"> <li>i. Explicitly charging for parking for its employees;</li> <li>ii. Implementing above market rate pricing;</li> <li>iii. Validating parking only for invited guests;</li> <li>iv. Not providing employee parking and transportation allowances; and</li> <li>v. Educating employees about available alternatives.</li> </ul>

These measures offer a cost-effective, feasible way to incorporate lower-emitting design features into the proposed Project, which subsequently, reduce emissions released during Project construction and operation.

As it is policy of the State that eligible renewable energy resources and zero-carbon resources supply 100% of retail sales of electricity to California end-use customers by December 31, 2045, we emphasize that the energy mix that will charge the batteries and power electrical equipment must be 100%

renewable energy resources. Until the feasibility of charging the batteries with renewable energy resources only is evaluated, the Project should not be approved.

An EIR should be prepared to include all feasible mitigation measures, as well as include updated air quality, health risk, and GHG analyses to ensure that the necessary mitigation measures are implemented to reduce emissions to below thresholds. The EIR should also demonstrate a commitment to the implementation of these measures prior to Project approval, to ensure that the Project's significant emissions are reduced to the maximum extent possible.

## Disclaimer

SWAPE has received limited discovery regarding this project. Additional information may become available in the future; thus, we retain the right to revise or amend this report when additional information becomes available. Our professional services have been performed using that degree of care and skill ordinarily exercised, under similar circumstances, by reputable environmental consultants practicing in this or similar localities at the time of service. No other warranty, expressed or implied, is made as to the scope of work, work methodologies and protocols, site conditions, analytical testing results, and findings presented. This report reflects efforts which were limited to information that was reasonably accessible at the time of the work, and may contain informational gaps, inconsistencies, or otherwise be incomplete due to the unavailability or uncertainty of information obtained or provided by third parties.

Sincerely,



Matt Hagemann, P.G., C.Hg.



Paul E. Rosenfeld, Ph.D.

Attachment A: Updated Construction Schedule Calculations  
Attachment B: SWAPE's CalEEMod Output Files  
Attachment C: Updated Health Risk Calculations  
Attachment D: AERSCREEN Output Files  
Attachment E: Matt Hagemann CV  
Attachment F: Paul Rosenfeld CV

Construction Schedule Calculations						
Phase	Default Phase Length	Construction Duration	%	Construction Duration	Revised Phase Length	
Demolition	20	343	0.0583	385	22	
Site Preparation	2	343	0.0058	385	2	
Grading	4	343	0.0117	385	4	
Construction	200	343	0.5831	385	224	
Paving	10	343	0.0292	385	11	
Architectural Coating	10	343	0.0292	385	11	

	Total Default Construction Duration	Revised Construction Duration
Start Date	10/29/2021	10/29/2021
End Date	10/7/2022	11/18/2022
Total Days	343	385

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

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1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Government Office Building	6.42	1000sqft	0.15	6,416.00	0
Enclosed Parking Structure	151.90	1000sqft	0.51	151,900.00	0
Recreational Swimming Pool	1.22	1000sqft	0.03	1,217.00	0
Apartments Low Rise	260.00	Dwelling Unit	1.18	260,000.00	744
Strip Mall	3.00	1000sqft	0.07	3,000.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2023
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	390.98	CH4 Intensity (lb/MWhr)	0.033	N2O Intensity (lb/MWhr)	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics - Consistent with IS/MND's model.

Land Use - Consistent with IS/MND's model

Construction Phase - See comment on "Unsubstantiated Changes to Individual Construction Phase Lengths".

Off-road Equipment - Consistent with IS/MND's model.

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Off-road Equipment - Consistent with IS/MND's model.

Demolition - Consistent with IS/MND's model.

Grading - See comment on "Unsubstantiated Reductions to Acres of Grading Values".

Architectural Coating - Consistent with IS/MND's model.

Vehicle Trips - Consistent with IS/MND's model.

Water And Wastewater - Consistent with IS/MND's model.

Trips and VMT - Consistent with IS/MND's model.

On-road Fugitive Dust - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Fleet Mix - Consistent with IS/MND's model.

Road Dust - Consistent with IS/MND's model.

Woodstoves - Consistent with IS/MND's model.

Consumer Products - Consistent with IS/MND's model.

Area Coating - Consistent with IS/MND's model.

Landscape Equipment - Consistent with IS/MND's model.

Energy Use - Consistent with IS/MND's model.

Solid Waste - Consistent with IS/MND's model.

Operational Off-Road Equipment - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps EF - Consistent with IS/MND's model.

Stationary Sources - Process Boilers - Consistent with IS/MND's model.

Stationary Sources - Process Boilers EF - Consistent with IS/MND's model.

Stationary Sources - User Defined - Consistent with IS/MND's model.

Land Use Change - Consistent with IS/MND's model.

Sequestration - Consistent with IS/MND's model.

Construction Off-road Equipment Mitigation - Consistent with IS/MND's model.

Mobile Land Use Mitigation - Consistent with IS/MND's model.

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Mobile Commute Mitigation - Consistent with IS/MND's model.

Area Mitigation - Consistent with IS/MND's model.

Energy Mitigation - Consistent with IS/MND's model.

Water Mitigation - Consistent with IS/MND's model.

Waste Mitigation - Consistent with IS/MND's model.

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	11.00
tblConstructionPhase	NumDays	200.00	224.00
tblConstructionPhase	NumDays	20.00	22.00
tblConstructionPhase	NumDays	10.00	11.00
tblLandUse	LandUseSquareFeet	6,420.00	6,416.00
tblLandUse	LandUseSquareFeet	1,220.00	1,217.00
tblLandUse	LotAcreage	3.49	0.51
tblLandUse	LotAcreage	16.25	1.18

**2.0 Emissions Summary**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2021	0.0525	0.4307	0.3949	8.6000e-004	0.0506	0.0208	0.0713	0.0179	0.0195	0.0375	0.0000	76.0346	76.0346	0.0116	1.9200e-003	76.8979
2022	1.1423	1.6546	2.2931	5.9200e-003	0.3272	0.0671	0.3943	0.0877	0.0646	0.1523	0.0000	530.4771	530.4771	0.0464	0.0208	537.8289
<b>Maximum</b>	<b>1.1423</b>	<b>1.6546</b>	<b>2.2931</b>	<b>5.9200e-003</b>	<b>0.3272</b>	<b>0.0671</b>	<b>0.3943</b>	<b>0.0877</b>	<b>0.0646</b>	<b>0.1523</b>	<b>0.0000</b>	<b>530.4771</b>	<b>530.4771</b>	<b>0.0464</b>	<b>0.0208</b>	<b>537.8289</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2021	0.0525	0.4307	0.3949	8.6000e-004	0.0506	0.0208	0.0713	0.0179	0.0195	0.0375	0.0000	76.0346	76.0346	0.0116	1.9200e-003	76.8978
2022	1.1423	1.6546	2.2931	5.9200e-003	0.3272	0.0671	0.3943	0.0877	0.0646	0.1523	0.0000	530.4768	530.4768	0.0464	0.0208	537.8286
<b>Maximum</b>	<b>1.1423</b>	<b>1.6546</b>	<b>2.2931</b>	<b>5.9200e-003</b>	<b>0.3272</b>	<b>0.0671</b>	<b>0.3943</b>	<b>0.0877</b>	<b>0.0646</b>	<b>0.1523</b>	<b>0.0000</b>	<b>530.4768</b>	<b>530.4768</b>	<b>0.0464</b>	<b>0.0208</b>	<b>537.8286</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	10-29-2021	1-28-2022	0.6635	0.6635
2	1-29-2022	4-28-2022	0.5816	0.5816
3	4-29-2022	7-28-2022	0.5833	0.5833
4	7-29-2022	9-30-2022	0.4102	0.4102
		Highest	0.6635	0.6635

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943
Energy	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	523.8268	523.8268	0.0328	6.7800e-003	526.6668
Mobile	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.5483	2,302.5483	0.1407	0.0967	2,334.8791
Waste						0.0000	0.0000		0.0000	0.0000	27.5398	0.0000	27.5398	1.6276	0.0000	68.2287
Water						0.0000	0.0000		0.0000	0.0000	5.8723	65.6809	71.5532	0.6087	0.0149	91.2146
<b>Total</b>	<b>3.0640</b>	<b>1.4475</b>	<b>15.1732</b>	<b>0.0300</b>	<b>2.6451</b>	<b>0.2925</b>	<b>2.9376</b>	<b>0.7060</b>	<b>0.2913</b>	<b>0.9973</b>	<b>61.0291</b>	<b>2,949.5102</b>	<b>3,010.5392</b>	<b>2.4963</b>	<b>0.1203</b>	<b>3,108.7834</b>

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2.2 Overall Operational

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943
Energy	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	523.8268	523.8268	0.0328	6.7800e-003	526.6668
Mobile	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.5483	2,302.5483	0.1407	0.0967	2,334.8791
Waste						0.0000	0.0000		0.0000	0.0000	27.5398	0.0000	27.5398	1.6276	0.0000	68.2287
Water						0.0000	0.0000		0.0000	0.0000	5.8723	65.6809	71.5532	0.6087	0.0149	91.2146
<b>Total</b>	<b>3.0640</b>	<b>1.4475</b>	<b>15.1732</b>	<b>0.0300</b>	<b>2.6451</b>	<b>0.2925</b>	<b>2.9376</b>	<b>0.7060</b>	<b>0.2913</b>	<b>0.9973</b>	<b>61.0291</b>	<b>2,949.5102</b>	<b>3,010.5392</b>	<b>2.4963</b>	<b>0.1203</b>	<b>3,108.7834</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/29/2021	11/29/2021	5	22	
2	Site Preparation	Site Preparation	11/30/2021	12/1/2021	5	2	
3	Grading	Grading	12/2/2021	12/7/2021	5	4	

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4	Building Construction	Building Construction	12/8/2021	10/17/2022	5	224
5	Paving	Paving	10/18/2022	11/1/2022	5	11
6	Architectural Coating	Architectural Coating	11/2/2022	11/16/2022	5	11

**Acres of Grading (Site Preparation Phase): 1.88**

**Acres of Grading (Grading Phase): 4**

**Acres of Paving: 0.51**

**Residential Indoor: 526,500; Residential Outdoor: 175,500; Non-Residential Indoor: 14,124; Non-Residential Outdoor: 4,708; Striped Parking Area: 9,114 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36

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Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	255.00	54.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	51.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

**3.2 Demolition - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0219	0.2167	0.1594	2.7000e-004		0.0115	0.0115		0.0107	0.0107	0.0000	23.1785	23.1785	5.9300e-003	0.0000	23.3266
<b>Total</b>	<b>0.0219</b>	<b>0.2167</b>	<b>0.1594</b>	<b>2.7000e-004</b>		<b>0.0115</b>	<b>0.0115</b>		<b>0.0107</b>	<b>0.0107</b>	<b>0.0000</b>	<b>23.1785</b>	<b>23.1785</b>	<b>5.9300e-003</b>	<b>0.0000</b>	<b>23.3266</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.7000e-004	4.8400e-003	1.0000e-005	1.5700e-003	1.0000e-005	1.5800e-003	4.2000e-004	1.0000e-005	4.3000e-004	0.0000	1.2745	1.2745	3.0000e-005	3.0000e-005	1.2853
<b>Total</b>	<b>4.6000e-004</b>	<b>3.7000e-004</b>	<b>4.8400e-003</b>	<b>1.0000e-005</b>	<b>1.5700e-003</b>	<b>1.0000e-005</b>	<b>1.5800e-003</b>	<b>4.2000e-004</b>	<b>1.0000e-005</b>	<b>4.3000e-004</b>	<b>0.0000</b>	<b>1.2745</b>	<b>1.2745</b>	<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>1.2853</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0219	0.2167	0.1594	2.7000e-004		0.0115	0.0115		0.0107	0.0107	0.0000	23.1784	23.1784	5.9300e-003	0.0000	23.3266
<b>Total</b>	<b>0.0219</b>	<b>0.2167</b>	<b>0.1594</b>	<b>2.7000e-004</b>		<b>0.0115</b>	<b>0.0115</b>		<b>0.0107</b>	<b>0.0107</b>	<b>0.0000</b>	<b>23.1784</b>	<b>23.1784</b>	<b>5.9300e-003</b>	<b>0.0000</b>	<b>23.3266</b>

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**3.2 Demolition - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.7000e-004	4.8400e-003	1.0000e-005	1.5700e-003	1.0000e-005	1.5800e-003	4.2000e-004	1.0000e-005	4.3000e-004	0.0000	1.2745	1.2745	3.0000e-005	3.0000e-005	1.2853
<b>Total</b>	<b>4.6000e-004</b>	<b>3.7000e-004</b>	<b>4.8400e-003</b>	<b>1.0000e-005</b>	<b>1.5700e-003</b>	<b>1.0000e-005</b>	<b>1.5800e-003</b>	<b>4.2000e-004</b>	<b>1.0000e-005</b>	<b>4.3000e-004</b>	<b>0.0000</b>	<b>1.2745</b>	<b>1.2745</b>	<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>1.2853</b>

**3.3 Site Preparation - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					6.2700e-003	0.0000	6.2700e-003	3.0000e-003	0.0000	3.0000e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.5600e-003	0.0174	7.5600e-003	2.0000e-005		7.7000e-004	7.7000e-004		7.0000e-004	7.0000e-004	0.0000	1.5118	1.5118	4.9000e-004	0.0000	1.5241
<b>Total</b>	<b>1.5600e-003</b>	<b>0.0174</b>	<b>7.5600e-003</b>	<b>2.0000e-005</b>	<b>6.2700e-003</b>	<b>7.7000e-004</b>	<b>7.0400e-003</b>	<b>3.0000e-003</b>	<b>7.0000e-004</b>	<b>3.7000e-003</b>	<b>0.0000</b>	<b>1.5118</b>	<b>1.5118</b>	<b>4.9000e-004</b>	<b>0.0000</b>	<b>1.5241</b>

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**3.3 Site Preparation - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	2.0000e-005	2.7000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0713	0.0713	0.0000	0.0000	0.0719
<b>Total</b>	<b>3.0000e-005</b>	<b>2.0000e-005</b>	<b>2.7000e-004</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0713</b>	<b>0.0713</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0719</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					6.2700e-003	0.0000	6.2700e-003	3.0000e-003	0.0000	3.0000e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.5600e-003	0.0174	7.5600e-003	2.0000e-005		7.7000e-004	7.7000e-004		7.0000e-004	7.0000e-004	0.0000	1.5118	1.5118	4.9000e-004	0.0000	1.5241
<b>Total</b>	<b>1.5600e-003</b>	<b>0.0174</b>	<b>7.5600e-003</b>	<b>2.0000e-005</b>	<b>6.2700e-003</b>	<b>7.7000e-004</b>	<b>7.0400e-003</b>	<b>3.0000e-003</b>	<b>7.0000e-004</b>	<b>3.7000e-003</b>	<b>0.0000</b>	<b>1.5118</b>	<b>1.5118</b>	<b>4.9000e-004</b>	<b>0.0000</b>	<b>1.5241</b>

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**3.3 Site Preparation - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	2.0000e-005	2.7000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0713	0.0713	0.0000	0.0000	0.0719
<b>Total</b>	<b>3.0000e-005</b>	<b>2.0000e-005</b>	<b>2.7000e-004</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0713</b>	<b>0.0713</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0719</b>

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0142	0.0000	0.0142	6.8500e-003	0.0000	6.8500e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.6500e-003	0.0404	0.0195	4.0000e-005		1.8300e-003	1.8300e-003		1.6800e-003	1.6800e-003	0.0000	3.6208	3.6208	1.1700e-003	0.0000	3.6501
<b>Total</b>	<b>3.6500e-003</b>	<b>0.0404</b>	<b>0.0195</b>	<b>4.0000e-005</b>	<b>0.0142</b>	<b>1.8300e-003</b>	<b>0.0160</b>	<b>6.8500e-003</b>	<b>1.6800e-003</b>	<b>8.5300e-003</b>	<b>0.0000</b>	<b>3.6208</b>	<b>3.6208</b>	<b>1.1700e-003</b>	<b>0.0000</b>	<b>3.6501</b>

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**3.4 Grading - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	5.0000e-005	6.8000e-004	0.0000	2.2000e-004	0.0000	2.2000e-004	6.0000e-005	0.0000	6.0000e-005	0.0000	0.1783	0.1783	0.0000	0.0000	0.1798
<b>Total</b>	<b>6.0000e-005</b>	<b>5.0000e-005</b>	<b>6.8000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>0.1783</b>	<b>0.1783</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1798</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0142	0.0000	0.0142	6.8500e-003	0.0000	6.8500e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.6500e-003	0.0404	0.0195	4.0000e-005		1.8300e-003	1.8300e-003		1.6800e-003	1.6800e-003	0.0000	3.6208	3.6208	1.1700e-003	0.0000	3.6501
<b>Total</b>	<b>3.6500e-003</b>	<b>0.0404</b>	<b>0.0195</b>	<b>4.0000e-005</b>	<b>0.0142</b>	<b>1.8300e-003</b>	<b>0.0160</b>	<b>6.8500e-003</b>	<b>1.6800e-003</b>	<b>8.5300e-003</b>	<b>0.0000</b>	<b>3.6208</b>	<b>3.6208</b>	<b>1.1700e-003</b>	<b>0.0000</b>	<b>3.6501</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	5.0000e-005	6.8000e-004	0.0000	2.2000e-004	0.0000	2.2000e-004	6.0000e-005	0.0000	6.0000e-005	0.0000	0.1783	0.1783	0.0000	0.0000	0.1798
<b>Total</b>	<b>6.0000e-005</b>	<b>5.0000e-005</b>	<b>6.8000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>0.1783</b>	<b>0.1783</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1798</b>

**3.5 Building Construction - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0163	0.1227	0.1161	2.0000e-004		6.1600e-003	6.1600e-003		5.9500e-003	5.9500e-003	0.0000	16.3393	16.3393	2.9200e-003	0.0000	16.4122
<b>Total</b>	<b>0.0163</b>	<b>0.1227</b>	<b>0.1161</b>	<b>2.0000e-004</b>		<b>6.1600e-003</b>	<b>6.1600e-003</b>		<b>5.9500e-003</b>	<b>5.9500e-003</b>	<b>0.0000</b>	<b>16.3393</b>	<b>16.3393</b>	<b>2.9200e-003</b>	<b>0.0000</b>	<b>16.4122</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	1.1400e-003	0.0271	8.8400e-003	9.0000e-005	3.0600e-003	3.9000e-004	3.4500e-003	8.8000e-004	3.8000e-004	1.2600e-003	0.0000	9.4061	9.4061	5.3000e-004	1.3400e-003	9.8200
Worker	7.4000e-003	5.8700e-003	0.0777	2.2000e-004	0.0252	1.5000e-004	0.0253	6.6900e-003	1.4000e-004	6.8300e-003	0.0000	20.4542	20.4542	5.4000e-004	5.4000e-004	20.6279
<b>Total</b>	<b>8.5400e-003</b>	<b>0.0330</b>	<b>0.0865</b>	<b>3.1000e-004</b>	<b>0.0283</b>	<b>5.4000e-004</b>	<b>0.0288</b>	<b>7.5700e-003</b>	<b>5.2000e-004</b>	<b>8.0900e-003</b>	<b>0.0000</b>	<b>29.8602</b>	<b>29.8602</b>	<b>1.0700e-003</b>	<b>1.8800e-003</b>	<b>30.4479</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0163	0.1227	0.1161	2.0000e-004		6.1600e-003	6.1600e-003		5.9500e-003	5.9500e-003	0.0000	16.3393	16.3393	2.9200e-003	0.0000	16.4122
<b>Total</b>	<b>0.0163</b>	<b>0.1227</b>	<b>0.1161</b>	<b>2.0000e-004</b>		<b>6.1600e-003</b>	<b>6.1600e-003</b>		<b>5.9500e-003</b>	<b>5.9500e-003</b>	<b>0.0000</b>	<b>16.3393</b>	<b>16.3393</b>	<b>2.9200e-003</b>	<b>0.0000</b>	<b>16.4122</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	1.1400e-003	0.0271	8.8400e-003	9.0000e-005	3.0600e-003	3.9000e-004	3.4500e-003	8.8000e-004	3.8000e-004	1.2600e-003	0.0000	9.4061	9.4061	5.3000e-004	1.3400e-003	9.8200
Worker	7.4000e-003	5.8700e-003	0.0777	2.2000e-004	0.0252	1.5000e-004	0.0253	6.6900e-003	1.4000e-004	6.8300e-003	0.0000	20.4542	20.4542	5.4000e-004	5.4000e-004	20.6279
<b>Total</b>	<b>8.5400e-003</b>	<b>0.0330</b>	<b>0.0865</b>	<b>3.1000e-004</b>	<b>0.0283</b>	<b>5.4000e-004</b>	<b>0.0288</b>	<b>7.5700e-003</b>	<b>5.2000e-004</b>	<b>8.0900e-003</b>	<b>0.0000</b>	<b>29.8602</b>	<b>29.8602</b>	<b>1.0700e-003</b>	<b>1.8800e-003</b>	<b>30.4479</b>

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1698	1.2878	1.3108	2.2700e-003		0.0607	0.0607		0.0586	0.0586	0.0000	187.0242	187.0242	0.0326	0.0000	187.8386
<b>Total</b>	<b>0.1698</b>	<b>1.2878</b>	<b>1.3108</b>	<b>2.2700e-003</b>		<b>0.0607</b>	<b>0.0607</b>		<b>0.0586</b>	<b>0.0586</b>	<b>0.0000</b>	<b>187.0242</b>	<b>187.0242</b>	<b>0.0326</b>	<b>0.0000</b>	<b>187.8386</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	9.1700e-003	0.2614	0.0901	1.0500e-003	0.0350	2.4300e-003	0.0375	0.0101	2.3300e-003	0.0124	0.0000	104.6417	104.6417	5.9900e-003	0.0150	109.2637
Worker	0.0792	0.0595	0.8228	2.4700e-003	0.2883	1.5800e-003	0.2899	0.0766	1.4600e-003	0.0780	0.0000	227.8796	227.8796	5.6300e-003	5.6900e-003	229.7168
<b>Total</b>	<b>0.0883</b>	<b>0.3210</b>	<b>0.9128</b>	<b>3.5200e-003</b>	<b>0.3234</b>	<b>4.0100e-003</b>	<b>0.3274</b>	<b>0.0867</b>	<b>3.7900e-003</b>	<b>0.0905</b>	<b>0.0000</b>	<b>332.5213</b>	<b>332.5213</b>	<b>0.0116</b>	<b>0.0207</b>	<b>338.9805</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1698	1.2878	1.3108	2.2700e-003		0.0607	0.0607		0.0586	0.0586	0.0000	187.0240	187.0240	0.0326	0.0000	187.8384
<b>Total</b>	<b>0.1698</b>	<b>1.2878</b>	<b>1.3108</b>	<b>2.2700e-003</b>		<b>0.0607</b>	<b>0.0607</b>		<b>0.0586</b>	<b>0.0586</b>	<b>0.0000</b>	<b>187.0240</b>	<b>187.0240</b>	<b>0.0326</b>	<b>0.0000</b>	<b>187.8384</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	9.1700e-003	0.2614	0.0901	1.0500e-003	0.0350	2.4300e-003	0.0375	0.0101	2.3300e-003	0.0124	0.0000	104.6417	104.6417	5.9900e-003	0.0150	109.2637
Worker	0.0792	0.0595	0.8228	2.4700e-003	0.2883	1.5800e-003	0.2899	0.0766	1.4600e-003	0.0780	0.0000	227.8796	227.8796	5.6300e-003	5.6900e-003	229.7168
<b>Total</b>	<b>0.0883</b>	<b>0.3210</b>	<b>0.9128</b>	<b>3.5200e-003</b>	<b>0.3234</b>	<b>4.0100e-003</b>	<b>0.3274</b>	<b>0.0867</b>	<b>3.7900e-003</b>	<b>0.0905</b>	<b>0.0000</b>	<b>332.5213</b>	<b>332.5213</b>	<b>0.0116</b>	<b>0.0207</b>	<b>338.9805</b>

**3.6 Paving - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	3.7800e-003	0.0373	0.0484	7.0000e-005		1.9100e-003	1.9100e-003		1.7600e-003	1.7600e-003	0.0000	6.4733	6.4733	2.0500e-003	0.0000	6.5246
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>3.7800e-003</b>	<b>0.0373</b>	<b>0.0484</b>	<b>7.0000e-005</b>		<b>1.9100e-003</b>	<b>1.9100e-003</b>		<b>1.7600e-003</b>	<b>1.7600e-003</b>	<b>0.0000</b>	<b>6.4733</b>	<b>6.4733</b>	<b>2.0500e-003</b>	<b>0.0000</b>	<b>6.5246</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.2000e-004	1.6000e-004	2.2400e-003	1.0000e-005	7.8000e-004	0.0000	7.9000e-004	2.1000e-004	0.0000	2.1000e-004	0.0000	0.6204	0.6204	2.0000e-005	2.0000e-005	0.6254
<b>Total</b>	<b>2.2000e-004</b>	<b>1.6000e-004</b>	<b>2.2400e-003</b>	<b>1.0000e-005</b>	<b>7.8000e-004</b>	<b>0.0000</b>	<b>7.9000e-004</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>0.6204</b>	<b>0.6204</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>0.6254</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	3.7800e-003	0.0373	0.0484	7.0000e-005		1.9100e-003	1.9100e-003		1.7600e-003	1.7600e-003	0.0000	6.4733	6.4733	2.0500e-003	0.0000	6.5246
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>3.7800e-003</b>	<b>0.0373</b>	<b>0.0484</b>	<b>7.0000e-005</b>		<b>1.9100e-003</b>	<b>1.9100e-003</b>		<b>1.7600e-003</b>	<b>1.7600e-003</b>	<b>0.0000</b>	<b>6.4733</b>	<b>6.4733</b>	<b>2.0500e-003</b>	<b>0.0000</b>	<b>6.5246</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.2000e-004	1.6000e-004	2.2400e-003	1.0000e-005	7.8000e-004	0.0000	7.9000e-004	2.1000e-004	0.0000	2.1000e-004	0.0000	0.6204	0.6204	2.0000e-005	2.0000e-005	0.6254
<b>Total</b>	<b>2.2000e-004</b>	<b>1.6000e-004</b>	<b>2.2400e-003</b>	<b>1.0000e-005</b>	<b>7.8000e-004</b>	<b>0.0000</b>	<b>7.9000e-004</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>0.6204</b>	<b>0.6204</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>0.6254</b>

**3.7 Architectural Coating - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.8782					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.1200e-003	7.7500e-003	9.9700e-003	2.0000e-005		4.5000e-004	4.5000e-004		4.5000e-004	4.5000e-004	0.0000	1.4043	1.4043	9.0000e-005	0.0000	1.4066
<b>Total</b>	<b>0.8793</b>	<b>7.7500e-003</b>	<b>9.9700e-003</b>	<b>2.0000e-005</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>	<b>0.0000</b>	<b>1.4043</b>	<b>1.4043</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>1.4066</b>

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**3.7 Architectural Coating - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.5000e-004	6.4000e-004	8.7900e-003	3.0000e-005	3.0800e-003	2.0000e-005	3.1000e-003	8.2000e-004	2.0000e-005	8.3000e-004	0.0000	2.4337	2.4337	6.0000e-005	6.0000e-005	2.4533
<b>Total</b>	<b>8.5000e-004</b>	<b>6.4000e-004</b>	<b>8.7900e-003</b>	<b>3.0000e-005</b>	<b>3.0800e-003</b>	<b>2.0000e-005</b>	<b>3.1000e-003</b>	<b>8.2000e-004</b>	<b>2.0000e-005</b>	<b>8.3000e-004</b>	<b>0.0000</b>	<b>2.4337</b>	<b>2.4337</b>	<b>6.0000e-005</b>	<b>6.0000e-005</b>	<b>2.4533</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.8782					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.1200e-003	7.7500e-003	9.9700e-003	2.0000e-005		4.5000e-004	4.5000e-004		4.5000e-004	4.5000e-004	0.0000	1.4043	1.4043	9.0000e-005	0.0000	1.4066
<b>Total</b>	<b>0.8793</b>	<b>7.7500e-003</b>	<b>9.9700e-003</b>	<b>2.0000e-005</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>	<b>0.0000</b>	<b>1.4043</b>	<b>1.4043</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>1.4066</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.5000e-004	6.4000e-004	8.7900e-003	3.0000e-005	3.0800e-003	2.0000e-005	3.1000e-003	8.2000e-004	2.0000e-005	8.3000e-004	0.0000	2.4337	2.4337	6.0000e-005	6.0000e-005	2.4533
<b>Total</b>	<b>8.5000e-004</b>	<b>6.4000e-004</b>	<b>8.7900e-003</b>	<b>3.0000e-005</b>	<b>3.0800e-003</b>	<b>2.0000e-005</b>	<b>3.1000e-003</b>	<b>8.2000e-004</b>	<b>2.0000e-005</b>	<b>8.3000e-004</b>	<b>0.0000</b>	<b>2.4337</b>	<b>2.4337</b>	<b>6.0000e-005</b>	<b>6.0000e-005</b>	<b>2.4533</b>

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.548 3	2,302.548 3	0.1407	0.0967	2,334.879 1
Unmitigated	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.548 3	2,302.548 3	0.1407	0.0967	2,334.879 1

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	1,903.20	2,116.40	1632.80	6,475,601	6,475,601
Enclosed Parking Structure	0.00	0.00	0.00		
Government Office Building	145.03	0.00	0.00	243,933	243,933
Recreational Swimming Pool	35.16	11.10	16.59	70,802	70,802
Strip Mall	132.96	126.12	61.29	231,630	231,630
<b>Total</b>	<b>2,216.35</b>	<b>2,253.62</b>	<b>1,710.68</b>	<b>7,021,966</b>	<b>7,021,966</b>

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking Structure	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Government Office Building	16.60	8.40	6.90	33.00	62.00	5.00	50	34	16
Recreational Swimming Pool	16.60	8.40	6.90	33.00	48.00	19.00	52	39	9
Strip Mall	16.60	8.40	6.90	16.60	64.40	19.00	45	40	15

**4.4 Fleet Mix**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Enclosed Parking Structure	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Government Office Building	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Recreational Swimming Pool	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Strip Mall	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	348.0992	348.0992	0.0294	3.5600e-003	349.8950
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	348.0992	348.0992	0.0294	3.5600e-003	349.8950
NaturalGas Mitigated	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	175.7276	175.7276	3.3700e-003	3.2200e-003	176.7719
NaturalGas Unmitigated	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	175.7276	175.7276	3.3700e-003	3.2200e-003	176.7719

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	3.22898e+006	0.0174	0.1488	0.0633	9.5000e-004		0.0120	0.0120		0.0120	0.0120	0.0000	172.3105	172.3105	3.3000e-003	3.1600e-003	173.3344
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	58064.8	3.1000e-004	2.8500e-003	2.3900e-003	2.0000e-005		2.2000e-004	2.2000e-004		2.2000e-004	2.2000e-004	0.0000	3.0986	3.0986	6.0000e-005	6.0000e-005	3.1170
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	5970	3.0000e-005	2.9000e-004	2.5000e-004	0.0000		2.0000e-005	2.0000e-005		2.0000e-005	2.0000e-005	0.0000	0.3186	0.3186	1.0000e-005	1.0000e-005	0.3205
<b>Total</b>		<b>0.0178</b>	<b>0.1519</b>	<b>0.0660</b>	<b>9.7000e-004</b>		<b>0.0123</b>	<b>0.0123</b>		<b>0.0123</b>	<b>0.0123</b>	<b>0.0000</b>	<b>175.7276</b>	<b>175.7276</b>	<b>3.3700e-003</b>	<b>3.2300e-003</b>	<b>176.7719</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	3.22898e+006	0.0174	0.1488	0.0633	9.5000e-004		0.0120	0.0120		0.0120	0.0120	0.0000	172.3105	172.3105	3.3000e-003	3.1600e-003	173.3344
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	58064.8	3.1000e-004	2.8500e-003	2.3900e-003	2.0000e-005		2.2000e-004	2.2000e-004		2.2000e-004	2.2000e-004	0.0000	3.0986	3.0986	6.0000e-005	6.0000e-005	3.1170
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	5970	3.0000e-005	2.9000e-004	2.5000e-004	0.0000		2.0000e-005	2.0000e-005		2.0000e-005	2.0000e-005	0.0000	0.3186	0.3186	1.0000e-005	1.0000e-005	0.3205
<b>Total</b>		<b>0.0178</b>	<b>0.1519</b>	<b>0.0660</b>	<b>9.7000e-004</b>		<b>0.0123</b>	<b>0.0123</b>		<b>0.0123</b>	<b>0.0123</b>	<b>0.0000</b>	<b>175.7276</b>	<b>175.7276</b>	<b>3.3700e-003</b>	<b>3.2300e-003</b>	<b>176.7719</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.3 Energy by Land Use - Electricity**

**Unmitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	1.04541e+006	185.3994	0.0157	1.9000e-003	186.3558
Enclosed Parking Structure	797475	141.4286	0.0119	1.4500e-003	142.1582
Government Office Building	86551.8	15.3496	1.3000e-003	1.6000e-004	15.4288
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000
Strip Mall	33390	5.9216	5.0000e-004	6.0000e-005	5.9521
<b>Total</b>		<b>348.0992</b>	<b>0.0294</b>	<b>3.5700e-003</b>	<b>349.8950</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.3 Energy by Land Use - Electricity**

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	1.04541e+006	185.3994	0.0157	1.9000e-003	186.3558
Enclosed Parking Structure	797475	141.4286	0.0119	1.4500e-003	142.1582
Government Office Building	86551.8	15.3496	1.3000e-003	1.6000e-004	15.4288
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000
Strip Mall	33390	5.9216	5.0000e-004	6.0000e-005	5.9521
<b>Total</b>		<b>348.0992</b>	<b>0.0294</b>	<b>3.5700e-003</b>	<b>349.8950</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943
Unmitigated	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943

**6.2 Area by SubCategory**

**Unmitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0878					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.9834					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.8516	0.0674	1.6528	4.2200e-003		0.2483	0.2483		0.2483	0.2483	27.6170	53.0703	80.6873	0.0824	1.8700e-003	83.3048
Landscaping	0.0810	0.0309	2.6840	1.4000e-004		0.0149	0.0149		0.0149	0.0149	0.0000	4.3839	4.3839	4.2200e-003	0.0000	4.4894
<b>Total</b>	<b>2.0038</b>	<b>0.0984</b>	<b>4.3368</b>	<b>4.3600e-003</b>		<b>0.2631</b>	<b>0.2631</b>		<b>0.2631</b>	<b>0.2631</b>	<b>27.6170</b>	<b>57.4542</b>	<b>85.0711</b>	<b>0.0866</b>	<b>1.8700e-003</b>	<b>87.7943</b>

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**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0878					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.9834					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.8516	0.0674	1.6528	4.2200e-003		0.2483	0.2483		0.2483	0.2483	27.6170	53.0703	80.6873	0.0824	1.8700e-003	83.3048
Landscaping	0.0810	0.0309	2.6840	1.4000e-004		0.0149	0.0149		0.0149	0.0149	0.0000	4.3839	4.3839	4.2200e-003	0.0000	4.4894
<b>Total</b>	<b>2.0038</b>	<b>0.0984</b>	<b>4.3368</b>	<b>4.3600e-003</b>		<b>0.2631</b>	<b>0.2631</b>		<b>0.2631</b>	<b>0.2631</b>	<b>27.6170</b>	<b>57.4542</b>	<b>85.0711</b>	<b>0.0866</b>	<b>1.8700e-003</b>	<b>87.7943</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	71.5532	0.6087	0.0149	91.2146
Unmitigated	71.5532	0.6087	0.0149	91.2146

**7.2 Water by Land Use**

**Unmitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	16.94 / 10.6796	65.5346	0.5571	0.0137	83.5288
Enclosed Parking Structure	0 / 0	0.0000	0.0000	0.0000	0.0000
Government Office Building	1.2754 / 0.781694	4.8900	0.0419	1.0300e-003	6.2445
Recreational Swimming Pool	0.0721546 / 0.0442238	0.2767	2.3700e-003	6.0000e-005	0.3533
Strip Mall	0.222218 / 0.136198	0.8520	7.3100e-003	1.8000e-004	1.0880
<b>Total</b>		<b>71.5533</b>	<b>0.6087</b>	<b>0.0149</b>	<b>91.2146</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**7.2 Water by Land Use**

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	16.94 / 10.6796	65.5346	0.5571	0.0137	83.5288
Enclosed Parking Structure	0 / 0	0.0000	0.0000	0.0000	0.0000
Government Office Building	1.2754 / 0.781694	4.8900	0.0419	1.0300e-003	6.2445
Recreational Swimming Pool	0.0721546 / 0.0442238	0.2767	2.3700e-003	6.0000e-005	0.3533
Strip Mall	0.222218 / 0.136198	0.8520	7.3100e-003	1.8000e-004	1.0880
<b>Total</b>		<b>71.5533</b>	<b>0.6087</b>	<b>0.0149</b>	<b>91.2146</b>

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	27.5398	1.6276	0.0000	68.2287
Unmitigated	27.5398	1.6276	0.0000	68.2287

**8.2 Waste by Land Use**

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	119.6	24.2777	1.4348	0.0000	60.1470
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000
Government Office Building	5.97	1.2119	0.0716	0.0000	3.0023
Recreational Swimming Pool	6.95	1.4108	0.0834	0.0000	3.4952
Strip Mall	3.15	0.6394	0.0378	0.0000	1.5841
<b>Total</b>		<b>27.5398</b>	<b>1.6276</b>	<b>0.0000</b>	<b>68.2287</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.2 Waste by Land Use**

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	119.6	24.2777	1.4348	0.0000	60.1470
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000
Government Office Building	5.97	1.2119	0.0716	0.0000	3.0023
Recreational Swimming Pool	6.95	1.4108	0.0834	0.0000	3.4952
Strip Mall	3.15	0.6394	0.0378	0.0000	1.5841
<b>Total</b>		<b>27.5398</b>	<b>1.6276</b>	<b>0.0000</b>	<b>68.2287</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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OrangethorpePlacentia - - Orange County, Annual

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**OrangethorpePlacentia -  
Orange County, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Government Office Building	6.42	1000sqft	0.15	6,416.00	0
Enclosed Parking Structure	151.90	1000sqft	0.51	151,900.00	0
Recreational Swimming Pool	1.22	1000sqft	0.03	1,217.00	0
Apartments Low Rise	260.00	Dwelling Unit	1.18	260,000.00	744
Strip Mall	3.00	1000sqft	0.07	3,000.00	0

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2023
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	390.98	<b>CH4 Intensity (lb/MWhr)</b>	0.033	<b>N2O Intensity (lb/MWhr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics - Consistent with IS/MND's model.

Land Use - Consistent with IS/MND's model

Construction Phase - See comment on "Unsubstantiated Changes to Individual Construction Phase Lengths".

Off-road Equipment - Consistent with IS/MND's model.

## OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Off-road Equipment - Consistent with IS/MND's model.

Demolition - Consistent with IS/MND's model.

Grading - See comment on "Unsubstantiated Reductions to Acres of Grading Values".

Architectural Coating - Consistent with IS/MND's model.

Vehicle Trips - Consistent with IS/MND's model.

Water And Wastewater - Consistent with IS/MND's model.

Trips and VMT - Consistent with IS/MND's model.

On-road Fugitive Dust - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Fleet Mix - Consistent with IS/MND's model.

Road Dust - Consistent with IS/MND's model.

Woodstoves - Consistent with IS/MND's model.

Consumer Products - Consistent with IS/MND's model.

Area Coating - Consistent with IS/MND's model.

Landscape Equipment - Consistent with IS/MND's model.

Energy Use - Consistent with IS/MND's model.

Solid Waste - Consistent with IS/MND's model.

Operational Off-Road Equipment - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps EF - Consistent with IS/MND's model.

Stationary Sources - Process Boilers - Consistent with IS/MND's model.

Stationary Sources - Process Boilers EF - Consistent with IS/MND's model.

Stationary Sources - User Defined - Consistent with IS/MND's model.

Land Use Change - Consistent with IS/MND's model.

Sequestration - Consistent with IS/MND's model.

Construction Off-road Equipment Mitigation - Consistent with IS/MND's model.

Mobile Land Use Mitigation - Consistent with IS/MND's model.

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Mobile Commute Mitigation - Consistent with IS/MND's model.

Area Mitigation - Consistent with IS/MND's model.

Energy Mitigation - Consistent with IS/MND's model.

Water Mitigation - Consistent with IS/MND's model.

Waste Mitigation - Consistent with IS/MND's model.

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	11.00
tblConstructionPhase	NumDays	200.00	224.00
tblConstructionPhase	NumDays	20.00	22.00
tblConstructionPhase	NumDays	10.00	11.00
tblLandUse	LandUseSquareFeet	6,420.00	6,416.00
tblLandUse	LandUseSquareFeet	1,220.00	1,217.00
tblLandUse	LotAcreage	3.49	0.51
tblLandUse	LotAcreage	16.25	1.18

**2.0 Emissions Summary**

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OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.7618	20.2363	22.9447	0.0582	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,749.645 1	5,749.645 1	0.6480	0.2255	5,829.032 7
2022	160.0321	15.4416	21.9786	0.0571	3.1956	0.6278	3.8234	0.8553	0.6056	1.4609	0.0000	5,648.527 1	5,648.527 1	0.4718	0.2169	5,724.958 0
<b>Maximum</b>	<b>160.0321</b>	<b>20.2363</b>	<b>22.9447</b>	<b>0.0582</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,749.645 1</b>	<b>5,749.645 1</b>	<b>0.6480</b>	<b>0.2255</b>	<b>5,829.032 7</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.7618	20.2363	22.9447	0.0582	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,749.645 1	5,749.645 1	0.6480	0.2255	5,829.032 7
2022	160.0321	15.4416	21.9786	0.0571	3.1956	0.6278	3.8234	0.8553	0.6056	1.4609	0.0000	5,648.527 1	5,648.527 1	0.4718	0.2169	5,724.958 0
<b>Maximum</b>	<b>160.0321</b>	<b>20.2363</b>	<b>22.9447</b>	<b>0.0582</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,749.645 1</b>	<b>5,749.645 1</b>	<b>0.6480</b>	<b>0.2255</b>	<b>5,829.032 7</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.1371	16,186.1371	0.9361	0.6298	16,397.2123
<b>Total</b>	<b>81.3948</b>	<b>13.2790</b>	<b>221.1659</b>	<b>0.5011</b>	<b>16.6713</b>	<b>20.1528</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1453</b>	<b>24.5889</b>	<b>2,435.3988</b>	<b>21,966.2019</b>	<b>24,401.6007</b>	<b>8.2565</b>	<b>0.8145</b>	<b>24,850.7437</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.1371	16,186.1371	0.9361	0.6298	16,397.2123
<b>Total</b>	<b>81.3948</b>	<b>13.2790</b>	<b>221.1659</b>	<b>0.5011</b>	<b>16.6713</b>	<b>20.1528</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1453</b>	<b>24.5889</b>	<b>2,435.3988</b>	<b>21,966.2019</b>	<b>24,401.6007</b>	<b>8.2565</b>	<b>0.8145</b>	<b>24,850.7437</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/29/2021	11/29/2021	5	22	
2	Site Preparation	Site Preparation	11/30/2021	12/1/2021	5	2	
3	Grading	Grading	12/2/2021	12/7/2021	5	4	
4	Building Construction	Building Construction	12/8/2021	10/17/2022	5	224	
5	Paving	Paving	10/18/2022	11/1/2022	5	11	
6	Architectural Coating	Architectural Coating	11/2/2022	11/16/2022	5	11	

**Acres of Grading (Site Preparation Phase): 1.88**

**Acres of Grading (Grading Phase): 4**

**Acres of Paving: 0.51**

**Residential Indoor: 526,500; Residential Outdoor: 175,500; Non-Residential Indoor: 14,124; Non-Residential Outdoor: 4,708; Striped Parking Area: 9,114 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	255.00	54.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	51.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715		2,322.7171	2,322.7171	0.5940		2,337.5658
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>		<b>2,322.7171</b>	<b>2,322.7171</b>	<b>0.5940</b>		<b>2,337.5658</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0419	0.0297	0.4628	1.3100e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		132.3643	132.3643	3.3400e-003	3.1100e-003	133.3732
<b>Total</b>	<b>0.0419</b>	<b>0.0297</b>	<b>0.4628</b>	<b>1.3100e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>132.3643</b>	<b>132.3643</b>	<b>3.3400e-003</b>	<b>3.1100e-003</b>	<b>133.3732</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715	0.0000	2,322.717 1	2,322.717 1	0.5940		2,337.565 8
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>	<b>0.0000</b>	<b>2,322.717 1</b>	<b>2,322.717 1</b>	<b>0.5940</b>		<b>2,337.565 8</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0419	0.0297	0.4628	1.3100e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		132.3643	132.3643	3.3400e-003	3.1100e-003	133.3732
<b>Total</b>	<b>0.0419</b>	<b>0.0297</b>	<b>0.4628</b>	<b>1.3100e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>132.3643</b>	<b>132.3643</b>	<b>3.3400e-003</b>	<b>3.1100e-003</b>	<b>133.3732</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041		1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>		<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0258	0.0182	0.2848	8.0000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		81.4549	81.4549	2.0500e-003	1.9100e-003	82.0758
<b>Total</b>	<b>0.0258</b>	<b>0.0182</b>	<b>0.2848</b>	<b>8.0000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>81.4549</b>	<b>81.4549</b>	<b>2.0500e-003</b>	<b>1.9100e-003</b>	<b>82.0758</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041	0.0000	1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>	<b>0.0000</b>	<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0258	0.0182	0.2848	8.0000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		81.4549	81.4549	2.0500e-003	1.9100e-003	82.0758
<b>Total</b>	<b>0.0258</b>	<b>0.0182</b>	<b>0.2848</b>	<b>8.0000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>81.4549</b>	<b>81.4549</b>	<b>2.0500e-003</b>	<b>1.9100e-003</b>	<b>82.0758</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425		1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>		<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0322	0.0228	0.3560	1.0100e-003	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		101.8187	101.8187	2.5700e-003	2.3900e-003	102.5948
<b>Total</b>	<b>0.0322</b>	<b>0.0228</b>	<b>0.3560</b>	<b>1.0100e-003</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>101.8187</b>	<b>101.8187</b>	<b>2.5700e-003</b>	<b>2.3900e-003</b>	<b>102.5948</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425	0.0000	1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>	<b>0.0000</b>	<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0322	0.0228	0.3560	1.0100e-003	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		101.8187	101.8187	2.5700e-003	2.3900e-003	102.5948
<b>Total</b>	<b>0.0322</b>	<b>0.0228</b>	<b>0.3560</b>	<b>1.0100e-003</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>101.8187</b>	<b>101.8187</b>	<b>2.5700e-003</b>	<b>2.3900e-003</b>	<b>102.5948</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608		2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>		<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1273	2.8753	0.9674	0.0106	0.3453	0.0435	0.3888	0.0994	0.0416	0.1410		1,152.0489	1,152.0489	0.0649	0.1646	1,202.7143
Worker	0.8220	0.5815	9.0779	0.0256	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,596.3762	2,596.3762	0.0655	0.0609	2,616.1667
<b>Total</b>	<b>0.9493</b>	<b>3.4569</b>	<b>10.0453</b>	<b>0.0362</b>	<b>3.1956</b>	<b>0.0599</b>	<b>3.2555</b>	<b>0.8553</b>	<b>0.0567</b>	<b>0.9120</b>		<b>3,748.4251</b>	<b>3,748.4251</b>	<b>0.1304</b>	<b>0.2255</b>	<b>3,818.8810</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608	0.0000	2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>	<b>0.0000</b>	<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1273	2.8753	0.9674	0.0106	0.3453	0.0435	0.3888	0.0994	0.0416	0.1410		1,152.0489	1,152.0489	0.0649	0.1646	1,202.7143
Worker	0.8220	0.5815	9.0779	0.0256	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,596.3762	2,596.3762	0.0655	0.0609	2,616.1667
<b>Total</b>	<b>0.9493</b>	<b>3.4569</b>	<b>10.0453</b>	<b>0.0362</b>	<b>3.1956</b>	<b>0.0599</b>	<b>3.2555</b>	<b>0.8553</b>	<b>0.0567</b>	<b>0.9120</b>		<b>3,748.4251</b>	<b>3,748.4251</b>	<b>0.1304</b>	<b>0.2255</b>	<b>3,818.8810</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689		2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>		<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0898	2.4230	0.8603	0.0102	0.3453	0.0236	0.3689	0.0994	0.0226	0.1219		1,119.7309	1,119.7309	0.0642	0.1605	1,169.1542
Worker	0.7673	0.5155	8.3919	0.0248	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,527.2534	2,527.2534	0.0591	0.0564	2,545.5457
<b>Total</b>	<b>0.8570</b>	<b>2.9385</b>	<b>9.2522</b>	<b>0.0351</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2345</b>	<b>0.8553</b>	<b>0.0367</b>	<b>0.8920</b>		<b>3,646.9843</b>	<b>3,646.9843</b>	<b>0.1232</b>	<b>0.2169</b>	<b>3,714.6999</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689	0.0000	2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>	<b>0.0000</b>	<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0898	2.4230	0.8603	0.0102	0.3453	0.0236	0.3689	0.0994	0.0226	0.1219		1,119.7309	1,119.7309	0.0642	0.1605	1,169.1542
Worker	0.7673	0.5155	8.3919	0.0248	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,527.2534	2,527.2534	0.0591	0.0564	2,545.5457
<b>Total</b>	<b>0.8570</b>	<b>2.9385</b>	<b>9.2522</b>	<b>0.0351</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2345</b>	<b>0.8553</b>	<b>0.0367</b>	<b>0.8920</b>		<b>3,646.9843</b>	<b>3,646.9843</b>	<b>0.1232</b>	<b>0.2169</b>	<b>3,714.6999</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205		1,297.378 <sub>9</sub>	1,297.378 <sub>9</sub>	0.4113		1,307.660 <sub>8</sub>
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>		<b>1,297.378<sub>9</sub></b>	<b>1,297.378<sub>9</sub></b>	<b>0.4113</b>		<b>1,307.660<sub>8</sub></b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0391	0.0263	0.4278	1.2700e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		128.8404	128.8404	3.0100e-003	2.8800e-003	129.7729
<b>Total</b>	<b>0.0391</b>	<b>0.0263</b>	<b>0.4278</b>	<b>1.2700e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>128.8404</b>	<b>128.8404</b>	<b>3.0100e-003</b>	<b>2.8800e-003</b>	<b>129.7729</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205	0.0000	1,297.378 <sub>9</sub>	1,297.378 <sub>9</sub>	0.4113		1,307.660 <sub>8</sub>
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>	<b>0.0000</b>	<b>1,297.378<sub>9</sub></b>	<b>1,297.378<sub>9</sub></b>	<b>0.4113</b>		<b>1,307.660<sub>8</sub></b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0391	0.0263	0.4278	1.2700e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		128.8404	128.8404	3.0100e-003	2.8800e-003	129.7729
<b>Total</b>	<b>0.0391</b>	<b>0.0263</b>	<b>0.4278</b>	<b>1.2700e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>128.8404</b>	<b>128.8404</b>	<b>3.0100e-003</b>	<b>2.8800e-003</b>	<b>129.7729</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1535	0.1031	1.6784	4.9700e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		505.4507	505.4507	0.0118	0.0113	509.1091
<b>Total</b>	<b>0.1535</b>	<b>0.1031</b>	<b>1.6784</b>	<b>4.9700e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>505.4507</b>	<b>505.4507</b>	<b>0.0118</b>	<b>0.0113</b>	<b>509.1091</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1535	0.1031	1.6784	4.9700e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		505.4507	505.4507	0.0118	0.0113	509.1091
<b>Total</b>	<b>0.1535</b>	<b>0.1031</b>	<b>1.6784</b>	<b>4.9700e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>505.4507</b>	<b>505.4507</b>	<b>0.0118</b>	<b>0.0113</b>	<b>509.1091</b>

OrangethorpePlacentia - - Orange County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.13 71	16,186.13 71	0.9361	0.6298	16,397.21 23
Unmitigated	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.13 71	16,186.13 71	0.9361	0.6298	16,397.21 23

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	1,903.20	2,116.40	1632.80	6,475,601	6,475,601
Enclosed Parking Structure	0.00	0.00	0.00		
Government Office Building	145.03	0.00	0.00	243,933	243,933
Recreational Swimming Pool	35.16	11.10	16.59	70,802	70,802
Strip Mall	132.96	126.12	61.29	231,630	231,630
Total	2,216.35	2,253.62	1,710.68	7,021,966	7,021,966

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking Structure	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Government Office Building	16.60	8.40	6.90	33.00	62.00	5.00	50	34	16
Recreational Swimming Pool	16.60	8.40	6.90	33.00	48.00	19.00	52	39	9
Strip Mall	16.60	8.40	6.90	16.60	64.40	19.00	45	40	15

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Enclosed Parking Structure	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Government Office Building	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Recreational Swimming Pool	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Strip Mall	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
NaturalGas Unmitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131

**5.2 Energy by Land Use - NaturalGas**

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8846.51	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	159.082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	16.3562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8.84651	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	0.159082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	0.0163562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Unmitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182

**6.2 Area by SubCategory**

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**OrangethorpePlacentia -  
Orange County, Winter**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Government Office Building	6.42	1000sqft	0.15	6,416.00	0
Enclosed Parking Structure	151.90	1000sqft	0.51	151,900.00	0
Recreational Swimming Pool	1.22	1000sqft	0.03	1,217.00	0
Apartments Low Rise	260.00	Dwelling Unit	1.18	260,000.00	744
Strip Mall	3.00	1000sqft	0.07	3,000.00	0

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2023
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MW hr)</b>	390.98	<b>CH4 Intensity (lb/MW hr)</b>	0.033	<b>N2O Intensity (lb/MW hr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics - Consistent with IS/MND's model.

Land Use - Consistent with IS/MND's model

Construction Phase - See comment on "Unsubstantiated Changes to Individual Construction Phase Lengths".

Off-road Equipment - Consistent with IS/MND's model.

## OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Off-road Equipment - Consistent with IS/MND's model.

Demolition - Consistent with IS/MND's model.

Grading - See comment on "Unsubstantiated Reductions to Acres of Grading Values".

Architectural Coating - Consistent with IS/MND's model.

Vehicle Trips - Consistent with IS/MND's model.

Water And Wastewater - Consistent with IS/MND's model.

Trips and VMT - Consistent with IS/MND's model.

On-road Fugitive Dust - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Fleet Mix - Consistent with IS/MND's model.

Road Dust - Consistent with IS/MND's model.

Woodstoves - Consistent with IS/MND's model.

Consumer Products - Consistent with IS/MND's model.

Area Coating - Consistent with IS/MND's model.

Landscape Equipment - Consistent with IS/MND's model.

Energy Use - Consistent with IS/MND's model.

Solid Waste - Consistent with IS/MND's model.

Operational Off-Road Equipment - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps EF - Consistent with IS/MND's model.

Stationary Sources - Process Boilers - Consistent with IS/MND's model.

Stationary Sources - Process Boilers EF - Consistent with IS/MND's model.

Stationary Sources - User Defined - Consistent with IS/MND's model.

Land Use Change - Consistent with IS/MND's model.

Sequestration - Consistent with IS/MND's model.

Construction Off-road Equipment Mitigation - Consistent with IS/MND's model.

Mobile Land Use Mitigation - Consistent with IS/MND's model.

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Mobile Commute Mitigation - Consistent with IS/MND's model.

Area Mitigation - Consistent with IS/MND's model.

Energy Mitigation - Consistent with IS/MND's model.

Water Mitigation - Consistent with IS/MND's model.

Waste Mitigation - Consistent with IS/MND's model.

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	11.00
tblConstructionPhase	NumDays	200.00	224.00
tblConstructionPhase	NumDays	20.00	22.00
tblConstructionPhase	NumDays	10.00	11.00
tblLandUse	LandUseSquareFeet	6,420.00	6,416.00
tblLandUse	LandUseSquareFeet	1,220.00	1,217.00
tblLandUse	LotAcreage	3.49	0.51
tblLandUse	LotAcreage	16.25	1.18

**2.0 Emissions Summary**

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OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.8312	20.2386	22.3367	0.0570	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,624.7668	5,624.7668	0.6480	0.2295	5,705.3938
2022	160.0457	15.5872	21.4267	0.0559	3.1956	0.6279	3.8235	0.8553	0.6056	1.4609	0.0000	5,527.7090	5,527.7090	0.4730	0.2207	5,605.2994
<b>Maximum</b>	<b>160.0457</b>	<b>20.2386</b>	<b>22.3367</b>	<b>0.0570</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,624.7668</b>	<b>5,624.7668</b>	<b>0.6480</b>	<b>0.2295</b>	<b>5,705.3938</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.8312	20.2386	22.3367	0.0570	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,624.7668	5,624.7668	0.6480	0.2295	5,705.3938
2022	160.0457	15.5872	21.4267	0.0559	3.1956	0.6279	3.8235	0.8553	0.6056	1.4609	0.0000	5,527.7090	5,527.7090	0.4730	0.2207	5,605.2994
<b>Maximum</b>	<b>160.0457</b>	<b>20.2386</b>	<b>22.3367</b>	<b>0.0570</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,624.7668</b>	<b>5,624.7668</b>	<b>0.6480</b>	<b>0.2295</b>	<b>5,705.3938</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.9313	15,565.9313	0.9670	0.6566	15,785.7625
<b>Total</b>	<b>81.3547</b>	<b>13.7861</b>	<b>220.3135</b>	<b>0.4951</b>	<b>16.6713</b>	<b>20.1529</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1454</b>	<b>24.5890</b>	<b>2,435.3988</b>	<b>21,345.9962</b>	<b>23,781.3949</b>	<b>8.2874</b>	<b>0.8413</b>	<b>24,239.2939</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.9313	15,565.9313	0.9670	0.6566	15,785.7625
<b>Total</b>	<b>81.3547</b>	<b>13.7861</b>	<b>220.3135</b>	<b>0.4951</b>	<b>16.6713</b>	<b>20.1529</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1454</b>	<b>24.5890</b>	<b>2,435.3988</b>	<b>21,345.9962</b>	<b>23,781.3949</b>	<b>8.2874</b>	<b>0.8413</b>	<b>24,239.2939</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/29/2021	11/29/2021	5	22	
2	Site Preparation	Site Preparation	11/30/2021	12/1/2021	5	2	
3	Grading	Grading	12/2/2021	12/7/2021	5	4	
4	Building Construction	Building Construction	12/8/2021	10/17/2022	5	224	
5	Paving	Paving	10/18/2022	11/1/2022	5	11	
6	Architectural Coating	Architectural Coating	11/2/2022	11/16/2022	5	11	

**Acres of Grading (Site Preparation Phase): 1.88**

**Acres of Grading (Grading Phase): 4**

**Acres of Paving: 0.51**

**Residential Indoor: 526,500; Residential Outdoor: 175,500; Non-Residential Indoor: 14,124; Non-Residential Outdoor: 4,708; Striped Parking Area: 9,114 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	255.00	54.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	51.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715		2,322.717 1	2,322.717 1	0.5940		2,337.565 8
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>		<b>2,322.717 1</b>	<b>2,322.717 1</b>	<b>0.5940</b>		<b>2,337.565 8</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0455	0.0326	0.4301	1.2400e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		125.9987	125.9987	3.4100e-003	3.3100e-003	127.0692
<b>Total</b>	<b>0.0455</b>	<b>0.0326</b>	<b>0.4301</b>	<b>1.2400e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>125.9987</b>	<b>125.9987</b>	<b>3.4100e-003</b>	<b>3.3100e-003</b>	<b>127.0692</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715	0.0000	2,322.717 1	2,322.717 1	0.5940		2,337.565 8
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>	<b>0.0000</b>	<b>2,322.717 1</b>	<b>2,322.717 1</b>	<b>0.5940</b>		<b>2,337.565 8</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0455	0.0326	0.4301	1.2400e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		125.9987	125.9987	3.4100e-003	3.3100e-003	127.0692
<b>Total</b>	<b>0.0455</b>	<b>0.0326</b>	<b>0.4301</b>	<b>1.2400e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>125.9987</b>	<b>125.9987</b>	<b>3.4100e-003</b>	<b>3.3100e-003</b>	<b>127.0692</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041		1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>		<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0280	0.0200	0.2647	7.7000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		77.5377	77.5377	2.1000e-003	2.0300e-003	78.1964
<b>Total</b>	<b>0.0280</b>	<b>0.0200</b>	<b>0.2647</b>	<b>7.7000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>77.5377</b>	<b>77.5377</b>	<b>2.1000e-003</b>	<b>2.0300e-003</b>	<b>78.1964</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041	0.0000	1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>	<b>0.0000</b>	<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0280	0.0200	0.2647	7.7000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		77.5377	77.5377	2.1000e-003	2.0300e-003	78.1964
<b>Total</b>	<b>0.0280</b>	<b>0.0200</b>	<b>0.2647</b>	<b>7.7000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>77.5377</b>	<b>77.5377</b>	<b>2.1000e-003</b>	<b>2.0300e-003</b>	<b>78.1964</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425		1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>		<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0350	0.0251	0.3309	9.6000e-004	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		96.9221	96.9221	2.6200e-003	2.5400e-003	97.7455
<b>Total</b>	<b>0.0350</b>	<b>0.0251</b>	<b>0.3309</b>	<b>9.6000e-004</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>96.9221</b>	<b>96.9221</b>	<b>2.6200e-003</b>	<b>2.5400e-003</b>	<b>97.7455</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425	0.0000	1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>	<b>0.0000</b>	<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0350	0.0251	0.3309	9.6000e-004	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		96.9221	96.9221	2.6200e-003	2.5400e-003	97.7455
<b>Total</b>	<b>0.0350</b>	<b>0.0251</b>	<b>0.3309</b>	<b>9.6000e-004</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>96.9221</b>	<b>96.9221</b>	<b>2.6200e-003</b>	<b>2.5400e-003</b>	<b>97.7455</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608		2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>		<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1264	2.9833	1.0006	0.0106	0.3453	0.0437	0.3890	0.0994	0.0418	0.1411		1,152.0338	1,152.0338	0.0648	0.1647	1,202.7319
Worker	0.8923	0.6389	8.4367	0.0244	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,471.5131	2,471.5131	0.0668	0.0649	2,492.5102
<b>Total</b>	<b>1.0187</b>	<b>3.6222</b>	<b>9.4373</b>	<b>0.0350</b>	<b>3.1956</b>	<b>0.0600</b>	<b>3.2556</b>	<b>0.8553</b>	<b>0.0568</b>	<b>0.9121</b>		<b>3,623.5468</b>	<b>3,623.5468</b>	<b>0.1316</b>	<b>0.2295</b>	<b>3,695.2421</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608	0.0000	2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>	<b>0.0000</b>	<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1264	2.9833	1.0006	0.0106	0.3453	0.0437	0.3890	0.0994	0.0418	0.1411		1,152.0338	1,152.0338	0.0648	0.1647	1,202.7319
Worker	0.8923	0.6389	8.4367	0.0244	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,471.5131	2,471.5131	0.0668	0.0649	2,492.5102
<b>Total</b>	<b>1.0187</b>	<b>3.6222</b>	<b>9.4373</b>	<b>0.0350</b>	<b>3.1956</b>	<b>0.0600</b>	<b>3.2556</b>	<b>0.8553</b>	<b>0.0568</b>	<b>0.9121</b>		<b>3,623.5468</b>	<b>3,623.5468</b>	<b>0.1316</b>	<b>0.2295</b>	<b>3,695.2421</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689		2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>		<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0885	2.5179	0.8911	0.0102	0.3453	0.0237	0.3690	0.0994	0.0226	0.1220		1,120.0822	1,120.0822	0.0640	0.1606	1,169.5514
Worker	0.8357	0.5662	7.8092	0.0237	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,406.0839	2,406.0839	0.0604	0.0601	2,425.4899
<b>Total</b>	<b>0.9242</b>	<b>3.0841</b>	<b>8.7003</b>	<b>0.0339</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2346</b>	<b>0.8553</b>	<b>0.0368</b>	<b>0.8921</b>		<b>3,526.1661</b>	<b>3,526.1661</b>	<b>0.1244</b>	<b>0.2207</b>	<b>3,595.0413</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689	0.0000	2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>	<b>0.0000</b>	<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0885	2.5179	0.8911	0.0102	0.3453	0.0237	0.3690	0.0994	0.0226	0.1220		1,120.0822	1,120.0822	0.0640	0.1606	1,169.5514
Worker	0.8357	0.5662	7.8092	0.0237	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,406.0839	2,406.0839	0.0604	0.0601	2,425.4899
<b>Total</b>	<b>0.9242</b>	<b>3.0841</b>	<b>8.7003</b>	<b>0.0339</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2346</b>	<b>0.8553</b>	<b>0.0368</b>	<b>0.8921</b>		<b>3,526.1661</b>	<b>3,526.1661</b>	<b>0.1244</b>	<b>0.2207</b>	<b>3,595.0413</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205		1,297.3789	1,297.3789	0.4113		1,307.6608
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>		<b>1,297.3789</b>	<b>1,297.3789</b>	<b>0.4113</b>		<b>1,307.6608</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0426	0.0289	0.3981	1.2100e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		122.6631	122.6631	3.0800e-003	3.0600e-003	123.6524
<b>Total</b>	<b>0.0426</b>	<b>0.0289</b>	<b>0.3981</b>	<b>1.2100e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>122.6631</b>	<b>122.6631</b>	<b>3.0800e-003</b>	<b>3.0600e-003</b>	<b>123.6524</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205	0.0000	1,297.378 <sub>9</sub>	1,297.378 <sub>9</sub>	0.4113		1,307.660 <sub>8</sub>
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>	<b>0.0000</b>	<b>1,297.378<sub>9</sub></b>	<b>1,297.378<sub>9</sub></b>	<b>0.4113</b>		<b>1,307.660<sub>8</sub></b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0426	0.0289	0.3981	1.2100e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		122.6631	122.6631	3.0800e-003	3.0600e-003	123.6524
<b>Total</b>	<b>0.0426</b>	<b>0.0289</b>	<b>0.3981</b>	<b>1.2100e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>122.6631</b>	<b>122.6631</b>	<b>3.0800e-003</b>	<b>3.0600e-003</b>	<b>123.6524</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1671	0.1132	1.5618	4.7300e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		481.2168	481.2168	0.0121	0.0120	485.0980
<b>Total</b>	<b>0.1671</b>	<b>0.1132</b>	<b>1.5618</b>	<b>4.7300e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>481.2168</b>	<b>481.2168</b>	<b>0.0121</b>	<b>0.0120</b>	<b>485.0980</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1671	0.1132	1.5618	4.7300e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		481.2168	481.2168	0.0121	0.0120	485.0980
<b>Total</b>	<b>0.1671</b>	<b>0.1132</b>	<b>1.5618</b>	<b>4.7300e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>481.2168</b>	<b>481.2168</b>	<b>0.0121</b>	<b>0.0120</b>	<b>485.0980</b>

OrangethorpePlacentia - - Orange County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.93 13	15,565.93 13	0.9670	0.6566	15,785.76 25
Unmitigated	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.93 13	15,565.93 13	0.9670	0.6566	15,785.76 25

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	1,903.20	2,116.40	1632.80	6,475,601	6,475,601
Enclosed Parking Structure	0.00	0.00	0.00		
Government Office Building	145.03	0.00	0.00	243,933	243,933
Recreational Swimming Pool	35.16	11.10	16.59	70,802	70,802
Strip Mall	132.96	126.12	61.29	231,630	231,630
Total	2,216.35	2,253.62	1,710.68	7,021,966	7,021,966

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking Structure	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Government Office Building	16.60	8.40	6.90	33.00	62.00	5.00	50	34	16
Recreational Swimming Pool	16.60	8.40	6.90	33.00	48.00	19.00	52	39	9
Strip Mall	16.60	8.40	6.90	16.60	64.40	19.00	45	40	15

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Enclosed Parking Structure	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Government Office Building	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Recreational Swimming Pool	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Strip Mall	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
NaturalGas Unmitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131

**5.2 Energy by Land Use - NaturalGas**

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8846.51	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	159.082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	16.3562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8.84651	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	0.159082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	0.0163562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Unmitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182

**6.2 Area by SubCategory**

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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Construction		Total	
2021			
Annual Emissions (tons/year)	0.0209	Total DPM (lbs)	110.4010959
Daily Emissions (lbs/day)	0.114520548	Total DPM (g)	50077.9371
Construction Duration (days)	64	Emission Rate (g/s)	0.001505469
Total DPM (lbs)	7.329315068	Release Height (meters)	3
Total DPM (g)	3324.577315	Total Acreage	2.72
Start Date	10/29/2021	Max Horizontal (meters)	148.37
End Date	1/1/2022	Min Horizontal (meters)	74.19
Construction Days	64	Initial Vertical Dimension (meters)	1.5
<b>2022</b>		Setting	Placentia
Annual Emissions (tons/year)	0.0586	Population	51,274
Daily Emissions (lbs/day)	0.32109589	Start Date	10/29/2021
Construction Duration (days)	321	End Date	11/18/2022
Total DPM (lbs)	103.0717808	Total Construction Days	385
Total DPM (g)	46753.35978	Total Years of Construction	1.05
Start Date	1/1/2022	Total Years of Operation	28.95
End Date	11/18/2022		
Construction Days	321		

Operation	
Emission Rate	
Annual Emissions (tons/year)	0.0415
Daily Emissions (lbs/day)	0.22739726
Total DPM (lbs)	83
Emission Rate (g/s)	0.001193836
Release Height (meters)	3
Total Acreage	2.72
Max Horizontal (meters)	148.37
Min Horizontal (meters)	74.19
Initial Vertical Dimension (meters)	1.5
Setting	Placentia
Population	51,274

AERSCREEN 21112 / AERMOD 21112

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08:55:23

TITLE: OrangeThorpe, Construction

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\*\*\*\*\* AREA PARAMETERS \*\*\*\*\*  
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SOURCE EMISSION RATE:	0.151E-02 g/s	0.119E-01 lb/hr
AREA EMISSION RATE:	0.137E-06 g/(s-m2)	0.109E-05 lb/(hr-m2)
AREA HEIGHT:	3.00 meters	9.84 feet
AREA SOURCE LONG SIDE:	148.37 meters	486.78 feet
AREA SOURCE SHORT SIDE:	74.19 meters	243.41 feet
INITIAL VERTICAL DIMENSION:	1.50 meters	4.92 feet
RURAL OR URBAN:	URBAN	
POPULATION:	51274	
INITIAL PROBE DISTANCE =	5000. meters	16404. feet

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\*\*\*\*\* BUILDING DOWNWASH PARAMETERS \*\*\*\*\*  
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BUILDING DOWNWASH NOT USED FOR NON-POINT SOURCES

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\*\*\*\*\* FLOW SECTOR ANALYSIS \*\*\*\*\*  
25 meter receptor spacing: 1. meters - 5000. meters  
-----

MAXIMUM IMPACT RECEPTOR

Zo	SURFACE	1-HR CONC	RADIAL	DIST	TEMPORAL
SECTOR	ROUGHNESS	(ug/m3)	(deg)	(m)	PERIOD
1*	1.000	4.121	0	75.0	WIN

\* = worst case diagonal

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\*\*\*\*\* MAKEMET METEOROLOGY PARAMETERS \*\*\*\*\*

MIN/MAX TEMPERATURE: 250.0 / 310.0 (K)

MINIMUM WIND SPEED: 0.5 m/s

ANEMOMETER HEIGHT: 10.000 meters

SURFACE CHARACTERISTICS INPUT: AERMET SEASONAL TABLES

DOMINANT SURFACE PROFILE: Urban  
 DOMINANT CLIMATE TYPE: Average Moisture  
 DOMINANT SEASON: Winter

ALBEDO: 0.35  
 BOWEN RATIO: 1.50  
 ROUGHNESS LENGTH: 1.000 (meters)

SURFACE FRICTION VELOCITY (U\*) NOT ADJUSTED

METEOROLOGY CONDITIONS USED TO PREDICT OVERALL MAXIMUM IMPACT

YR MO DY JDY HR  
 ---  
 10 01 10 10 01

H0	U*	W*	DT/DZ	ZICNV	ZIMCH	M-O	LEN	Z0	BOWEN	ALBEDO	REF WS
-1.30	0.043	-9.000	0.020	-999.	21.	6.0	1.000	1.50	0.35	0.50	

HT	REF TA	HT
10.0	310.0	2.0

\*\*\*\*\* AERSCREEN AUTOMATED DISTANCES \*\*\*\*\*  
 OVERALL MAXIMUM CONCENTRATIONS BY DISTANCE

DIST (m)	MAXIMUM 1-HR CONC (ug/m3)	DIST (m)	MAXIMUM 1-HR CONC (ug/m3)
1.00	3.067	2525.00	0.3541E-01

25.00	3.487	2550.00	0.3494E-01
50.00	3.818	2575.00	0.3448E-01
75.00	4.121	2600.00	0.3402E-01
100.00	2.832	2625.00	0.3358E-01
125.00	2.038	2650.00	0.3315E-01
150.00	1.605	2675.00	0.3272E-01
175.00	1.308	2700.00	0.3231E-01
200.00	1.095	2725.00	0.3190E-01
225.00	0.9356	2750.00	0.3151E-01
250.00	0.8125	2775.00	0.3112E-01
275.00	0.7152	2800.00	0.3074E-01
300.00	0.6362	2825.00	0.3037E-01
325.00	0.5714	2850.00	0.3000E-01
350.00	0.5168	2875.00	0.2965E-01
375.00	0.4711	2900.00	0.2930E-01
400.00	0.4320	2925.00	0.2896E-01
425.00	0.3979	2950.00	0.2862E-01
450.00	0.3682	2975.00	0.2829E-01
475.00	0.3423	3000.00	0.2797E-01
500.00	0.3195	3025.00	0.2765E-01
525.00	0.2990	3050.00	0.2734E-01
550.00	0.2808	3074.99	0.2704E-01
575.00	0.2644	3100.00	0.2674E-01
600.00	0.2496	3125.00	0.2645E-01
625.00	0.2362	3150.00	0.2616E-01
650.00	0.2240	3175.00	0.2588E-01
675.00	0.2128	3200.00	0.2561E-01
700.00	0.2025	3225.00	0.2533E-01
725.00	0.1930	3250.00	0.2507E-01
750.00	0.1843	3275.00	0.2481E-01
775.00	0.1763	3300.00	0.2455E-01
800.00	0.1688	3325.00	0.2430E-01
825.00	0.1619	3350.00	0.2405E-01
850.00	0.1555	3375.00	0.2381E-01
875.00	0.1495	3400.00	0.2357E-01
900.00	0.1439	3425.00	0.2333E-01
925.00	0.1387	3450.00	0.2310E-01
950.00	0.1337	3475.00	0.2287E-01
975.00	0.1291	3500.00	0.2265E-01
1000.00	0.1247	3525.00	0.2243E-01
1025.00	0.1206	3550.00	0.2222E-01
1050.00	0.1167	3575.00	0.2200E-01
1075.00	0.1130	3600.00	0.2179E-01
1100.00	0.1095	3625.00	0.2159E-01
1125.00	0.1062	3650.00	0.2139E-01
1150.00	0.1031	3675.00	0.2119E-01
1175.00	0.1001	3700.00	0.2099E-01
1200.00	0.9725E-01	3724.99	0.2080E-01
1225.00	0.9455E-01	3750.00	0.2061E-01
1250.00	0.9199E-01	3775.00	0.2042E-01

1275.00	0.8954E-01	3800.00	0.2024E-01
1300.00	0.8721E-01	3825.00	0.2006E-01
1325.00	0.8498E-01	3850.00	0.1988E-01
1350.00	0.8285E-01	3875.00	0.1971E-01
1375.00	0.8144E-01	3900.00	0.1953E-01
1400.00	0.7946E-01	3925.00	0.1936E-01
1425.00	0.7755E-01	3950.00	0.1920E-01
1450.00	0.7572E-01	3975.00	0.1903E-01
1475.00	0.7397E-01	4000.00	0.1887E-01
1500.00	0.7228E-01	4025.00	0.1871E-01
1525.00	0.7066E-01	4050.00	0.1855E-01
1550.00	0.6911E-01	4075.00	0.1840E-01
1575.00	0.6761E-01	4100.00	0.1824E-01
1600.00	0.6616E-01	4125.00	0.1809E-01
1625.00	0.6477E-01	4150.00	0.1794E-01
1650.00	0.6343E-01	4175.00	0.1780E-01
1675.00	0.6214E-01	4200.00	0.1765E-01
1700.00	0.6089E-01	4225.00	0.1751E-01
1725.00	0.5968E-01	4250.00	0.1737E-01
1750.00	0.5851E-01	4275.00	0.1723E-01
1775.00	0.5739E-01	4300.00	0.1709E-01
1800.00	0.5630E-01	4325.00	0.1696E-01
1825.00	0.5524E-01	4350.00	0.1682E-01
1850.00	0.5422E-01	4375.00	0.1669E-01
1875.00	0.5324E-01	4400.00	0.1656E-01
1900.00	0.5228E-01	4425.00	0.1643E-01
1924.99	0.5135E-01	4450.00	0.1631E-01
1950.00	0.5045E-01	4475.00	0.1618E-01
1975.00	0.4958E-01	4500.00	0.1606E-01
2000.00	0.4873E-01	4525.00	0.1594E-01
2025.00	0.4791E-01	4550.00	0.1582E-01
2050.00	0.4711E-01	4575.00	0.1570E-01
2075.00	0.4633E-01	4600.00	0.1559E-01
2100.00	0.4558E-01	4625.00	0.1547E-01
2125.00	0.4485E-01	4650.00	0.1536E-01
2150.00	0.4414E-01	4675.00	0.1524E-01
2175.00	0.4344E-01	4700.00	0.1513E-01
2200.00	0.4277E-01	4725.00	0.1502E-01
2225.00	0.4211E-01	4750.00	0.1492E-01
2250.00	0.4147E-01	4775.00	0.1481E-01
2275.00	0.4085E-01	4800.00	0.1470E-01
2300.00	0.4024E-01	4825.00	0.1460E-01
2325.00	0.3965E-01	4850.00	0.1450E-01
2350.00	0.3907E-01	4875.00	0.1440E-01
2375.00	0.3851E-01	4900.00	0.1430E-01
2400.00	0.3796E-01	4924.99	0.1420E-01
2425.00	0.3743E-01	4950.00	0.1410E-01
2449.99	0.3691E-01	4975.00	0.1400E-01
2475.00	0.3640E-01	5000.00	0.1391E-01
2500.00	0.3590E-01		

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 \*\*\*\*\* AERSCREEN MAXIMUM IMPACT SUMMARY \*\*\*\*\*  
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3-hour, 8-hour, and 24-hour scaled concentrations are equal to the 1-hour concentration as referenced in SCREENING PROCEDURES FOR ESTIMATING THE AIR QUALITY IMPACT OF STATIONARY SOURCES, REVISED (Section 4.5.4)  
 Report number EPA-454/R-92-019  
[http://www.epa.gov/scram001/guidance\\_permit.htm](http://www.epa.gov/scram001/guidance_permit.htm)  
 under Screening Guidance

CALCULATION PROCEDURE	MAXIMUM 1-HOUR CONC (ug/m3)	SCALED 3-HOUR CONC (ug/m3)	SCALED 8-HOUR CONC (ug/m3)	SCALED 24-HOUR CONC (ug/m3)	SCALED ANNUAL CONC (ug/m3)
FLAT TERRAIN	4.121	4.121	4.121	4.121	N/A
DISTANCE FROM SOURCE	75.00 meters				
IMPACT AT THE AMBIENT BOUNDARY	3.067	3.067	3.067	3.067	N/A
DISTANCE FROM SOURCE	1.00 meters				

TITLE: OrangeThorpe, Operation

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\*\*\*\*\* AREA PARAMETERS \*\*\*\*\*  
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SOURCE EMISSION RATE:	0.119E-02 g/s	0.947E-02 lb/hr
AREA EMISSION RATE:	0.108E-06 g/(s-m2)	0.861E-06 lb/(hr-m2)
AREA HEIGHT:	3.00 meters	9.84 feet
AREA SOURCE LONG SIDE:	148.37 meters	486.78 feet
AREA SOURCE SHORT SIDE:	74.19 meters	243.41 feet
INITIAL VERTICAL DIMENSION:	1.50 meters	4.92 feet
RURAL OR URBAN:	URBAN	
POPULATION:	51274	
INITIAL PROBE DISTANCE =	5000. meters	16404. feet

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\*\*\*\*\* BUILDING DOWNWASH PARAMETERS \*\*\*\*\*  
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BUILDING DOWNWASH NOT USED FOR NON-POINT SOURCES

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\*\*\*\*\* FLOW SECTOR ANALYSIS \*\*\*\*\*  
25 meter receptor spacing: 1. meters - 5000. meters  
-----

MAXIMUM IMPACT RECEPTOR

Zo	SURFACE	1-HR CONC	RADIAL	DIST	TEMPORAL
SECTOR	ROUGHNESS	(ug/m3)	(deg)	(m)	PERIOD
1*	1.000	3.269	0	75.0	WIN

\* = worst case diagonal

\*\*\*\*\* MAKEMET METEOROLOGY PARAMETERS \*\*\*\*\*

MIN/MAX TEMPERATURE: 250.0 / 310.0 (K)

MINIMUM WIND SPEED: 0.5 m/s

ANEMOMETER HEIGHT: 10.000 meters

SURFACE CHARACTERISTICS INPUT: AERMET SEASONAL TABLES

DOMINANT SURFACE PROFILE: Urban  
 DOMINANT CLIMATE TYPE: Average Moisture  
 DOMINANT SEASON: Winter

ALBEDO: 0.35  
 BOWEN RATIO: 1.50  
 ROUGHNESS LENGTH: 1.000 (meters)

SURFACE FRICTION VELOCITY (U\*) NOT ADJUSTED

METEOROLOGY CONDITIONS USED TO PREDICT OVERALL MAXIMUM IMPACT

YR MO DY JDY HR  
 ---  
 10 01 10 10 01

H0	U*	W*	DT/DZ	ZICNV	ZIMCH	M-O	LEN	Z0	BOWEN	ALBEDO	REF WS
-1.30	0.043	-9.000	0.020	-999.	21.	6.0	1.000	1.50	0.35	0.50	

HT	REF TA	HT
10.0	310.0	2.0

\*\*\*\*\* AERSCREEN AUTOMATED DISTANCES \*\*\*\*\*  
 OVERALL MAXIMUM CONCENTRATIONS BY DISTANCE

DIST (m)	MAXIMUM 1-HR CONC (ug/m3)	DIST (m)	MAXIMUM 1-HR CONC (ug/m3)
1.00	2.433	2525.00	0.2809E-01

25.00	2.766	2550.00	0.2771E-01
50.00	3.028	2575.00	0.2734E-01
75.00	3.269	2600.00	0.2698E-01
100.00	2.246	2625.00	0.2663E-01
125.00	1.617	2650.00	0.2629E-01
150.00	1.273	2675.00	0.2595E-01
175.00	1.038	2700.00	0.2563E-01
200.00	0.8685	2725.00	0.2530E-01
225.00	0.7421	2750.00	0.2499E-01
250.00	0.6444	2775.00	0.2468E-01
275.00	0.5672	2800.00	0.2438E-01
300.00	0.5046	2825.00	0.2409E-01
325.00	0.4532	2850.00	0.2380E-01
350.00	0.4099	2875.00	0.2351E-01
375.00	0.3736	2900.00	0.2324E-01
400.00	0.3426	2925.00	0.2297E-01
425.00	0.3155	2950.00	0.2270E-01
450.00	0.2920	2975.00	0.2244E-01
475.00	0.2715	3000.00	0.2218E-01
500.00	0.2534	3025.00	0.2193E-01
525.00	0.2371	3050.00	0.2169E-01
550.00	0.2227	3075.00	0.2145E-01
575.00	0.2097	3100.00	0.2121E-01
600.00	0.1980	3125.00	0.2098E-01
625.00	0.1873	3150.00	0.2075E-01
650.00	0.1776	3175.00	0.2053E-01
675.00	0.1687	3200.00	0.2031E-01
700.00	0.1606	3225.00	0.2009E-01
725.00	0.1531	3250.00	0.1988E-01
750.00	0.1462	3275.00	0.1967E-01
775.00	0.1398	3300.00	0.1947E-01
800.00	0.1339	3325.00	0.1927E-01
825.00	0.1284	3350.00	0.1907E-01
850.00	0.1233	3375.00	0.1888E-01
875.00	0.1186	3400.00	0.1869E-01
900.00	0.1141	3425.00	0.1851E-01
925.00	0.1100	3450.00	0.1832E-01
950.00	0.1061	3475.00	0.1814E-01
975.00	0.1024	3500.00	0.1797E-01
1000.00	0.9890E-01	3525.00	0.1779E-01
1025.00	0.9562E-01	3550.00	0.1762E-01
1050.00	0.9252E-01	3575.00	0.1745E-01
1075.00	0.8960E-01	3600.00	0.1729E-01
1100.00	0.8684E-01	3625.00	0.1712E-01
1125.00	0.8422E-01	3650.00	0.1696E-01
1150.00	0.8173E-01	3675.00	0.1680E-01
1175.00	0.7937E-01	3700.00	0.1665E-01
1200.00	0.7713E-01	3725.00	0.1650E-01
1225.00	0.7499E-01	3750.00	0.1635E-01
1250.00	0.7296E-01	3775.00	0.1620E-01

1275.00	0.7102E-01	3800.00	0.1605E-01
1300.00	0.6917E-01	3825.00	0.1591E-01
1325.00	0.6740E-01	3850.00	0.1577E-01
1350.00	0.6571E-01	3875.00	0.1563E-01
1375.00	0.6460E-01	3900.00	0.1549E-01
1400.00	0.6302E-01	3925.00	0.1536E-01
1425.00	0.6151E-01	3950.00	0.1523E-01
1450.00	0.6006E-01	3975.00	0.1509E-01
1475.00	0.5867E-01	4000.00	0.1497E-01
1500.00	0.5733E-01	4025.00	0.1484E-01
1525.00	0.5604E-01	4050.00	0.1471E-01
1550.00	0.5481E-01	4075.00	0.1459E-01
1575.00	0.5362E-01	4100.00	0.1447E-01
1600.00	0.5248E-01	4125.00	0.1435E-01
1625.00	0.5137E-01	4150.00	0.1423E-01
1650.00	0.5031E-01	4175.00	0.1411E-01
1675.00	0.4928E-01	4200.00	0.1400E-01
1700.00	0.4829E-01	4225.00	0.1389E-01
1725.00	0.4733E-01	4250.00	0.1377E-01
1750.00	0.4641E-01	4275.00	0.1366E-01
1775.00	0.4552E-01	4300.00	0.1356E-01
1800.00	0.4465E-01	4325.00	0.1345E-01
1825.00	0.4382E-01	4350.00	0.1334E-01
1850.00	0.4301E-01	4375.00	0.1324E-01
1875.00	0.4222E-01	4400.00	0.1314E-01
1900.00	0.4146E-01	4425.00	0.1303E-01
1924.99	0.4073E-01	4450.00	0.1293E-01
1950.00	0.4001E-01	4475.00	0.1284E-01
1975.00	0.3932E-01	4500.00	0.1274E-01
2000.00	0.3865E-01	4525.00	0.1264E-01
2025.00	0.3800E-01	4550.00	0.1255E-01
2050.00	0.3736E-01	4575.00	0.1245E-01
2075.00	0.3675E-01	4600.00	0.1236E-01
2100.00	0.3615E-01	4625.00	0.1227E-01
2125.00	0.3557E-01	4650.00	0.1218E-01
2150.00	0.3500E-01	4675.00	0.1209E-01
2175.00	0.3446E-01	4700.00	0.1200E-01
2200.00	0.3392E-01	4725.00	0.1192E-01
2224.99	0.3340E-01	4750.00	0.1183E-01
2250.00	0.3289E-01	4775.00	0.1175E-01
2275.00	0.3240E-01	4800.00	0.1166E-01
2300.00	0.3192E-01	4825.00	0.1158E-01
2325.00	0.3145E-01	4850.00	0.1150E-01
2350.00	0.3099E-01	4875.00	0.1142E-01
2375.00	0.3054E-01	4900.00	0.1134E-01
2400.00	0.3011E-01	4925.00	0.1126E-01
2425.00	0.2969E-01	4950.00	0.1118E-01
2450.00	0.2927E-01	4975.00	0.1110E-01
2475.00	0.2887E-01	5000.00	0.1103E-01
2500.00	0.2847E-01		

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CALCULATION PROCEDURE	MAXIMUM 1-HOUR CONC (ug/m3)	SCALED 3-HOUR CONC (ug/m3)	SCALED 8-HOUR CONC (ug/m3)	SCALED 24-HOUR CONC (ug/m3)	SCALED ANNUAL CONC (ug/m3)
FLAT TERRAIN	3.269	3.269	3.269	3.269	N/A
DISTANCE FROM SOURCE	75.00 meters				
IMPACT AT THE AMBIENT BOUNDARY	2.433	2.433	2.433	2.433	N/A
DISTANCE FROM SOURCE	1.00 meters				



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## **Matthew F. Hagemann, P.G., C.Hg., QSD, QSP**

**Geologic and Hydrogeologic Characterization  
Investigation and Remediation Strategies  
Litigation Support and Testifying Expert  
Industrial Stormwater Compliance  
CEQA Review**

### **Education:**

M.S. Degree, Geology, California State University Los Angeles, Los Angeles, CA, 1984.

B.A. Degree, Geology, Humboldt State University, Arcata, CA, 1982.

### **Professional Certifications:**

California Professional Geologist

California Certified Hydrogeologist

Qualified SWPPP Developer and Practitioner

### **Professional Experience:**

Matt has 30 years of experience in environmental policy, contaminant assessment and remediation, stormwater compliance, and CEQA review. He spent nine years with the U.S. EPA in the RCRA and Superfund programs and served as EPA's Senior Science Policy Advisor in the Western Regional Office where he identified emerging threats to groundwater from perchlorate and MTBE. While with EPA, Matt also served as a Senior Hydrogeologist in the oversight of the assessment of seven major military facilities undergoing base closure. He led numerous enforcement actions under provisions of the Resource Conservation and Recovery Act (RCRA) and directed efforts to improve hydrogeologic characterization and water quality monitoring. For the past 15 years, as a founding partner with SWAPE, Matt has developed extensive client relationships and has managed complex projects that include consultation as an expert witness and a regulatory specialist, and a manager of projects ranging from industrial stormwater compliance to CEQA review of impacts from hazardous waste, air quality and greenhouse gas emissions.

Positions Matt has held include:

- Founding Partner, Soil/Water/Air Protection Enterprise (SWAPE) (2003 – present);
- Geology Instructor, Golden West College, 2010 – 2014, 2017;
- Senior Environmental Analyst, Komex H2O Science, Inc. (2000 -- 2003);

- Executive Director, Orange Coast Watch (2001 – 2004);
- Senior Science Policy Advisor and Hydrogeologist, U.S. Environmental Protection Agency (1989–1998);
- Hydrogeologist, National Park Service, Water Resources Division (1998 – 2000);
- Adjunct Faculty Member, San Francisco State University, Department of Geosciences (1993 – 1998);
- Instructor, College of Marin, Department of Science (1990 – 1995);
- Geologist, U.S. Forest Service (1986 – 1998); and
- Geologist, Dames & Moore (1984 – 1986).

**Senior Regulatory and Litigation Support Analyst:**

With SWAPE, Matt’s responsibilities have included:

- Lead analyst and testifying expert in the review of over 300 environmental impact reports and negative declarations since 2003 under CEQA that identify significant issues with regard to hazardous waste, water resources, water quality, air quality, greenhouse gas emissions, and geologic hazards. Make recommendations for additional mitigation measures to lead agencies at the local and county level to include additional characterization of health risks and implementation of protective measures to reduce worker exposure to hazards from toxins and Valley Fever.
- Stormwater analysis, sampling and best management practice evaluation at more than 100 industrial facilities.
- Expert witness on numerous cases including, for example, perfluorooctanoic acid (PFOA) contamination of groundwater, MTBE litigation, air toxins at hazards at a school, CERCLA compliance in assessment and remediation, and industrial stormwater contamination.
- Technical assistance and litigation support for vapor intrusion concerns.
- Lead analyst and testifying expert in the review of environmental issues in license applications for large solar power plants before the California Energy Commission.
- Manager of a project to evaluate numerous formerly used military sites in the western U.S.
- Manager of a comprehensive evaluation of potential sources of perchlorate contamination in Southern California drinking water wells.
- Manager and designated expert for litigation support under provisions of Proposition 65 in the review of releases of gasoline to sources drinking water at major refineries and hundreds of gas stations throughout California.

With Komex H2O Science Inc., Matt’s duties included the following:

- Senior author of a report on the extent of perchlorate contamination that was used in testimony by the former U.S. EPA Administrator and General Counsel.
- Senior researcher in the development of a comprehensive, electronically interactive chronology of MTBE use, research, and regulation.
- Senior researcher in the development of a comprehensive, electronically interactive chronology of perchlorate use, research, and regulation.
- Senior researcher in a study that estimates nationwide costs for MTBE remediation and drinking water treatment, results of which were published in newspapers nationwide and in testimony against provisions of an energy bill that would limit liability for oil companies.
- Research to support litigation to restore drinking water supplies that have been contaminated by MTBE in California and New York.

- Expert witness testimony in a case of oil production-related contamination in Mississippi.
- Lead author for a multi-volume remedial investigation report for an operating school in Los Angeles that met strict regulatory requirements and rigorous deadlines.
- Development of strategic approaches for cleanup of contaminated sites in consultation with clients and regulators.

**Executive Director:**

As Executive Director with Orange Coast Watch, Matt led efforts to restore water quality at Orange County beaches from multiple sources of contamination including urban runoff and the discharge of wastewater. In reporting to a Board of Directors that included representatives from leading Orange County universities and businesses, Matt prepared issue papers in the areas of treatment and disinfection of wastewater and control of the discharge of grease to sewer systems. Matt actively participated in the development of countywide water quality permits for the control of urban runoff and permits for the discharge of wastewater. Matt worked with other nonprofits to protect and restore water quality, including Surfrider, Natural Resources Defense Council and Orange County CoastKeeper as well as with business institutions including the Orange County Business Council.

**Hydrogeology:**

As a Senior Hydrogeologist with the U.S. Environmental Protection Agency, Matt led investigations to characterize and cleanup closing military bases, including Mare Island Naval Shipyard, Hunters Point Naval Shipyard, Treasure Island Naval Station, Alameda Naval Station, Moffett Field, Mather Army Airfield, and Sacramento Army Depot. Specific activities were as follows:

- Led efforts to model groundwater flow and contaminant transport, ensured adequacy of monitoring networks, and assessed cleanup alternatives for contaminated sediment, soil, and groundwater.
- Initiated a regional program for evaluation of groundwater sampling practices and laboratory analysis at military bases.
- Identified emerging issues, wrote technical guidance, and assisted in policy and regulation development through work on four national U.S. EPA workgroups, including the Superfund Groundwater Technical Forum and the Federal Facilities Forum.

At the request of the State of Hawaii, Matt developed a methodology to determine the vulnerability of groundwater to contamination on the islands of Maui and Oahu. He used analytical models and a GIS to show zones of vulnerability, and the results were adopted and published by the State of Hawaii and County of Maui.

As a hydrogeologist with the EPA Groundwater Protection Section, Matt worked with provisions of the Safe Drinking Water Act and NEPA to prevent drinking water contamination. Specific activities included the following:

- Received an EPA Bronze Medal for his contribution to the development of national guidance for the protection of drinking water.
- Managed the Sole Source Aquifer Program and protected the drinking water of two communities through designation under the Safe Drinking Water Act. He prepared geologic reports, conducted

public hearings, and responded to public comments from residents who were very concerned about the impact of designation.

- Reviewed a number of Environmental Impact Statements for planned major developments, including large hazardous and solid waste disposal facilities, mine reclamation, and water transfer.

Matt served as a hydrogeologist with the RCRA Hazardous Waste program. Duties were as follows:

- Supervised the hydrogeologic investigation of hazardous waste sites to determine compliance with Subtitle C requirements.
- Reviewed and wrote "part B" permits for the disposal of hazardous waste.
- Conducted RCRA Corrective Action investigations of waste sites and led inspections that formed the basis for significant enforcement actions that were developed in close coordination with U.S. EPA legal counsel.
- Wrote contract specifications and supervised contractor's investigations of waste sites.

With the National Park Service, Matt directed service-wide investigations of contaminant sources to prevent degradation of water quality, including the following tasks:

- Applied pertinent laws and regulations including CERCLA, RCRA, NEPA, NRDA, and the Clean Water Act to control military, mining, and landfill contaminants.
- Conducted watershed-scale investigations of contaminants at parks, including Yellowstone and Olympic National Park.
- Identified high-levels of perchlorate in soil adjacent to a national park in New Mexico and advised park superintendent on appropriate response actions under CERCLA.
- Served as a Park Service representative on the Interagency Perchlorate Steering Committee, a national workgroup.
- Developed a program to conduct environmental compliance audits of all National Parks while serving on a national workgroup.
- Co-authored two papers on the potential for water contamination from the operation of personal watercraft and snowmobiles, these papers serving as the basis for the development of nationwide policy on the use of these vehicles in National Parks.
- Contributed to the Federal Multi-Agency Source Water Agreement under the Clean Water Action Plan.

### **Policy:**

Served senior management as the Senior Science Policy Advisor with the U.S. Environmental Protection Agency, Region 9.

Activities included the following:

- Advised the Regional Administrator and senior management on emerging issues such as the potential for the gasoline additive MTBE and ammonium perchlorate to contaminate drinking water supplies.
- Shaped EPA's national response to these threats by serving on workgroups and by contributing to guidance, including the Office of Research and Development publication, *Oxygenates in Water: Critical Information and Research Needs*.
- Improved the technical training of EPA's scientific and engineering staff.
- Earned an EPA Bronze Medal for representing the region's 300 scientists and engineers in negotiations with the Administrator and senior management to better integrate scientific

principles into the policy-making process.

- Established national protocol for the peer review of scientific documents.

### **Geology:**

With the U.S. Forest Service, Matt led investigations to determine hillslope stability of areas proposed for timber harvest in the central Oregon Coast Range. Specific activities were as follows:

- Mapped geology in the field, and used aerial photographic interpretation and mathematical models to determine slope stability.
- Coordinated his research with community members who were concerned with natural resource protection.
- Characterized the geology of an aquifer that serves as the sole source of drinking water for the city of Medford, Oregon.

As a consultant with Dames and Moore, Matt led geologic investigations of two contaminated sites (later listed on the Superfund NPL) in the Portland, Oregon, area and a large hazardous waste site in eastern Oregon. Duties included the following:

- Supervised year-long effort for soil and groundwater sampling.
- Conducted aquifer tests.
- Investigated active faults beneath sites proposed for hazardous waste disposal.

### **Teaching:**

From 1990 to 1998, Matt taught at least one course per semester at the community college and university levels:

- At San Francisco State University, held an adjunct faculty position and taught courses in environmental geology, oceanography (lab and lecture), hydrogeology, and groundwater contamination.
- Served as a committee member for graduate and undergraduate students.
- Taught courses in environmental geology and oceanography at the College of Marin.

Matt is currently a part time geology instructor at Golden West College in Huntington Beach, California where he taught from 2010 to 2014 and in 2017.

### **Invited Testimony, Reports, Papers and Presentations:**

**Hagemann, M.F.**, 2008. Disclosure of Hazardous Waste Issues under CEQA. Presentation to the Public Environmental Law Conference, Eugene, Oregon.

**Hagemann, M.F.**, 2008. Disclosure of Hazardous Waste Issues under CEQA. Invited presentation to U.S. EPA Region 9, San Francisco, California.

**Hagemann, M.F.**, 2005. Use of Electronic Databases in Environmental Regulation, Policy Making and Public Participation. Brownfields 2005, Denver, Colorado.

**Hagemann, M.F.**, 2004. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in Nevada and the Southwestern U.S. Presentation to a meeting of the American Groundwater Trust, Las Vegas, NV (served on conference organizing committee).

**Hagemann, M.F.**, 2004. Invited testimony to a California Senate committee hearing on air toxins at schools in Southern California, Los Angeles.

Brown, A., Farrow, J., Gray, A. and **Hagemann, M.**, 2004. An Estimate of Costs to Address MTBE Releases from Underground Storage Tanks and the Resulting Impact to Drinking Water Wells. Presentation to the Ground Water and Environmental Law Conference, National Groundwater Association.

**Hagemann, M.F.**, 2004. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in Arizona and the Southwestern U.S. Presentation to a meeting of the American Groundwater Trust, Phoenix, AZ (served on conference organizing committee).

**Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in the Southwestern U.S. Invited presentation to a special committee meeting of the National Academy of Sciences, Irvine, CA.

**Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River. Invited presentation to a tribal EPA meeting, Pechanga, CA.

**Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River. Invited presentation to a meeting of tribal representatives, Parker, AZ.

**Hagemann, M.F.**, 2003. Impact of Perchlorate on the Colorado River and Associated Drinking Water Supplies. Invited presentation to the Inter-Tribal Meeting, Torres Martinez Tribe.

**Hagemann, M.F.**, 2003. The Emergence of Perchlorate as a Widespread Drinking Water Contaminant. Invited presentation to the U.S. EPA Region 9.

**Hagemann, M.F.**, 2003. A Deductive Approach to the Assessment of Perchlorate Contamination. Invited presentation to the California Assembly Natural Resources Committee.

**Hagemann, M.F.**, 2003. Perchlorate: A Cold War Legacy in Drinking Water. Presentation to a meeting of the National Groundwater Association.

**Hagemann, M.F.**, 2002. From Tank to Tap: A Chronology of MTBE in Groundwater. Presentation to a meeting of the National Groundwater Association.

**Hagemann, M.F.**, 2002. A Chronology of MTBE in Groundwater and an Estimate of Costs to Address Impacts to Groundwater. Presentation to the annual meeting of the Society of Environmental Journalists.

**Hagemann, M.F.**, 2002. An Estimate of the Cost to Address MTBE Contamination in Groundwater (and Who Will Pay). Presentation to a meeting of the National Groundwater Association.

**Hagemann, M.F.**, 2002. An Estimate of Costs to Address MTBE Releases from Underground Storage Tanks and the Resulting Impact to Drinking Water Wells. Presentation to a meeting of the U.S. EPA and State Underground Storage Tank Program managers.

**Hagemann, M.F.**, 2001. From Tank to Tap: A Chronology of MTBE in Groundwater. Unpublished report.

**Hagemann, M.F.**, 2001. Estimated Cleanup Cost for MTBE in Groundwater Used as Drinking Water. Unpublished report.

**Hagemann, M.F.**, 2001. Estimated Costs to Address MTBE Releases from Leaking Underground Storage Tanks. Unpublished report.

**Hagemann, M.F.**, and VanMouwerik, M., 1999. Potential Water Quality Concerns Related to Snowmobile Usage. Water Resources Division, National Park Service, Technical Report.

VanMouwerik, M. and **Hagemann, M.F.** 1999, Water Quality Concerns Related to Personal Watercraft Usage. Water Resources Division, National Park Service, Technical Report.

**Hagemann, M.F.**, 1999, Is Dilution the Solution to Pollution in National Parks? The George Wright Society Biannual Meeting, Asheville, North Carolina.

**Hagemann, M.F.**, 1997, The Potential for MTBE to Contaminate Groundwater. U.S. EPA Superfund Groundwater Technical Forum Annual Meeting, Las Vegas, Nevada.

**Hagemann, M.F.**, and Gill, M., 1996, Impediments to Intrinsic Remediation, Moffett Field Naval Air Station, Conference on Intrinsic Remediation of Chlorinated Hydrocarbons, Salt Lake City.

**Hagemann, M.F.**, Fukunaga, G.L., 1996, The Vulnerability of Groundwater to Anthropogenic Contaminants on the Island of Maui, Hawaii. Hawaii Water Works Association Annual Meeting, Maui, October 1996.

**Hagemann, M. F.**, Fukunaga, G. L., 1996, Ranking Groundwater Vulnerability in Central Oahu, Hawaii. Proceedings, Geographic Information Systems in Environmental Resources Management, Air and Waste Management Association Publication VIP-61.

**Hagemann, M.F.**, 1994. Groundwater Characterization and Clean up at Closing Military Bases in California. Proceedings, California Groundwater Resources Association Meeting.

**Hagemann, M.F.** and Sabol, M.A., 1993. Role of the U.S. EPA in the High Plains States Groundwater Recharge Demonstration Program. Proceedings, Sixth Biennial Symposium on the Artificial Recharge of Groundwater.

**Hagemann, M.F.**, 1993. U.S. EPA Policy on the Technical Impracticability of the Cleanup of DNAPL-contaminated Groundwater. California Groundwater Resources Association Meeting.

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**Hagemann, M.F.**, 1992. Dense Nonaqueous Phase Liquid Contamination of Groundwater: An Ounce of Prevention... Proceedings, Association of Engineering Geologists Annual Meeting, v. 35.

**Other Experience:**

Selected as subject matter expert for the California Professional Geologist licensing examinations, 2009-2011.



Technical Consultation, Data Analysis and  
Litigation Support for the Environment

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## ***Paul Rosenfeld, Ph.D.***

*Principal Environmental Chemist*

**Chemical Fate and Transport & Air Dispersion Modeling**

**Risk Assessment & Remediation Specialist**

### **Education**

Ph.D. Soil Chemistry, University of Washington, 1999. Dissertation on volatile organic compound filtration.

M.S. Environmental Science, U.C. Berkeley, 1995. Thesis on organic waste economics.

B.A. Environmental Studies, U.C. Santa Barbara, 1991. Focus on wastewater treatment.

### **Professional Experience**

Dr. Rosenfeld has over 25 years of experience conducting environmental investigations and risk assessments for evaluating impacts to human health, property, and ecological receptors. His expertise focuses on the fate and transport of environmental contaminants, human health risk, exposure assessment, and ecological restoration. Dr. Rosenfeld has evaluated and modeled emissions from oil spills, landfills, boilers and incinerators, process stacks, storage tanks, confined animal feeding operations, industrial, military and agricultural sources, unconventional oil drilling operations, and locomotive and construction engines. His project experience ranges from monitoring and modeling of pollution sources to evaluating impacts of pollution on workers at industrial facilities and residents in surrounding communities. Dr. Rosenfeld has also successfully modeled exposure to contaminants distributed by water systems and via vapor intrusion.

Dr. Rosenfeld has investigated and designed remediation programs and risk assessments for contaminated sites containing lead, heavy metals, mold, bacteria, particulate matter, petroleum hydrocarbons, chlorinated solvents, pesticides, radioactive waste, dioxins and furans, semi- and volatile organic compounds, PCBs, PAHs, creosote, perchlorate, asbestos, per- and poly-fluoroalkyl substances (PFOA/PFOS), unusual polymers, fuel oxygenates (MTBE), among other pollutants. Dr. Rosenfeld also has experience evaluating greenhouse gas emissions from various projects and is an expert on the assessment of odors from industrial and agricultural sites, as well as the evaluation of odor nuisance impacts and technologies for abatement of odorous emissions. As a principal scientist at SWAPE, Dr. Rosenfeld directs air dispersion modeling and exposure assessments. He has served as an expert witness and testified about pollution sources causing nuisance and/or personal injury at sites and has testified as an expert witness on numerous cases involving exposure to soil, water and air contaminants from industrial, railroad, agricultural, and military sources.

## **Professional History:**

Soil Water Air Protection Enterprise (SWAPE); 2003 to present; Principal and Founding Partner  
UCLA School of Public Health; 2007 to 2011; Lecturer (Assistant Researcher)  
UCLA School of Public Health; 2003 to 2006; Adjunct Professor  
UCLA Environmental Science and Engineering Program; 2002-2004; Doctoral Intern Coordinator  
UCLA Institute of the Environment, 2001-2002; Research Associate  
Komex H<sub>2</sub>O Science, 2001 to 2003; Senior Remediation Scientist  
National Groundwater Association, 2002-2004; Lecturer  
San Diego State University, 1999-2001; Adjunct Professor  
Anteon Corp., San Diego, 2000-2001; Remediation Project Manager  
Ogden (now Amec), San Diego, 2000-2000; Remediation Project Manager  
Bechtel, San Diego, California, 1999 – 2000; Risk Assessor  
King County, Seattle, 1996 – 1999; Scientist  
James River Corp., Washington, 1995-96; Scientist  
Big Creek Lumber, Davenport, California, 1995; Scientist  
Plumas Corp., California and USFS, Tahoe 1993-1995; Scientist  
Peace Corps and World Wildlife Fund, St. Kitts, West Indies, 1991-1993; Scientist

## **Publications:**

**Rosenfeld P. E.**, Spaeth K., Hallman R., Bressler R., Smith, G., (2022) Cancer Risk and Diesel Exhaust Exposure Among Railroad Workers. *Water Air Soil Pollution*. **233**, 171.

Remy, L.L., Clay T., Byers, V., **Rosenfeld P. E.** (2019) Hospital, Health, and Community Burden After Oil Refinery Fires, Richmond, California 2007 and 2012. *Environmental Health*. 18:48

Simons, R.A., Seo, Y. **Rosenfeld, P.**, (2015) Modeling the Effect of Refinery Emission On Residential Property Value. *Journal of Real Estate Research*. 27(3):321-342

Chen, J. A, Zapata A. R., Sutherland A. J., Molmen, D.R., Chow, B. S., Wu, L. E., **Rosenfeld, P. E.**, Hesse, R. C., (2012) Sulfur Dioxide and Volatile Organic Compound Exposure To A Community In Texas City Texas Evaluated Using Aermol and Empirical Data. *American Journal of Environmental Science*, 8(6), 622-632.

**Rosenfeld, P.E.** & Feng, L. (2011). *The Risks of Hazardous Waste*. Amsterdam: Elsevier Publishing.

Cheremisinoff, N.P., & **Rosenfeld, P.E.** (2011). *Handbook of Pollution Prevention and Cleaner Production: Best Practices in the Agrochemical Industry*, Amsterdam: Elsevier Publishing.

Gonzalez, J., Feng, L., Sutherland, A., Waller, C., Sok, H., Hesse, R., **Rosenfeld, P.** (2010). PCBs and Dioxins/Furans in Attic Dust Collected Near Former PCB Production and Secondary Copper Facilities in Sauget, IL. *Procedia Environmental Sciences*. 113–125.

Feng, L., Wu, C., Tam, L., Sutherland, A.J., Clark, J.J., **Rosenfeld, P.E.** (2010). Dioxin and Furan Blood Lipid and Attic Dust Concentrations in Populations Living Near Four Wood Treatment Facilities in the United States. *Journal of Environmental Health*. 73(6), 34-46.

Cheremisinoff, N.P., & **Rosenfeld, P.E.** (2010). *Handbook of Pollution Prevention and Cleaner Production: Best Practices in the Wood and Paper Industries*. Amsterdam: Elsevier Publishing.

Cheremisinoff, N.P., & **Rosenfeld, P.E.** (2009). *Handbook of Pollution Prevention and Cleaner Production: Best Practices in the Petroleum Industry*. Amsterdam: Elsevier Publishing.

Wu, C., Tam, L., Clark, J., **Rosenfeld, P.** (2009). Dioxin and furan blood lipid concentrations in populations living near four wood treatment facilities in the United States. *WIT Transactions on Ecology and the Environment, Air Pollution*, 123 (17), 319-327.

Tam L. K., Wu C. D., Clark J. J. and **Rosenfeld, P.E.** (2008). A Statistical Analysis Of Attic Dust And Blood Lipid Concentrations Of Tetrachloro-p-Dibenzodioxin (TCDD) Toxicity Equivalency Quotients (TEQ) In Two Populations Near Wood Treatment Facilities. *Organohalogen Compounds*, 70, 002252-002255.

Tam L. K., Wu C. D., Clark J. J. and **Rosenfeld, P.E.** (2008). Methods For Collect Samples For Assessing Dioxins And Other Environmental Contaminants In Attic Dust: A Review. *Organohalogen Compounds*, 70, 000527-000530.

Hensley, A.R. A. Scott, J. J. J. Clark, **Rosenfeld, P.E.** (2007). Attic Dust and Human Blood Samples Collected near a Former Wood Treatment Facility. *Environmental Research*. 105, 194-197.

**Rosenfeld, P.E.**, J. J. J. Clark, A. R. Hensley, M. Suffet. (2007). The Use of an Odor Wheel Classification for Evaluation of Human Health Risk Criteria for Compost Facilities. *Water Science & Technology* 55(5), 345-357.

**Rosenfeld, P. E.**, M. Suffet. (2007). The Anatomy Of Odour Wheels For Odours Of Drinking Water, Wastewater, Compost And The Urban Environment. *Water Science & Technology* 55(5), 335-344.

Sullivan, P. J. Clark, J.J.J., Agardy, F. J., **Rosenfeld, P.E.** (2007). *Toxic Legacy, Synthetic Toxins in the Food, Water, and Air in American Cities*. Boston Massachusetts: Elsevier Publishing

**Rosenfeld, P.E.**, and Suffet I.H. (2004). Control of Compost Odor Using High Carbon Wood Ash. *Water Science and Technology*. 49(9),171-178.

**Rosenfeld P. E.**, J.J. Clark, I.H. (Mel) Suffet (2004). The Value of An Odor-Quality-Wheel Classification Scheme For The Urban Environment. *Water Environment Federation's Technical Exhibition and Conference (WEFTEC) 2004*. New Orleans, October 2-6, 2004.

**Rosenfeld, P.E.**, and Suffet, I.H. (2004). Understanding Odorants Associated With Compost, Biomass Facilities, and the Land Application of Biosolids. *Water Science and Technology*. 49(9), 193-199.

**Rosenfeld, P.E.**, and Suffet I.H. (2004). Control of Compost Odor Using High Carbon Wood Ash, *Water Science and Technology*, 49( 9), 171-178.

**Rosenfeld, P. E.**, Grey, M. A., Sellew, P. (2004). Measurement of Biosolids Odor and Odorant Emissions from Windrows, Static Pile and Biofilter. *Water Environment Research*. 76(4), 310-315.

**Rosenfeld, P.E.**, Grey, M and Suffet, M. (2002). Compost Demonstration Project, Sacramento California Using High-Carbon Wood Ash to Control Odor at a Green Materials Composting Facility. *Integrated Waste Management Board Public Affairs Office, Publications Clearinghouse (MS-6)*, Sacramento, CA Publication #442-02-008.

**Rosenfeld, P.E.**, and C.L. Henry. (2001). Characterization of odor emissions from three different biosolids. *Water Soil and Air Pollution*. 127(1-4), 173-191.

**Rosenfeld, P.E.**, and Henry C. L., (2000). Wood ash control of odor emissions from biosolids application. *Journal of Environmental Quality*. 29, 1662-1668.

**Rosenfeld, P.E.**, C.L. Henry and D. Bennett. (2001). Wastewater dewatering polymer affect on biosolids odor emissions and microbial activity. *Water Environment Research*. 73(4), 363-367.

**Rosenfeld, P.E.**, and C.L. Henry. (2001). Activated Carbon and Wood Ash Sorption of Wastewater, Compost, and Biosolids Odorants. *Water Environment Research*, 73, 388-393.

**Rosenfeld, P.E.**, and Henry C. L., (2001). High carbon wood ash effect on biosolids microbial activity and odor. *Water Environment Research*. 131(1-4), 247-262.

Chollack, T. and **P. Rosenfeld**. (1998). Compost Amendment Handbook For Landscaping. Prepared for and distributed by the City of Redmond, Washington State.

**Rosenfeld, P. E.** (1992). The Mount Liamuiga Crater Trail. *Heritage Magazine of St. Kitts*, 3(2).

**Rosenfeld, P. E.** (1993). High School Biogas Project to Prevent Deforestation On St. Kitts. *Biomass Users Network*, 7(1).

**Rosenfeld, P. E.** (1998). Characterization, Quantification, and Control of Odor Emissions From Biosolids Application To Forest Soil. Doctoral Thesis. University of Washington College of Forest Resources.

**Rosenfeld, P. E.** (1994). Potential Utilization of Small Diameter Trees on Sierra County Public Land. Masters thesis reprinted by the Sierra County Economic Council. Sierra County, California.

**Rosenfeld, P. E.** (1991). How to Build a Small Rural Anaerobic Digester & Uses Of Biogas In The First And Third World. Bachelors Thesis. University of California.

## **Presentations:**

**Rosenfeld, P.E.**, "The science for Perfluorinated Chemicals (PFAS): What makes remediation so hard?" Law Seminars International, (May 9-10, 2018) 800 Fifth Avenue, Suite 101 Seattle, WA.

**Rosenfeld, P.E.**, Sutherland, A; Hesse, R.; Zapata, A. (October 3-6, 2013). Air dispersion modeling of volatile organic emissions from multiple natural gas wells in Decatur, TX. *44th Western Regional Meeting, American Chemical Society*. Lecture conducted from Santa Clara, CA.

Sok, H.L.; Waller, C.C.; Feng, L.; Gonzalez, J.; Sutherland, A.J.; Wisdom-Stack, T.; Sahai, R.K.; Hesse, R.C.; **Rosenfeld, P.E.** (June 20-23, 2010). Atrazine: A Persistent Pesticide in Urban Drinking Water. *Urban Environmental Pollution*. Lecture conducted from Boston, MA.

Feng, L.; Gonzalez, J.; Sok, H.L.; Sutherland, A.J.; Waller, C.C.; Wisdom-Stack, T.; Sahai, R.K.; La, M.; Hesse, R.C.; **Rosenfeld, P.E.** (June 20-23, 2010). Bringing Environmental Justice to East St. Louis, Illinois. *Urban Environmental Pollution*. Lecture conducted from Boston, MA.

**Rosenfeld, P.E.** (April 19-23, 2009). Perfluorooctanoic Acid (PFOA) and Perfluorooctane Sulfonate (PFOS) Contamination in Drinking Water From the Use of Aqueous Film Forming Foams (AFFF) at Airports in the United States. *2009 Ground Water Summit and 2009 Ground Water Protection Council Spring Meeting*, Lecture conducted from Tuscon, AZ.

**Rosenfeld, P.E.** (April 19-23, 2009). Cost to Filter Atrazine Contamination from Drinking Water in the United States" Contamination in Drinking Water From the Use of Aqueous Film Forming Foams (AFFF) at Airports in the United States. *2009 Ground Water Summit and 2009 Ground Water Protection Council Spring Meeting*. Lecture conducted from Tuscon, AZ.

Wu, C., Tam, L., Clark, J., **Rosenfeld, P.** (20-22 July, 2009). Dioxin and furan blood lipid concentrations in populations living near four wood treatment facilities in the United States. Brebbia, C.A. and Popov, V., eds., *Air Pollution XVII: Proceedings of the Seventeenth International Conference on Modeling, Monitoring and Management of Air Pollution*. Lecture conducted from Tallinn, Estonia.

**Rosenfeld, P. E.** (October 15-18, 2007). Moss Point Community Exposure To Contaminants From A Releasing Facility. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Platform lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld, P. E.** (October 15-18, 2007). The Repeated Trespass of Tritium-Contaminated Water Into A Surrounding Community Form Repeated Waste Spills From A Nuclear Power Plant. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Platform lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld, P. E.** (October 15-18, 2007). Somerville Community Exposure To Contaminants From Wood Treatment Facility Emissions. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld P. E.** (March 2007). Production, Chemical Properties, Toxicology, & Treatment Case Studies of 1,2,3-Trichloropropane (TCP). *The Association for Environmental Health and Sciences (AEHS) Annual Meeting*. Lecture conducted from San Diego, CA.

**Rosenfeld P. E.** (March 2007). Blood and Attic Sampling for Dioxin/Furan, PAH, and Metal Exposure in Florida, Alabama. *The AEHS Annual Meeting*. Lecture conducted from San Diego, CA.

Hensley A.R., Scott, A., **Rosenfeld P.E.**, Clark, J.J.J. (August 21 – 25, 2006). Dioxin Containing Attic Dust And Human Blood Samples Collected Near A Former Wood Treatment Facility. *The 26th International Symposium on Halogenated Persistent Organic Pollutants – DIOXIN2006*. Lecture conducted from Radisson SAS Scandinavia Hotel in Oslo Norway.

Hensley A.R., Scott, A., **Rosenfeld P.E.**, Clark, J.J.J. (November 4-8, 2006). Dioxin Containing Attic Dust And Human Blood Samples Collected Near A Former Wood Treatment Facility. *APHA 134 Annual Meeting & Exposition*. Lecture conducted from Boston Massachusetts.

**Paul Rosenfeld Ph.D.** (October 24-25, 2005). Fate, Transport and Persistence of PFOA and Related Chemicals. Mealey's C8/PFOA. *Science, Risk & Litigation Conference*. Lecture conducted from The Rittenhouse Hotel, Philadelphia, PA.

**Paul Rosenfeld Ph.D.** (September 19, 2005). Brominated Flame Retardants in Groundwater: Pathways to Human Ingestion, *Toxicology and Remediation PEMA Emerging Contaminant Conference*. Lecture conducted from Hilton Hotel, Irvine California.

**Paul Rosenfeld Ph.D.** (September 19, 2005). Fate, Transport, Toxicity, And Persistence of 1,2,3-TCP. *PEMA Emerging Contaminant Conference*. Lecture conducted from Hilton Hotel in Irvine, California.

**Paul Rosenfeld Ph.D.** (September 26-27, 2005). Fate, Transport and Persistence of PDBEs. *Mealey's Groundwater Conference*. Lecture conducted from Ritz Carlton Hotel, Marina Del Ray, California.

**Paul Rosenfeld Ph.D.** (June 7-8, 2005). Fate, Transport and Persistence of PFOA and Related Chemicals. *International Society of Environmental Forensics: Focus On Emerging Contaminants*. Lecture conducted from Sheraton Oceanfront Hotel, Virginia Beach, Virginia.

**Paul Rosenfeld Ph.D.** (July 21-22, 2005). Fate Transport, Persistence and Toxicology of PFOA and Related Perfluorochemicals. *2005 National Groundwater Association Ground Water And Environmental Law Conference*. Lecture conducted from Wyndham Baltimore Inner Harbor, Baltimore Maryland.

**Paul Rosenfeld Ph.D.** (July 21-22, 2005). Brominated Flame Retardants in Groundwater: Pathways to Human Ingestion, Toxicology and Remediation. *2005 National Groundwater Association Ground Water and Environmental Law Conference*. Lecture conducted from Wyndham Baltimore Inner Harbor, Baltimore Maryland.

**Paul Rosenfeld, Ph.D.** and James Clark Ph.D. and Rob Hesse R.G. (May 5-6, 2004). Tert-butyl Alcohol Liability and Toxicology, A National Problem and Unquantified Liability. *National Groundwater Association. Environmental Law Conference*. Lecture conducted from Congress Plaza Hotel, Chicago Illinois.

**Paul Rosenfeld, Ph.D.** (March 2004). Perchlorate Toxicology. *Meeting of the American Groundwater Trust*. Lecture conducted from Phoenix Arizona.

Hagemann, M.F., **Paul Rosenfeld, Ph.D.** and Rob Hesse (2004). Perchlorate Contamination of the Colorado River. *Meeting of tribal representatives*. Lecture conducted from Parker, AZ.

**Paul Rosenfeld, Ph.D.** (April 7, 2004). A National Damage Assessment Model For PCE and Dry Cleaners. *Drycleaner Symposium. California Ground Water Association*. Lecture conducted from Radison Hotel, Sacramento, California.

**Rosenfeld, P. E.**, Grey, M., (June 2003) Two stage biofilter for biosolids composting odor control. *Seventh International In Situ And On Site Bioremediation Symposium Battelle Conference Orlando, FL*.

**Paul Rosenfeld, Ph.D.** and James Clark Ph.D. (February 20-21, 2003) Understanding Historical Use, Chemical Properties, Toxicity and Regulatory Guidance of 1,4 Dioxane. *National Groundwater Association. Southwest Focus Conference. Water Supply and Emerging Contaminants..* Lecture conducted from Hyatt Regency Phoenix Arizona.

**Paul Rosenfeld, Ph.D.** (February 6-7, 2003). Underground Storage Tank Litigation and Remediation. *California CUPA Forum*. Lecture conducted from Marriott Hotel, Anaheim California.

**Paul Rosenfeld, Ph.D.** (October 23, 2002) Underground Storage Tank Litigation and Remediation. *EPA Underground Storage Tank Roundtable*. Lecture conducted from Sacramento California.

**Rosenfeld, P.E.** and Suffet, M. (October 7- 10, 2002). Understanding Odor from Compost, *Wastewater and Industrial Processes. Sixth Annual Symposium On Off Flavors in the Aquatic Environment. International Water Association*. Lecture conducted from Barcelona Spain.

**Rosenfeld, P.E.** and Suffet, M. (October 7- 10, 2002). Using High Carbon Wood Ash to Control Compost Odor. *Sixth Annual Symposium On Off Flavors in the Aquatic Environment. International Water Association*. Lecture conducted from Barcelona Spain.

**Rosenfeld, P.E.** and Grey, M. A. (September 22-24, 2002). Biocycle Composting For Coastal Sage Restoration. *Northwest Biosolids Management Association*. Lecture conducted from Vancouver Washington..

**Rosenfeld, P.E.** and Grey, M. A. (November 11-14, 2002). Using High-Carbon Wood Ash to Control Odor at a Green Materials Composting Facility. *Soil Science Society Annual Conference*. Lecture conducted from Indianapolis, Maryland.

**Rosenfeld, P.E.** (September 16, 2000). Two stage biofilter for biosolids composting odor control. *Water Environment Federation*. Lecture conducted from Anaheim California.

**Rosenfeld, P.E.** (October 16, 2000). Wood ash and biofilter control of compost odor. *Biofest*. Lecture conducted from Ocean Shores, California.

**Rosenfeld, P.E.** (2000). Bioremediation Using Organic Soil Amendments. *California Resource Recovery Association*. Lecture conducted from Sacramento California.

**Rosenfeld, P.E.**, C.L. Henry, R. Harrison. (1998). Oat and Grass Seed Germination and Nitrogen and Sulfur Emissions Following Biosolids Incorporation With High-Carbon Wood-Ash. *Water Environment Federation 12th Annual Residuals and Biosolids Management Conference Proceedings*. Lecture conducted from Bellevue Washington.

**Rosenfeld, P.E.**, and C.L. Henry. (1999). An evaluation of ash incorporation with biosolids for odor reduction. *Soil Science Society of America*. Lecture conducted from Salt Lake City Utah.

**Rosenfeld, P.E.,** C.L. Henry, R. Harrison. (1998). Comparison of Microbial Activity and Odor Emissions from Three Different Biosolids Applied to Forest Soil. *Brown and Caldwell*. Lecture conducted from Seattle Washington.

**Rosenfeld, P.E.,** C.L. Henry. (1998). Characterization, Quantification, and Control of Odor Emissions from Biosolids Application To Forest Soil. *Biofest*. Lecture conducted from Lake Chelan, Washington.

**Rosenfeld, P.E.,** C.L. Henry, R. Harrison. (1998). Oat and Grass Seed Germination and Nitrogen and Sulfur Emissions Following Biosolids Incorporation With High-Carbon Wood-Ash. Water Environment Federation 12th Annual Residuals and Biosolids Management Conference Proceedings. Lecture conducted from Bellevue Washington.

**Rosenfeld, P.E.,** C.L. Henry, R. B. Harrison, and R. Dills. (1997). Comparison of Odor Emissions From Three Different Biosolids Applied to Forest Soil. *Soil Science Society of America*. Lecture conducted from Anaheim California.

## **Teaching Experience:**

UCLA Department of Environmental Health (Summer 2003 through 20010) Taught Environmental Health Science 100 to students, including undergrad, medical doctors, public health professionals and nurses. Course focused on the health effects of environmental contaminants.

National Ground Water Association, Successful Remediation Technologies. Custom Course in Sante Fe, New Mexico. May 21, 2002. Focused on fate and transport of fuel contaminants associated with underground storage tanks.

National Ground Water Association; Successful Remediation Technologies Course in Chicago Illinois. April 1, 2002. Focused on fate and transport of contaminants associated with Superfund and RCRA sites.

California Integrated Waste Management Board, April and May, 2001. Alternative Landfill Caps Seminar in San Diego, Ventura, and San Francisco. Focused on both prescriptive and innovative landfill cover design.

UCLA Department of Environmental Engineering, February 5, 2002. Seminar on Successful Remediation Technologies focusing on Groundwater Remediation.

University Of Washington, Soil Science Program, Teaching Assistant for several courses including: Soil Chemistry, Organic Soil Amendments, and Soil Stability.

U.C. Berkeley, Environmental Science Program Teaching Assistant for Environmental Science 10.

## **Academic Grants Awarded:**

California Integrated Waste Management Board. \$41,000 grant awarded to UCLA Institute of the Environment. Goal: To investigate effect of high carbon wood ash on volatile organic emissions from compost. 2001.

Synagro Technologies, Corona California: \$10,000 grant awarded to San Diego State University. Goal: investigate effect of biosolids for restoration and remediation of degraded coastal sage soils. 2000.

King County, Department of Research and Technology, Washington State. \$100,000 grant awarded to University of Washington: Goal: To investigate odor emissions from biosolids application and the effect of polymers and ash on VOC emissions. 1998.

Northwest Biosolids Management Association, Washington State. \$20,000 grant awarded to investigate effect of polymers and ash on VOC emissions from biosolids. 1997.

James River Corporation, Oregon: \$10,000 grant was awarded to investigate the success of genetically engineered Poplar trees with resistance to round-up. 1996.

United State Forest Service, Tahoe National Forest: \$15,000 grant was awarded to investigating fire ecology of the Tahoe National Forest. 1995.

Kellogg Foundation, Washington D.C. \$500 grant was awarded to construct a large anaerobic digester on St. Kitts in West Indies. 1993

## **Deposition and/or Trial Testimony:**

In the Superior Court of the State of California, County of San Bernardino  
Billy Wildrick, Plaintiff vs. BNSF Railway Company  
Case No. CIVDS1711810  
Rosenfeld Deposition 10-17-2022

In the State Court of Bibb County, State of Georgia  
Richard Hutcherson, Plaintiff vs Norfolk Southern Railway Company  
Case No. 10-SCCV-092007  
Rosenfeld Deposition 10-6-2022

In the Civil District Court of the Parish of Orleans, State of Louisiana  
Millard Clark, Plaintiff vs. Dixie Carriers, Inc. et al.  
Case No. 2020-03891  
Rosenfeld Deposition 9-15-2022

In The Circuit Court of Livingston County, State of Missouri, Circuit Civil Division  
Shirley Ralls, Plaintiff vs. Canadian Pacific Railway and Soo Line Railroad  
Case No. 18-LV-CC0020  
Rosenfeld Deposition 9-7-2022

In The Circuit Court of the 13th Judicial Circuit Court, Hillsborough County, Florida Civil Division  
Jonny C. Daniels, Plaintiff vs. CSX Transportation Inc.  
Case No. 20-CA-5502  
Rosenfeld Deposition 9-1-2022

In The Circuit Court of St. Louis County, State of Missouri  
Kieth Luke et. al. Plaintiff vs. Monsanto Company et. al.  
Case No. 19SL-CC03191  
Rosenfeld Deposition 8-25-2022

In The Circuit Court of the 13th Judicial Circuit Court, Hillsborough County, Florida Civil Division  
Jeffery S. Lamotte, Plaintiff vs. CSX Transportation Inc.  
Case No. NO. 20-CA-0049  
Rosenfeld Deposition 8-22-2022

In State of Minnesota District Court, County of St. Louis Sixth Judicial District  
Greg Bean, Plaintiff vs. Soo Line Railroad Company  
Case No. 69-DU-CV-21-760  
Rosenfeld Deposition 8-17-2022

In United States District Court Western District of Washington at Tacoma, Washington  
John D. Fitzgerald Plaintiff vs. BNSF  
Case No. 3:21-cv-05288-RJB  
Rosenfeld Deposition 8-11-2022

In Circuit Court of the Sixth Judicial Circuit, Macon Illinois  
Rocky Bennyhoff Plaintiff vs. Norfolk Southern  
Case No. 20-L-56  
Rosenfeld Deposition 8-3-2022

In Court of Common Pleas, Hamilton County Ohio  
Joe Briggins Plaintiff vs. CSX  
Case No. A2004464  
Rosenfeld Deposition 6-17-2022

In the Superior Court of the State of California, County of Kern  
George LaFazia vs. BNSF Railway Company.  
Case No. BCV-19-103087  
Rosenfeld Deposition 5-17-2022

In the Circuit Court of Cook County Illinois  
Bobby Earles vs. Penn Central et. al.  
Case No. 2020-L-000550  
Rosenfeld Deposition 4-16-2022

In United States District Court Easter District of Florida  
Albert Hartman Plaintiff vs. Illinois Central  
Case No. 2:20-cv-1633  
Rosenfeld Deposition 4-4-2022

In the Circuit Court of the 4<sup>th</sup> Judicial Circuit, in and For Duval County, Florida  
Barbara Steele vs. CSX Transportation  
Case No.16-219-Ca-008796  
Rosenfeld Deposition 3-15-2022

In United States District Court Easter District of New York  
Romano et al. vs. Northrup Grumman Corporation  
Case No. 16-cv-5760  
Rosenfeld Deposition 3-10-2022

In the Circuit Court of Cook County Illinois  
Linda Benjamin vs. Illinois Central  
Case No. No. 2019 L 007599  
Rosenfeld Deposition 1-26-2022

In the Circuit Court of Cook County Illinois  
Donald Smith vs. Illinois Central  
Case No. No. 2019 L 003426  
Rosenfeld Deposition 1-24-2022

In the Circuit Court of Cook County Illinois  
Jan Holeman vs. BNSF  
Case No. 2019 L 000675  
Rosenfeld Deposition 1-18-2022

In the State Court of Bibb County State of Georgia  
Dwayne B. Garrett vs. Norfolk Southern  
Case No. 20-SCCV-091232  
Rosenfeld Deposition 11-10-2021

In the Circuit Court of Cook County Illinois  
Joseph Ruepke vs. BNSF  
Case No. 2019 L 007730  
Rosenfeld Deposition 11-5-2021

In the United States District Court For the District of Nebraska  
Steven Gillett vs. BNSF  
Case No. 4:20-cv-03120  
Rosenfeld Deposition 10-28-2021

In the Montana Thirteenth District Court of Yellowstone County  
James Eadus vs. Soo Line Railroad and BNSF  
Case No. DV 19-1056  
Rosenfeld Deposition 10-21-2021

In the Circuit Court Of The Twentieth Judicial Circuit, St Clair County, Illinois  
Martha Custer et al.cvs. Cerro Flow Products, Inc.  
Case No. 0i9-L-2295  
Rosenfeld Deposition 5-14-2021  
Trial October 8-4-2021

In the Circuit Court of Cook County Illinois  
Joseph Rafferty vs. Consolidated Rail Corporation and National Railroad Passenger Corporation d/b/a  
AMTRAK,  
Case No. 18-L-6845  
Rosenfeld Deposition 6-28-2021

In the United States District Court For the Northern District of Illinois  
Theresa Romcoe vs. Northeast Illinois Regional Commuter Railroad Corporation d/b/a METRA Rail  
Case No. 17-cv-8517  
Rosenfeld Deposition 5-25-2021

In the Superior Court of the State of Arizona In and For the Cunty of Maricopa  
Mary Tryon et al. vs. The City of Pheonix v. Cox Cactus Farm, L.L.C., Utah Shelter Systems, Inc.  
Case No. CV20127-094749  
Rosenfeld Deposition 5-7-2021

In the United States District Court for the Eastern District of Texas Beaumont Division  
Robinson, Jeremy et al vs. CNA Insurance Company et al.  
Case No. 1:17-cv-000508  
Rosenfeld Deposition 3-25-2021

In the Superior Court of the State of California, County of San Bernardino  
Gary Garner, Personal Representative for the Estate of Melvin Garner vs. BNSF Railway Company.  
Case No. 1720288  
Rosenfeld Deposition 2-23-2021

In the Superior Court of the State of California, County of Los Angeles, Spring Street Courthouse  
Benny M Rodriguez vs. Union Pacific Railroad, A Corporation, et al.  
Case No. 18STCV01162  
Rosenfeld Deposition 12-23-2020

In the Circuit Court of Jackson County, Missouri  
Karen Cornwell, Plaintiff, vs. Marathon Petroleum, LP, Defendant.  
Case No. 1716-CV10006  
Rosenfeld Deposition 8-30-2019

In the United States District Court For The District of New Jersey  
Duarte et al, Plaintiffs, vs. United States Metals Refining Company et. al. Defendant.  
Case No. 2:17-cv-01624-ES-SCM  
Rosenfeld Deposition 6-7-2019

In the United States District Court of Southern District of Texas Galveston Division  
M/T Carla Maersk vs. Conti 168., Schiffahrts-GMBH & Co. Bulker KG MS “Conti Perdido” Defendant.  
Case No. 3:15-CV-00106 consolidated with 3:15-CV-00237  
Rosenfeld Deposition 5-9-2019

In The Superior Court of the State of California In And For The County Of Los Angeles – Santa Monica  
Carole-Taddeo-Bates et al., vs. Ifran Khan et al., Defendants  
Case No. BC615636  
Rosenfeld Deposition 1-26-2019

In The Superior Court of the State of California In And For The County Of Los Angeles – Santa Monica  
The San Gabriel Valley Council of Governments et al. vs El Adobe Apts. Inc. et al., Defendants  
Case No. BC646857  
Rosenfeld Deposition 10-6-2018; Trial 3-7-19

In United States District Court For The District of Colorado  
Bells et al. Plaintiffs vs. The 3M Company et al., Defendants  
Case No. 1:16-cv-02531-RBJ  
Rosenfeld Deposition 3-15-2018 and 4-3-2018

In The District Court Of Regan County, Texas, 112<sup>th</sup> Judicial District  
Phillip Bales et al., Plaintiff vs. Dow Agrosiences, LLC, et al., Defendants  
Cause No. 1923  
Rosenfeld Deposition 11-17-2017

In The Superior Court of the State of California In And For The County Of Contra Costa  
Simons et al., Plaintiffs vs. Chevron Corporation, et al., Defendants  
Cause No. C12-01481  
Rosenfeld Deposition 11-20-2017

In The Circuit Court Of The Twentieth Judicial Circuit, St Clair County, Illinois  
Martha Custer et al., Plaintiff vs. Cerro Flow Products, Inc., Defendants  
Case No.: No. 0i9-L-2295  
Rosenfeld Deposition 8-23-2017

In United States District Court For The Southern District of Mississippi  
Guy Manuel vs. The BP Exploration et al., Defendants  
Case No. 1:19-cv-00315-RHW  
Rosenfeld Deposition 4-22-2020

In The Superior Court of the State of California, For The County of Los Angeles  
Warrn Gilbert and Penny Gilbert, Plaintiff vs. BMW of North America LLC  
Case No. LC102019 (c/w BC582154)  
Rosenfeld Deposition 8-16-2017, Trail 8-28-2018

In the Northern District Court of Mississippi, Greenville Division  
Brenda J. Cooper, et al., Plaintiffs, vs. Meritor Inc., et al., Defendants  
Case No. 4:16-cv-52-DMB-JVM  
Rosenfeld Deposition July 2017

In The Superior Court of the State of Washington, County of Snohomish  
Michael Davis and Julie Davis et al., Plaintiff vs. Cedar Grove Composting Inc., Defendants  
Case No. 13-2-03987-5  
Rosenfeld Deposition, February 2017  
Trial March 2017

In The Superior Court of the State of California, County of Alameda  
Charles Spain., Plaintiff vs. Thermo Fisher Scientific, et al., Defendants  
Case No. RG14711115  
Rosenfeld Deposition September 2015

In The Iowa District Court In And For Poweshiek County  
Russell D. Winburn, et al., Plaintiffs vs. Doug Hoksbergen, et al., Defendants  
Case No. LALA002187  
Rosenfeld Deposition August 2015

In The Circuit Court of Ohio County, West Virginia  
Robert Andrews, et al. v. Antero, et al.  
Civil Action No. 14-C-30000  
Rosenfeld Deposition June 2015

In The Iowa District Court for Muscatine County  
Laurie Freeman et. al. Plaintiffs vs. Grain Processing Corporation, Defendant  
Case No. 4980  
Rosenfeld Deposition May 2015

In the Circuit Court of the 17<sup>th</sup> Judicial Circuit, in and For Broward County, Florida  
Walter Hinton, et. al. Plaintiff, vs. City of Fort Lauderdale, Florida, a Municipality, Defendant.  
Case No. CACE07030358 (26)  
Rosenfeld Deposition December 2014

In the County Court of Dallas County Texas  
Lisa Parr et al, Plaintiff, vs. Aruba et al, Defendant.  
Case No. cc-11-01650-E  
Rosenfeld Deposition: March and September 2013  
Rosenfeld Trial April 2014

In the Court of Common Pleas of Tuscarawas County Ohio  
John Michael Abicht, et al., Plaintiffs, vs. Republic Services, Inc., et al., Defendants  
Case No. 2008 CT 10 0741 (Cons. w/ 2009 CV 10 0987)  
Rosenfeld Deposition October 2012

In the United States District Court for the Middle District of Alabama, Northern Division  
James K. Benefield, et al., Plaintiffs, vs. International Paper Company, Defendant.  
Civil Action No. 2:09-cv-232-WHA-TFM  
Rosenfeld Deposition July 2010, June 2011

In the Circuit Court of Jefferson County Alabama  
Jaeonette Moss Anthony, et al., Plaintiffs, vs. Drummond Company Inc., et al., Defendants  
Civil Action No. CV 2008-2076  
Rosenfeld Deposition September 2010

In the United States District Court, Western District Lafayette Division  
Ackle et al., Plaintiffs, vs. Citgo Petroleum Corporation, et al., Defendants.  
Case No. 2:07CV1052  
Rosenfeld Deposition July 2009

tel - 714-899-8900  
 free - 888-743-0998  
 fax - 714-899-1188  
 PatriotLab.com  
 1041 S. Placentia Avenue, Fullerton, CA 92831



August 5, 2024

Andrew Gonzales, Planning Manager  
 City of Placentia  
 Development Services Department  
 401 E. Chapman Avenue  
 Placentia, CA 92870

RECEIVED  
 AUG 12 2024  
 PLANNING

Dear Mr. Gonzales,

Subject: Concerns Regarding the Proposed Development at  
 776 South Placentia Avenue and 777 West Orangethorpe Avenue

I am writing on behalf of Patriot Environmental Laboratory Services, Inc., located at 1041 South Placentia Avenue, Fullerton CA 92831, directly across the street from the site of the proposed development referenced in General Plan Amendment 2022-01, Specific Plan Amendment 2021-01, and Development Review Plan 2021-02. While we understand the City's desire to enhance the area with mixed-use development, we wish to express several concerns regarding the potential impact of this project on our business operations, as well as on the other businesses within our business park.

Our primary concern revolves around the potential for parking issues both during and after the construction phase. With the influx of construction workers, there is a significant risk that our parking lot may be utilized for construction-related vehicles and personnel. This could severely restrict access for our clients, disrupt the daily operations of our business, and create conflicts over parking spaces among the multiple businesses that share our lot. We respectfully request that the City ensure construction workers are provided with adequate designated parking to prevent any overflow into our private lot.

Moreover, once the project is complete, the new residential and commercial development may exacerbate the parking situation. We are particularly concerned about community tenants and visitors potentially using our lot as overflow parking, especially during peak hours. This could lead to overnight parking, which is not permissible in our lot, further complicating the situation for our clients and tenants.

We also have concerns about the increase in traffic during the construction phase, which could impede the flow of business for us and our association partners. Increased construction traffic on S. Placentia Avenue and W. Orangethorpe Avenue may create access difficulties for our clients and deliveries, disrupting our business operations. We would appreciate the City's efforts to minimize these impacts by carefully planning construction traffic routes and ensuring that our access remains unimpeded.

Lastly, we are concerned about the long-term impact on our business due to increased competition for parking and potential congestion in the area once the development is operational. The potential overflow of visitors and tenants from the new development could lead to further strain on our parking facilities and may negatively impact the overall flow of business for all entities within our business park.

Considering these concerns, we kindly request that the City of Placentia take into account the potential impact on neighboring businesses and implement measures to mitigate these issues. We suggest considering parking restrictions, designated construction parking areas, and traffic management plans that ensure minimal disruption to existing businesses.

We appreciate your attention to these matters and hope that our concerns will be addressed as the project moves forward. We are more than willing to engage in further discussions to find a solution that is beneficial for all parties involved.

Thank you for your consideration.

Sincerely,



James Thornbrough II  
President  
Patriot Environmental Laboratory Services, Inc.

Cc:

City of Fullerton

Park Fullerton Association c/o Peregrine Realty Partners, Inc.

ShootSoCal Firearms 1139 S. Placentia Ave., Fullerton, CA 92831

VCA Tri-City Animal Hospital 1145 S Placentia Ave., Fullerton, CA 92831

Cali Raided Off-Road 735 W Orangthorpe Ave., Placentia, CA 92870

Gori Company 1047 S Placentia Ave., Fullerton, CA 92831

Air Filter Supply 1107 S Placentia Ave., Fullerton, CA 92831

Fast Signs 1133 S Placentia Ave., Fullerton, CA 92831

*The People are the City*

**Mayor**  
JEREMY B. YAMAGUCHI

**Mayor Pro Tem**  
KEVIN KIRWIN

**Councilmembers:**  
RHONDA SHADER  
WARD L. SMITH  
CHAD P. WANKE



**City Clerk:**  
ROBERT S. MCKINNELL

**City Treasurer**  
KEVIN A. LARSON

**City Administrator**  
DAMIEN R. ARRULA

401 East Chapman Avenue – Placentia, California 92870

## **NOTICE OF INTENT TO ADOPT A GENERAL PLAN AMENDMENT, A SPECIFIC AMENDMENT AND DEVELOPMENT REVIEW PLAN**

The City of Placentia hereby is referring notice of their intent to adopt a General Plan Amendment, a Specific Plan Amendment and Development Review Plan for the project described below:

General Plan Amendment 2022-01 proposed to allow Mixed Use (Residential-Commercial development) as a permissible land use category within Parcel 9 of Specific Plan-5 (SP-5). The Proposed Project is located on a 2.72-acre site identified as 776 S. Placentia Avenue and 777 W. Orangethorpe Avenue in Placentia, California, (Assessor Parcel Number 339-112-27). The Proposed Project Site would be accessed via both S. Placentia Avenue and W. Orangethorpe Avenue.

Specific Plan Amendment 2021-01 proposes to allow Mixed Use (Residential-Commercial development) within the SP-5 Parcel 9 boundaries and will establish development standards for new residential uses, including but not limited to gross lot area, FAR, height, residential density, dwelling unit size, parking, setbacks and lot coverage. An amendment to the SP-5 is also required to allow for parking structures as a permitted use in Parcel 9.

Development Review Plan 2021-02 is a proposal to allow the Applicant to demolish the existing car dealership and auto repair facility and to allow the new construction and operation of 248 multi-family residential dwelling units, up to 3,000 square feet of commercial retail use and a 6-level parking structure on 2.72-acres.

Pursuant to the requirement of the California Government Code Section 65352, a 45-day comment period will begin on Thursday, July 19, 2024, and will end on Tuesday, September 3, 2024.

Any person wishing to comment on the proposed project may do so in writing between the dates noted above. Comments should be provided to the City of Placentia, Development Services Department at 401 E. Chapman Avenue, Placentia, CA 92870, between the hours of 7:30 a.m. and 6:00 p.m., Monday through Thursday.

Should you have any questions concerning this project, please contact Andrew Gonzales, Planning Manager at (714) 993-8218.

Andrew Gonzales, Planning Manager  
City of Placentia  
Development Services Department  
401 E. Chapman Avenue  
Placentia, CA 92870

RECEIVED  
AUG 12 2024  
PLANNING

Dear Mr. Gonzalez,

Subject: Concerns regarding the Proposed Development at  
776 South Placentia Ave and 777 West Orangethorpe Avenue

I hope this letter finds you well.

I am writing on behalf of Air Filter Supply, located at 1107 South Placentia Avenue, Fullerton, CA 92831, to address a concern regarding the parking situation for the businesses located across the street from the new development on South Placentia, General Plan Amendment 2022-01, and Development Review Plan 2021-02. We are anticipating challenges with parking as construction progresses and the expected influx of new traffic associated with the development.

As our buildings have the closest parking lot to the construction site, we are concerned that it will become the main hub for construction vehicles and personnel to park during their long workdays. Our business relies heavily on convenient access to parking to serve our customers efficiently. We are worried that the available parking may not be sufficient to accommodate both the existing businesses and the new development, which could potentially impact our operations and the overall customer experience.

Recently, we experienced another issue that impaired parking for us and the surrounding businesses, causing many problems for everyone in our center.

We would greatly appreciate it if you could consider our concerns and explore potential solutions, such as alternative parking arrangements for the new development's employees and visitors. Our goal is to ensure that all businesses in the area can continue to thrive without facing significant disruptions due to parking shortages.

We are also concerned about the impact on parking once the construction is finished. Given that our parking lot is the closest and most accessible to the new development, we anticipate that it could become the primary overflow parking area for visitors and residents associated with the new site. This could lead to ongoing congestion and reduced availability of parking spaces for our customers and employees.

I would welcome the opportunity to discuss this matter further and collaborate on finding a mutually beneficial solution. Please feel free to contact me at your earliest convenience to arrange a meeting.

Thank you for your attention to this matter, and I look forward to your response.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lacie Gammell', with a stylized flourish at the end.

Lacie Gammell  
lacie@airfiltersupply.com  
714-332-1658  
Office Manager  
Air Filter Supply



August 15<sup>th</sup>, 2024  
 Andrew Gonzalez , Planning Manager  
 City of Placentia  
 Development Services Department  
 401 E. Chapman Ave  
 Placentia, CA 92870

Dear, Mr. Gonzales,

Subject : Regarding Proposed Development at 776 S Placentia Ave & 777 W Orangethorpe Ave

We are writing on behalf of ShootSoCal Firearms located at 1139 S Placentia Ave, Fullerton CA 92831, directly across from the proposed development site. We understand the reasoning behind wanting to enhance the area for development, however we do have some concerns that would impact on our business.

A major concern would be the placement for parking industrial machinery or utilizing our parking lot for personnel. This would restrict our cliental and neighboring businesses from having access, as this has happened previously when the streets get blocked preventing us and the regular consumer from entering the property. Due to this risk, it may cause our business to shut down temporarily, which would result in a loss of revenue for us. There could be conflicts in parking situations with our neighbors since we share the lot. We ask that if this project moves forward that adequate designated parking is provided to prevent any overflow into our lot.

Once the new residential development is complete, there is concerns that the overflow of vehicles will transfer over to our lot from the tenants and/or their visitors. This could lead to overnight unauthorized parking which would cause issues with everyone's clients.

The construction traffic would impede our regular deliveries for us and neighboring businesses, impacting our flow of regular operations. We would appreciate any way to minimize anything that may arise due to this construction. We want to ensure that due to our type of business considering that we are a sporting goods retail store, we will not be impacted with families moving in and feeling uncomfortable with the fact that we carry firearms. We want to strive in our current location and hope that our neighbors do as well without any issues.

We appreciate you taking the time and consideration to address these concerns. We are more than happy to speak with you to find solutions that are beneficial for all parties involved.

Thank you

Dave Anderson (President ShootSoCal LLC)  
 714-242-5400  
[Dave@shootsocial.com](mailto:Dave@shootsocial.com)  
 1139 S Placentia Ave Fullerton CA 92831

**RECEIVED**  
 AUG 20 2024  
 BY: \_\_\_\_\_

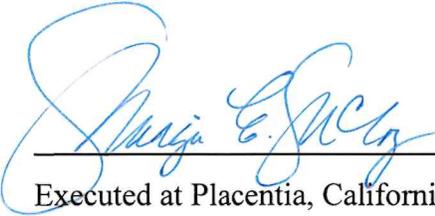
**AFFIDAVIT OF MAILING NOTICE OF PUBLIC HEARING**

STATE OF CALIFORNIA )  
County of Orange ) ss

I, MARGIE MCCOY say that on the 21<sup>st</sup> day of August a copy of the notice attached hereto was mailed to each of the persons whose name and address appears on the attached list. Said mailings was done at the City of Placentia City Hall, Planning Division, located at 401 E. Chapman Avenue, Placentia, California

Project Address: 777 W. Orangethorpe Ave. & 776 S. Placentia Ave.  
Case No.: GPA 2022-01, SPA 2021-01, DPR 2021-02, & MND 2021-01  
Meeting Date: Tuesday, September 3, 2024, at 7:00 PM

I declare, under penalty of perjury, that the foregoing is true and correct.

  
\_\_\_\_\_

Executed at Placentia, California on this 21<sup>st</sup> day of August, 2024.

## NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City Council of the City of Placentia will hold a public hearing in the **Council Chambers** of the Placentia City Hall, 401 E. Chapman Avenue on **Tuesday, September 3, 2024, at 7:00 p.m.**, or as soon thereafter as the matter may be heard, to consider the following items:

**APPLICANT:** Orangethorpe Investment Partners, LLC, c/o Gilad Ganish  
**PROJECT LOCATION:** 777 W. Orangethorpe Avenue & 776 S. Placentia Avenue (adjacent to the northeast corner of W. Orangethorpe Avenue and S. Placentia Avenue)  
APN 339-112-27

**CASE NOS.:**

1. General Plan Amendment No. GPA 2022-01
2. Specific Plan Amendment No. SPA 2021-01
3. Development Plan Review No. DPR 2022-02; and
4. Mitigated Negative Declaration No. MND 2021-01

**REQUEST:** **GPA:** To change the existing General Plan Land Use Element designation to allow mixed-use (residential-commercial development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4-Specific Plans, Table 2-5-General Plan/Zoning Relationship-Specific Plans, and Table 2-7-General Plan Land Use Designation – Potential Development Buildout. **SPA:** To amend Specific Plan No. 5 to allow for mixed-use (residential-commercial development) within SP-5 Parcel 9 boundaries and establishing development standards for mixed-use development, including, but not limited to, floor area ratio, building setbacks, building height, residential density, dwelling unit size, and parking standards. **DPR:** To permit the demolition of all onsite structures associated with a former car dealership use and to permit the development and operation of a five-story mixed-use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail space and a 6-level parking structure on a 2.72-acre site. **MND:** To analyze potential environmental impacts associated with the proposed project.

**Planning Commission Action** On July 9, 2024, the Planning Commission held a public hearing to review the proposed GPA, SPA, and DPR and to forward a recommendation to the City Council for final action. Through a majority vote, the Planning Commission recommended denial of the GPA, SPA, and DPR to the City Council.

**Environmental Determination (CEQA)** In accordance with the California Environmental Quality Act (CEQA) and State Environmental Guidelines, the proposed project qualifies as a discretionary decision or "project" requiring evaluation under CEQA. As the CEQA lead agency, the City of Placentia has prepared a Mitigated Negative Declaration with Mitigation Measures, including a Mitigation Monitoring and Reporting Program (MMRP), as the contemplated CEQA determination for this project.

Copies of the Mitigated Negative Declaration/Initial Study are available for review at the following locations:

- City of Placentia Library, 411 E. Chapman Avenue, Placentia, CA 92870
- City Hall, 401 E. Chapman Avenue, Placentia, CA 92870
- Online at <http://www.placentia.org/776/Environmental-Documents>

**ALL INTERESTED PERSONS** are invited to attend this hearing and express opinions upon the items listed above.

**ANY WRITTEN MATERIALS** to be submitted to the City Council should be submitted to the City Clerk's Office at least twenty-four (24) hours prior to the hearing. Ten (10) copies are requested.

**IF YOU CHALLENGE** this proposal in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice or written correspondence delivered to the City Council.

**FURTHER INFORMATION** on these items may be obtained at the Office of the City Clerk or by telephone: (714) 993-8244

*Rosanna Ramirez*  
SECRETARY TO THE PLACENTIA CITY COUNCIL

PUBLISHED: August 22, 2024  
POSTED: August 22, 2024  
MAILED: August 22, 2024

PARA INFORMACIÓN EN ESPAÑOL, LLAME AL (714) 993-8124

## NOTICE OF PUBLIC HEARING

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**PROJECT LOCATION:** 777 W. Orangethorpe Avenue & 776 S. Placentia Avenue (adjacent to the northeast corner of W. Orangethorpe Avenue and S. Placentia Avenue)  
APN 339-112-27

**CASE NOS.:**

1. General Plan Amendment No. GPA 2022-01
2. Specific Plan Amendment No. SPA 2021-01
3. Development Plan Review No. DPR 2022-02; and
4. Mitigated Negative Declaration No. MND 2021-01

**REQUEST:** **GPA:** To change the existing General Plan Land Use Element designation to allow mixed-use (residential-commercial development) as a permissible land use category within Parcel 9 of Specific Plan No. 5 by amending Tables 2-4-Specific Plans, Table 2-5-General Plan/Zoning Relationship-Specific Plans, and Table 2-7-General Plan Land Use Designation – Potential Development Buildout. **SPA:** To amend Specific Plan No. 5 to allow for mixed-use (residential-commercial development) within SP-5 Parcel 9 boundaries and establishing development standards for mixed-use development, including, but not limited to, floor area ratio, building setbacks, building height, residential density, dwelling unit size, and parking standards. **DPR:** To permit the demolition of all onsite structures associated with a former car dealership use and to permit the development and operation of a five-story mixed-use building consisting of 248 residential units, up to 3,000 square feet of ground floor commercial retail space and a 6-level parking structure on a 2.72-acre site. **MND:** To analyze potential environmental impacts associated with the proposed project.

**Planning Commission Action** On July 9, 2024, the Planning Commission held a public hearing to review the proposed GPA, SPA, and DPR and to forward a recommendation to the City Council for final action. Through a majority vote, the Planning Commission recommended denial of the GPA, SPA, and DPR to the City Council.

**Environmental Determination (CEQA)** In accordance with the California Environmental Quality Act (CEQA) and State Environmental Guidelines, the proposed project qualifies as a discretionary decision or "project" requiring evaluation under CEQA. As the CEQA lead agency, the City of Placentia has prepared a Mitigated Negative Declaration with Mitigation Measures, including a Mitigation Monitoring and Reporting Program (MMRP), as the contemplated CEQA determination for this project.

Copies of the Mitigated Negative Declaration/Initial Study are available for review at the following locations:

- City of Placentia Library, 411 E. Chapman Avenue, Placentia, CA 92870
- City Hall, 401 E. Chapman Avenue, Placentia, CA 92870
- Online at <http://www.placentia.org/776/Environmental-Documents>

**ALL INTERESTED PERSONS** are invited to attend this hearing and express opinions upon the items listed above.

**ANY WRITTEN MATERIALS** to be submitted to the City Council should be submitted to the City Clerk's Office at least twenty-four (24) hours prior to the hearing. Ten (10) copies are requested.

**IF YOU CHALLENGE** this proposal in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice or written correspondence delivered to the City Council.

**FURTHER INFORMATION** on these items may be obtained at the Office of the City Clerk or by telephone: (714) 993-8244

*Rosanna Ramirez*  
SECRETARY TO THE PLACENTIA CITY COUNCIL

PUBLISHED: August 22, 2024  
POSTED: August 22, 2024  
MAILED: August 22, 2024

PARA INFORMACIÓN EN ESPAÑOL, LLAME AL (714) 993-8124



**CITY OF PLACENTIA**  
Development Services Department  
401 East Chapman Avenue  
Placentia, CA 92870

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**CITY OF PLACENTIA**  
Development Services Department  
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338-172-04	1	338-172-23	2	338-172-29	3
NARVIK PERIAN 17292 BROOKLYN AVE YORBA LINDA CA 92886		PROLOGIS-EXCHANGE ORANGETHORPE 1800 WAZEE ST DENVER CO 80202		SO CALIF EDISON PO BOX 800 ROSEMEAD CA 91770	
339-112-05	4	339-112-06	5	339-112-09	6
SYLVIA C COLLINS 751 DUNN WAY PLACENTIA CA 92870		ANDRE STOCKER 751 DUNN WAY PLACENTIA CA 92870		JAMES G MCDONALD PO BOX 455 MI WUK VILLAGE CA 95346	
339-112-10	7	339-112-13	8	339-112-15	9
THE BUND 11316 TWINS PAN AVE FOUNTAIN VALLEY CA 92708		HUNDLEY SW 6705 S EASTERN AVE LAS VEGAS NV 89119		BORIS PIRIH 1210 N JEFFERSON ST #J ANAHEIM CA 92807	
339-112-16	10	339-112-17	11	339-112-18	12
WATSON INDUSTRIAL PROP 2704 COVE ST CORONA DEL MAR CA 92625		ELIZABETH L VALLES 321 CALLE NEBLINA SAN CLEMENTE CA 92672		MARSHAL J BRECHT 640 COLONIAL CIR FULLERTON CA 92835	
339-112-25	13	339-112-26	14	339-112-27	15
WEST HILLS ONE HOSPITALITY 640 W LAMBERT RD BREA CA 92821		INFINITE RISING INVESTMENTS 740 S PLACENTIA AVE PLACENTIA CA 92870		BRIAN N CHUCHUA 290 S MOHLER DR ANAHEIM CA 92808	
339-112-35	16	339-112-37	17	344-121-01	18
WOODLAND AYZAR 1516 BROOKHOLLOW #B SANTA ANA CA 92705		AMERICAN LEARNING FOUNDATION 750 S PLACENTIA AVE PLACENTIA CA 92870		7-ELEVEN INC 3200 HACKBERRY IRVING TX 75063	
344-121-04	19	344-121-05	20	344-121-06	21
PEDRO & NOLBERTA ALVAREZ 1001 LOMITA ST ANAHEIM CA 92801		ADELAIDA ROBLES 807 OHIO AVE PLACENTIA CA 92870		THIEN KINH TRAN 813 OHIO AVE PLACENTIA CA 92870	
344-121-19	22	933-44-382	23	933-44-383	24
TWIN PALMS MOBILEHOME PARK PO BOX 235300 ENCINITAS CA 92023		JEFFREY S HORNER 1401 COLEMAN RD FRANKLIN TN 37064		MC GRAIL LINTON 1139 S PLACENTIA AVE FULLERTON CA 92831	
933-44-384	25	933-44-385	26	933-44-386	27
BOUND SLO 4369 KAYE LN YORBA LINDA CA 92886		RAM P DHINGRA 24575 AVENIDA DE MARCIA YORBA LINDA CA 92887		JOSE LUIS OJEDA 1121 S PLACENTIA AVE FULLERTON CA 92831	
933-44-387	28	933-44-388	29	933-44-389 & 390	30-31
KO JMC 1115 S PLACENTIA AVE FULLERTON CA 92831		PRESTIGE WORLDWIDE IND CO 1111 S PLACENTIA AVE FULLERTON CA 92831		B&W REALTY 20651 GOLDEN SPRING DR #389 WALNUT CA 91789	

933-44-391	32	933-44-392	33	933-44-393	34
JDM INVESTMENT GROUP 10450 PIONEER BLVD #4 SANTA FE SPRINGS CA 90670		1041 S PLACENTIA AVENUE 1041 S PLACENTIA AVE FULLERTON CA 92831		JAMES THORNBRUGH 1041 S PLACENTIA AVE FULLERTON CA 92831	
933-44-394	35	933-44-395	36	933-44-396	37
AXE CAP INV LLC 6361 E VIA ARBOLES ANAHEIM CA 92807		JUSTIN W CHEN 1648 RANGE CT DIAMOND BAR CA 91765		REAL KSP 6300 18 MILE RD STERLING HEIGHTS MI 48314	
933-44-397	38	933-44-398	39	933-44-399	40
FULLERTON PLACENTIA 1968 S COAST HWY #3334 LAGUNA BEACH CA 92651		THOMPSON MC CARTHY PO BOX 3432 FULLERTON CA 92834		RAJWANT S SIDHU 890 ELKRIDGE ST BREA CA 92821	
891-830-02	41	891-830-05 & 93	42-43	891-830-12,14,35,43,44,53,	44-56
JUAN & MARIA GUERRERO 702 ROBIN AVE PLACENTIA CA 92870		PALMS MH PARK TWIN PO BOX 1039 MURRIETA CA 92564		70,80,87,93,831-01,03,839-05 PALMS MH PARK TWIN PO BOX 235300 ENCINITAS CA 92023	
891-830-18	57	891-830-23	58	891-830-26	59
MICHAEL & EUCARIA SCHLARBAUM 807 ROBIN AVE PLACENTIA CA 92870		GUADALUPE & ALFONSO GUTIERREZ 703 W LARK AVE PLACENTIA CA 92870		FRANK HERNANDEZ 800 W LARK AVE PLACENTIA CA 92870	
891-830-32	60	891-830-41	61	891-830-49	62
MARISOL ORNELAS 712 W LARK AVE PLACENTIA CA 92870		MARIA & TREVOR ANSELL 806 ORIOLE AVE PLACENTIA CA 92870		VICTOR S ROSALES 814 ORIOLE AVE PLACENTIA CA 92870	
891-830-50	63	891-830-59	64	891-830-68 & 84	65-66
GALDINA ALVARDO 815 ORIOLE AVE PLACENTIA CA 92870		JUAN PEREA 824 ORIOLE AVE PLACENTIA CA 92870		TWIN PALMS MBL HM PARK 25505 CANADA DR CARMEL CA 93923	
891-830-72	67	891-830-77	68	891-830-78	69
JOHN KUSH 875 WILMETTE AVE #612 ORMOND BEACH FL 32174		ADRIANNA NUNEZ 813 LARK AVE PLACENTIA CA 92870		ROBERT & LORRAINE VALDEZ 1406 LONGVIEW DR FULLERTON CA 92831	
891-830-81	70	891-830-85	71	891-830-86	72
ROBERT BEAMAN 817 LARK AVE PLACENTIA CA 92870		GUADALUPE GALLEGOS 821 W LARK AVE PLACENTIA CA 92870		JAMES & SUSIE FERRO 611 N ROSE DR #F110 PLACENTIA CA 92870	
891-830-89	73	891-830-91	74	891-830-95	75
ROLANDO FLORES SERNA 702 ORIOLE AVE PLACENTIA CA 92870		HAROLD J ANDERSON 25505 CANADA DR CARMEL CA 93923		ROSA MARTINEZ 708 ORIOLE AVE PLACENTIA CA 92870	

891-830-97 76  
JOSUE Q COSME  
710 ORIOLE AVE  
PLACENTIA CA 92870

891-831-00 77  
FELIPE DESANTIAGO &  
VERONICA LOPEZ  
713 ORIOLE AVE  
PLACENTIA CA 92870

891-831-08 78  
SARAH M WOOD  
824 CARDINAL ST  
PLACENTIA CA 92870

891-831-10 79  
RUIS GONZALEZ  
826 CARDINAL ST  
PLACENTIA CA 92870

891-831-12 80  
RAQUEL PACHECO  
827 ORIOLE AVE  
PLACENTIA CA 92870

891-839-01 81  
SERGIO DEL CID  
820 CARDINAL ST  
PLACENTIA CA 92870

891-839-04 82  
MAURICIO RODRIGUEZ  
822 CARDINAL ST  
PLACENTIA CA 92870

891-839-06 83  
ESTHER GARCIA  
807 W LARK AVE  
PLACENTIA CA 92870

Orange County Transportation Authority  
(OCTA)  
c/o Jorge Duran, Transit Planning Manager  
550 S. Main Street  
Orange, CA 92868

AT&T  
c/o Valentina Gipson  
Manager – Government Liaison  
3939 E. Coronado Street, 2<sup>nd</sup> Floor  
Anaheim, CA 92807-1608

Southern California Edison  
c/o Michael Saragoza, Planning  
Specialist  
9901 Geary Avenue  
Santa Fe Springs, CA 90670

Regional Water Quality Control Board  
3737 Main Street, Suite 500  
Riverside, CA 92501

Placentia-Yorba Linda USD  
c/o Diane Jepson  
1301 E. Orangethorpe Avenue  
Placentia, CA 92870

Hacienda Mobile Home Park, LLC  
161 E. Orangethorpe Avenue  
Placentia, CA 92870

City of Fullerton - Community & Economic  
Development Department  
c/o Chris Schaefer, Planning Manager  
303 W. Commonwealth Avenue  
Fullerton, CA 92832

Charter/Spectrum Communications  
c/o Jefferey Childers  
560 S. Promenade Avenue, Unit No.  
102  
Corona, CA 92879

Golden State Water Company  
c/o Ken Vecchiarelli  
1920 W. Corporate Way  
Anaheim, CA 92801

Lot 318  
536 Dartmouth Drive  
Placentia, CA 92870

Orange County Sanitation District  
18480 Bandilier Circle  
Fountain Valley, CA 92708

Craig S. Green  
650 Nenko Avenue  
Placentia, CA 92870

City of Anaheim - Planning & Building  
Department  
c/o Sean Nicholas, Principal Planner  
200 S. Anaheim Boulevard  
1<sup>st</sup> Floor, Suite 162  
Anaheim, CA 92805

SoCal Gas  
Gabriel Delgado, Planning Manager  
701 N. Bullis Road  
Compton, CA 90221

South Coast Air Quality Management  
District  
c/o Debra Ashby  
21865 Copley Drive  
Diamond Bar, CA 91765  
Republic Services  
c/o Michael Hernandez, Operations  
Manager  
1235 N. Blue Gum St.  
Anaheim, CA 92806

Caltrans  
District 12  
1750 East 4<sup>th</sup> Street, Suite 100  
Santa Ana, CA 92705

Joe Queen  
835 Iowa Place  
Placentia, CA 92870

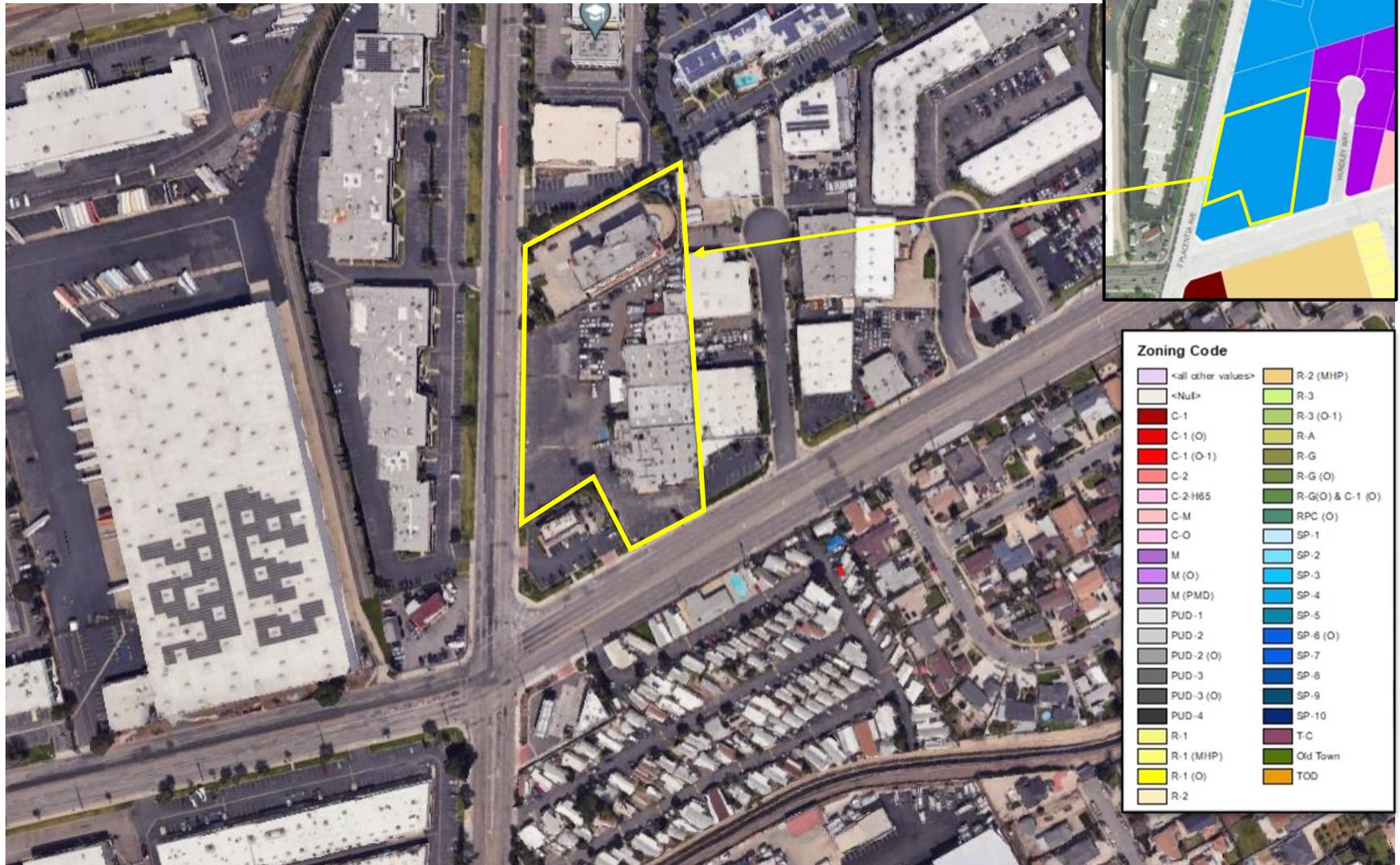
339-112-27  
OCCUPANT  
776 S PLACENTIA AVE  
PLACENTIA CA 92870

339-112-27  
OCCUPANT  
776 S PLACENTIA AVE  
PLACENTIA CA 92870



# VICINITY MAP

GPA 2022-01, SPA 2021-01, DPR 2021-02; 776 S. Placentia Ave. & 777 W. Orangethorpe Ave.





Along W. Orangethorpe Avenue facing northeast



Along S. Placentia Avenue facing southeast



Along S. Placentia Avenue facing east



S. Placentia Avenue & W. Orangethorpe Avenue intersection facing northeast



Along S. Placentia Avenue facing east



Standing on the public sidewalk adjacent to the northwest portion of the subject property



Standing on the public sidewalk facing north along S. Placentia Avenue



Standing on the public sidewalk facing west along W. Orangethorpe Avenue



May 8<sup>th</sup>, 2018

Mr. Brett Cervantes  
Sent via email

**Re: Non-Binding Letter of Intent to lease the commercial land located at 776 S. Placentia Ave. Placentia, CA, APN# 339-112-27.**

Under the following terms, Insignia Hospitality Group, Inc. ("Tenant") would consider entering into a lease agreement under the proposed lease terms and conditions. Should you have any questions or require additional information, please do not hesitate to contact me.

**LANDLORD:** Brian N Chuchua

**TENANT:** Insignia Hospitality Group, Inc.

**PREMISES:** The Premises shall be comprised of Industrial land of approximately 118,366 square feet located at 776 S. Placentia Ave. Placentia, CA, (the "Premises").

**LEASE COMMENCEMENT:** Lease to commence July 1<sup>st</sup>, 2018.

**LEASE TERM:** 99 years.

**BASE RENTAL RATE:** \$300,000.00/Annual.

**LEASE TYPE:** Ground Lease.

**RENTAL ABATEMENT:** 36 months abatement to allow for entitlements, permits, and construction phase. Tenant shall be responsible for all property taxes and insurance.

**RIGHT OF REFUSAL:** Landlord shall give tenant first right of refusal to purchase.

**OPTION TO RENEW:** (1) 50 year option recast to market rent.

**BUILDING CONDITION:** N/A

**ESCALATIONS:** Increases shall be 2% every 10 years.

**SECURITY DEPOSIT:** 3 month's base rent.

**ASSIGNMENT/SUBLETTING:** Tenant shall have the right to sell the business and the right to assign with Landlord's approval or sublease the Premises, subject to Landlord's consent, which shall not be unreasonably withheld and shall be delivered within 10 days after Tenant's request. No consent



shall be required for assignments/subleases with Tenant's "affiliates" as such term will be defined in the Lease or successors by merger or acquisition.

**CONTINGENCY:**

24 month contingency period for tenant to obtain all permits, licenses, entitlements and environmental approval.

**DISCLAIMER:**

The terms as outlined herein are not all-inclusive, but comprise a summary of the general economic terms, which Tenant requires. Other terms, which are not included, are to be negotiated in a letter of intent. The parties mutually intend that neither shall have any binding contractual obligations to the other with respect to the matters referenced herein unless and until a formal written lease has been prepared with adequate opportunity to be reviewed by legal counsel and its authorized representative and has been fully executed and delivered by the parties.

**BROKERAGE:**

Hallway Realty ("Tenant's Broker") represents Insignia Hospitality Group Inc. ("Tenant"). Landlord shall pay Tenant's Broker a leasing fee equal to three percent (3%) of the total base rent consideration for the full term of the lease and upon execution of each subsequent option to extend. Payment shall be paid upon mutual execution of lease agreement by Landlord within 14 days.

**EXPIRATION:**

This letter shall expire 5:00 pm on May 14<sup>th</sup>, 2018.

This letter is not intended to create a binding obligation but rather to set forth the general terms of a lease. There will be no binding obligation on the part of any party, unless and until all appropriate parties execute a Lease Agreement document.

Sincerely,  
Donny Hall, Hallway Realty

A handwritten signature in black ink, appearing to read "Donny Hall", is written over a faint horizontal line.

**Agreed and Accepted:**

\_\_\_\_\_  
Landlord

\_\_\_\_\_  
Date

**From:** [Ortega, Jeannette](#)  
**To:** [Arrula, Damien](#)  
**Cc:** [Estevez, Luis](#); [Lambert, Joseph](#)  
**Subject:** FW: 777 W. Orangethorpe Avenue - State Water Resources Control Board Letter  
**Date:** Wednesday, June 27, 2018 2:17:00 PM  
**Attachments:** [777 W Orangethorpe Avenue Closure Letter.pdf](#)

---

Hi Damien,

Great news! The State Water Resources Control Board has issued a letter (see attached) to recommend site closure of the cleanup site at 777 W. Orangethorpe Avenue (former Premier Chrysler site). This case has been opened for 29 years and the State has finally agreed to close this case.

Based on Andy Wittman, the environmental consultant hired by Brian Chuchua, the Orange County Health Care Agency (OCHCA) needs to submit a pre-closure letter requiring the destruction of the wells on-site. We are waiting to hear back from the County. Nonetheless, this is a great step in getting a prime hotel development at this site.

Thank you,

**Jeannette Ortega** | Assistant to the City Administrator/Economic Development Manager  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
Phone: 714-993-8264 | Fax: 714-961-0283 | Email: [jortega@placentia.org](mailto:jortega@placentia.org)



**PLACENTIA**  
CALIFORNIA *A pleasant place to live.*

---

**From:** Andy Wittmann [mailto:[andywittmann@freyinc.com](mailto:andywittmann@freyinc.com)]  
**Sent:** Wednesday, June 27, 2018 8:04 AM  
**To:** 'Brett Cervantes' <[bcervantescre@gmail.com](mailto:bcervantescre@gmail.com)>  
**Cc:** Ortega, Jeannette <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>; 'Brian Chuchua' <[mrjeep@pacbell.net](mailto:mrjeep@pacbell.net)>; 'Douglas Pettibone' <[douglas@pettibonelaw.com](mailto:douglas@pettibonelaw.com)>  
**Subject:** RE:

Brett and Jeannette,

The letter in question was issued from the State of California Water Resources Control Board (SWRCB) so there is no reason to ask for a "no further action" letter from the State. The SWRCB has indicated that the Site meets the criteria for closure under the Low-Threat Closure Policy. The next step would be for the Orange County Health Care Agency (OCHCA) to issue a pre-closure letter requiring the destruction of the wells on-Site and restoration of the Site. If the OCHCA does not agree with the SWRCB to close the case, then the SWRCB would override the OCHCA and issue the pre-closure letter.

The geotracker website indicates that the agency has agreed to close the case, but I have not had any correspondence with the OCHCA that confirms this agreement. I did call the SWRCB yesterday afternoon and left a message requesting some clarification on whether the OCHCA had agreed to close the case or not. Hopefully I will hear back from them soon. Until then, it is just a waiting game.

If you would like to contact the OCHCA to get an update on the status of the case closure request, feel free to do so. I know that you may have greater pull with some of your contacts over at the OCHCA that may provide you with more information than they will provide me with. Let me know if you do, and if you receive a response.

Hope that helps.

Thanks.

Andy

---

**From:** Brett Cervantes <[bcervantescre@gmail.com](mailto:bcervantescre@gmail.com)>  
**Sent:** Tuesday, June 26, 2018 3:01 PM  
**To:** Andy Wittmann <[andywittmann@freyinc.com](mailto:andywittmann@freyinc.com)>  
**Subject:** Fwd:

Andy,

To add to Jeannette's question, can we provide this to the state of California to see if they will issue the "no further action" letter and to close the site?

Best regards,

Brett A. Cervantes  
Senior Investment Associate  
Paul Kott Realtors, Inc. - Commercial Division  
1225 West Lincoln Avenue  
Anaheim, CA 92805  
(714) 707-4959 direct  
(714) 345-5848 cell  
(714) 772-2608 fax  
License: CA 01499474  
[bcervantes@pk-cre.com](mailto:bcervantes@pk-cre.com)  
[www.pk-cre.com](http://www.pk-cre.com)

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On Jun 26, 2018, at 2:41 PM, Ortega, Jeannette <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)> wrote:

Hi Andy,

The letter indicates "site closure." Is this similar to our request for no further action? If so, congratulations are in order!

Thank you,

**Jeannette Ortega** | Assistant to the City Administrator/Economic Development Manager  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
Phone: 714-993-8264 | Fax: 714-961-0283 | Email: [jortega@placentia.org](mailto:jortega@placentia.org)  
<image002.jpg>

---

**From:** Andy Wittmann [<mailto:andywittmann@freyinc.com>]

**Sent:** Tuesday, June 26, 2018 2:37 PM

**To:** 'Brian Chuchua' <[mrjeep@pacbell.net](mailto:mrjeep@pacbell.net)>; Ortega, Jeannette <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>; 'Douglas Pettibone' <[douglas@pettibonelaw.com](mailto:douglas@pettibonelaw.com)>; 'Brett Cervantes' <[bcervantes@pk-cre.com](mailto:bcervantes@pk-cre.com)>

**Subject:** RE: Fwd:

Hello Brian,

Per our telephone conversation this afternoon, please see the letter from the SWRCB at the following link:

[https://geotracker.waterboards.ca.gov/regulators/deliverable\\_documents/6038262486/2906%203rd%20RSR%20Concur%20with%20Closure%20June%202018.pdf](https://geotracker.waterboards.ca.gov/regulators/deliverable_documents/6038262486/2906%203rd%20RSR%20Concur%20with%20Closure%20June%202018.pdf)

Thanks.

Andy

**From:** [Ortega, Jeannette](#)  
**To:** [Arrula, Damien](#); [Lambert, Joseph](#)  
**Subject:** Fwd: Marriott  
**Date:** Thursday, June 14, 2018 7:58:14 PM  
**Attachments:** [Orangethorpe Proposal.docx](#)  
[ATT00001.htm](#)

---

Hi Damien and Joe,

Some promising news from Brian Chuchua on a letter of intent submitted by Marriott for the former Premier Chrysler site

Thank you,

Jeannette Ortega  
Assistant to the City Administrator/  
Economic Development Manager  
City of Placentia  
Phone: (714) 993-8264  
Email: [jortega@placentia.org](mailto:jortega@placentia.org)

Sent from my iPhone.

Begin forwarded message:

**From:** Brian Neil Chuchua <[mrjeep@pacbell.net](mailto:mrjeep@pacbell.net)>  
**Date:** June 14, 2018 at 7:46:28 PM PDT  
**To:** "Ortega, Jeannette" <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>  
**Subject:** Fwd: Marriott

Sent from my iPhone

Begin forwarded message:

**From:** Brett Cervantes <[bcervantes@pk-cre.com](mailto:bcervantes@pk-cre.com)>  
**Date:** June 14, 2018 at 7:07:33 PM PDT  
**To:** Brian Chuchua <[mrjeep@pacbell.net](mailto:mrjeep@pacbell.net)>  
**Cc:** Ralph Ascher <[ralphascher@aol.com](mailto:ralphascher@aol.com)>  
**Subject:** Marriott

Hi Brian,

The broker representing Marriott followed up today asking if we can send his client a response. Attached is the LOI they submitted. It would be a 99-year ground lease and he is checking with them to see

if they can develop a hotel on site with the contamination. I'll keep you updated as he mentioned he will call me tomorrow. Thanks.

Best regards,

Brett A. Cervantes  
Senior Investment Associate  
Paul Kott Realtors, Inc. - Commercial Division  
1225 West Lincoln Avenue  
Anaheim, CA 92805  
(714) 707-4959 direct  
(714) 345-5848 cell  
(714) 772-2608 fax  
License: CA 01499474  
[bcervantes@pk-cre.com](mailto:bcervantes@pk-cre.com)  
[www.pk-cre.com](http://www.pk-cre.com)

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**From:** [Art Gastelum](#)  
**To:** [Ortega, Jeannette](#)  
**Subject:** RE: 777 W. Orangethorpe Avenue - Hotel Development Site  
**Date:** Thursday, January 17, 2019 4:45:02 PM  
**Attachments:** [image003.png](#)  
[image004.png](#)

---

Thank you.

---

**From:** Ortega, Jeannette [mailto:JOrtega@placentia.org]  
**Sent:** Thursday, January 17, 2019 10:47 AM  
**To:** Art Gastelum <agastelum@gateway-sci-eng.com>  
**Subject:** 777 W. Orangethorpe Avenue - Hotel Development Site

Hi Art,

Per our conversation earlier this week, attached is information on the Hotel Opportunity site in Placentia. The property owner for 777 W. Orangethorpe Avenue is Brian Chuchua and he can be reached at (760) 213-5337 or via email at [mrjeep@pacbell.net](mailto:mrjeep@pacbell.net).

Please let me know if you have any questions.

Thank you,

**Jeannette Ortega** | Assistant to the City Administrator/Economic Development Manager  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
Phone: 714-993-8264 | Fax: 714-961-0283 | Email: [jortega@placentia.org](mailto:jortega@placentia.org)



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**From:** [Ortega, Jeannette](#)  
**To:** [Brian Neil Chuchua](#)  
**Subject:** 777 W. Orangethorpe Avenue - Marketing and Promotion for a Proposed Hotel Site  
**Date:** Tuesday, March 12, 2019 6:25:00 PM  
**Attachments:** [image007.png](#)  
[image010.png](#)

---

Hi Brian,

I hope you are doing well. We are working on scheduling meetings with prospective hotel developers for 777 W. Orangethorpe Avenue at the upcoming ICSC conference in May. Is your new broker Marcus & Millichap attending the conference and if so would they like to join us in our meetings? If not, would you like for us to retain a contractor such as Kosmont to assist with the marketing efforts during the ICSC conference.

If your new broker, has a property sheet that we can use, can you please email it to me?

Please let me know if you have any questions.

Thank you,

**Jeannette Ortega** | Assistant to the City Administrator/Economic Development Manager  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
Phone: 714-993-8264 | Fax: 714-961-0283 | Email: [jortega@placentia.org](mailto:jortega@placentia.org)



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**From:** [Lu, Nicole](#)  
**To:** [Lambert, Joseph](#); [Ortega, Jeannette](#)  
**Subject:** RE: Question re: 777 W Orangethorpe (Brian Chuchua)  
**Date:** Wednesday, April 3, 2019 2:29:24 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image005.png](#)  
[image012.png](#)  
[image013.png](#)

---

Hi Joe, Hi Jeannette,

Thank you both for the prompt response. I have shared the information with my client and will give you an update should we be in a position to write an offer.

Warmest,

**Nicole Lu** 吕尚育  
*Retail Investments*

Marcus & Millichap 12100 West Olympic Boulevard Suite 350 Los Angeles, CA 90064	(310) 909-2373 direct (310) 710-1018 mobile (310) 909-5410 fax <a href="mailto:nicole.lu@marcusmillichap.com">nicole.lu@marcusmillichap.com</a>
--	--

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**From:** Lambert, Joseph <[jlambert@placentia.org](mailto:jlambert@placentia.org)>  
**Sent:** Wednesday, 3 April, 2019 12:27  
**To:** Ortega, Jeannette <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>; Lu, Nicole <[Nicole.Lu@marcusmillichap.com](mailto:Nicole.Lu@marcusmillichap.com)>  
**Subject:** RE: Question re: 777 W Orangethorpe (Brian Chuchua)

I am not aware of any local hotel unions, unless a particular hotel brand hires union workers to my knowledge there is no requirement for hotel workers to be part of a union in Placentia.

Thank you,

**Joe Lambert** | Director of Development Services | Development Services Department  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
☎ (714) 993-8234 | 📠 (714) 528-4640 | ✉ [jlambert@placentia.org](mailto:jlambert@placentia.org)



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**From:** Ortega, Jeannette  
**Sent:** Wednesday, April 3, 2019 12:07 PM  
**To:** Lu, Nicole <[Nicole.Lu@marcusmillichap.com](mailto:Nicole.Lu@marcusmillichap.com)>  
**Cc:** Lambert, Joseph <[jlambert@placentia.org](mailto:jlambert@placentia.org)>  
**Subject:** Re: Question re: 777 W Orangethorpe (Brian Chuchua)

Hi Nicole,

That's great news. Please let us know how the City can assist with your efforts in obtaining/securing this deal with the hotel developer for the property at 777 W. Orangethorpe Avenue.

I don't believe we have an active hotel union in Placentia. Joe are you aware?

The only other unions that I know in Orange County is Unite Here Local 11 and I believe Disneyland has a hotel-worker union.

Thank you,

Jeannette Ortega  
Assistant to the City Administrator/  
Economic Development Manager  
City of Placentia  
Phone: (714) 993-8264  
Email: [jortega@placentia.org](mailto:jortega@placentia.org)

Sent from my iPad.

On Apr 3, 2019, at 11:53 AM, Lu, Nicole <[Nicole.Lu@marcusmillichap.com](mailto:Nicole.Lu@marcusmillichap.com)> wrote:

Dear Jeannette,

I hope this email finds you well. I am working with a hotel developer client and we would like to ask whether there are any hotel worker unions in Placentia and/or Orange County. If you could provide any guidance on this issue, that would be most appreciated.

Wishing you a wonderful Wednesday and looking forward to our next chat.

Warmest,

**Nicole Lu** 吕尚育  
*Retail Investments*

Marcus & Millichap  
12100 West Olympic Boulevard  
Suite 350  
Los Angeles, CA 90064

(310) 909-2373 direct  
(310) 710-1018 mobile  
(310) 909-5410 fax  
[nicole.lu@marcusmillichap.com](mailto:nicole.lu@marcusmillichap.com)

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**From:** [Jigish Shah](#)  
**To:** [Ortega, Jeannette](#)  
**Subject:** Re: Follow Up Items from Meeting  
**Date:** Monday, November 4, 2019 7:24:46 PM

---

I spoke to the architect today, I have a call with him on Thursday to draw up a few options.

Sent from my iPhone

On Nov 4, 2019, at 6:53 PM, Ortega, Jeannette <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)> wrote:

Thank you Jigish for the update. Please let us know if the City can help in any way.

Best regards,

**Jeannette Ortega** | Assistant to the City Administrator/Economic Development Manager  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
Phone: 714-993-8264 | Fax: 714-961-0283 | Email: [jortega@placentia.org](mailto:jortega@placentia.org)  
<image002.jpg>

---

**From:** Jigish Shah <[jigish325@gmail.com](mailto:jigish325@gmail.com)>  
**Sent:** Tuesday, October 29, 2019 11:51 AM  
**To:** Ortega, Jeannette <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>  
**Subject:** Re: Follow Up Items from Meeting

Thank you so much for meeting for lunch and allowing me to include my colleagues.

The details and site plan are very helpful, my architect had his appendix removed on Sunday and will be out for the rest of the week, as soon as he is back he will put something together for us.

In the meantime I have been working with several people to see what franchises are available.

Thank you,

Jigish

Sent from my iPhone

On Oct 24, 2019, at 1:13 PM, Ortega, Jeannette <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)> wrote:

Hi Jigish,

Thank you for the opportunity to speak to you and your colleagues about the property at 777 W. Orangethorpe Avenue in the City of Placentia. As a follow up to our conversation, below is the following information:

Property Owner

**Brian Chuchua**

Cell: (760) 213-5337

[mrjeep@pacbell.net](mailto:mrjeep@pacbell.net)

Broker

**Joe Miller | First Vice President**

Retail Properties | Lic. 00902422

CBRE Brokerage

3501 Jamboree Road Suite 100

Newport Beach, CA 92660

Cell: (714) 614-3444

[Joe.Miller@cbre.com](mailto:Joe.Miller@cbre.com)

Attached is the staff report that amended Specific Plan 5 to add hospitality use and the 75 feet height overlay. I have also attached the preliminary site plan from La Quinta.

Unfortunately, this site is not within an Opportunity Zone based on the following California Opportunity Zone website: <https://opzones.ca.gov/oz-map/>

Please let me know if you need any additional information.

Thank you,

**Jeannette Ortega** | Assistant to the City Administrator/Economic Development Manager

City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870

Phone: 714-993-8264 | Fax: 714-961-0283 | Email: [jortega@placentia.org](mailto:jortega@placentia.org)

<image008.jpg>

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<image009.jpg>

<image010.png>

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<Staff Report Amendment to Specific Plan 5.pdf>

<LQ HOTEL - PRELIM SITE PLAN - REV04 - 05-16-18.pdf>

**From:** [Bowles II, Alan](#)  
**To:** [Coordinator](#); [Andrew Gonzales](#); [Mike Easton](#); [Joseph Lambert](#)  
**Cc:** [Admin \(Christi Villegas\)](#); [Jeannette Ortega](#)  
**Subject:** RE: Follow-up form ICSC (ZOOM Meeting to schedule)  
**Date:** Wednesday, July 19, 2023 11:39:40 AM  
**Attachments:** [image008.png](#)  
[image009.png](#)  
[image010.png](#)  
[image011.png](#)  
[image014.png](#)  
[image015.png](#)  
[Alan Bowles La Quinta Presentation 2023.pdf](#)

---

To all:

Unfortunately I will attending mid-year corporate meetings out of state next week and will not be available.

We certainly would hope to be part of your community.

I have attached a La Quinta Inn & Suites 2023 presentation.

Thank you,

Alan

**Alan B. Bowles II**  
**Director of Development – California & Hawaii**  
Wyndham Hotel & Resorts, Inc.  
Los Angeles Development Office  
M (310) 529-3040  
[alan.bowles@wyndham.com](mailto:alan.bowles@wyndham.com)



---

**From:** Coordinator <[coordinator@eastonpacific.com](mailto:coordinator@eastonpacific.com)>  
**Sent:** Wednesday, July 19, 2023 11:23 AM  
**To:** Andrew Gonzales <[agonzales@placentia.org](mailto:agonzales@placentia.org)>; Coordinator <[coordinator@eastonpacific.com](mailto:coordinator@eastonpacific.com)>; Mike Easton <[measton@eastonpacific.com](mailto:measton@eastonpacific.com)>; Joseph Lambert <[jlambert@placentia.org](mailto:jlambert@placentia.org)>; Bowles II, Alan <[alan.bowles@wyndham.com](mailto:alan.bowles@wyndham.com)>  
**Cc:** Admin (Christi Villegas) <[easton@eastonpacific.com](mailto:easton@eastonpacific.com)>; Jeannette Ortega <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>

**Subject:** RE: Follow-up form ICSC (ZOOM Meeting to schedule)

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Hi Andrew,

Thanks for getting back to me. Tuesday 7/25 at 11am would be great.

Thanks,

**Shannon Smithling**  
**Project Coordinator, Assistant to Mike Easton**

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[Coordinator@eastonpacific.com](mailto:Coordinator@eastonpacific.com)

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**From:** Andrew Gonzales <[agonzales@placentia.org](mailto:agonzales@placentia.org)>

**Sent:** Tuesday, July 18, 2023 5:51 PM

**To:** Coordinator <[coordinator@eastonpacific.com](mailto:coordinator@eastonpacific.com)>; Mike Easton <[measton@eastonpacific.com](mailto:measton@eastonpacific.com)>; Joseph Lambert <[jlambert@placentia.org](mailto:jlambert@placentia.org)>; Bowles II, Alan <[alan.bowles@wyndham.com](mailto:alan.bowles@wyndham.com)>

**Cc:** Admin (Christi Villegas) <[easton@eastonpacific.com](mailto:easton@eastonpacific.com)>; Jeannette Ortega <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>

**Subject:** RE: Follow-up form ICSC (ZOOM Meeting to schedule)

Shannon,

Joe is out of the office this week on vacation. He'll be back next Monday, but looking at his schedule he appears to have available on the following days and times:

Tuesday (7/25) – 10AM to 12PM and 3:30PM to 6PM

Wednesday (7/26) - 10AM to 12PM

Thursday (7/27) - 3:30PM to 6PM

Andrew Gonzales | Planning Manager | Development Services Department

City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870

Ph.: (714) 993-8218 | Fax: (714) 528-4640 | Email: [agonzales@placentia.org](mailto:agonzales@placentia.org)

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**From:** Coordinator <[coordinator@eastonpacific.com](mailto:coordinator@eastonpacific.com)>

**Sent:** Tuesday, July 18, 2023 5:37 PM

**To:** Mike Easton <[measton@eastonpacific.com](mailto:measton@eastonpacific.com)>; Joseph Lambert <[jlambert@placentia.org](mailto:jlambert@placentia.org)>; Bowles II, Alan <[alan.bowles@wyndham.com](mailto:alan.bowles@wyndham.com)>

**Cc:** Admin (Christi Villegas) <[easton@eastonpacific.com](mailto:easton@eastonpacific.com)>; Andrew Gonzales <[agonzales@placentia.org](mailto:agonzales@placentia.org)>; Jeannette Ortega <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>

**Subject:** RE: Follow-up form ICSC (ZOOM Meeting to schedule)

Hi Joe,

Just wanted to touch base and check on your team's availability this week or the following week. I will give you a call tomorrow.

Thanks,

**Shannon Smithling**

**Project Coordinator, Assistant to Mike Easton**

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**From:** Mike Easton <[measton@eastonpacific.com](mailto:measton@eastonpacific.com)>

**Sent:** Wednesday, June 28, 2023 12:49 PM

**To:** Mike Easton <[measton@eastonpacific.com](mailto:measton@eastonpacific.com)>; Joseph Lambert <[jlambert@placentia.org](mailto:jlambert@placentia.org)>; Bowles II, Alan <[alan.bowles@wyndham.com](mailto:alan.bowles@wyndham.com)>; [travis.hendricks@wyndham.com](mailto:travis.hendricks@wyndham.com)

**Cc:** Admin (Christi Villegas) <[easton@eastonpacific.com](mailto:easton@eastonpacific.com)>; Andrew Gonzales <[agonzales@placentia.org](mailto:agonzales@placentia.org)>; Jeannette Ortega <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>; [geoff.tucker@wyndham.com](mailto:geoff.tucker@wyndham.com)

**Subject:** RE: Follow-up form ICSC (ZOOM Meeting to schedule)

Hi Joseph,

I just left you a voicemail. I wanted to follow up on Mike's request for a Zoom to discuss the hotel site you had spoken about previously. See email below. Please let me know some days/times you and your team might be available?

Thanks,

**Shannon Smithling**

**Project Coordinator, Assistant to Mike Easton**

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**From:** Mike Easton

**Sent:** Tuesday, June 20, 2023 8:54 AM

**To:** Joseph Lambert <[jlambert@placentia.org](mailto:jlambert@placentia.org)>; Bowles II, Alan <[alan.bowles@wyndham.com](mailto:alan.bowles@wyndham.com)>; [travis.hendricks@wyndham.com](mailto:travis.hendricks@wyndham.com)

**Cc:** Admin (Christi Villegas) <[easton@eastonpacific.com](mailto:easton@eastonpacific.com)>; Andrew Gonzales <[agonzales@placentia.org](mailto:agonzales@placentia.org)>; Jeannette Ortega <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>; [geoff.tucker@wyndham.com](mailto:geoff.tucker@wyndham.com)

**Subject:** RE: Follow-up form ICSC (ZOOM Meeting to schedule)

Joseph,

Thanks for reaching out again. We very much enjoyed working with your team on the shopping center project and previous exploration of the Orangethorpe site. We would be interested in re-visiting this site and others in Placentia. (This is one of 3 site plan versions that we had prepared for the Orangethorpe site in 2018. There is a design concept that included podium construction with under building parking and the addition of a strip center).

I will get together with Alan to further discuss this and can schedule a zoom with you and your staff. What days/times work best for you? I have a fairly open schedule next week.

**Thanks,**

**MIKE EASTON**

**EASTON PACIFIC**

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**From:** Joseph Lambert <[jlambert@placentia.org](mailto:jlambert@placentia.org)>

**Sent:** Monday, June 19, 2023 6:04 PM

**To:** Bowles II, Alan <[alan.bowles@wyndham.com](mailto:alan.bowles@wyndham.com)>; [travis.hendricks@wyndham.com](mailto:travis.hendricks@wyndham.com)

**Cc:** Mike Easton <[measton@eastonpacific.com](mailto:measton@eastonpacific.com)>; Admin (Christi Villegas) <[easton@eastonpacific.com](mailto:easton@eastonpacific.com)>; Andrew Gonzales <[agonzales@placentia.org](mailto:agonzales@placentia.org)>; Jeannette Ortega <[JOrtega@placentia.org](mailto:JOrtega@placentia.org)>; [geoff.tucker@wyndham.com](mailto:geoff.tucker@wyndham.com)

**Subject:** Follow-up form ICSC

Good afternoon Mr. Bowles and Mr. Hendricks,

City staff met briefly with Geoff Tucker at ICSC in Las Vegas in late May. Although Mr. Tucker does not represent Wyndham in California, he was kind enough to meet with City staff including our Mayor and one of our Councilmembers.

The purpose of my e-mail is to communicate with Wyndham that the City is still very interested in attracting new hospitality uses. The attached Hotel Opportunity sheet describes some of the sites that would accommodate a hotel as a permitted or conditionally permitted use. In addition, the site featured in the preliminary site plan (777 W. Orangethorpe Ave.) is also a site permitted for a hotel use. City staff feels that the preliminary site plan (or similar development) would be a great fit for that property. There is an application for housing at that site, but as of now, City staff does not support that housing proposal, and the housing proposal may ultimately be denied by City Council. So, I bring it up to see if Wyndham would like to take another run at it.

I would like to connect with Wyndham to discuss these opportunities and more. Let me know if a Zoom/Team meeting or in person meeting can be arranged and we will set one up.

Thank you!

**Joe Lambert** | Director of Development Services | Development Services Department  
City of Placentia | 401 E. Chapman Ave. Placentia, CA 92870  
phone: (714) 993-8234 | fax: (714) 961-0283 | e-mail: [jlambert@placentia.org](mailto:jlambert@placentia.org)



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**From:** [Nirmal Patel](#)  
**To:** [Joseph Lambert](#); [Jeannette Ortega](#); [Andrew Gonzales](#)  
**Subject:** hotel development meeting  
**Date:** Tuesday, January 9, 2024 11:59:03 AM

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Ms. Lambert, Ms. Ortega, Mr. Gonzales,

Thank you for taking the time to meet with me yesterday. I drove around Placentia and the sites shown on the flyer are great opportunities as well some others I saw. If you are able to share ownership contact information on the sites shown as opportunity sites and on the following would be greatly appreciated.

The 550 W Crowther site is a good size lot as is the former Jeep dealership site at Orangethorpe and Placentia which would be ideal for a dual brand limited service/extended stay hotel with a Marriott, Hilton, or IHG brand.

The site on Chapman with the recycling center in back and some small office looking type buildings on front next to Fantasy Burger. I believe this was the site you had mentioned was approached to you by a developer.

TC Specialties and Pacific Architectural Woodworking on Industrial Way.

What are your thoughts about CTS Home Appliance Center and Susie's Freeze next to Kraemer Park would be a for a hotel? There is a house behind it so not sure if they would be amenable to a hotel in front of them.

In the past cities some times have shared hotel revenue data either individually or for combined for a group. Would you be able to share room revenue or TOT revenue for the Springhill Suites, Residence Inn, Best Western, and Quality Inn individually or combined?

Look forward to working with you.

Thank you

Nirmal R. Patel  
Hospitality Management Group Inc  
1038 s sunstream lane  
anaheim hills, ca 92808  
p: 714.394.4112  
f: 714.282.1837

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immediately return it to the sender and delete it from your system. Thank you.

March 25, 2024

City of Placentia

Joe Lambert | Director of Development Services | Development Services Department

Andrew Gonzales | Planning Manager | Development Services Department

Jeannette Ortega | Assistant to the City Administrator/Economic Development Manager

Property located at 777 W. Orangethorpe

Re: Letter of Interest to Construct:

A 150 room +/- Select Service Hotel.

Currently in discussion with Alan Bowles (Pacific Inns) regarding brand selection.

(Brands that have interest: Wyndham, Hilton, Marriott), With a senior living component.

Inline retail on Placentia Ave (1,800 SF +/-)

Corner Pad for combo sit down/drive through. (2200 SF +/- interior – 400 SF outside patio)

In our recent conversations I indicated that Resort Asset Management LLC. And our equity investors are poised to commit funds for the development of the above-referenced property.

I have been authorized by Resort Asset Management LLC ("**RAM**") to present you with this Letter of Interest to Joint Venture or Purchase the above referenced Property for said purpose. (terms to be further discussed)

Property Description: JV or Purchase fee simple interest in that certain parcel, currently a former Jeep Dealership, with all rights appurtenant thereto, located at 777 W. Orangethorpe, Placentia Ca. ("**Property**").

Current Owner/Party: <TBD>  
Letter of interest to: The City of Placentia

JV/RAM: Resort Asset Management LLC.  
RAM Representation: Billie Jean Ford, Real Estate Director

JV Value/Purchase Price: <TBD>

RAM Acknowledgements: RAM understands that the current property disposition has not been confirmed.

Due Diligence: RAM shall at its own expense and within (90) calendar days from execution of an agreement, shall perform inspections, review

Owner provided documentation and approve or disapprove the Due Diligence information in RAM'S sole and absolute discretion the( **"Due Diligence Period"**).

RAM shall be responsible for its own legal fees, costs of any and all inspections or reports it obtains. During the Due Diligence Period, RAM shall have the right to perform on-site inspections and testing of the Property in order to evaluate the suitability of the Property, with the understanding that Owner shall have no liability or expense with respect to said inspections.

Within three (3) business days following the Execution of the Agreement, Owner shall deliver to RAM the following:

- a) Preliminary Title Report, including underlying documentation,
- b) Copies of any information pertaining to entitlement or discussions with the City of Placentia.
- c) Any existing third party reports, including, but not limited to; environmental remediation reports/ releases.
- d) All available plans to include engineered civil plans if any
- e) Copy of ALTA Survey

Hazardous wastes or  
Substances and  
Underground Storage  
Tanks:

Owner agrees to disclose to RAM any and all information which it has regarding present or pending zoning and environmental matters affecting the property and regarding the condition of the property, including, but not limited to structural, mechanical and soils conditions, the presence and location of asbestos, PCB transformers, other toxic, hazardous or contaminated substances, and underground storage tanks, in, on, or about the property.

During due diligence, RAM will have the right to enter the Property with reasonable notice during business hours and with Owner's consent for any commercially reasonable purpose. RAM will keep the Property free and clear of any mechanic's or material man's liens arising out of any such entry.

Prior to finalization of the JV or Purchase, no material change shall have occurred with respect to the Property that has not been approved in writing by RAM. A material change is defined as a change in condition of the Property as reasonably expected by RAM that occurs after the expiration of the Contingency Period and prior to the closing.

**Closing:** RAM is prepared to finalize and consummate the JV agreement or purchase within Sixty (60) days following the Due Diligence Period.

**Title & Escrow Fees:** At the closing if purchased, Escrow will make the necessary prorations for rent, Real Estate Taxes and other operating expenses of the property. Owner will pay the premium for a C.L.T.A. policy of Title Insurance and transfer taxes. Customary escrow fees shall be split on a 50/50 basis between RAM and Owner. Title insurance is to be provided by and escrow to be held By Chicago title. RAM shall have the right to require an ALTA Extended Coverage Policy, Seller shall obtain the necessary survey and pay the additional cost thereof.

**Consult your Attorney:** No representation or recommendation is made by RAM, Broker, or their respective agents or employees as to the legal sufficiency, legal effect, or tax consequences of this document and/or subsequent Joint Venture agreement or purchase and sale documents.

**Purchase Agreement:** RAM and Owner shall use their good faith efforts to negotiate the terms and conditions of a definitive Joint Venture or Purchase and Sale Agreement relating to the proposed of the property, which shall contain the terms and conditions JV or sale set forth in this Letter of Intent, as well as such other terms and provisions as are typically included in agreements of this type (including, without limitation, representations and warranties, covenants, conditions to closing, and indemnification provisions). Both Owner and RAM agree to use best efforts to have the Agreement fully executed within thirty (60) days of the execution of this Letter of Intent. Owner agrees that it will not make, accept, negotiate entertain any other offers so long as RAM is negotiating the Joint Venture or purchase and sale agreement (PSA) in good faith. RAM and Owner agree to exclusively negotiate and use best efforts to come to a definitive Agreement under the terms and conditions outlined in this LOI. This LOI shall serve only as an expression of the parties' interest in exploring the possibility of a Joint Venture or sale of the property, shall not constitute a legally binding agreement and shall not create any rights, duties, or obligations on the part, or in favor, of any of the parties hereto.

The parties acknowledge and agree that they shall be legally

bound with respect to the JV/sale of the property if, and only if, they execute and deliver an Executed Agreement, following which their respective rights, duties and obligations shall be governed by the terms thereof. RAM and the Owner shall finalize and cause legal counsel (as mutually selected) to prepare the Agreement expeditiously after mutual execution of this Letter of Intent.

**Respectfully Submitted**

Resort Asset Management LLC or Designee

By Michelle Easton

Name: Michelle Easton

Title: President, Managing Member

Date: April 1<sup>st</sup>, 2024

# ATTACHMENT NO. 12

## Applicant and Technical Team Responses/Comments

1. Harris & Associates response comments to SAFER received August 19, 2024
2. RSG economic analysis & response to JS&A's economic analysis received August 19, 2024
3. RK Engineering onsite mobility study received August 19, 2024
4. LLG parking demand analysis memorandum received August 19, 2024
5. Applicant, Gilad Ganish, correspondence on public improvements received August 14, 2024
6. Applicant, Gilad Ganish, requested responses and changes to the alternative recommended Conditions of Approval for Resolution No. R-2024-60 received August 29, 2024

**Andrew Gonzales**

---

**From:** William Halligan <William.Halligan@weareharris.com>  
**Sent:** Friday, August 16, 2024 5:11 PM  
**To:** Andrew Gonzales  
**Cc:** Gilad Ganish; Leaderman, Ryan M (LAX - X52405); Yliana Ortega  
**Subject:** SAFER Responses  
**Attachments:** 777 W. Orangethorpe Ave MND\_ SAFER Comment - bracketed.pdf; Draft Response to Comments from SAFER\_8-16-24.docx

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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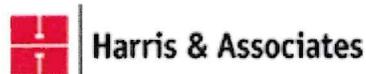
Hi Andrew,

Attached are the responses to comments from SAFER, for your review.

Thanks!

Bill

William Halligan, Esq. | Senior Director/Sr. Environmental Counsel



101 Progress | Suite 250 | Irvine | CA | 92618  
c: 714.234.1455 d: 949.655.3900  
[william.halligan@weareharris.com](mailto:william.halligan@weareharris.com)  
[www.WeAreHarris.com](http://www.WeAreHarris.com)

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AUG 19 2024  
PLANNING



## Letter LD

T 510.836.4200  
F 510.836.4205

1939 Harrison Street, Ste. 150  
Oakland, CA 94612

www.lozeaudrury.com  
victoria@lozeaudrury.com

### VIA EMAIL

July 8, 2024

Frank Perez, Chair  
Nick Polichetti, Vice Chair  
Brandon Evans, Commissioner  
Thomas Ingalls, Commissioner  
Juan Navarro, Commissioner  
Matthew Rocke, Commissioner  
Susan Silverstri, Commissioner  
Placentia Planning Commission  
c/o Joseph Lambert, Director of  
Development Services  
City of Placentia  
401 E. Chapman Avenue  
Placentia, CA 92870  
jlambert@placentia.org

Andrew Gonzales, Planning Manager  
City of Placentia  
401 E. Chapman Avenue  
Placentia, CA 92870  
agonzales@placentia.org

**Re: Comment on Mitigated Negative Declaration for the Orangethorpe/Placentia Mixed Use Project**

Dear Chair Perez, Honorable Members of the City of Placentia Planning Commission, Director Lambert, and Mr. Gonzales:

This comment is submitted on behalf of Supporters Alliance for Environmental Responsibility (“SAFER”) and its members living and working in and around Placentia regarding the mitigated negative declaration (“MND”) prepared for the Orangethorpe/Placentia Mixed Use Project (“Project”), which proposes the development of 248 multi-family residential dwelling units, up to 3,000 square feet of commercial retail use, and a 7-level parking structure, located at 776 S. Placentia Avenue & 777 W. Orangethorpe Avenue, in the City of Placentia.

SAFER’s review of the MND was assisted by Certified Industrial Hygienist, Francis Offermann, PE, CIH, and air quality experts Matt Hagemann, P.G., C.Hg., and Paul E. Rosenfeld, Ph.D., of the Soil/Water/Air Protection Enterprise (“SWAPE”). The written comments of Mr. Offermann and SWAPE are attached hereto as Exhibit A and Exhibit B, respectively. As discussed below, SAFER is concerned that several of the MND’s conclusions are not supported by substantial evidence and that there is a fair argument that the Project may result in significant environmental impact. As such, SAFER is requesting that the City prepare an environmental impact report (“EIR”) in conformance with the California Environmental Quality Act (“CEQA”)

LD-1

## PROJECT DESCRIPTION

The Project includes the demolition of the existing car dealership structures and parking lot and the new construction and operation of a five-story mixed use project that would include 248 residential units, up to 3,000 square feet of commercial uses, and a 78-foot high, 7-level parking structure at the northeast corner of the Project site. The Project requires approval of General Plan Amendment 2022-01, Specific Plan Amendment 2021-01, and Development Review Plan 2021-02.

LD-2

## LEGAL STANDARD FOR NEGATIVE DECLARATIONS

As the California Supreme Court held, “[i]f no EIR has been prepared for a nonexempt project, but substantial evidence in the record supports a fair argument that the project may result in significant adverse impacts, the proper remedy is to order preparation of an EIR.” (*Communities for a Better Env’t v. South Coast Air Quality Mgmt. Dist.* (2010) 48 Cal.4th 310, 319-20.) “Significant environmental effect” is defined very broadly as “a substantial or potentially substantial adverse change in the environment.” (Pub. Res. Code (“PRC”) § 21068; see also 14 CCR § 15382.) An effect on the environment need not be “momentous” to meet the CEQA test for significance; it is enough that the impacts are “not trivial.” (*No Oil, Inc. v. City of Los Angeles* (1974) 13 Cal.3d 68, 83.) “The ‘foremost principle’ in interpreting CEQA is that the Legislature intended the act to be read so as to afford the fullest possible protection to the environment within the reasonable scope of the statutory language.” (*Communities for a Better Env’t v. Cal. Res. Agency* (2002) 103 Cal.App.4th 98, 109.)

The EIR is the very heart of CEQA. (*Bakersfield Citizens for Local Control v. City of Bakersfield* (2004) 124 Cal.App.4th 1184, 1214; *Pocket Protectors v. City of Sacramento* (2004) 124 Cal.App.4th 903, 927.) The EIR is an “environmental ‘alarm bell’ whose purpose is to alert the public and its responsible officials to environmental changes before they have reached the ecological points of no return.” (*Bakersfield Citizens*, 124 Cal.App.4th at 1220.) The EIR also functions as a “document of accountability,” intended to “demonstrate to an apprehensive citizenry that the agency has, in fact, analyzed and considered the ecological implications of its action.” (*Laurel Heights Improvements Assn. v. Regents of Univ. of Cal.* (1988) 47 Cal.3d 376, 392.) The EIR process “protects not only the environment but also informed self-government.” (*Pocket Protectors*, 124 Cal.App.4th at 927.)

LD-3

An EIR is required if “there is substantial evidence, in light of the whole record before the lead agency, that the project may have a significant effect on the environment.” (PRC § 21080(d); see also *Pocket Protectors*, 124 Cal.App.4th at 927.) An MND instead of an EIR is proper only if project revisions would avoid or mitigate the potentially significant effects identified in the initial study “to a point where clearly no significant effect on the environment would occur, and . . . there is no substantial evidence in light of the whole record before the public agency that the project, as revised, may have a significant effect on the environment.” (*Mejia v. City of Los Angeles* (2005) 130 Cal.App.4th 322, 331 [quoting PRC §§ 21064.5,

21080(c)(2)].) In that context, “may” means a reasonable possibility of a significant effect on the environment. (PRC §§ 21082.2(a), 21100, 21151(a); *Pocket Protectors*, 124 Cal.App.4th at 927; *League for Protection of Oakland's etc. Historic Res. v. City of Oakland* (1997) 52 Cal.App.4th 896, 904-05.)

An EIR must be prepared rather than an MND “whenever it can be fairly argued on the basis of substantial evidence that the project may have a significant environmental impact.” (*No Oil, Inc.*, 13 Cal.3d at 75.) Under this “fair argument” standard, an EIR is required if any substantial evidence in the record indicates that a project may have an adverse environmental effect—even if contrary evidence exists to support the agency’s decision. (14 CCR § 15064(f)(1); *Pocket Protectors*, 124 Cal.App.4th at 931; *Stanislaus Audubon Society v. County of Stanislaus* (1995) 33 Cal.App.4th 144, 150-51; *Quail Botanical Gardens Found., Inc. v. City of Encinitas* (1994) 29 Cal.App.4th 1597, 1602.) The “fair argument” standard creates a “low threshold” favoring environmental review through an EIR rather than through issuance of negative declarations or notices of exemption from CEQA. (*Pocket Protectors*, 124 Cal.App.4th at 928.)

The “fair argument” standard is virtually the opposite of the typical deferential standard accorded to agencies. As a leading CEQA treatise explains:

This ‘fair argument’ standard is very different from the standard normally followed by public agencies in making administrative determinations. Ordinarily, public agencies weigh the evidence in the record before them and reach a decision based on a preponderance of the evidence. [Citations]. The fair argument standard, by contrast, prevents the lead agency from weighing competing evidence to determine who has a better argument concerning the likelihood or extent of a potential environmental impact. The lead agency’s decision is thus largely legal rather than factual; it does not resolve conflicts in the evidence but determines only whether substantial evidence exists in the record to support the prescribed fair argument.

(Kostka & Zishcke, *Practice Under CEQA*, §6.29, pp. 273-74.) The Courts have explained that “it is a question of law, not fact, whether a fair argument exists, and the courts owe no deference to the lead agency’s determination. Review is de novo, with a preference for resolving doubts in favor of environmental review.” (*Pocket Protectors*, 124 Cal.App.4th at 928.)

## DISCUSSION

### **I. An EIR is Required to Disclose and Mitigate the Project’s Significant Air Quality Impacts from Emissions of VOCs.**

Matt Hagemann, P.G., C.Hg., and Dr. Paul E. Rosenfeld, Ph.D., of the environmental consulting firm SWAPE reviewed the MND’s analysis of the Project’s air quality impacts. SWAPE’s comment letter and CVs are attached as Exhibit B. As discussed below, SWAPE

LD-3

LD-4

concluded that the MND underestimated the Project's emissions and failed to identify a significant impact from emissions of volatile organic compounds ("VOCs"). An EIR is required to disclose and mitigate this impact.

**A. The MND's analysis of the Project's air quality impacts is not supported by substantial evidence.**

SWAPE found that the MND underestimated the Project's emissions and therefore cannot be relied upon to determine the significance of the Project's air quality impacts. (Ex. B, pp. 1-4.) To estimate the Project's emissions, the MND utilized the California Emissions Estimator Model Version CalEEMod.2020.4.0 ("CalEEMod"). (Ex. B, p. 1.) CalEEMod relies on recommended default values based on site specific information related to a number of factors (*Id.*) CEQA requires that any changes to the default values must be justified by substantial evidence. (Ex. B, pp. 1-2.)

SWAPE reviewed the Project's CalEEMod output files and found that the values input into the model were inconsistent with information provided in the MND. (Ex. B, p. 2.) This results in an underestimation of the Project's emissions. (*Id.*)

Specifically, SWAPE found that the following values used in the MND's air quality analysis were either inconsistent with information provided in the MND or otherwise unjustified:

1. Unsubstantiated changes to individual construction phase lengths. (Ex. B, pp. 2-3.)
2. Unsubstantiated reductions to acres of grading values. (Ex. B, pp. 3-4.)

As a result of these errors, the MND underestimates the Project's construction and operational emissions and cannot be relied upon to determine the significance of the Project's air quality impacts.

**B. The Project will result in a significant air quality impact from emissions of VOCs.**

In an effort to accurately determine the proposed Project's construction and operational emissions, SWAPE prepared an updated CalEEMod with the site-specific information provided in the MND. (Ex. B, pp. 4-5.) SWAPE's updated model corrected the MND's changes to the construction phase lengths and acres of grading values. (*Id.*) SWAPE's updated analysis found that the Project's construction-related VOC emissions exceed the 75 pounds per day ("lbs/day") significance threshold set by South Coast Air Quality Management District ("SCAQMD"). (*Id.*)

LD-4

SWAPE Criteria Air Pollutant Emissions	
Construction	ROG (lbs/day)
IS/MND	44.1
SWAPE	160.04
% Increase	263%
SCAQMD Threshold	75
Exceeds?	Yes

LD-4

SWAPE’s expert analysis of the Project’s air quality impacts establishes a fair argument that the Project may result in significant VOC impacts. SWAPE also provided a number of mitigation measures that could be applied to the Project to reduce air quality impacts. (Ex. B, pp. 15-17.) Under CEQA, SWAPE’s fair argument requires the preparation of an EIR to disclose and mitigate this impact.

**II. An EIR is Required to Disclose and Mitigate the Project’s Significant Health Impacts from Emissions of Diesel Particulate Matter.**

SWAPE also reviewed the Project’s impacts on human health due to emissions of diesel particulate matter (“DPM”). SWAPE concluded that the MND failed to identify a significant impact from emissions of DPM. An EIR is required to disclose and mitigate this impact.

**A. The MND failed to adequately analyze the Project’s health impacts from emissions of diesel particulate matter.**

The MND’s analysis of the cancer risk posed by emissions of DPM was inadequate. The MND failed to provide a quantitative analysis of the emissions resulting from *construction* or *operation* of the Project. (Ex. B, p. 4-5.) The MND’s failure to conduct a quantified health risk assessment (“HRA”) for the Project’s construction and operational emissions resulted in an inadequate evaluation of the Project’s impacts and calls into question the MND’s less-than-significant conclusion.

LD-5

As noted by SWAPE, CEQA requires that the MND “correlate the increase in emissions that the Project would generate to the adverse impacts on human health caused by those emissions.” (Ex. B, p. 6.) However, such an analysis is not possible without a quantified HRA. Furthermore, the failure of the MND to provide a quantified HRA is inconsistent with the most recent guidance of the Office of Environmental Health Hazard Assessment (“OEHHA”). (Ex. B, pp. 6-7.) OEHHA recommends that exposure from projects lasting more than 6 months be evaluated for the duration of the project and recommends that an exposure duration of 30 years be used to estimate individual cancer risk for the maximally exposed individual resident (“MEIR”). (*Id.*) OEHHA additionally recommends that agencies evaluate the cumulative impact of construction and operation of the Project combined. (*Id.*) Thus, a quantified HRA for

construction and operation of the Project is necessary to ensure that the Project's health risks are disclosed, compared to the applicable SCAQMD significance thresholds, and properly mitigated.

**B. The Project may result in significant increased cancer risks from emissions of diesel particulate matter.**

SWAPE prepared a screening-level HRA to evaluate potential impacts to human health from DPM during construction and operation of the Project. (Ex. B, pp. 7-12.) SWAPE used AERSCREEN, the leading screening-level air quality dispersion model. (Ex. B, pp. 7-9.) SWAPE relied on estimates of diesel particulate emissions from the MND's air quality analysis, utilized a sensitive receptor distance of 75 meters, and analyzed impacts to individuals at different stages of life based on OEHHA guidance. (Ex. B, pp. 10-11.)

LD-5

SWAPE found that increased cancer risk to infants, children, and adults during construction and operation of the Project would be 101, 85.2, and 13.1 in one million, respectively. (Ex. B, p. 11.) The combined cancer risks of construction and operation of the Project would result in an excess cancer risk of approximately 204 in one million over the course of a residential lifetime (i.e. 30 years). (*Id.*) Each of the above exceeds the SCAQMD's significance threshold of 10 in one million. Therefore, SWAPE's expert analysis of the Project's significant cancer risks established a fair argument that the Project may result in significant impacts. SWAPE also provided a number of mitigation measures that could be applied to the Project to reduce air quality impacts. (Ex. B, pp. 15-17.) Under CEQA, SWAPE's fair argument requires that the City prepare an EIR to disclose and mitigate this impact.

**III. An EIR is Required to Disclose and Mitigate the Project's Greenhouse Gas Emissions.**

SWAPE analyzed the Project's potential greenhouse gas ("GHG") emissions and found that the MND failed to adequately analyze the Project's GHG impacts, which SWAPE found to be potentially significant. (Ex. B pp. 12-14.)

The MND incorrectly concludes that the Project will have a less than significant GHG impact because it does not exceed 4.0 metric tons of carbon dioxide equivalents per service population per year ("MT CO<sub>2</sub>e/SP/year"). However, as SWAPE explains, the MND relied on an outdated service population threshold of 4.0 MT CO<sub>2</sub>e/SP/year. (Ex. B, p. 13.) SWAPE explains that the MND's reliance on that threshold is incorrect because "the guidance that provided the 4.0 MT CO<sub>2</sub>e/year threshold, the SCAQMD's 2008 *Interim CEQA GHG Significance Threshold for Stationary Sources, Rules, and Plans* report," is outdated, as it "was developed when [AB 32] was the governing statute for GHG reductions in California," which required "reduc[ing] GHG emissions to 1990 levels by 2020." (*Id.*)<sup>1</sup> Since it is currently July

LD-6

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<sup>1</sup> See also, "Beyond Newhall and 2020: A Field Guide to New CEQA Greenhouse Gas Thresholds and Climate Action Plan Targets for California," Association of Environmental Professionals (AEP), Oct. 2016, p. 39, available at: [https://califaep.org/docs/AEP-2016\\_Final\\_White\\_Paper.pdf](https://califaep.org/docs/AEP-2016_Final_White_Paper.pdf) [{"F]or evaluating projects with a post-2020 horizon,

2024, thresholds for 2020 are not applicable to the Project. (Ex. B, p. 13.) Instead, the MND should have applied the SCAQMD 2035 service population threshold of 3.0 MT CO<sub>2</sub>e/SP/year to the Project. (*Id.*)

The calculation to determine if the project would exceed the SCAQMD 2035 MT CO<sub>2</sub>e/SP/year threshold involves dividing the Project’s net GHG emissions by the number of residents and jobs supported by the Project. (*Id.*, p. 14.) The MND estimated that the Project would result in GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year. (MND, p. 78.) The MND also estimated that the Project would accommodate a maximum of 744 residents and employ a maximum of 7 retail employees. (*Id.*) When dividing the Project’s net GHG emissions by the service population of 751 people, SWAPE calculated that the Project exceeds SCAMQD’s 3.0 MT CO<sub>2</sub>e/SP/year threshold:

IS/MND Greenhouse Gas Emissions	
Annual Emissions (MT CO <sub>2</sub> e/year)	2,651
Service Population	751
Service Population Efficiency (MT CO <sub>2</sub> e/SP/year)	3.5
SCAQMD 2035 Threshold	3.0
Exceeds?	Yes

LD-6

(Ex. B, p. 14.) This exceedance of the SCAMQD’s 3.0 MT CO<sub>2</sub>e/SP/year threshold indicates a significant GHG impact that must be disclosed and mitigated in an EIR. SWAPE also provided a number of mitigation measures that could be applied to the Project to reduce GHG impacts. (Ex. B, pp. 15-17.)

**IV. An EIR is Required Because there is a Fair Argument that the Project May Have a Significant Impact on Human Health.**

The MND fails to discuss, disclose, analyze, and mitigate the significant health risks posed by the Project from formaldehyde, a toxic air contaminant (“TAC”). Certified Industrial Hygienist, Francis Offermann, PE, CIH conducted a review of the Project and relevant documents regarding the Project’s indoor air emissions. Mr. Offermann is one of the world’s leading experts on indoor air quality and has published extensively on the topic. As discussed below and in Mr. Offermann’s comments, the Project’s emissions of formaldehyde will result in very significant cancer risks to future residents of the Project’s residential units. Mr. Offerman’s comments and CV is attached as Exhibit A.

LD-7

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the threshold will need to be revised based on a new gap analysis that would examine development and reduction potentials out to the next GHG reduction milestone.”.]

Formaldehyde is a known human carcinogen and is listed by the State as a TAC. The SCAQMD has established a significance threshold of health risks for carcinogenic TACs of 10 in one million. (Ex. A, p. 2.) The MND fails to acknowledge the significant indoor air emissions that will result from the Project. Specifically, there is no discussion of impacts or health risks, no analysis, and no identification of mitigations for significant emissions of formaldehyde from the Project.

Mr. Offermann explains that many composite wood products typically used in home and apartment building construction contain formaldehyde-based glues which off-gas formaldehyde over a very long period. He states, “[t]he primary source of formaldehyde indoors is composite wood products manufactured with urea-formaldehyde resins, such as plywood, medium density fiberboard, and particleboard. These materials are commonly used in building construction for flooring, cabinetry, baseboards, window shades, interior doors, and window and door trims.” (Ex. A, pp. 2-3.)

Mr. Offermann found that future residents of the Project’s residential units will be exposed to a cancer risk of 120 per million, even assuming all materials are compliant with the California Air Resources Board’s (“CARB”) formaldehyde airborne toxics control measure. (Ex. A, pp. 3-4) This is more than 12 times SCAQMD’s CEQA significance threshold of 10 per million.

Mr. Offermann also found that there is a fair argument that future employees of the commercial spaces will be exposed to a cancer risk from formaldehyde of approximately 17.7 per million, even assuming all materials are compliant with CARB’s formaldehyde airborne toxics control measure. (*Id.*, pp. 4-5.) This exceeds the SCAQMD CEQA significance threshold for airborne cancer risk of 10 per million. (*Id.*)

Mr. Offermann concludes that these significant environmental impacts must be analyzed in an EIR and mitigation measures should be imposed to reduce the risk of formaldehyde exposure. (Ex. A, pp. 5, 12-14.) He prescribes a methodology for estimating the Project’s formaldehyde emissions in order to do a more project-specific health risk assessment. (*Id.*, pp. 6-10.) Mr. Offermann also suggests several feasible mitigation measures, such as requiring the use of no-added-formaldehyde composite wood products, which are readily available. (*Id.*, pp. 12-14.) Mr. Offermann also suggests requiring air ventilation systems which would reduce formaldehyde levels. (*Id.*) Since the MND does not analyze this impact at all, none of these or other mitigation measures have been considered.

When a Project exceeds a duly adopted CEQA significance threshold, as here, this alone establishes substantial evidence that the project will have a significant adverse environmental impact. Indeed, in many instances, such air quality thresholds are the only criteria reviewed and treated as dispositive in evaluating the significance of a project’s air quality impacts. (See, e.g. *Schenck v. County of Sonoma* (2011) 198 Cal.App.4th 949, 960 [County applies Air District’s “published CEQA quantitative criteria” and “threshold level of cumulative significance”]; see

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also *Communities for a Better Env't v. Cal. Res. Agency* (2002) 103 Cal.App.4th 98, 110-111 [“A ‘threshold of significance’ for a given environmental effect is simply that level at which the lead agency finds the effects of the project to be significant”].)

The California Supreme Court made clear the substantial importance that an air district significance threshold plays in providing substantial evidence of a significant adverse impact. (*Communities for a Better Env't v. South Coast Air Quality Management Dist.* (2010) 48 Cal.4th 310, 327 [“As the District’s established significance threshold for NOx is 55 pounds per day, these estimates [of NOx emissions of 201 to 456 pounds per day] constitute substantial evidence supporting a fair argument for a significant adverse impact.”].) Since expert evidence demonstrates that the Project will exceed the SCAQMD’s CEQA significance threshold, there is substantial evidence that an “unstudied, **potentially significant environmental effect**” exists. (See, *Friends of Coll. of San Mateo Gardens v. San Mateo Cty. Cmty. Coll. Dist.* (2016) 1 Cal.5th 937, 958 [emphasis added].)

The failure of the MND to address the Project’s formaldehyde emissions is contrary to the California Supreme Court’s decision in *California Building Industry Ass’n v. Bay Area Air Quality Mgmt. Dist.* (“*CBIA*”) (2015) 62 Cal.4th 369, 386. In that case, the Supreme Court expressly holds that potential adverse impacts to future users and residents from pollution generated by a proposed project **must be addressed** under CEQA. At issue in *CBIA* was whether the Air District could enact CEQA guidelines that advised lead agencies that they must analyze the impacts of adjacent environmental conditions on a project. The Supreme Court held that CEQA does not generally require lead agencies to consider the environment’s effects on a project. (*CBIA*, 62 Cal.4th at 800-01.) However, to the extent a project may exacerbate existing environmental conditions at or near a project site, those would still have to be considered pursuant to CEQA. (*Id.* at 801.) In so holding, the Court expressly held that CEQA’s statutory language required lead agencies to disclose and analyze “impacts on **a project’s users or residents** that arise **from the project’s effects** on the environment.” (*Id.* at 800 [emphasis added].)

The carcinogenic formaldehyde emissions identified by Mr. Offermann are not an existing environmental condition. Those emissions will be from the Project. People will be residing in the Project’s buildings once built and emitting formaldehyde. Once built, the Project will begin to emit formaldehyde at levels that pose significant direct and cumulative health risks. The Supreme Court in *CBIA* expressly finds that this type of air emission and health impact by the project on the environment and a “project’s users and residents” must be addressed in the CEQA process. The existing TAC sources near the Project site would have to be considered in evaluating the cumulative effect on future residents of both the Project’s TAC emissions as well as those existing off-site emissions.

The Supreme Court’s reasoning is well-grounded in CEQA’s statutory language. CEQA expressly includes a project’s effects on human beings as an effect on the environment that must be addressed in an environmental review. “Section 21083(b)(3)’s express language, for example, requires a finding of a ‘significant effect on the environment’ (§ 21083(b)) whenever the

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‘environmental effects of a project will cause substantial adverse effects *on human beings*, either directly or indirectly.’” (*CBIA*, 62 Cal.4th at 800.) Likewise, “the Legislature has made clear—in declarations accompanying CEQA’s enactment—that public health and safety are of great importance in the statutory scheme.” (*Id.* [citing e.g., PRC §§ 21000, 21001].) It goes without saying that the future residents of the Project are human beings and their health and safety must be subject to CEQA’s safeguards.

The City has a duty to investigate issues relating to a project’s potential environmental impacts. (See, *County Sanitation Dist. No. 2 v. County of Kern*, (2005) 127 Cal.App.4th 1544, 1597–98. [“[U]nder CEQA, the lead agency bears a burden to investigate potential environmental impacts.”].) The proposed buildings will have significant impacts on air quality and health risks by emitting cancer-causing levels of formaldehyde into the air that will expose future residents to cancer risks potentially in excess of SCAQMD’s threshold of significance for cancer health risks of 10 in a million. Currently, outside of Mr. Offermann’s comments, the City does not have any idea what risks will be posed by formaldehyde emissions from the Project. As a result, the City must include an analysis and discussion in an EIR which discloses and analyzes the health risks that the Project’s formaldehyde emissions may have on future residents and identifies appropriate mitigation measures.

Mr. Offermann’s comments are substantial evidence that the Project may have a significant impact on human health, necessitating preparation of an EIR.

### CONCLUSION

As discussed above, the MND fails to provide substantial evidence to support several of its conclusions related to the Project’s impacts to air quality, human health, and greenhouse gases. Furthermore, SAFER’s experts have established a fair argument that the Project may have significant impacts on air quality, human health, and greenhouse gases. For those reasons, SAFER respectfully requests that the City not rely on the MND but instead prepare and circulate an EIR prior to further consideration of the Project.

Sincerely,



Victoria Yundt  
Lozeau Drury LLP

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# EXHIBIT A



Date: December 11, 2023

To: Victoria Yundt  
Lozeau | Drury LLP  
1939 Harrison Street, Suite 150  
Oakland, California 94612

From: Francis J. Offermann PE CIH

Subject: Indoor Air Quality: Orangethorpe/Placentia Mixed Use Project, Placentia, CA.  
(IEE File Reference: P-4768)

Pages: 19

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## **Indoor Air Quality Impacts**

Indoor air quality (IAQ) directly impacts the comfort and health of building occupants, and the achievement of acceptable IAQ in newly constructed and renovated buildings is a well-recognized design objective. For example, IAQ is addressed by major high-performance building rating systems and building codes (California Building Standards Commission, 2014; USGBC, 2014). Indoor air quality in homes is particularly important because occupants, on average, spend approximately ninety percent of their time indoors with the majority of this time spent at home (EPA, 2011). Some segments of the population that are most susceptible to the effects of poor IAQ, such as the very young and the elderly, occupy their homes almost continuously. Additionally, an increasing number of adults are working from home at least some of the time during the workweek. Indoor air quality also is a serious concern for workers in hotels, offices and other business establishments.

The concentrations of many air pollutants often are elevated in homes and other buildings relative to outdoor air because many of the materials and products used indoors contain and release a variety of pollutants to air (Hodgson et al., 2002; Offermann and Hodgson,

2011). With respect to indoor air contaminants for which inhalation is the primary route of exposure, the critical design and construction parameters are the provision of adequate ventilation and the reduction of indoor sources of the contaminants.

**Indoor Formaldehyde Concentrations Impact.** In the California New Home Study (CNHS) of 108 new homes in California (Offermann, 2009), 25 air contaminants were measured, and formaldehyde was identified as the indoor air contaminant with the highest cancer risk as determined by the California Proposition 65 Safe Harbor Levels (OEHHA, 2017a), No Significant Risk Levels (NSRL) for carcinogens. The NSRL is the daily intake level calculated to result in one excess case of cancer in an exposed population of 100,000 (i.e., ten in one million cancer risk) and for formaldehyde is 40  $\mu\text{g}/\text{day}$ . The NSRL concentration of formaldehyde that represents a daily dose of 40  $\mu\text{g}$  is 2  $\mu\text{g}/\text{m}^3$ , assuming a continuous 24-hour exposure, a total daily inhaled air volume of 20  $\text{m}^3$ , and 100% absorption by the respiratory system. All of the CNHS homes exceeded this NSRL concentration of 2  $\mu\text{g}/\text{m}^3$ . The median indoor formaldehyde concentration was 36  $\mu\text{g}/\text{m}^3$ , and ranged from 4.8 to 136  $\mu\text{g}/\text{m}^3$ , which corresponds to a median exceedance of the 2  $\mu\text{g}/\text{m}^3$  NSRL concentration of 18 and a range of 2.3 to 68.

Therefore, the cancer risk of a resident living in a California home with the median indoor formaldehyde concentration of 36  $\mu\text{g}/\text{m}^3$ , is 180 per million as a result of formaldehyde alone. The CEQA significance threshold for airborne cancer risk is 10 per million, as established by the San Diego County Air Pollution Control District (SDAPCD, 2021).

Besides being a human carcinogen, formaldehyde is also a potent eye and respiratory irritant. In the CNHS, many homes exceeded the non-cancer reference exposure levels (RELs) prescribed by California Office of Environmental Health Hazard Assessment (OEHHA, 2017b). The percentage of homes exceeding the RELs ranged from 98% for the Chronic REL of 9  $\mu\text{g}/\text{m}^3$  to 28% for the Acute REL of 55  $\mu\text{g}/\text{m}^3$ .

The primary source of formaldehyde indoors is composite wood products manufactured with urea-formaldehyde resins, such as plywood, medium density fiberboard, and

particleboard. These materials are commonly used in building construction for flooring, cabinetry, baseboards, window shades, interior doors, and window and door trims.

In January 2009, the California Air Resources Board (CARB) adopted an airborne toxics control measure (ATCM) to reduce formaldehyde emissions from composite wood products, including hardwood plywood, particleboard, medium density fiberboard, and also furniture and other finished products made with these wood products (California Air Resources Board 2009). While this formaldehyde ATCM has resulted in reduced emissions from composite wood products sold in California, they do not preclude that homes built with composite wood products meeting the CARB ATCM will have indoor formaldehyde concentrations below cancer and non-cancer exposure guidelines.

A follow up study to the California New Home Study (CNHS) was conducted in 2016-2018 (Singer et. al., 2019), and found that the median indoor formaldehyde in new homes built after 2009 with CARB Phase 2 Formaldehyde ATCM materials had lower indoor formaldehyde concentrations, with a median indoor concentrations of  $22.4 \mu\text{g}/\text{m}^3$  (18.2 ppb) as compared to a median of  $36 \mu\text{g}/\text{m}^3$  found in the 2007 CNHS. Unlike in the CNHS study where formaldehyde concentrations were measured with pumped DNPH samplers, the formaldehyde concentrations in the HENGH study were measured with passive samplers, which were estimated to under-measure the true indoor formaldehyde concentrations by approximately 7.5%. Applying this correction to the HENGH indoor formaldehyde concentrations results in a median indoor concentration of  $24.1 \mu\text{g}/\text{m}^3$ , which is 33% lower than the  $36 \mu\text{g}/\text{m}^3$  found in the 2007 CNHS.

Thus, while new homes built after the 2009 CARB formaldehyde ATCM have a 33% lower median indoor formaldehyde concentration and cancer risk, the median lifetime cancer risk is still 120 per million for homes built with CARB compliant composite wood products. This median lifetime cancer risk is more than 12 times the OEHHA 10 in a million cancer risk threshold (OEHHA, 2017a).

With respect to the Orangethorpe/Placentia Mixed Use Project, Placentia, CA, the buildings consist of residential and commercial spaces.

The residential occupants will potentially have continuous exposure (e.g. 24 hours per day, 52 weeks per year). These exposures are anticipated to result in significant cancer risks resulting from exposures to formaldehyde released by the building materials and furnishing commonly found in residential construction.

Because these residences will be constructed with CARB Phase 2 Formaldehyde ATCM materials, and be ventilated with the minimum code required amount of outdoor air, the indoor residential formaldehyde concentrations are likely similar to those concentrations observed in residences built with CARB Phase 2 Formaldehyde ATCM materials, which is a median of 24.1  $\mu\text{g}/\text{m}^3$  (Singer et. al., 2020)

Assuming that the residential occupants inhale 20  $\text{m}^3$  of air per day, the average 70-year lifetime formaldehyde daily dose is 482  $\mu\text{g}/\text{day}$  for continuous exposure in the residences. This exposure represents a cancer risk of 120 per million, which is more than 12 times the CEQA cancer risk of 10 per million. For occupants that do not have continuous exposure, the cancer risk will be proportionally less but still substantially over the CEQA cancer risk of 10 per million (e.g. for 12/hour/day occupancy, more than 6 times the CEQA cancer risk of 10 per million).

The employees of the commercial spaces are expected to experience significant indoor exposures (e.g., 40 hours per week, 50 weeks per year). These exposures for employees are anticipated to result in significant cancer risks resulting from exposures to formaldehyde released by the building materials and furnishing commonly found in offices, warehouses, residences and hotels.

Because the commercial spaces will be constructed with CARB Phase 2 Formaldehyde ATCM materials, and ventilated with the minimum code required amount of outdoor air, the indoor formaldehyde concentrations are likely similar to those concentrations observed in residences built with CARB Phase 2 Formaldehyde ATCM materials, which is a median of 24.1  $\mu\text{g}/\text{m}^3$  (Singer et. al., 2020)

Assuming that the employees of commercial spaces work 8 hours per day and inhale 20 m<sup>3</sup> of air per day, the formaldehyde dose per work-day at the offices is 161 µg/day.

Assuming that these employees work 5 days per week and 50 weeks per year for 45 years (start at age 20 and retire at age 65) the average 70-year lifetime formaldehyde daily dose is 70.9 µg/day.

This is 1.77 times the NSRL (OEHHA, 2017a) of 40 µg/day and represents a cancer risk of 17.7 per million, which exceeds the CEQA cancer risk of 10 per million. This impact should be analyzed in an environmental impact report (“EIR”), and the agency should impose all feasible mitigation measures to reduce this impact. Several feasible mitigation measures are discussed below and these and other measures should be analyzed in an EIR.

In addition, we note that the average outdoor air concentration of formaldehyde in California is 3 ppb, or 3.7 µg/m<sup>3</sup>, (California Air Resources Board, 2004), and thus represents an average pre-existing background airborne cancer risk of 1.85 per million. Thus, the indoor air formaldehyde exposures describe above exacerbate this pre-existing risk resulting from outdoor air formaldehyde exposures.

Additionally, the SCAQMD’s Multiple Air Toxics Exposure Study (“MATES V”) identifies an existing cancer risk at the Project site of 443 per million due to the site’s elevated ambient air contaminant concentrations, which are due to the area’s high levels of vehicle traffic. These impacts would further exacerbate the pre-existing cancer risk to the building occupants, which result from exposure to formaldehyde in both indoor and outdoor air.

Appendix A, Indoor Formaldehyde Concentrations and the CARB Formaldehyde ATCM, provides analyses that show utilization of CARB Phase 2 Formaldehyde ATCM materials will not ensure acceptable cancer risks with respect to formaldehyde emissions from composite wood products.

Even composite wood products manufactured with CARB certified ultra low emitting formaldehyde (ULEF) resins do not insure that the indoor air will have concentrations of formaldehyde that meet the OEHHA cancer risks that substantially exceed 10 per million. The permissible emission rates for ULEF composite wood products are only 11-15% lower than the CARB Phase 2 emission rates. Only use of composite wood products made with no-added formaldehyde resins (NAF), such as resins made from soy, polyvinyl acetate, or methylene diisocyanate can insure that the OEHHA cancer risk of 10 per million is met.

The following describes a method that should be used, prior to construction in the environmental review under CEQA, for determining whether the indoor concentrations resulting from the formaldehyde emissions of specific building materials/furnishings selected exceed cancer and non-cancer guidelines. Such a design analyses can be used to identify those materials/furnishings prior to the completion of the City's CEQA review and project approval, that have formaldehyde emission rates that contribute to indoor concentrations that exceed cancer and non-cancer guidelines, so that alternative lower emitting materials/furnishings may be selected and/or higher minimum outdoor air ventilation rates can be increased to achieve acceptable indoor concentrations and incorporated as mitigation measures for this project.

#### Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment

This formaldehyde emissions assessment should be used in the environmental review under CEQA to assess the indoor formaldehyde concentrations from the proposed loading of building materials/furnishings, the area-specific formaldehyde emission rate data for building materials/furnishings, and the design minimum outdoor air ventilation rates. This assessment allows the applicant (and the City) to determine, before the conclusion of the environmental review process and the building materials/furnishings are specified, purchased, and installed, if the total chemical emissions will exceed cancer and non-cancer guidelines, and if so, allow for changes in the selection of specific material/furnishings and/or the design minimum outdoor air ventilations rates such that cancer and non-cancer guidelines are not exceeded.

1.) Define Indoor Air Quality Zones. Divide the building into separate indoor air quality zones, (IAQ Zones). IAQ Zones are defined as areas of well-mixed air. Thus, each ventilation system with recirculating air is considered a single zone, and each room or group of rooms where air is not recirculated (e.g. 100% outdoor air) is considered a separate zone. For IAQ Zones with the same construction material/furnishings and design minimum outdoor air ventilation rates. (e.g. hotel rooms, apartments, condominiums, etc.) the formaldehyde emission rates need only be assessed for a single IAQ Zone of that type.

2.) Calculate Material/Furnishing Loading. For each IAQ Zone, determine the building material and furnishing loadings (e.g., m<sup>2</sup> of material/m<sup>2</sup> floor area, units of furnishings/m<sup>2</sup> floor area) from an inventory of all potential indoor formaldehyde sources, including flooring, ceiling tiles, furnishings, finishes, insulation, sealants, adhesives, and any products constructed with composite wood products containing urea-formaldehyde resins (e.g., plywood, medium density fiberboard, particleboard).

3.) Calculate the Formaldehyde Emission Rate. For each building material, calculate the formaldehyde emission rate (µg/h) from the product of the area-specific formaldehyde emission rate (µg/m<sup>2</sup>-h) and the area (m<sup>2</sup>) of material in the IAQ Zone, and from each furnishing (e.g. chairs, desks, etc.) from the unit-specific formaldehyde emission rate (µg/unit-h) and the number of units in the IAQ Zone.

NOTE: As a result of the high-performance building rating systems and building codes (California Building Standards Commission, 2014; USGBC, 2014), most manufacturers of building materials furnishings sold in the United States conduct chemical emission rate tests using the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers,” (CDPH, 2017), or other equivalent chemical emission rate testing methods. Most manufacturers of building furnishings sold in the United States conduct chemical emission rate tests using ANSI/BIFMA M7.1 Standard Test Method for Determining VOC Emissions (BIFMA, 2018), or other equivalent chemical emission rate testing methods.

CDPH, BIFMA, and other chemical emission rate testing programs, typically certify that a material or furnishing does not create indoor chemical concentrations in excess of the maximum concentrations permitted by their certification. For instance, the CDPH emission rate testing requires that the measured emission rates when input into an office, school, or residential model do not exceed one-half of the OEHHA Chronic Exposure Guidelines (OEHHA, 2017b) for the 35 specific VOCs, including formaldehyde, listed in Table 4-1 of the CDPH test method (CDPH, 2017). These certifications themselves do not provide the actual area-specific formaldehyde emission rate (i.e.,  $\mu\text{g}/\text{m}^2\text{-h}$ ) of the product, but rather provide data that the formaldehyde emission rates do not exceed the maximum rate allowed for the certification. Thus, for example, the data for a certification of a specific type of flooring may be used to calculate that the area-specific emission rate of formaldehyde is less than  $31 \mu\text{g}/\text{m}^2\text{-h}$ , but not the actual measured specific emission rate, which may be 3, 18, or  $30 \mu\text{g}/\text{m}^2\text{-h}$ . These area-specific emission rates determined from the product certifications of CDPH, BIFA, and other certification programs can be used as an initial estimate of the formaldehyde emission rate.

If the actual area-specific emission rates of a building material or furnishing is needed (i.e. the initial emission rates estimates from the product certifications are higher than desired), then that data can be acquired by requesting from the manufacturer the complete chemical emission rate test report. For instance if the complete CDPH emission test report is requested for a CDHP certified product, that report will provide the actual area-specific emission rates for not only the 35 specific VOCs, including formaldehyde, listed in Table 4-1 of the CDPH test method (CDPH, 2017), but also all of the cancer and reproductive/developmental chemicals listed in the California Proposition 65 Safe Harbor Levels (OEHHA, 2017a), all of the toxic air contaminants (TACs) in the California Air Resources Board Toxic Air Contamination List (CARB, 2011), and the 10 chemicals with the greatest emission rates.

Alternatively, a sample of the building material or furnishing can be submitted to a chemical emission rate testing laboratory, such as Berkeley Analytical Laboratory (<https://berkeleyanalytical.com>), to measure the formaldehyde emission rate.

4.) Calculate the Total Formaldehyde Emission Rate. For each IAQ Zone, calculate the total formaldehyde emission rate (i.e.  $\mu\text{g/h}$ ) from the individual formaldehyde emission rates from each of the building material/furnishings as determined in Step 3.

5.) Calculate the Indoor Formaldehyde Concentration. For each IAQ Zone, calculate the indoor formaldehyde concentration ( $\mu\text{g/m}^3$ ) from Equation 1 by dividing the total formaldehyde emission rates (i.e.  $\mu\text{g/h}$ ) as determined in Step 4, by the design minimum outdoor air ventilation rate ( $\text{m}^3/\text{h}$ ) for the IAQ Zone.

$$C_{in} = \frac{E_{total}}{Q_{oa}} \quad (\text{Equation 1})$$

where:

$C_{in}$  = indoor formaldehyde concentration ( $\mu\text{g/m}^3$ )

$E_{total}$  = total formaldehyde emission rate ( $\mu\text{g/h}$ ) into the IAQ Zone.

$Q_{oa}$  = design minimum outdoor air ventilation rate to the IAQ Zone ( $\text{m}^3/\text{h}$ )

The above Equation 1 is based upon mass balance theory, and is referenced in Section 3.10.2 “Calculation of Estimated Building Concentrations” of the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers”, (CDPH, 2017).

6.) Calculate the Indoor Exposure Cancer and Non-Cancer Health Risks. For each IAQ Zone, calculate the cancer and non-cancer health risks from the indoor formaldehyde concentrations determined in Step 5 and as described in the OEHHA Air Toxics Hot Spots Program Risk Assessment Guidelines; Guidance Manual for Preparation of Health Risk Assessments (OEHHA, 2015).

7.) Mitigate Indoor Formaldehyde Exposures of exceeding the CEQA Cancer and/or Non-Cancer Health Risks. In each IAQ Zone, provide mitigation for any formaldehyde exposure risk as determined in Step 6, that exceeds the CEQA cancer risk of 10 per million or the CEQA non-cancer Hazard Quotient of 1.0.

Provide the source and/or ventilation mitigation required in all IAQ Zones to reduce the

health risks of the chemical exposures below the CEQA cancer and non-cancer health risks.

Source mitigation for formaldehyde may include:

- 1.) reducing the amount materials and/or furnishings that emit formaldehyde
- 2.) substituting a different material with a lower area-specific emission rate of formaldehyde

Ventilation mitigation for formaldehyde emitted from building materials and/or furnishings may include:

- 1.) increasing the design minimum outdoor air ventilation rate to the IAQ Zone.

NOTE: Mitigating the formaldehyde emissions through use of less material/furnishings, or use of lower emitting materials/furnishings, is the preferred mitigation option, as mitigation with increased outdoor air ventilation increases initial and operating costs associated with the heating/cooling systems.

Further, we are not asking that the builder “speculate” on what and how much composite materials be used, but rather at the design stage to select composite wood materials based on the formaldehyde emission rates that manufacturers routinely conduct using the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers,” (CDPH, 2017), and use the procedure described earlier above (i.e. Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment) to insure that the materials selected achieve acceptable cancer risks from material off gassing of formaldehyde.

**Outdoor Air Ventilation Impact.** Another important finding of the CNHS, was that the outdoor air ventilation rates in the homes were very low. Outdoor air ventilation is a very important factor influencing the indoor concentrations of air contaminants, as it is the primary removal mechanism of all indoor air generated contaminants. Lower outdoor air exchange rates cause indoor generated air contaminants to accumulate to higher indoor air concentrations. Many homeowners rarely open their windows or doors for ventilation as a

result of their concerns for security/safety, noise, dust, and odor concerns (Price, 2007). In the CNHS field study, 32% of the homes did not use their windows during the 24-hour Test Day, and 15% of the homes did not use their windows during the entire preceding week. Most of the homes with no window usage were homes in the winter field session. Thus, a substantial percentage of homeowners never open their windows, especially in the winter season. The median 24-hour measurement was 0.26 air changes per hour (ach), with a range of 0.09 ach to 5.3 ach. A total of 67% of the homes had outdoor air exchange rates below the minimum California Building Code (2001) requirement of 0.35 ach. Thus, the relatively tight envelope construction, combined with the fact that many people never open their windows for ventilation, results in homes with low outdoor air exchange rates and higher indoor air contaminant concentrations.

The Orangethorpe/Placentia Mixed Use Project, Placentia, CA is close to roads with moderate to high traffic (e.g., East Orangethorpe Avenue, South Placentia Avenue, Orange Freeway-57 etc.), thus the Project site is a sound impacted site.

According to the Orangethorpe/Placentia Mixed Use Project, Placentia, CA (Harris & Associates, 2023), there has been no study of the current or future ambient noise levels at the Project location. In order to design the building for this Project such that interior noise levels are acceptable, an acoustic study with actual on-site measurements of the existing ambient noise levels and modeled future ambient noise levels needs to be conducted. The acoustic study of the existing ambient noise levels should be conducted over a minimum of a one-week period and report the dBA CNEL or Ldn. This study will allow for the selection of a building envelope and windows with a sufficient STC such that the indoor noise levels are acceptable. A mechanical supply of outdoor air ventilation to allow for a habitable interior environment with closed windows and doors will also be required. Such a ventilation system would allow windows and doors to be kept closed at the occupant's discretion to control exterior noise within building interiors.

**PM<sub>2.5</sub> Outdoor Concentrations Impact.** An additional impact of the nearby motor vehicle traffic associated with this project, are the outdoor concentrations of PM<sub>2.5</sub>. According to the Orangethorpe/Placentia Mixed Use Project, Placentia, CA (Harris & Associates, 2023),

the Project is located in the South Coast Air Basin, which is a State and Federal non-attainment area for PM<sub>2.5</sub>.

Additionally, the SCAQMD's MATES V study cites an existing cancer risk of 443 per million at the Project site due to the site's high concentration of ambient air contaminants resulting from the area's high levels of motor vehicle traffic.

An air quality analyses should be conducted to determine the concentrations of PM<sub>2.5</sub> in the outdoor and indoor air that people inhale each day. This air quality analyses needs to consider the cumulative impacts of the project related emissions, existing and projected future emissions from local PM<sub>2.5</sub> sources (e.g. stationary sources, motor vehicles, and airport traffic) upon the outdoor air concentrations at the Project site. If the outdoor concentrations are determined to exceed the California and National annual average PM<sub>2.5</sub> exceedence concentration of 12 µg/m<sup>3</sup>, or the National 24-hour average exceedence concentration of 35 µg/m<sup>3</sup>, then the buildings need to have a mechanical supply of outdoor air that has air filtration with sufficient removal efficiency, such that the indoor concentrations of outdoor PM<sub>2.5</sub> particles is less than the California and National PM<sub>2.5</sub> annual and 24-hour standards.

It is my experience that based on the projected high traffic noise levels, the annual average concentration of PM<sub>2.5</sub> will exceed the California and National PM<sub>2.5</sub> annual and 24-hour standards and warrant installation of high efficiency air filters (i.e. at least MERV 13, or possibly MERV 14 or 15 depending on the results of the Project ambient PM<sub>2.5</sub> concentrations) in all mechanically supplied outdoor air ventilation systems.

### **Indoor Air Quality Impact Mitigation Measures**

The following are recommended mitigation measures to minimize the impacts upon indoor quality:

Indoor Formaldehyde Concentrations Mitigation. Use only composite wood materials (e.g. hardwood plywood, medium density fiberboard, particleboard) for all interior finish

systems that are made with CARB approved no-added formaldehyde (NAF) resins (CARB, 2009). CARB Phase 2 certified composite wood products, or ultra-low emitting formaldehyde (ULEF) resins, do not insure indoor formaldehyde concentrations that are below the CEQA cancer risk of 10 per million. Only composite wood products manufactured with CARB approved no-added formaldehyde (NAF) resins, such as resins made from soy, polyvinyl acetate, or methylene diisocyanate can insure that the OEHHA cancer risk of 10 per million is met.

Alternatively, conduct the previously described Pre-Construction Building Material/Furnishing Chemical Emissions Assessment, to determine that the combination of formaldehyde emissions from building materials and furnishings do not create indoor formaldehyde concentrations that exceed the CEQA cancer and non-cancer health risks.

It is important to note that we are not asking that the builder “speculate” on what and how much composite materials be used, but rather at the design stage to select composite wood materials based on the formaldehyde emission rates that manufacturers routinely conduct using the California Department of Health “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers”, (CDPH, 2017), and use the procedure described above (i.e. Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment) to insure that the materials selected achieve acceptable cancer risks from material off gassing of formaldehyde.

Outdoor Air Ventilation Mitigation. Provide each habitable room with a continuous mechanical supply of outdoor air that meets or exceeds the California 2016 Building Energy Efficiency Standards (California Energy Commission, 2015) requirements of the greater of 15 cfm/occupant or 0.15 cfm/ft<sup>2</sup> of floor area. Following installation of the system conduct testing and balancing to insure that required amount of outdoor air is entering each habitable room and provide a written report documenting the outdoor airflow rates. Do not use exhaust only mechanical outdoor air systems, use only balanced outdoor air supply and exhaust systems or outdoor air supply only systems. Provide a manual for the occupants or

maintenance personnel, that describes the purpose of the mechanical outdoor air system and the operation and maintenance requirements of the system.

PM<sub>2.5</sub> Outdoor Air Concentration Mitigation. Install air filtration with sufficient PM<sub>2.5</sub> removal efficiency (e.g. MERV 13 or higher) to filter the outdoor air entering the mechanical outdoor air supply systems, such that the indoor concentrations of outdoor PM<sub>2.5</sub> particles are less than the California and National PM<sub>2.5</sub> annual and 24-hour standards. Install the air filters in the system such that they are accessible for replacement by the occupants or maintenance personnel. Include in the mechanical outdoor air ventilation system manual instructions on how to replace the air filters and the estimated frequency of replacement.

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## APPENDIX A

### INDOOR FORMALDEHYDE CONCENTRATIONS AND THE CARB FORMALDEHYDE ATCM

With respect to formaldehyde emissions from composite wood products, the CARB ATCM regulations of formaldehyde emissions from composite wood products, do not assure healthful indoor air quality. The following is the stated purpose of the CARB ATCM regulation - *The purpose of this airborne toxic control measure is to “reduce formaldehyde emissions from composite wood products, and finished goods that contain composite wood products, that are sold, offered for sale, supplied, used, or manufactured for sale in California”*. In other words, the CARB ATCM regulations do not “assure healthful indoor air quality”, but rather “reduce formaldehyde emissions from composite wood products”.

Just how much protection do the CARB ATCM regulations provide building occupants from the formaldehyde emissions generated by composite wood products? Definitely some, but certainly the regulations do not “*assure healthful indoor air quality*” when CARB Phase 2 products are utilized. As shown in the Chan 2019 study of new California homes, the median indoor formaldehyde concentration was of 22.4  $\mu\text{g}/\text{m}^3$  (18.2 ppb), which corresponds to a cancer risk of 112 per million for occupants with continuous exposure, which is more than 11 times the CEQA cancer risk of 10 per million.

Another way of looking at how much protection the CARB ATCM regulations provide building occupants from the formaldehyde emissions generated by composite wood products is to calculate the maximum number of square feet of composite wood product that can be in a residence without exceeding the CEQA cancer risk of 10 per million for occupants with continuous occupancy.

For this calculation I utilized the floor area (2,272  $\text{ft}^2$ ), the ceiling height (8.5 ft), and the number of bedrooms (4) as defined in Appendix B (New Single-Family Residence Scenario) of the Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Sources Using Environmental Chambers, Version 1.1, 2017, California Department of Public Health,

For the outdoor air ventilation rate I used the 2019 Title 24 code required mechanical ventilation rate (ASHRAE 62.2) of 106 cfm (180 m<sup>3</sup>/h) calculated for this model residence. For the composite wood formaldehyde emission rates I used the CARB ATCM Phase 2 rates.

The calculated maximum number of square feet of composite wood product that can be in a residence, without exceeding the CEQA cancer risk of 10 per million for occupants with continuous occupancy are as follows for the different types of regulated composite wood products.

Medium Density Fiberboard (MDF) – 15 ft<sup>2</sup> (0.7% of the floor area), or  
Particle Board – 30 ft<sup>2</sup> (1.3% of the floor area), or  
Hardwood Plywood – 54 ft<sup>2</sup> (2.4% of the floor area), or  
Thin MDF – 46 ft<sup>2</sup> (2.0 % of the floor area).

For offices and hotels the calculated maximum amount of composite wood product (% of floor area) that can be used without exceeding the CEQA cancer risk of 10 per million for occupants, assuming 8 hours/day occupancy, and the California Mechanical Code minimum outdoor air ventilation rates are as follows for the different types of regulated composite wood products.

Medium Density Fiberboard (MDF) – 3.6 % (offices) and 4.6% (hotel rooms), or  
Particle Board – 7.2 % (offices) and 9.4% (hotel rooms), or  
Hardwood Plywood – 13 % (offices) and 17% (hotel rooms), or  
Thin MDF – 11 % (offices) and 14 % (hotel rooms)

Clearly the CARB ATCM does not regulate the formaldehyde emissions from composite wood products such that the potentially large areas of these products, such as for flooring, baseboards, interior doors, window and door trims, and kitchen and bathroom cabinetry, could be used without causing indoor formaldehyde concentrations that result in CEQA

cancer risks that substantially exceed 10 per million for occupants with continuous occupancy.

Even composite wood products manufactured with CARB certified ultra low emitting formaldehyde (ULEF) resins do not insure that the indoor air will have concentrations of formaldehyde that meet the OEHHA cancer risks that substantially exceed 10 per million. The permissible emission rates for ULEF composite wood products are only 11-15% lower than the CARB Phase 2 emission rates. Only use of composite wood products made with no-added formaldehyde resins (NAF), such as resins made from soy, polyvinyl acetate, or methylene diisocyanate can insure that the OEHHA cancer risk of 10 per million is met.

If CARB Phase 2 compliant or ULEF composite wood products are utilized in construction, then the resulting indoor formaldehyde concentrations should be determined in the design phase using the specific amounts of each type of composite wood product, the specific formaldehyde emission rates, and the volume and outdoor air ventilation rates of the indoor spaces, and all feasible mitigation measures employed to reduce this impact (e.g. use less formaldehyde containing composite wood products and/or incorporate mechanical systems capable of higher outdoor air ventilation rates). See the procedure described earlier (i.e. Pre-Construction Building Material/Furnishing Formaldehyde Emissions Assessment) to insure that the materials selected achieve acceptable cancer risks from material off gassing of formaldehyde.

Alternatively, and perhaps a simpler approach, is to use only composite wood products (e.g. hardwood plywood, medium density fiberboard, particleboard) for all interior finish systems that are made with CARB approved no-added formaldehyde (NAF) resins.

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## Indoor Environmental Engineering

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### **Education**

M.S. Mechanical Engineering (1985)  
Stanford University, Stanford, CA.

Graduate Studies in Air Pollution Monitoring and Control (1980)  
University of California, Berkeley, CA.

B.S. in Mechanical Engineering (1976)  
Rensselaer Polytechnic Institute, Troy, N.Y.

### **Professional Experience**

President: Indoor Environmental Engineering, San Francisco, CA. December, 1981 - present.

Direct team of environmental scientists, chemists, and mechanical engineers in conducting State and Federal research regarding indoor air quality instrumentation development, building air quality field studies, ventilation and air cleaning performance measurements, and chemical emission rate testing.

Provide design side input to architects regarding selection of building materials and ventilation system components to ensure a high quality indoor environment.

Direct Indoor Air Quality Consulting Team for the winning design proposal for the new State of Washington Ecology Department building.

Develop a full-scale ventilation test facility for measuring the performance of air diffusers; ASHRAE 129, Air Change Effectiveness, and ASHRAE 113, Air Diffusion Performance Index.

Develop a chemical emission rate testing laboratory for measuring the chemical emissions from building materials, furnishings, and equipment.

Principle Investigator of the California New Homes Study (2005-2007). Measured ventilation and indoor air quality in 108 new single family detached homes in northern and southern California.

Develop and teach IAQ professional development workshops to building owners, managers, hygienists, and engineers.

Air Pollution Engineer: Earth Metrics Inc., Burlingame, CA, October, 1985 to March, 1987.

Responsible for development of an air pollution laboratory including installation a forced choice olfactometer, tracer gas electron capture chromatograph, and associated calibration facilities. Field team leader for studies of fugitive odor emissions from sewage treatment plants, entrainment of fume hood exhausts into computer chip fabrication rooms, and indoor air quality investigations.

Staff Scientist: Building Ventilation and Indoor Air Quality Program, Energy and Environment Division, Lawrence Berkeley Laboratory, Berkeley, CA. January, 1980 to August, 1984.

Deputy project leader for the Control Techniques group; responsible for laboratory and field studies aimed at evaluating the performance of indoor air pollutant control strategies (i.e. ventilation, filtration, precipitation, absorption, adsorption, and source control).

Coordinated field and laboratory studies of air-to-air heat exchangers including evaluation of thermal performance, ventilation efficiency, cross-stream contaminant transfer, and the effects of freezing/defrosting.

Developed an *in situ* test protocol for evaluating the performance of air cleaning systems and introduced the concept of effective cleaning rate (ECR) also known as the Clean Air Delivery Rate (CADR).

Coordinated laboratory studies of portable and ducted air cleaning systems and their effect on indoor concentrations of respirable particles and radon progeny.

Co-designed an automated instrument system for measuring residential ventilation rates and radon concentrations.

Designed hardware and software for a multi-channel automated data acquisition system used to evaluate the performance of air-to-air heat transfer equipment.

Assistant Chief Engineer: Alta Bates Hospital, Berkeley, CA, October, 1979 to January, 1980.

Responsible for energy management projects involving installation of power factor correction capacitors on large inductive electrical devices and installation of steam meters on physical plant steam lines. Member of Local 39, International Union of Operating Engineers.

Manufacturing Engineer: American Precision Industries, Buffalo, NY, October, 1977 to October, 1979.

Responsible for reorganizing the manufacturing procedures regarding production of shell and tube heat exchangers. Designed customized automatic assembly, welding, and testing equipment. Designed a large paint spray booth. Prepared economic studies justifying new equipment purchases. Safety Director.

Project Engineer: Arcata Graphics, Buffalo, N.Y. June, 1976 to October, 1977.

Responsible for the design and installation of a bulk ink storage and distribution system and high speed automatic counting and marking equipment. Also coordinated material handling studies which led to the purchase and installation of new equipment.

### **PROFESSIONAL ORGANIZATION MEMBERSHIP**

American Society of Heating, Refrigeration and Air Conditioning Engineers (ASHRAE)

- Chairman of SPC-145P, Standards Project Committee - Test Method for Assessing the Performance of Gas Phase Air Cleaning Equipment (1991-1992)
- Member SPC-129P, Standards Project Committee - Test Method for Ventilation Effectiveness (1986-97)
  - Member of Drafting Committee
- Member Environmental Health Committee (1992-1994, 1997-2001, 2007-2010)
  - Chairman of EHC Research Subcommittee
  - Member of Man Made Mineral Fiber Position Paper Subcommittee
  - Member of the IAQ Position Paper Committee
  - Member of the Legionella Position Paper Committee
  - Member of the Limiting Indoor Mold and Dampness in Buildings Position Paper Committee
- Member SSPC-62, Standing Standards Project Committee - Ventilation for Acceptable Indoor Air Quality (1992 to 2000)
  - Chairman of Source Control and Air Cleaning Subcommittee
- Chairman of TC-4.10, Indoor Environmental Modeling (1988-92)
  - Member of Research Subcommittee
- Chairman of TC-2.3, Gaseous Air Contaminants and Control Equipment (1989-92)
  - Member of Research Subcommittee

American Society for Testing and Materials (ASTM)

- D-22 Sampling and Analysis of Atmospheres
  - Member of Indoor Air Quality Subcommittee
- E-06 Performance of Building Constructions

American Board of Industrial Hygiene (ABIH)

American Conference of Governmental Industrial Hygienists (ACGIH)

- Bioaerosols Committee (2007-2013)

American Industrial Hygiene Association (AIHA)

Cal-OSHA Indoor Air Quality Advisory Committee

International Society of Indoor Air Quality and Climate (ISIAQ)

- Co-Chairman of Task Force on HVAC Hygiene

U. S. Green Building Council (USGBC)

- Member of the IEQ Technical Advisory Group (2007-2009)
- Member of the IAQ Performance Testing Work Group (2010-2012)

Western Construction Consultants (WESTCON)

### **PROFESSIONAL CREDENTIALS**

Licensed Professional Engineer - Mechanical Engineering

Certified Industrial Hygienist - American Board of Industrial Hygienists

### **SCIENTIFIC MEETINGS AND SYMPOSIA**

Biological Contamination, Diagnosis, and Mitigation, Indoor Air'90, Toronto, Canada, August, 1990.

Models for Predicting Air Quality, Indoor Air'90, Toronto, Canada, August, 1990.

Microbes in Building Materials and Systems, Indoor Air '93, Helsinki, Finland, July, 1993.

Microorganisms in Indoor Air Assessment and Evaluation of Health Effects and Probable Causes, Walnut Creek, CA, February 27, 1997.

Controlling Microbial Moisture Problems in Buildings, Walnut Creek, CA, February 27, 1997.

Scientific Advisory Committee, Roomvent 98, 6<sup>th</sup> International Conference on Air Distribution in Rooms, KTH, Stockholm, Sweden, June 14-17, 1998.

Moisture and Mould, Indoor Air '99, Edinburgh, Scotland, August, 1999.

Ventilation Modeling and Simulation, Indoor Air '99, Edinburgh, Scotland, August, 1999.

Microbial Growth in Materials, Healthy Buildings 2000, Espoo, Finland, August, 2000.

Co-Chair, Bioaerosols X- Exposures in Residences, Indoor Air 2002, Monterey, CA, July 2002.

Healthy Indoor Environments, Anaheim, CA, April 2003.

Chair, Environmental Tobacco Smoke in Multi-Family Homes, Indoor Air 2008, Copenhagen, Denmark, July 2008.

Co-Chair, ISIAQ Task Force Workshop; HVAC Hygiene, Indoor Air 2002, Monterey, CA, July 2002.

Chair, ETS in Multi-Family Housing: Exposures, Controls, and Legalities Forum, Healthy Buildings 2009, Syracuse, CA, September 14, 2009.

Chair, Energy Conservation and IAQ in Residences Workshop, Indoor Air 2011, Austin, TX, June 6, 2011.

Chair, Electronic Cigarettes: Chemical Emissions and Exposures Colloquium, Indoor Air 2016, Ghent, Belgium, July 4, 2016.

### **SPECIAL CONSULTATION**

Provide consultation to the American Home Appliance Manufacturers on the development of a standard for testing portable air cleaners, AHAM Standard AC-1.

Served as an expert witness and special consultant for the U.S. Federal Trade Commission regarding the performance claims found in advertisements of portable air cleaners and residential furnace filters.

Conducted a forensic investigation for a San Mateo, CA pro se defendant, regarding an alleged homicide where the victim was kidnapped in a steamer trunk. Determined the air exchange rate in the steamer trunk and how long the person could survive.

Conducted *in situ* measurement of human exposure to toluene fumes released during nailpolish application for a plaintiffs attorney pursuing a California Proposition 65 product labeling case. June, 1993.

Conducted a forensic *in situ* investigation for the Butte County, CA Sheriff's Department of the emissions of a portable heater used in the bedroom of two twin one year old girls who suffered simultaneous crib death.

Consult with OSHA on the 1995 proposed new regulation regarding indoor air quality and environmental tobacco smoke.

Consult with EPA on the proposed Building Alliance program and with OSHA on the proposed new OSHA IAQ regulation.

Johnson Controls Audit/Certification Expert Review; Milwaukee, WI. May 28-29, 1997.

Winner of the nationally published 1999 Request for Proposals by the State of Washington to conduct a comprehensive indoor air quality investigation of the Washington State Department of Ecology building in Lacey, WA.

Selected by the State of California Attorney General's Office in August, 2000 to conduct a comprehensive indoor air quality investigation of the Tulare County Court House.

Lawrence Berkeley Laboratory IAQ Experts Workshop: "Cause and Prevention of Sick Building Problems in Offices: The Experience of Indoor Environmental Quality Investigators", Berkeley, California, May 26-27, 2004.

Provide consultation and chemical emission rate testing to the State of California Attorney General's Office in 2013-2015 regarding the chemical emissions from e-cigarettes.

#### **PEER-REVIEWED PUBLICATIONS :**

F.J.Offermann, C.D.Hollowell, and G.D.Roseme, "Low-Infiltration Housing in Rochester, New York: A Study of Air Exchange Rates and Indoor Air Quality," *Environment International*, 8, pp. 435-445, 1982.

W.W.Nazaroff, F.J.Offermann, and A.W.Robb, "Automated System for Measuring Air Exchange Rate and Radon Concentration in Houses," *Health Physics*, 45, pp. 525-537, 1983.

F.J.Offermann, W.J.Fisk, D.T.Grimrud, B.Pedersen, and K.L.Revzan, "Ventilation Efficiencies of Wall- or Window-Mounted Residential Air-to-Air Heat Exchangers," *ASHRAE Annual Transactions*, 89-2B, pp 507-527, 1983.

W.J.Fisk, K.M.Archer, R.E Chant, D. Hekmat, F.J.Offermann, and B.Pedersen, "Onset of Freezing in Residential Air-to-Air Heat Exchangers," *ASHRAE Annual Transactions*, 91-1B, 1984.

W.J.Fisk, K.M.Archer, R.E Chant, D. Hekmat, F.J.Offermann, and B.Pedersen, "Performance of Residential Air-to-Air Heat Exchangers During Operation with Freezing and Periodic Defrosts," *ASHRAE Annual Transactions*, 91-1B, 1984.

F.J.Offermann, R.G.Sextro, W.J.Fisk, D.T.Grimrud, W.W.Nazaroff, A.V.Nero, and K.L.Revzan, "Control of Respirable Particles with Portable Air Cleaners," *Atmospheric Environment*, Vol. 19, pp.1761-1771, 1985.

R.G.Sextro, F.J.Offermann, W.W.Nazaroff, A.V.Nero, K.L.Revzan, and J.Yater, "Evaluation of Indoor Control Devices and Their Effects on Radon Progeny Concentrations," *Atmospheric Environment*, *12*, pp. 429-438, 1986.

W.J. Fisk, R.K.Spencer, F.J.Offermann, R.K.Spencer, B.Pedersen, R.Sextro, "Indoor Air Quality Control Techniques," *Noyes Data Corporation*, Park Ridge, New Jersey, (1987).

F.J.Offermann, "Ventilation Effectiveness and ADPI Measurements of a Forced Air Heating System," *ASHRAE Transactions* , Volume 94, Part 1, pp 694-704, 1988.

F.J.Offermann and D. Int-Hout "Ventilation Effectiveness Measurements of Three Supply/Return Air Configurations," *Environment International* , Volume 15, pp 585-592 1989.

F.J. Offermann, S.A. Loiselle, M.C. Quinlan, and M.S. Rogers, "A Study of Diesel Fume Entrainment in an Office Building," *IAQ '89*, The Human Equation: Health and Comfort, pp 179-183, ASHRAE, Atlanta, GA, 1989.

R.G.Sextro and F.J.Offermann, "Reduction of Residential Indoor Particle and Radon Progeny Concentrations with Ducted Air Cleaning Systems," submitted to *Indoor Air*, 1990.

S.A.Loiselle, A.T.Hodgson, and F.J.Offermann, "Development of An Indoor Air Sampler for Polycyclic Aromatic Compounds", *Indoor Air* , Vol 2, pp 191-210, 1991.

F.J.Offermann, S.A.Loiselle, A.T.Hodgson, L.A. Gundel, and J.M. Daisey, "A Pilot Study to Measure Indoor Concentrations and Emission Rates of Polycyclic Aromatic Compounds", *Indoor Air* , Vol 4, pp 497-512, 1991.

F.J. Offermann, S. A. Loiselle, R.G. Sextro, "Performance Comparisons of Six Different Air Cleaners Installed in a Residential Forced Air Ventilation System," *IAQ'91*, Healthy Buildings, pp 342-350, ASHRAE, Atlanta, GA (1991).

F.J. Offermann, J. Daisey, A. Hodgson, L. Gundell, and S. Loiselle, "Indoor Concentrations and Emission Rates of Polycyclic Aromatic Compounds", *Indoor Air*, Vol 4, pp 497-512 (1992).

F.J. Offermann, S. A. Loiselle, R.G. Sextro, "Performance of Air Cleaners Installed in a Residential Forced Air System," *ASHRAE Journal*, pp 51-57, July, 1992.

F.J. Offermann and S. A. Loiselle, "Performance of an Air-Cleaning System in an Archival Book Storage Facility," *IAQ'92*, ASHRAE, Atlanta, GA, 1992.

S.B. Hayward, K.S. Liu, L.E. Alevantis, K. Shah, S. Loiselle, F.J. Offermann, Y.L. Chang, L. Webber, "Effectiveness of Ventilation and Other Controls in Reducing Exposure to ETS in Office Buildings," *Indoor Air '93*, Helsinki, Finland, July 4-8, 1993.

F.J. Offermann, S. A. Loiselle, G. Ander, H. Lau, "Indoor Contaminant Emission Rates Before and After a Building Bake-out," *IAQ'93*, Operating and Maintaining Buildings for Health, Comfort, and Productivity, pp 157-163, ASHRAE, Atlanta, GA, 1993.

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F.J. Offermann, M. A. Waz, A.T. Hodgson, and H.M. Ammann, "Chemical Emissions from a Hospital Operating Room Air Filter," *IAQ'96*, Paths to Better Building Environments, pp 95-99, ASHRAE, Atlanta, GA, 1996.

F.J. Offermann, "Professional Malpractice and the Sick Building Investigator," *IAQ'96*, Paths to Better Building Environments, pp 132-136, ASHRAE, Atlanta, GA, 1996.

F.J. Offermann, "Standard Method of Measuring Air Change Effectiveness," *Indoor Air*, Vol 1, pp.206-211, 1999.

F. J. Offermann, A. T. Hodgson, and J. P. Robertson, "Contaminant Emission Rates from PVC Backed Carpet Tiles on Damp Concrete", Healthy Buildings 2000, Espoo, Finland, August 2000.

K.S. Liu, L.E. Alevantis, and F.J. Offermann, "A Survey of Environmental Tobacco Smoke Controls in California Office Buildings", *Indoor Air*, Vol 11, pp. 26-34, 2001.

F.J. Offermann, R. Colfer, P. Radzinski, and J. Robertson, "Exposure to Environmental Tobacco Smoke in an Automobile", *Indoor Air 2002*, Monterey, California, July 2002.

F. J. Offermann, J.P. Robertson, and T. Webster, "The Impact of Tracer Gas Mixing on Airflow Rate Measurements in Large Commercial Fan Systems", *Indoor Air 2002*, Monterey, California, July 2002.

M. J. Mendell, T. Brennan, L. Hathon, J.D. Odom, F.J. Offermann, B.H. Turk, K.M. Wallingford, R.C. Diamond, W.J. Fisk, "Causes and prevention of Symptom Complaints

in Office Buildings: Distilling the Experience of Indoor Environmental Investigators”, submitted to Indoor Air 2005, Beijing, China, September 4-9, 2005.

F.J. Offermann, “Ventilation and IAQ in New Homes With and Without Mechanical Outdoor Air Systems”, Healthy Buildings 2009, Syracuse, CA, September 14, 2009.

F.J. Offermann, “ASHRAE 62.2 Intermittent Residential Ventilation: What’s It Good For, Intermittently Poor IAQ”, IAQVEC 2010, Syracuse, CA, April 21, 2010.

F.J. Offermann and A.T. Hodgson, “Emission Rates of Volatile Organic Compounds in New Homes”, Indoor Air 2011, Austin, TX, June, 2011.

P. Jenkins, R. Johnson, T. Phillips, and F. Offermann, “Chemical Concentrations in New California Homes and Garages”, Indoor Air 2011, Austin, TX, June, 2011.

W. J. Mills, B. J. Grigg, F. J. Offermann, B. E. Gustin, and N. E. Spingarm, “Toluene and Methyl Ethyl Ketone Exposure from a Commercially Available Contact Adhesive”, Journal of Occupational and Environmental Hygiene, 9:D95-D102 May, 2012.

F. J. Offermann, R. Maddalena, J. C. Offermann, B. C. Singer, and H. Wilhelm, “The Impact of Ventilation on the Emission Rates of Volatile Organic Compounds in Residences”, HB 2012, Brisbane, AU, July, 2012.

F. J. Offermann, A. T. Hodgson, P. L. Jenkins, R. D. Johnson, and T. J. Phillips, “Attached Garages as a Source of Volatile Organic Compounds in New Homes”, HB 2012, Brisbane, CA, July, 2012.

R. Maddalena, N. Li, F. Offermann, and B. Singer, “Maximizing Information from Residential Measurements of Volatile Organic Compounds”, HB 2012, Brisbane, AU, July, 2012.

W. Chen, A. Persily, A. Hodgson, F. Offermann, D. Poppendieck, and K. Kumagai, “Area-Specific Airflow Rates for Evaluating the Impacts of VOC emissions in U.S. Single-Family Homes”, Building and Environment, Vol. 71, 204-211, February, 2014.

F. J. Offermann, A. Eagan A. C. Offermann, and L. J. Radonovich, “Infectious Disease Aerosol Exposures With and Without Surge Control Ventilation System Modifications”, Indoor Air 2014, Hong Kong, July, 2014.

F. J. Offermann, “Chemical Emissions from E-Cigarettes: Direct and Indirect Passive Exposures”, Building and Environment, Vol. 93, Part 1, 101-105, November, 2015.

F. J. Offermann, “Formaldehyde Emission Rates From Lumber Liquidators Laminate Flooring Manufactured in China”, Indoor Air 2016, Belgium, Ghent, July, 2016.

F. J. Offermann, “Formaldehyde and Acetaldehyde Emission Rates for E-Cigarettes”, Indoor Air 2016, Belgium, Ghent, July, 2016.

## **OTHER REPORTS:**

W.J.Fisk, P.G.Cleary, and F.J.Offermann, "Energy Saving Ventilation with Residential Heat Exchangers," a Lawrence Berkeley Laboratory brochure distributed by the Bonneville Power Administration, 1981.

F.J.Offermann, J.R.Girman, and C.D.Hollowell, "Midway House Tightening Project: A Study of Indoor Air Quality," Lawrence Berkeley Laboratory, Berkeley, CA, Report LBL-12777, 1981.

F.J.Offermann, J.B.Dickinson, W.J.Fisk, D.T.Grimrud, C.D.Hollowell, D.L.Krinkle, and G.D.Roseme, "Residential Air-Leakage and Indoor Air Quality in Rochester, New York," Lawrence Berkeley Laboratory, Berkeley, CA, Report LBL-13100, 1982.

F.J.Offermann, W.J.Fisk, B.Pedersen, and K.L.Revzan, Residential Air-to-Air Heat Exchangers: A Study of the Ventilation Efficiencies of Wall- or Window- Mounted Units," Lawrence Berkeley Laboratory, Berkeley, CA, Report LBL-14358, 1982.

F.J.Offermann, W.J.Fisk, W.W.Nazaroff, and R.G.Sextro, "A Review of Portable Air Cleaners for Controlling Indoor Concentrations of Particulates and Radon Progeny," An interim report for the Bonneville Power Administration, 1983.

W.J.Fisk, K.M.Archer, R.E.Chant, D.Hekmat, F.J.Offermann, and B.S. Pedersen, "Freezing in Residential Air-to-Air Heat Exchangers: An Experimental Study," Lawrence Berkeley Laboratory, Berkeley, CA, Report LBL-16783, 1983.

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F.J.Offermann, R.G.Sextro, W.J.Fisk, W.W. Nazaroff, A.V.Nero, K.L.Revzan, and J.Yater, "Control of Respirable Particles and Radon Progeny with Portable Air Cleaners," Lawrence Berkeley Laboratory, Berkeley, CA, Report LBL-16659, 1984.

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### **PRESENTATIONS :**

"Low-Infiltration Housing in Rochester, New York: A Study of Air Exchange Rates and Indoor Air Quality," Presented at the International Symposium on Indoor Air Pollution, Health and Energy Conservation, Amherst, MA, October 13-16, 1981.

"Ventilation Efficiencies of Wall- or Window-Mounted Residential Air-to-Air Heat Exchangers," Presented at the American Society of Heating, Refrigeration, and Air Conditioning Engineers Summer Meeting, Washington, DC, June, 1983.

"Controlling Indoor Air Pollution from Tobacco Smoke: Models and Measurements," Presented at the Third International Conference on Indoor Air Quality and Climate, Stockholm, Sweden, August 20-24, 1984.

"Indoor Air Pollution: An Emerging Environmental Problem", Presented to the Association of Environmental Professionals, Bar Area/Coastal Region 1, Berkeley, CA, May 29, 1986.

"Ventilation Measurement Techniques," Presented at the Workshop on Sampling and Analytical Techniques, Georgia Institute of Technology, Atlanta, Georgia, September 26, 1986 and September 25, 1987.

"Buildings That Make You Sick: Indoor Air Pollution", Presented to the Sacramento Association of Professional Energy Managers, Sacramento, CA, November 18, 1986.

"Ventilation Effectiveness and Indoor Air Quality", Presented to the American Society of Heating, Refrigeration, and Air Conditioning Engineers Northern Nevada Chapter, Reno, NV, February 18, 1987, Golden Gate Chapter, San Francisco, CA, October 1, 1987, and the San Jose Chapter, San Jose, CA, June 9, 1987.

"Tracer Gas Techniques for Studying Ventilation," Presented at the Indoor Air Quality Symposium, Georgia Tech Research Institute, Atlanta, GA, September 22-24, 1987.

"Indoor Air Quality Control: What Works, What Doesn't," Presented to the Sacramento Association of Professional Energy Managers, Sacramento, CA, November 17, 1987.

"Ventilation Effectiveness and ADPI Measurements of a Forced Air Heating System," Presented at the American Society of Heating, Refrigeration, and Air Conditioning Engineers Winter Meeting, Dallas, Texas, January 31, 1988.

"Indoor Air Quality, Ventilation, and Energy in Commercial Buildings", Presented at the Building Owners & Managers Association of Sacramento, Sacramento, CA, July 21, 1988.

"Controlling Indoor Air Quality: The New ASHRAE Ventilation Standards and How to Evaluate Indoor Air Quality", Presented at a conference "Improving Energy Efficiency and Indoor Air Quality in Commercial Buildings," National Energy Management Institute, Reno, Nevada, November 4, 1988.

"A Study of Diesel Fume Entrainment Into an Office Building," Presented at Indoor Air '89: The Human Equation: Health and Comfort, American Society of Heating, Refrigeration, and Air Conditioning Engineers, San Diego, CA, April 17-20, 1989.

"Indoor Air Quality in Commercial Office Buildings," Presented at the Renewable Energy Technologies Symposium and International Exposition, Santa Clara, CA June 20, 1989.

"Building Ventilation and Indoor Air Quality", Presented to the San Joaquin Chapter of the American Society of Heating, Refrigeration, and Air Conditioning Engineers, September 7, 1989.

"How to Meet New Ventilation Standards: Indoor Air Quality and Energy Efficiency," a workshop presented by the Association of Energy Engineers; Chicago, IL, March 20-21, 1989; Atlanta, GA, May 25-26, 1989; San Francisco, CA, October 19-20, 1989; Orlando, FL, December 11-12, 1989; Houston, TX, January 29-30, 1990; Washington D.C., February 26-27, 1990; Anchorage, Alaska, March 23, 1990; Las Vegas, NV, April 23-24, 1990; Atlantic City, NJ, September 27-28, 1991; Anaheim, CA, November 19-20, 1991; Orlando, FL, February 28 - March 1, 1991; Washington, DC, March 20-21, 1991; Chicago, IL, May 16-17, 1991; Lake Tahoe, NV, August 15-16, 1991; Atlantic City, NJ, November 18-19, 1991; San Jose, CA, March 23-24, 1992.

"Indoor Air Quality," a seminar presented by the Anchorage, Alaska Chapter of the American Society of Heating, Refrigeration, and Air Conditioning Engineers, March 23, 1990.

"Ventilation and Indoor Air Quality", Presented at the 1990 HVAC & Building Systems Congress, Santa Clara, CA, March 29, 1990.

"Ventilation Standards for Office Buildings", Presented to the South Bay Property Managers Association, Santa Clara, May 9, 1990.

"Indoor Air Quality", Presented at the Responsive Energy Technologies Symposium & International Exposition (RETSIE), Santa Clara, CA, June 20, 1990.

"Indoor Air Quality - Management and Control Strategies", Presented at the Association of Energy Engineers, San Francisco Bay Area Chapter Meeting, Berkeley, CA, September 25, 1990.

"Diagnosing Indoor Air Contaminant and Odor Problems", Presented at the ASHRAE Annual Meeting, New York City, NY, January 23, 1991.

"Diagnosing and Treating the Sick Building Syndrome", Presented at the Energy 2001, Oklahoma, OK, March 19, 1991.

"Diagnosing and Mitigating Indoor Air Quality Problems" a workshop presented by the Association of Energy Engineers, Chicago, IL, October 29-30, 1990; New York, NY, January 24-25, 1991; Anaheim, April 25-26, 1991; Boston, MA, June 10-11, 1991; Atlanta, GA, October 24-25, 1991; Chicago, IL, October 3-4, 1991; Las Vegas, NV, December 16-17, 1991; Anaheim, CA, January 30-31, 1992; Atlanta, GA, March 5-6, 1992; Washington, DC, May 7-8, 1992; Chicago, IL, August 19-20, 1992; Las Vegas,

NV, October 1-2, 1992; New York City, NY, October 26-27, 1992, Las Vegas, NV, March 18-19, 1993; Lake Tahoe, CA, July 14-15, 1994; Las Vegas, NV, April 3-4, 1995; Lake Tahoe, CA, July 11-12, 1996; Miami, FL, December 9-10, 1996.

"Sick Building Syndrome and the Ventilation Engineer", Presented to the San Jose Engineers Club, May, 21, 1991.

"Duct Cleaning: Who Needs It ? How Is It Done ? What Are The Costs ?" What Are the Risks ?, Moderator of Forum at the ASHRAE Annual Meeting, Indianapolis ID, June 23, 1991.

"Operating Healthy Buildings", Association of Plant Engineers, Oakland, CA, November 14, 1991.

"Duct Cleaning Perspectives", Moderator of Seminar at the ASHRAE Semi-Annual Meeting, Indianapolis, IN, June 24, 1991.

"Duct Cleaning: The Role of the Environmental Hygienist," ASHRAE Annual Meeting, Anaheim, CA, January 29, 1992.

"Emerging IAQ Issues", Fifth National Conference on Indoor Air Pollution, University of Tulsa, Tulsa, OK, April 13-14, 1992.

"International Symposium on Room Air Convection and Ventilation Effectiveness", Member of Scientific Advisory Board, University of Tokyo, July 22-24, 1992.

"Guidelines for Contaminant Control During Construction and Renovation Projects in Office Buildings," Seminar paper at the ASHRAE Annual Meeting, Chicago, IL, January 26, 1993.

"Outside Air Economizers: IAQ Friend or Foe", Moderator of Forum at the ASHRAE Annual Meeting, Chicago, IL, January 26, 1993.

"Orientation to Indoor Air Quality," an EPA two and one half day comprehensive indoor air quality introductory workshop for public officials and building property managers; Sacramento, September 28-30, 1992; San Francisco, February 23-24, 1993; Los Angeles, March 16-18, 1993; Burbank, June 23, 1993; Hawaii, August 24-25, 1993; Las Vegas, August 30, 1993; San Diego, September 13-14, 1993; Phoenix, October 18-19, 1993; Reno, November 14-16, 1995; Fullerton, December 3-4, 1996; Fresno, May 13-14, 1997.

"Building Air Quality: A Guide for Building Owners and Facility Managers," an EPA one half day indoor air quality introductory workshop for building owners and facility managers. Presented throughout Region IX 1993-1995.

"Techniques for Airborne Disease Control", EPRI Healthcare Initiative Symposium; San Francisco, CA; June 7, 1994.

“Diagnosing and Mitigating Indoor Air Quality Problems”, CIHC Conference; San Francisco, September 29, 1994.

”Indoor Air Quality: Tools for Schools,” an EPA one day air quality management workshop for school officials, teachers, and maintenance personnel; San Francisco, October 18-20, 1994; Cerritos, December 5, 1996; Fresno, February 26, 1997; San Jose, March 27, 1997; Riverside, March 5, 1997; San Diego, March 6, 1997; Fullerton, November 13, 1997; Santa Rosa, February 1998; Cerritos, February 26, 1998; Santa Rosa, March 2, 1998.

ASHRAE 62 Standard “Ventilation for Acceptable IAQ”, ASCR Convention; San Francisco, CA, March 16, 1995.

“New Developments in Indoor Air Quality: Protocol for Diagnosing IAQ Problems”, AIHA-NC; March 25, 1995.

"Experimental Validation of ASHRAE SPC 129, Standard Method of Measuring Air Change Effectiveness", 16th AIVC Conference, Palm Springs, USA, September 19-22, 1995.

“Diagnostic Protocols for Building IAQ Assessment”, American Society of Safety Engineers Seminar: ‘Indoor Air Quality – The Next Door’; San Jose Chapter, September 27, 1995; Oakland Chapter, 9, 1997.

“Diagnostic Protocols for Building IAQ Assessment”, Local 39; Oakland, CA, October 3, 1995.

“Diagnostic Protocols for Solving IAQ Problems”, CSU-PPD Conference; October 24, 1995.

“Demonstrating Compliance with ASHRAE 62-1989 Ventilation Requirements”, AIHA; October 25, 1995.

“IAQ Diagnostics: Hands on Assessment of Building Ventilation and Pollutant Transport”, EPA Region IX; Phoenix, AZ, March 12, 1996; San Francisco, CA, April 9, 1996; Burbank, CA, April 12, 1996.

“Experimental Validation of ASHRAE 129P: Standard Method of Measuring Air Change Effectiveness”, Room Vent ‘96 / International Symposium on Room Air Convection and Ventilation Effectiveness”; Yokohama, Japan, July 16-19, 1996.

“IAQ Diagnostic Methodologies and RFP Development”, CCEHSA 1996 Annual Conference, Humboldt State University, Arcata, CA, August 2, 1996.

“The Practical Side of Indoor Air Quality Assessments”, California Industrial Hygiene Conference ‘96, San Diego, CA, September 2, 1996.

“ASHRAE Standard 62: Improving Indoor Environments”, Pacific Gas and Electric Energy Center, San Francisco, CA, October 29, 1996.

“Operating and Maintaining Healthy Buildings”, April 3-4, 1996, San Jose, CA; July 30, 1997, Monterey, CA.

“IAQ Primer”, Local 39, April 16, 1997; Amdahl Corporation, June 9, 1997; State Compensation Insurance Fund’s Safety & Health Services Department, November 21, 1996.

“Tracer Gas Techniques for Measuring Building Air Flow Rates”, ASHRAE, Philadelphia, PA, January 26, 1997.

“How to Diagnose and Mitigate Indoor Air Quality Problems”; Women in Waste; March 19, 1997.

“Environmental Engineer: What Is It?”, Monte Vista High School Career Day; April 10, 1997.

“Indoor Environment Controls: What’s Hot and What’s Not”, Shaklee Corporation; San Francisco, CA, July 15, 1997.

“Measurement of Ventilation System Performance Parameters in the US EPA BASE Study”, Healthy Buildings/IAQ’97, Washington, DC, September 29, 1997.

“Operations and Maintenance for Healthy and Comfortable Indoor Environments”, PASMA; October 7, 1997.

“Designing for Healthy and Comfortable Indoor Environments”, Construction Specification Institute, Santa Rosa, CA, November 6, 1997.

“Ventilation System Design for Good IAQ”, University of Tulsa 10<sup>th</sup> Annual Conference, San Francisco, CA, February 25, 1998.

“The Building Shell”, Tools For Building Green Conference and Trade Show, Alameda County Waste Management Authority and Recycling Board, Oakland, CA, February 28, 1998.

“Identifying Fungal Contamination Problems In Buildings”, The City of Oakland Municipal Employees, Oakland, CA, March 26, 1998.

“Managing Indoor Air Quality in Schools: Staying Out of Trouble”, CASBO, Sacramento, CA, April 20, 1998.

“Indoor Air Quality”, CSOOC Spring Conference, Visalia, CA, April 30, 1998.

“Particulate and Gas Phase Air Filtration”, ACGIH/OSHA, Ft. Mitchell, KY, June 1998.

“Building Air Quality Facts and Myths”, The City of Oakland / Alameda County Safety Seminar, Oakland, CA, June 12, 1998.

“Building Engineering and Moisture”, Building Contamination Workshop, University of California Berkeley, Continuing Education in Engineering and Environmental Management, San Francisco, CA, October 21-22, 1999.

“Identifying and Mitigating Mold Contamination in Buildings”, Western Construction Consultants Association, Oakland, CA, March 15, 2000; AIG Construction Defect Seminar, Walnut Creek, CA, May 2, 2001; City of Oakland Public Works Agency, Oakland, CA, July 24, 2001; Executive Council of Homeowners, Alamo, CA, August 3, 2001.

“Using the EPA BASE Study for IAQ Investigation / Communication”, Joint Professional Symposium 2000, American Industrial Hygiene Association, Orange County & Southern California Sections, Long Beach, October 19, 2000.

“Ventilation,” Indoor Air Quality: Risk Reduction in the 21<sup>st</sup> Century Symposium, sponsored by the California Environmental Protection Agency/Air Resources Board, Sacramento, CA, May 3-4, 2000.

“Workshop 18: Criteria for Cleaning of Air Handling Systems”, Healthy Buildings 2000, Espoo, Finland, August 2000.

“Closing Session Summary: ‘Building Investigations’ and ‘Building Design & Construction’”, Healthy Buildings 2000, Espoo, Finland, August 2000.

“Managing Building Air Quality and Energy Efficiency, Meeting the Standard of Care”, BOMA, MidAtlantic Environmental Hygiene Resource Center, Seattle, WA, May 23<sup>rd</sup>, 2000; San Antonio, TX, September 26-27, 2000.

“Diagnostics & Mitigation in Sick Buildings: When Good Buildings Go Bad,” University of California Berkeley, September 18, 2001.

“Mold Contamination: Recognition and What To Do and Not Do”, Redwood Empire Remodelers Association; Santa Rosa, CA, April 16, 2002.

“Investigative Tools of the IAQ Trade”, Healthy Indoor Environments 2002; Austin, TX; April 22, 2002.

“Finding Hidden Mold: Case Studies in IAQ Investigations”, AIHA Northern California Professionals Symposium; Oakland, CA, May 8, 2002.

“Assessing and Mitigating Fungal Contamination in Buildings”, Cal/OSHA Training; Oakland, CA, February 14, 2003 and West Covina, CA, February 20-21, 2003.

“Use of External Containments During Fungal Mitigation”, Invited Speaker, ACGIH Mold Remediation Symposium, Orlando, FL, November 3-5, 2003.

Building Operator Certification (BOC), 106-IAQ Training Workshops, Northwest Energy Efficiency Council; Stockton, CA, December 3, 2003; San Francisco, CA, December 9, 2003; Irvine, CA, January 13, 2004; San Diego, January 14, 2004; Irwindale, CA, January 27, 2004; Downey, CA, January 28, 2004; Santa Monica, CA, March 16, 2004; Ontario, CA, March 17, 2004; Ontario, CA, November 9, 2004, San Diego, CA, November 10, 2004; San Francisco, CA, November 17, 2004; San Jose, CA, November 18, 2004; Sacramento, CA, March 15, 2005.

“Mold Remediation: The National QUEST for Uniformity Symposium”, Invited Speaker, Orlando, Florida, November 3-5, 2003.

“Mold and Moisture Control”, Indoor Air Quality workshop for The Collaborative for High Performance Schools (CHPS), San Francisco, December 11, 2003.

“Advanced Perspectives In Mold Prevention & Control Symposium”, Invited Speaker, Las Vegas, Nevada, November 7-9, 2004.

“Building Sciences: Understanding and Controlling Moisture in Buildings”, American Industrial Hygiene Association, San Francisco, CA, February 14-16, 2005.

“Indoor Air Quality Diagnostics and Healthy Building Design”, University of California Berkeley, Berkeley, CA, March 2, 2005.

“Improving IAQ = Reduced Tenant Complaints”, Northern California Facilities Exposition, Santa Clara, CA, September 27, 2007.

“Defining Safe Building Air”, Criteria for Safe Air and Water in Buildings, ASHRAE Winter Meeting, Chicago, IL, January 27, 2008.

“Update on USGBC LEED and Air Filtration”, Invited Speaker, NAFA 2008 Convention, San Francisco, CA, September 19, 2008.

“Ventilation and Indoor air Quality in New California Homes”, National Center of Healthy Housing, October 20, 2008.

“Indoor Air Quality in New Homes”, California Energy and Air Quality Conference, October 29, 2008.

“Mechanical Outdoor air Ventilation Systems and IAQ in New Homes”, ACI Home Performance Conference, Kansas City, MO, April 29, 2009.

“Ventilation and IAQ in New Homes with and without Mechanical Outdoor Air Systems”, Healthy Buildings 2009, Syracuse, CA, September 14, 2009.

“Ten Ways to Improve Your Air Quality”, Northern California Facilities Exposition, Santa Clara, CA, September 30, 2009.

“New Developments in Ventilation and Indoor Air Quality in Residential Buildings”, Westcon meeting, Alameda, CA, March 17, 2010.

“Intermittent Residential Mechanical Outdoor Air Ventilation Systems and IAQ”, ASHRAE SSPC 62.2 Meeting, Austin, TX, April 19, 2010.

“Measured IAQ in Homes”, ACI Home Performance Conference, Austin, TX, April 21, 2010.

“Respiration: IEQ and Ventilation”, AIHce 2010, How IH Can LEED in Green buildings, Denver, CO, May 23, 2010.

“IAQ Considerations for Net Zero Energy Buildings (NZEB)”, Northern California Facilities Exposition, Santa Clara, CA, September 22, 2010.

“Energy Conservation and Health in Buildings”, Berkeley High School Green Career Week, Berkeley, CA, April 12, 2011.

“What Pollutants are Really There ?”, ACI Home Performance Conference, San Francisco, CA, March 30, 2011.

“Energy Conservation and Health in Residences Workshop”, Indoor Air 2011, Austin, TX, June 6, 2011.

“Assessing IAQ and Improving Health in Residences”, US EPA Weatherization Plus Health, September 7, 2011.

“Ventilation: What a Long Strange Trip It’s Been”, Westcon, May 21, 2014.

“Chemical Emissions from E-Cigarettes: Direct and Indirect Passive Exposures”, Indoor Air 2014, Hong Kong, July, 2014.

“Infectious Disease Aerosol Exposures With and Without Surge Control Ventilation System Modifications”, Indoor Air 2014, Hong Kong, July, 2014.

“Chemical Emissions from E-Cigarettes”, IMF Health and Welfare Fair, Washington, DC, February 18, 2015.

“Chemical Emissions and Health Hazards Associated with E-Cigarettes”, Roswell Park Cancer Institute, Buffalo, NY, August 15, 2014.

“Formaldehyde Indoor Concentrations, Material Emission Rates, and the CARB ATCM”, Harris Martin’s Lumber Liquidators Flooring Litigation Conference, WQ Minneapolis Hotel, May 27, 2015.

“Chemical Emissions from E-Cigarettes: Direct and Indirect Passive Exposure”, FDA Public Workshop: Electronic Cigarettes and the Public Health, Hyattsville, MD June 2, 2015.

“Creating Healthy Homes, Schools, and Workplaces”, Chautauqua Institution, Athenaeum Hotel, August 24, 2015.

“Diagnosing IAQ Problems and Designing Healthy Buildings”, University of California Berkeley, Berkeley, CA, October 6, 2015.

“Diagnosing Ventilation and IAQ Problems in Commercial Buildings”, BEST Center Annual Institute, Lawrence Berkeley National Laboratory, January 6, 2016.

“A Review of Studies of Ventilation and Indoor Air Quality in New Homes and Impacts of Environmental Factors on Formaldehyde Emission Rates From Composite Wood Products”, AIHce2016, May, 21-26, 2016.

“Admissibility of Scientific Testimony”, Science in the Court, Proposition 65 Clearinghouse Annual Conference, Oakland, CA, September 15, 2016.

“Indoor Air Quality and Ventilation”, ASHRAE Redwood Empire, Napa, CA, December 1, 2016.

# EXHIBIT B



Technical Consultation, Data Analysis and  
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January 4, 2024

Victoria Yundt  
Lozeau | Drury LLP  
1939 Harrison Street, Suite 150  
Oakland, CA 94618

**Subject: Comments on the 777 W. Orangethorpe Mixed Use Project**

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Dear Ms. Yundt,

We have reviewed the November 2023 Initial Study and Mitigated Negative Declaration (“IS/MND”) for the 777 W. Orangethorpe Mixed Use (“Project”) located in the City of Placentia (“City”). The Project proposes to demolish the existing 40,000-square-feet (“SF”) of industrial space and construct 248 residential units, 3,000-SF of commercial space, and 342 parking spaces on the 2.72-acre-site.

Our review concludes that the IS/MND fails to adequately evaluate the Project’s air quality, health risk, and greenhouse gas impacts. As a result, emissions and health risk impacts associated with construction and operation of the proposed Project may be underestimated and inadequately addressed. An Environmental Impact Report (“EIR”) should be prepared to adequately assess and mitigate the potential air quality, health risk, and greenhouse gas impacts that the project may have on the environment.

## Air Quality

### Unsubstantiated Input Parameters Used to Estimate Project Emissions

The IS/MND’s air quality analysis relies on emissions calculated with California Emissions Estimator Model (“CalEEMod”) Version 2020.4.0 (p. 50).<sup>1</sup> CalEEMod provides recommended default values based on site-specific information, such as land use type, meteorological data, total lot acreage, project type and typical equipment associated with project type. If more specific project information is known, the user can change the default values and input project-specific values, but the California Environmental

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<sup>1</sup> “CalEEMod Version 2020.4.0.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <http://www.aqmd.gov/caleemod/download-model>.

Quality Act (“CEQA”) requires that such changes be justified by substantial evidence. Once all of the values are inputted into the model, the Project’s construction and operational emissions are calculated, and “output files” are generated. These output files disclose which parameters are used in calculating the Project’s air pollutant emissions by identifying any changes to default values. Justifications are provided for each altered value.

When reviewing the Project’s CalEEMod output files, provided in the Air Quality and GHG Emissions Assessment (“AQ & GHG Assessment”), provided as Appendix A to the IS/MND, we found that several model inputs are not consistent with information disclosed in the IS/MND. As a result, the Project’s construction and operational emissions may be underestimated. An EIR should be prepared to include an updated air quality analysis that adequately evaluates the impacts that operation of the Project will have on local and regional air quality.

### *Unsubstantiated Changes to Individual Construction Phase Lengths*

Review of the CalEEMod output files demonstrates that the “OrangethorpePlacentia” model includes a change to the default construction schedule (see excerpt below) (Appendix A, pp. 2, 38, 67):

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	40.00

As a result, the model includes the following construction schedule (see excerpt below) (Appendix A, pp. 57, 118).

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days
1	Demolition	Demolition	10/29/2021	11/25/2021	5	20
2	Site Preparation	Site Preparation	11/26/2021	11/29/2021	5	2
3	Grading	Grading	11/30/2021	12/3/2021	5	4
4	Building Construction	Building Construction	12/4/2021	9/9/2022	5	200
5	Paving	Paving	9/10/2022	9/23/2022	5	10
6	Architectural Coating	Architectural Coating	9/24/2022	11/18/2022	5	40

As demonstrated above, in the “OrangethorpePlacentia” model, the paving phase is increased by 300%, from the default value of 10 to 40 days.

As previously mentioned, the CalEEMod User’s Guide requires any changes to model defaults be justified.<sup>2</sup> According to the “User Entered Comments & Non-Default Data” table, the justification provided for these changes is:

“Adjusted coating to 20% of building construction” (Appendix A, pp.2, 38, 67).

Regarding construction activities, the IS/MND states:

<sup>2</sup> “CalEEMod User’s Guide Version 2020.4.0.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user-s-guide>, p. 1, 14.

“Construction was assumed to require approximately 14 months of construction. Construction phases include demolition (1 month), site preparation (1 week), grading (1 week), building construction (10 months), paving (2 weeks), and architectural coatings (2 months)” (p. 62).

However, the changes to the individual construction phase lengths remain unsubstantiated as the IS/MND fails to provide an adequate source for the individual construction phase lengths. While the IS/MND states the total duration of Project construction to equate to 14 months, the IS/MND fails to substantiate the *individual* construction phase lengths. As the IS/MND fails to provide an adequate source for the revised construction phase lengths, we cannot verify the changes. Until a proper source is provided, the model should have included proportionately altered individual phase lengths to match the proposed construction durations of 14 months.

The construction schedules included in the model present an issue, as the construction emissions are improperly spread out over a longer period of time for some phases, but not for others. According to the CalEEMod User’s Guide, each construction phase is associated with different emissions activities (see excerpt below).<sup>3</sup>

Demolition involves removing buildings or structures.

Site Preparation involves clearing vegetation (grubbing and tree/stump removal) and removing stones and other unwanted material or debris prior to grading.

Grading involves the cut and fill of land to ensure that the proper base and slope is created for the foundation.

Building Construction involves the construction of the foundation, structures and buildings.

Architectural Coating involves the application of coatings to both the interior and exterior of buildings or structures, the painting of parking lot or parking garage striping, associated signage and curbs, and the painting of the walls or other components such as stair railings inside parking structures.

Paving involves the laying of concrete or asphalt such as in parking lots, roads, driveways, or sidewalks.

By disproportionately altering and extending some of the individual construction phase lengths without proper justification, the model assumes there are a greater number of days to complete the construction activities required by the prolonged phases. As a result, there will be less construction activities required per day and, consequently, less pollutants emitted per day. Until we are able to verify the revised construction schedule, the model may underestimate the peak daily emissions associated with some phases of construction and should not be relied upon to determine Project significance.

### *Unsubstantiated Reductions to Acres of Grading Values*

Review of the CalEEMod output files demonstrates that “OrangethorpePlacentia” model includes reductions to the default acres of grading values (see excerpt below) (Appendix A, pp. 3, 37, 69).

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<sup>3</sup> “CalEEMod User’s Guide.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user's-guide>, p. 32.

Table Name	Column Name	Default Value	New Value
tblGrading	AcresOfGrading	4.00	2.72
tblGrading	AcresOfGrading	1.88	2.72
tblGrading	MaterialImported	0.00	3,000.00

As previously mentioned, the CalEEMod User’s Guide requires any changes to model defaults be justified.<sup>4</sup> According to the “User Entered Comments & Non-Default Data” table, the justification provided for this change is:

“Adjusted to lot area” (Appendix A, pp. 2, 38, 67).

Furthermore, the IS/MND states (see excerpt below):

“The Proposed Project would be developed on a 2.72-acre site” (p. 2)

However, this change is incorrect. According to the CalEEMod User’s Guide:

“[T]he dimensions (e.g., length and width) of the grading site have no impact on the calculation, only the total area to be graded. In order to properly grade a piece of land multiple passes with equipment may be required. The acres is based on the equipment list and days in grading or site preparation phase according to the anticipated maximum number of acres a given piece of equipment can pass over in an 8-hour workday.”<sup>5</sup>

The default acres of grading values are calculated based on construction equipment and the length of the grading and site preparation phases. Here, the model uses the acres of the Project site as the acres of grading. As the dimensions of the Project site have no impact on the acres of grading value, the revised value is unsubstantiated.

These unsubstantiated reductions present an issue, as CalEEMod uses the acres of grading values to estimate the dust emissions associated with grading.<sup>6</sup> By including incorrect reductions to the default acres of grading values, the model may underestimate the Project’s construction-related emissions and should not be relied upon to determine Project significance.

### Updated Analysis Indicates a Potentially Significant Air Quality Impact

In an effort to more accurately estimate the Project’s construction-related emissions, we prepared an updated CalEEMod model, using the Project-specific information provided by the IS/MND. In our updated model, we proportionately altered the individual construction phase lengths to match the

<sup>4</sup> “CalEEMod User’s Guide.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user's-guide>, p. 1, 14.

<sup>5</sup> “Appendix A – Calculation Details for CalEEMod.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <http://www.aqmd.gov/caleemod/user's-guide>, p. 9.

<sup>6</sup> “Appendix A – Calculation Details for CalEEMod.” California Air Pollution Control Officers Association (CAPCOA), May 2021, available at: <https://www.aqmd.gov/caleemod/user's-guide>, p. 9.

proposed construction duration of 14 months and omitted the unsubstantiated changes reductions to acres of grading values.<sup>7</sup>

Our updated analysis estimates that the volatile organic compound (“VOC”) emissions associated with Project construction exceed the applicable South Coast Air Quality Management District (“SCAQMD”) threshold of 75 pounds per day (“lbs/day”), as referenced by the IS/MND (p. 51) (see table below).<sup>8</sup>

SWAPE Criteria Air Pollutant Emissions	
Construction	ROG (lbs/day)
IS/MND	44.1
SWAPE	160.04
% Increase	263%
SCAQMD Threshold	<b>75</b>
<i>Exceeds?</i>	<b>Yes</b>

As demonstrated above, construction-related VOC emissions, as estimated by SWAPE, increase by approximately 263% and exceed the applicable SCAQMD significance threshold. Our updated modeling demonstrates that the Project may result in a potentially significant air quality impact that was not previously identified or addressed by the IS/MND. As a result, an EIR should be prepared to adequately assess and mitigate the potential air quality impacts that the Project may have on the environment.

### Diesel Particulate Matter Emissions Inadequately Evaluated

The IS/MND concludes that the Project would have a less-than-significant health risk impact without conducting a quantified construction or operational health risk analysis (“HRA”). Regarding the health risk impacts associated with Project construction, the IS/MND states:

“Table 4 shows that the construction emission rates would not exceed the LSTs for the existing residences in the area surrounding the Proposed Project Site. Impacts would be less than significant” (p. 54).

Furthermore, regarding the health risk impacts associated with the Project operations, the IS/MND states:

“As shown in Table 5, the operational emission rates would not exceed the LSTs for sensitive receptors in the Proposed Project area. Therefore, the proposed operational activity would not result in a locally significant air quality impact and impacts would be less than significant” (p. 54).

<sup>7</sup> See Appendix A for updated CalEEMod model.

<sup>8</sup> “South Coast AQMD Air Quality Significance Thresholds.” SCAQMD, April 2019, available at: <http://www.aqmd.gov/docs/default-source/ceqa/handbook/scaqmd-air-quality-significance-thresholds.pdf>.

As demonstrated above, the IS/MND claims that because emissions associated with Project construction and operations would not exceed the Localized Significance Threshold (“LST”), the Project will result in a less-than-significant health risk impact. However, the IS/MND’s evaluation of the Project’s potential health risk impacts, as well as the subsequent less-than-significant impact conclusion, is unreliable for four reasons.

First, the use of a LST analysis to determine the health risk impacts posed to nearby, existing sensitive receptors as a result of the Project’s operational toxic air contaminant (“TAC”) emissions is incorrect. While the LST method assesses the impact of pollutants at a local level, it only evaluates impacts from criteria air pollutants. According to the *Final Localized Significance Threshold Methodology* document prepared by the South Coast Air Quality Management District (“SCAQMD”), LST analyses are only applicable to NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> emissions, which are collectively referred to as criteria air pollutants.<sup>9</sup> Because LST methods can only be applied to criteria air pollutants, they cannot be used to determine whether emissions from TACs, specifically Diesel Particulate Matter (“DPM”), a known human carcinogen, would result in a significant health risk impact to nearby sensitive receptors. As a result, health impacts during Project operation from exposure to TACs, such as DPM, were not analyzed, leaving a gap in the IS/MND’s analysis.

Second, by failing to prepare a quantified construction HRA, the IS/MND is inconsistent with CEQA’s requirement to correlate the increase in emissions that the Project would generate to the adverse impacts on human health caused by those emissions.<sup>10</sup> This is incorrect, as construction of the proposed Project will produce DPM emissions through the exhaust stacks of construction equipment over a total construction duration of 14 months (p. 50). However, the IS/MND fails to evaluate the potential Project-generated TACs or indicate the concentrations at which such pollutants would trigger adverse health effects. Without making a reasonable effort to connect the Project’s construction-related TAC emissions to the potential health risks posed to nearby receptors, the IS/MND is inconsistent with CEQA’s requirement to correlate the increase in emissions generated by the Project with the potential adverse impacts on human health.

Third, the Office of Environmental Health Hazard Assessment (“OEHHA”), the organization responsible for providing guidance on conducting HRAs in California, released its most recent *Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments* in February 2015. This guidance document describes the types of projects that warrant the preparation of an HRA. Specifically, OEHHA recommends that all short-term projects lasting at least 2 months assess cancer risks.<sup>11</sup> Additionally, according to OEHHA:

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<sup>9</sup> “Final Localized Significance Threshold Methodology.” South Coast Air Quality Management District (SCAQMD), Revised July 2008, available at: <http://www.aqmd.gov/docs/default-source/ceqa/handbook/localized-significance-thresholds/final-lst-methodology-document.pdf>.

<sup>10</sup> “Sierra Club v. County of Fresno.” Supreme Court of California, December 2018, available at: <https://cegaportal.org/decisions/1907/Sierra%20Club%20v.%20County%20of%20Fresno.pdf>.

<sup>11</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-18.

“Exposure from projects lasting more than 6 months should be evaluated for the duration of the project. In all cases, for assessing risk to residential receptors, the exposure should be assumed to start in the third trimester to allow for the use of the ASFs (OEHHA, 2009).”<sup>12</sup>

As the Project’s anticipated construction duration exceeds the 2-month and 6-month requirements set forth by OEHHA, construction of the Project meets the threshold warranting a quantified HRA under OEHHA guidance and should be evaluated for the entire 14-month construction period. Furthermore, OEHHA recommends that an exposure duration of 30 years should be used to estimate the individual cancer risk at the maximally exposed individual resident (“MEIR”).<sup>13</sup> While the IS/MND fails to provide the expected lifetime of the proposed Project, we can reasonably assume that the Project would operate for at least 30 years, if not more. Therefore, operation of the Project also exceeds the 2-month and 6-month requirements set forth by OEHHA and should be evaluated for the entire 30-year residential exposure duration, as indicated by OEHHA guidance. These recommendations reflect the most recent state health risk policies, and as such, an EIR should be prepared to include an analysis of health risk impacts posed to nearby sensitive receptors from Project-generated DPM emissions.

Fourth, by claiming a less-than-significant impact without conducting a quantified construction or operational HRA for nearby, existing sensitive receptors, the IS/MND fails to compare the Project’s excess cancer risk to the SCAQMD’s specific numeric threshold of 10 in one million.<sup>14</sup> In accordance with the most relevant guidance, an assessment of the health risk posed to nearby, existing receptors as a result of Project construction and operation should be conducted.

### Screening-Level Analysis Demonstrates Potentially Significant Health Risk Impact

In order to conduct our screening-level risk assessment we relied upon AERSCREEN, which is a screening level air quality dispersion model.<sup>15</sup> AERSCREEN is included in the OEHHA and the California Air Pollution Control Officers Associated (“CAPCOA”) guidance as the appropriate air dispersion model for Level 2 health risk screening assessments (“HRSA”).<sup>16, 17</sup> A Level 2 HRSA utilizes a limited amount of site-specific information to generate maximum reasonable downwind concentrations of air contaminants to which nearby sensitive receptors may be exposed. If an unacceptable air quality hazard is determined to be possible using AERSCREEN, a more refined modeling approach should be conducted prior to approval of the Project.

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<sup>12</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-18.

<sup>13</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 2-4.

<sup>14</sup> “South Coast AQMD Air Quality Significance Thresholds.” SCAQMD, March 2023, available at: <https://www.aqmd.gov/docs/default-source/ceqa/handbook/south-coast-aqmd-air-quality-significance-thresholds.pdf?sfvrsn=25>.

<sup>15</sup> “Air Quality Dispersion Modeling - Screening Models,” U.S. EPA, available at: <https://www.epa.gov/scram/air-quality-dispersion-modeling-screening-models>.

<sup>16</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>.

<sup>17</sup> “Health Risk Assessments for Proposed Land Use Projects.” CAPCOA, July 2009, available at: [http://www.valleyair.org/transportation/CAPCOA\\_HRA\\_LU\\_Guidelines\\_8-6-09.pdf](http://www.valleyair.org/transportation/CAPCOA_HRA_LU_Guidelines_8-6-09.pdf).

We prepared a preliminary HRA of the Project’s construction and operational health risk impact to residential sensitive receptors using the annual PM<sub>10</sub> exhaust estimates from the IS/MND’s CalEEMod output files. Consistent with recommendations set forth by OEHHA, we assumed residential exposure begins during the third trimester stage of life.<sup>18</sup> The IS/MND’s CalEEMod model indicates that construction activities will generate approximately 110 pounds of DPM over the 385-day construction period.<sup>19</sup> The AERSCREEN model relies on a continuous average emission rate to simulate maximum downward concentrations from point, area, and volume emission sources. To account for the variability in equipment usage and truck trips over Project construction, we calculated an average DPM emission rate by the following equation:

$$\text{Emission Rate} \left( \frac{\text{grams}}{\text{second}} \right) = \frac{110.4 \text{ lbs}}{385 \text{ days}} \times \frac{453.6 \text{ grams}}{\text{lbs}} \times \frac{1 \text{ day}}{24 \text{ hours}} \times \frac{1 \text{ hour}}{3,600 \text{ seconds}} = \mathbf{0.001505 \text{ g/s}}$$

Using this equation, we estimated a construction emission rate of 0.00151 grams per second (“g/s”). Subtracting the 385-day construction period from the total residential duration of 30 years, we assumed that after Project construction, the sensitive receptor would be exposed to the Project’s operational DPM for an additional 28.95 years. The IS/MND’s operational CalEEMod emissions indicate that operational activities will generate approximately 83 net pounds of DPM per year throughout operation. Applying the same equation used to estimate the construction DPM rate, we estimated the following emission rate for Project operation:

$$\text{Emission Rate} \left( \frac{\text{grams}}{\text{second}} \right) = \frac{83 \text{ lbs}}{365 \text{ days}} \times \frac{453.6 \text{ grams}}{\text{lbs}} \times \frac{1 \text{ day}}{24 \text{ hours}} \times \frac{1 \text{ hour}}{3,600 \text{ seconds}} = \mathbf{0.001194 \text{ g/s}}$$

Using this equation, we estimated an operational emission rate of 0.0011 g/s. Construction and operation were simulated as a 2.72-acre rectangular area source in AERSCREEN, with approximate dimensions of 148- by 74-meters. A release height of three meters was selected to represent the height of stacks of operational equipment and other heavy-duty vehicles, and an initial vertical dimension of one and a half meters was used to simulate instantaneous plume dispersion upon release. An urban meteorological setting was selected with model-default inputs for wind speed and direction distribution. The population of Placentia was obtained from U.S. 2021 Census data.<sup>20</sup>

The AERSCREEN model generates maximum reasonable estimates of single-hour DPM concentrations from the Project Site. The U.S. EPA suggests that the annualized average concentration of an air pollutant be estimated by multiplying the single-hour concentration by 10% in screening procedures.<sup>21</sup> According to the IS/MND, the nearest sensitive receptor is located 120 feet, or 37 meters, from the Project site (p. 53). However, review of the AERSCREEN output files demonstrates that the *maximally* exposed individual receptor (“MEIR”) is located approximately 75 meters from the Project site. Thus, the

<sup>18</sup> “Risk Assessment Guidelines: Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-18.

<sup>19</sup> See Attachment A for health risk calculations.

<sup>20</sup> “Placentia.” U.S. Census Bureau, 2021, available at: <https://datacommons.org/place/geoid/0657526>.

<sup>21</sup> “Screening Procedures for Estimating the Air Quality Impact of Stationary Sources Revised.” U.S. EPA, October 1992, available at: [http://www.epa.gov/ttn/scram/guidance/guide/EPA-454R-92-019\\_OCR.pdf](http://www.epa.gov/ttn/scram/guidance/guide/EPA-454R-92-019_OCR.pdf).

single-hour concentration estimated by AERSCREEN for Project construction is approximately 4.121  $\mu\text{g}/\text{m}^3$  DPM at approximately 75 meters downwind. Multiplying this single-hour concentration by 10%, we get an annualized average concentration of 0.4121  $\mu\text{g}/\text{m}^3$  for Project construction at the MEIR. For Project operation, the single-hour concentration estimated by AERSCREEN is 3.269  $\mu\text{g}/\text{m}^3$  DPM at approximately 75 meters downwind. Multiplying this single-hour concentration by 10%, we get an annualized average concentration of 0.3269  $\mu\text{g}/\text{m}^3$  for Project operation at the MEIR.

We calculated the excess cancer risk to the nearest sensitive receptor using applicable HRA methodologies prescribed by OEHHA, as recommended by SCAQMD.<sup>22</sup> Specifically, guidance from OEHHA and the California Air Resources Board (“CARB”) recommends the use of a standard point estimate approach, including high-point estimate (i.e. 95<sup>th</sup> percentile) breathing rates and age sensitivity factors (“ASF”) in order to account for the increased sensitivity to carcinogens during early-in-life exposure and accurately assess risk for susceptible subpopulations such as children. The residential exposure parameters, such as the daily breathing rates (“BR/BW”), exposure duration (“ED”), age sensitivity factors (“ASF”), fraction of time at home (“FAH”), and exposure frequency (“EF”) utilized for the various age groups in our screening-level HRA are as follows:

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<sup>22</sup> “AB 2588 and Rule 1402 Supplemental Guidelines.” SCAQMD, October 2020, *available at*: <http://www.aqmd.gov/docs/default-source/planning/risk-assessment/ab-2588-supplemental-guidelines.pdf?sfvrsn=19>, p. 2.

**Exposure Assumptions for Residential Individual Cancer Risk**

<b>Age Group</b>	<b>Breathing Rate (L/kg-day)<sup>23</sup></b>	<b>Age Sensitivity Factor<sup>24</sup></b>	<b>Exposure Duration (years)</b>	<b>Fraction of Time at Home<sup>25</sup></b>	<b>Exposure Frequency (days/year)<sup>26</sup></b>	<b>Exposure Time (hours/day)</b>
3rd Trimester	361	10	0.25	1	350	24
Infant (0 - 2)	1090	10	2	1	350	24
Child (2 - 16)	572	3	14	1	350	24
Adult (16 - 30)	261	1	14	0.73	350	24

For the inhalation pathway, the procedure requires the incorporation of several discrete variates to effectively quantify dose for each age group. Once determined, contaminant dose is multiplied by the cancer potency factor (“CPF”) in units of inverse dose expressed in milligrams per kilogram per day (mg/kg/day<sup>-1</sup>) to derive the cancer risk estimate. Therefore, to assess exposures, we utilized the following dose algorithm:

$$Dose_{AIR,per\ age\ group} = C_{air} \times EF \times \left[ \frac{BR}{BW} \right] \times A \times CF$$

where:

- Dose<sub>AIR</sub> = dose by inhalation (mg/kg/day), per age group
- C<sub>air</sub> = concentration of contaminant in air (µg/m<sup>3</sup>)
- EF = exposure frequency (number of days/365 days)
- BR/BW = daily breathing rate normalized to body weight (L/kg/day)
- A = inhalation absorption factor (default = 1)
- CF = conversion factor (1x10<sup>-6</sup>, µg to mg, L to m<sup>3</sup>)

To calculate the overall cancer risk, we used the following equation for each appropriate age group:

$$Cancer\ Risk_{AIR} = Dose_{AIR} \times CPF \times ASF \times FAH \times \frac{ED}{AT}$$

<sup>23</sup> “Supplemental Guidelines for Preparing Risk Assessments for the Air Toxics ‘Hot Spots’ Information and Assessment Act.” SCAQMD, October 2020, available at: <http://www.aqmd.gov/docs/default-source/planning/risk-assessment/ab-2588-supplemental-guidelines.pdf?sfvrsn=19>, p. 19; see also “Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>.

<sup>24</sup> “Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 8-5 Table 8.3.

<sup>25</sup> “Risk Assessment Procedures.” SCAQMD, August 2017, available at: [http://www.aqmd.gov/docs/default-source/rule-book/Proposed-Rules/1401/riskassessmentprocedures\\_2017\\_080717.pdf](http://www.aqmd.gov/docs/default-source/rule-book/Proposed-Rules/1401/riskassessmentprocedures_2017_080717.pdf), p. 7.

<sup>26</sup> “Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessments.” OEHHA, February 2015, available at: <https://oehha.ca.gov/media/downloads/cnr/2015guidancemanual.pdf>, p. 5-24.

where:

- Dose<sub>AIR</sub> = dose by inhalation (mg/kg/day), per age group
- CPF = cancer potency factor, chemical-specific (mg/kg/day)<sup>-1</sup>
- ASF = age sensitivity factor, per age group
- FAH = fraction of time at home, per age group (for residential receptors only)
- ED = exposure duration (years)
- AT = averaging time period over which exposure duration is averaged (always 70 years)

Consistent with the 385-day construction schedule, the annualized average concentration for construction was used for the entire third trimester of pregnancy (0.25 years), and the first 0.80 years of the infantile (0 – 2) stage of life. The annualized average concentration for operation was used for the remainder of the 30-year exposure period, which makes up the latter 1.20- years of the infantile stage of life, the entire child stage of life (2 – 16), as well the entire adult (16 – 30 years) stage of life. The results of our calculations are shown in the table below.

<b>The Maximally Exposed Individual at an Existing Residential Receptor</b>				
<b>Age Group</b>	<b>Emissions Source</b>	<b>Duration (years)</b>	<b>Concentration (ug/m3)</b>	<b>Cancer Risk</b>
3rd Trimester	Construction	0.25	0.4121	1.76E-06
	<i>Construction</i>	<i>0.80</i>	<i>0.4121</i>	<i>4.63E-05</i>
	<i>Operation</i>	<i>1.20</i>	<i>0.3269</i>	<i>4.45E-05</i>
Infant (0 - 2)	Total	2		1.01E-04
Child (2 - 16)	Operation	14	0.3269	8.52E-05
Adult (16 - 30)	Operation	14	0.3269	1.31E-05
<b>Lifetime</b>		<b>30</b>		<b>2.04E-04</b>

As demonstrated in the table above, the excess cancer risks for the 3<sup>rd</sup> trimester of pregnancy, infants, children, and adults at the MEIR located approximately 75 meters away, over the course of Project construction and operation, are approximately 1.76, 101, 85.2 and 13.1 in one million, respectively. The excess cancer risk over the course of a residential lifetime (30 years) is approximately 204 in one million. The infant, child and lifetime cancer risks exceed the SCAQMD threshold of 10 in one million, resulting in a potentially significant impact not previously addressed or identified by the IS/MND.

Our analysis represents a screening-level HRA, which is known to be conservative and tends to err on the side of health protection. The purpose of the screening-level HRA is to demonstrate the potential link between Project-generated emissions and adverse health risk impacts. According to the U.S. EPA:

“EPA’s Exposure Assessment Guidelines recommend completing exposure assessments iteratively using a tiered approach to ‘strike a balance between the costs of adding detail and refinement to an assessment and the benefits associated with that additional refinement’ (U.S. EPA, 1992).

In other words, an assessment using basic tools (e.g., simple exposure calculations, default values, rules of thumb, conservative assumptions) can be conducted as the first phase (or tier) of the overall assessment (i.e., a screening-level assessment).

The exposure assessor or risk manager can then determine whether the results of the screening-level assessment warrant further evaluation through refinements of the input data and exposure assumptions or by using more advanced models.”

Screening-level analyses warrant further evaluation in a refined modeling approach. Our screening-level HRA demonstrates that since construction and operation of the Project could result in a potentially significant health risk impact, an EIR should be prepared to include a refined health risk analysis which adequately and accurately evaluates health risk impacts associated with both Project construction and operation. If the refined analysis similarly concludes that the Project would result in a significant health risk impact, then mitigation measures should be incorporated, as described below in the “Feasible Mitigation Measures Available to Reduce Emissions” section.

## Greenhouse Gas

### Failure to Adequately Evaluate Greenhouse Gas Impacts

The IS/MND estimates that the Project would generate net annual greenhouse gas (“GHG”) emissions of 2,651.2 metric tons of carbon dioxide equivalents per year (“MT CO<sub>2</sub>e/year”) (p. 79, Table 9).

**Table 9. Estimated Annual Operational Emissions**

Emissions Source	Total CO <sub>2</sub> e Emissions (MT CO <sub>2</sub> e)
Electricity	355.0
Natural Gas	176.8
Solid Waste	68.2
Water Use	90.6
Area Sources	4.5
Mobile Sources	1,944.0
Total Operation	2,639.1
<i>Amortized Construction Emissions</i>	12.1
<b>Total Project Emissions</b>	<b>2651.2</b>

As demonstrated above, the IS/MND concludes that Project’s GHG emissions which exceeds the Tier 3 screening threshold of 2,520 MT CO<sub>2</sub>e/year. As such, the proposed Project is compared to the Tier 4 efficient metric threshold of 4.0 MT CO<sub>2</sub>e/yr/SP (IS/MND, p. 78). The proposed Project does not exceed this threshold, as the Project’s estimated emission efficiency is 3.5 MT CO<sub>2</sub>e/SP/yr. The IS/MND consequently concludes that the Project would result in a less-than-significant impact (IS/MND, p. 78).

However, the IS/MND's analysis, as well as the subsequent less-than-significant impact conclusion, is incorrect for three reasons.

- (1) The IS/MND's quantitative GHG analysis relies upon a flawed air model;
- (2) The IS/MND's quantitative GHG analysis relies upon an outdated threshold; and
- (3) The IS/MND's unsubstantiated air model indicates a potentially significant impact.

### *1) Incorrect and Unsubstantiated Quantitative Analysis of Emissions*

As previously stated, the IS/MND estimates that the Project would generate net annual GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year (p. 79, Table 9). However, the IS/MND's quantitative GHG analysis is unsubstantiated. As previously discussed, the IS/MND relies on CalEEMod Version 2020.4.0 to estimate the Project's air quality emissions and fails to provide the complete output files required to adequately evaluate model's analysis. Furthermore, when reviewing the CalEEMod output files included in the AQ & GHG Assessment, we were able to identify several model inputs that are inconsistent with information disclosed in the IS/MND. As a result, the models may underestimate the Project's emissions, and the IS/MND's quantitative GHG analysis should not be relied upon to determine Project significance. An EIR should be prepared that adequately assesses the potential GHG impacts that construction and operation of the proposed Project may have on the environment.

### *2) Incorrect Reliance on an Outdated Quantitative GHG Threshold*

As previously stated, the IS/MND estimates that the Project would generate net annual GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year, which would not exceed the Tier 4 efficient threshold of 4.0 MT CO<sub>2</sub>e/yr/SP (IS/MND, p. 78). However, the guidance that provided the 4.0 MT CO<sub>2</sub>e/year threshold, the SCAQMD's 2008 *Interim CEQA GHG Significance Threshold for Stationary Sources, Rules, and Plans* report, was developed when the Global Warming Solutions Act of 2006, commonly known as "AB 32", was the governing statute for GHG reductions in California. AB 32 requires California to reduce GHG emissions to 1990 levels by 2020.<sup>27</sup> Furthermore, AEP guidance states:

"[F]or evaluating projects with a post 2020 horizon, the threshold will need to be revised based on a new gap analysis that would examine 17 development and reduction potentials out to the next GHG reduction milestone."<sup>28</sup>

As it is currently January 2023, thresholds for 2020 are not applicable to the proposed Project and should be revised to reflect the current GHG reduction target. As such, the SCAQMD bright-line threshold of 4.0 MT CO<sub>2</sub>e/yr/SP is outdated and inapplicable to the proposed Project, and the IS/MND's less-than-significant GHG impact conclusion should not be relied upon. Instead, we recommend that the Project apply the SCAQMD 2035 service population efficiency target of 3.0 metric tons of carbon dioxide

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<sup>27</sup> "Health & Safety Code 38550." California State Legislature, January 2007, *available at*:

[https://leginfo.ca.gov/faces/codes\\_displaySection.xhtml?lawCode=HSC&sectionNum=38550](https://leginfo.ca.gov/faces/codes_displaySection.xhtml?lawCode=HSC&sectionNum=38550).

<sup>28</sup> "Beyond Newhall and 2020: A Field Guide to New CEQA Greenhouse Gas Thresholds and Climate Action Plan Targets for California." Association of Environmental Professionals (AEP), October 2016, *available at*: [https://califaep.org/docs/AEP-2016\\_Final\\_White\\_Paper.pdf](https://califaep.org/docs/AEP-2016_Final_White_Paper.pdf), p. 39.

equivalents per service population per year (“MT CO<sub>2</sub>e/SP/year”), which was calculated by applying a 40% reduction to the 2020 targets.<sup>29</sup>

### 3) Failure to Identify a Potentially Significant GHG Impact

In an effort to quantitatively evaluate the Project’s GHG emissions, we compared the Project’s GHG emissions, as estimated by the IS/MND, to the SCAQMD 2035 service population efficiency target of 3.0 MT CO<sub>2</sub>e/SP/year. When applying this threshold, the Project’s air model indicates a potentially significant GHG impact. As previously stated, the IS/MND estimates that the Project would generate net annual GHG emissions of 2,651.2 MT CO<sub>2</sub>e/year (p. 79, Table 9). According to CAPCOA’s *CEQA & Climate Change* report, a service population (“SP”) is defined as “the sum of the number of residents and the number of jobs supported by the project.”<sup>30</sup> Furthermore, according to the IS/MND, the Project’s service population would be 751 (p. 78).<sup>31</sup> When dividing the Project’s net annual GHG emissions, as estimated by the IS/MND, by an SP of 751 people, we find that the Project would emit approximately 3.5 MT CO<sub>2</sub>e/SP/year (see table below).<sup>32</sup>

IS/MND Greenhouse Gas Emissions	
Annual Emissions (MT CO <sub>2</sub> e/year)	2,651
Service Population	751
Service Population Efficiency (MT CO <sub>2</sub> e/SP/year)	3.5
<b>SCAQMD 2035 Threshold</b>	<b>3.0</b>
<i>Exceeds?</i>	<b>Yes</b>

As demonstrated above, the Project’s service population efficiency value, as estimated by the IS/MND’s provided net annual GHG emission estimates and SP, exceeds the SCAQMD 2035 efficiency target of 3.0 MT CO<sub>2</sub>e/SP/year, indicating a potentially significant impact not previously identified or addressed by the IS/MND. As a result, the IS/MND’s less-than-significant GHG impact conclusion should not be relied upon. An EIR should be prepared to include an updated GHG analysis which incorporates additional mitigation measures to reduce the Project’s GHG emissions to less-than-significant levels.

## Mitigation

### Feasible Mitigation Measures Available to Reduce Emissions

Our analysis demonstrates that the Project would result in potentially significant air quality, health risk, and GHG impacts that should be mitigated further. As such, in an effort to reduce the Project’s

<sup>29</sup> “Minutes for the GHG CEQA Significance Threshold Stakeholder Working Group #15.” SCAQMD, September 2010, available at: [http://www.aqmd.gov/docs/default-source/ceqa/handbook/greenhouse-gases-\(ghg\)-ceqa-significance-thresholds/year-2008-2009/ghg-meeting-15/ghg-meeting-15-minutes.pdf](http://www.aqmd.gov/docs/default-source/ceqa/handbook/greenhouse-gases-(ghg)-ceqa-significance-thresholds/year-2008-2009/ghg-meeting-15/ghg-meeting-15-minutes.pdf), p. 2.

<sup>30</sup> CAPCOA (Jan. 2008) *CEQA & Climate Change*, p. 71-72, <http://www.capcoa.org/wp-content/uploads/2012/03/CAPCOA-White-Paper.pdf>.

<sup>32</sup> Calculated: (2,651 MT CO<sub>2</sub>e/year) / (751 service population) = (3.5 MT CO<sub>2</sub>e/SP/year).

emissions, we identified several mitigation measures that are applicable to the proposed Project. Therefore, to reduce the Project’s emissions, we recommend consideration of SCAG’s 2020 RTP/SCS PEIR’s Air Quality Project Level Mitigation Measures (“PMM-AQ-1”) and Greenhouse Gas Project Level Mitigation Measures (“PMM-GHG-1”), as described below:<sup>33</sup>

<b>SCAG RTP/SCS 2020-2045</b>
<b>Air Quality Project Level Mitigation Measures – PMM-AQ-1:</b>
In accordance with provisions of sections 15091(a)(2) and 15126.4(a)(1)(B) of the <i>State CEQA Guidelines</i> , a Lead Agency for a project can and should consider mitigation measures to reduce substantial adverse effects related to violating air quality standards. Such measures may include the following or other comparable measures identified by the Lead Agency:
a) Minimize land disturbance.
b) Suspend grading and earth moving when wind gusts exceed 25 miles per hour unless the soil is wet enough to prevent dust plumes.
c) Cover trucks when hauling dirt.
d) Stabilize the surface of dirt piles if not removed immediately.
e) Limit vehicular paths on unpaved surfaces and stabilize any temporary roads.
f) Minimize unnecessary vehicular and machinery activities.
g) Sweep paved streets at least once per day where there is evidence of dirt that has been carried on to the roadway.
h) Revegetate disturbed land, including vehicular paths created during construction to avoid future off-road vehicular activities.
j) Require contractors to assemble a comprehensive inventory list (i.e., make, model, engine year, horsepower, emission rates) of all heavy-duty off-road (portable and mobile) equipment (50 horsepower and greater) that could be used an aggregate of 40 or more hours for the construction project. Prepare a plan for approval by the applicable air district demonstrating achievement of the applicable percent reduction for a CARB-approved fleet.
k) Ensure that all construction equipment is properly tuned and maintained.
l) Minimize idling time to 5 minutes—saves fuel and reduces emissions.
m) Provide an operational water truck on-site at all times. Use watering trucks to minimize dust; watering should be sufficient to confine dust plumes to the project work areas. Sweep paved streets at least once per day where there is evidence of dirt that has been carried on to the roadway.
n) Utilize existing power sources (e.g., power poles) or clean fuel generators rather than temporary power generators.
o) Develop a traffic plan to minimize traffic flow interference from construction activities. The plan may include advance public notice of routing, use of public transportation, and satellite parking areas with a shuttle service. Schedule operations affecting traffic for off-peak hours. Minimize obstruction of through-traffic lanes. Provide a flag person to guide traffic properly and ensure safety at construction sites.

<sup>33</sup> “4.0 Mitigation Measures.” Connect SoCal Program Environmental Impact Report Addendum #1, September 2020, available at: [https://scag.ca.gov/sites/main/files/file-attachments/fpeir\\_connectsocial\\_addendum\\_4\\_mitigationmeasures.pdf?1606004420](https://scag.ca.gov/sites/main/files/file-attachments/fpeir_connectsocial_addendum_4_mitigationmeasures.pdf?1606004420), p. 4.0-2 – 4.0-10; 4.0-19 – 4.0-23; See also: “Certified Final Connect SoCal Program Environmental Impact Report.” Southern California Association of Governments (SCAG), May 2020, available at: <https://scag.ca.gov/peir>.

p) As appropriate require that portable engines and portable engine-driven equipment units used at the project work site, with the exception of on-road and off-road motor vehicles, obtain CARB Portable Equipment Registration with the state or a local district permit. Arrange appropriate consultations with the CARB or the District to determine registration and permitting requirements prior to equipment operation at the site.
q) Require projects within 500 feet of residences, hospitals, or schools to use Tier 4 equipment for all engines above 50 horsepower (hp) unless the individual project can demonstrate that Tier 4 engines would not be required to mitigate emissions below significance thresholds.
r) Projects located within the South Coast Air Basin should consider applying for South Coast AQMD "SOON" funds which provides funds to applicable fleets for the purchase of commercially available low-emission heavy-duty engines to achieve near-term reduction of NOx emissions from in-use off-road diesel vehicles.
s) Projects located within AB 617 communities should review the applicable Community Emissions Reduction Plan (CERP) for additional mitigation that can be applied to individual projects.
t) Where applicable, projects should provide information about air quality related programs to schools, including the Environmental Justice Community Partnerships (EJCP), Clean Air Ranger Education (CARE), and Why Air Quality Matters programs.
u) Projects should work with local cities and counties to install adequate signage that prohibits truck idling in certain locations (e.g., near schools and sensitive receptors).
z) Develop an ongoing monitoring, inspection, and maintenance program for the MERV filters.
aa) Consult the SCAG Environmental Justice Toolbox for potential measures to address impacts to low-income and/or minority communities.
bb) The following criteria related to diesel emissions shall be implemented on by individual project sponsors as appropriate and feasible: <ul style="list-style-type: none"> <li>- Diesel nonroad vehicles on site for more than 10 total days shall have either (1) engines that meet EPA on road emissions standards or (2) emission control technology verified by EPA or CARB to reduce PM emissions by a minimum of 85%</li> <li>- Diesel generators on site for more than 10 total days shall be equipped with emission control technology verified by EPA or CARB to reduce PM emissions by a minimum of 85%.</li> <li>- Nonroad diesel engines on site shall be Tier 2 or higher.</li> <li>- Diesel nonroad construction equipment on site for more than 10 total days shall have either (1) engines meeting EPA Tier 4 nonroad emissions standards or (2) emission control technology verified by EPA or CARB for use with nonroad engines to reduce PM emissions by a minimum of 85% for engines for 50 hp and greater and by a minimum of 20% for engines less than 50 hp.</li> <li>- Emission control technology shall be operated, maintained, and serviced as recommended by the emission control technology manufacturer.</li> <li>- Diesel vehicles, construction equipment, and generators on site shall be fueled with ultra-low sulfur diesel fuel (ULSD) or a biodiesel blend approved by the original engine manufacturer with sulfur content of 15 ppm or less.</li> <li>- The construction contractor shall maintain a list of all diesel vehicles, construction equipment, and generators to be used on site. The list shall include the following: <ul style="list-style-type: none"> <li>i. Contractor and subcontractor name and address, plus contact person responsible for the vehicles or equipment.</li> <li>ii. Equipment type, equipment manufacturer, equipment serial number, engine manufacturer, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation.</li> <li>iii. For the emission control technology installed: technology type, serial number, make, model, manufacturer, EPA/CARB verification number/level, and installation date and hour-meter reading on installation date.</li> </ul> </li> <li>- The contractor shall establish generator sites and truck-staging zones for vehicles waiting to load or unload material on site. Such zones shall be located where diesel emissions have the least impact on abutters, the general public, and especially sensitive receptors such as hospitals, schools, daycare facilities, elderly housing, and convalescent facilities.</li> </ul>

- The contractor shall maintain a monthly report that, for each on road diesel vehicle, nonroad construction equipment, or generator onsite, includes:
  - i. Hour-meter readings on arrival on-site, the first and last day of every month, and on off-site date.
  - ii. Any problems with the equipment or emission controls.
  - iii. Certified copies of fuel deliveries for the time period that identify:
    - 1. Source of supply
    - 2. Quantity of fuel
    - 3. Quantity of fuel, including sulfur content (percent by weight)

cc) Project should exceed Title-24 Building Envelope Energy Efficiency Standards (California Building Standards Code). The following measures can be used to increase energy efficiency:

- Provide pedestrian network improvements, such as interconnected street network, narrower roadways and shorter block lengths, sidewalks, accessibility to transit and transit shelters, traffic calming measures, parks and public spaces, minimize pedestrian barriers.
- Provide traffic calming measures, such as:
  - i. Marked crosswalks
  - ii. Count-down signal timers
  - iii. Curb extensions
  - iv. Speed tables
  - v. Raised crosswalks
  - vi. Raised intersections
  - vii. Median islands
  - viii. Tight corner radii
  - ix. Roundabouts or mini-circles
  - x. Chicanes/chokers
- Create urban non-motorized zones
- Provide bike parking in non-residential and multi-unit residential projects
- Dedicate land for bike trails
- Limit parking supply through:
  - i. Elimination (or reduction) of minimum parking requirements
  - ii. Creation of maximum parking requirements
  - iii. Provision of shared parking
- Require residential area parking permit.
- Provide ride-sharing programs
  - i. Designate a certain percentage of parking spacing for ride sharing vehicles
  - ii. Designating adequate passenger loading and unloading and waiting areas for ride-sharing vehicles
  - iii. Providing a web site or messaging board for coordinating rides
  - iv. Permanent transportation management association membership and finding requirement.

**Greenhouse Gas Project Level Mitigation Measures – PMM-GHG-1**

In accordance with provisions of sections 15091(a)(2) and 15126.4(a)(1)(B) of the *State CEQA Guidelines*, a Lead Agency for a project can and should consider mitigation measures to reduce substantial adverse effects related to violating air quality standards. Such measures may include the following or other comparable measures identified by the Lead Agency:

b) Reduce emissions resulting from projects through implementation of project features, project design, or other measures, such as those described in Appendix F of the State CEQA Guidelines.

c) Include off-site measures to mitigate a project’s emissions.

d) Measures that consider incorporation of Best Available Control Technology (BACT) during design, construction and operation of projects to minimize GHG emissions, including but not limited to:

- i. Use energy and fuel-efficient vehicles and equipment;
- ii. Deployment of zero- and/or near zero emission technologies;
- iii. Use lighting systems that are energy efficient, such as LED technology;
- iv. Use the minimum feasible amount of GHG-emitting construction materials;
- v. Use cement blended with the maximum feasible amount of flash or other materials that reduce GHG emissions from cement production;
- vi. Incorporate design measures to reduce GHG emissions from solid waste management through encouraging solid waste recycling and reuse;
- vii. Incorporate design measures to reduce energy consumption and increase use of renewable energy;
- viii. Incorporate design measures to reduce water consumption;
- ix. Use lighter-colored pavement where feasible;
- x. Recycle construction debris to maximum extent feasible;
- xi. Plant shade trees in or near construction projects where feasible; and
- xii. Solicit bids that include concepts listed above.

e) Measures that encourage transit use, carpooling, bike-share and car-share programs, active transportation, and parking strategies, including, but not limited to the following:

- i. Promote transit-active transportation coordinated strategies;
- ii. Increase bicycle carrying capacity on transit and rail vehicles;
- iii. Improve or increase access to transit;
- iv. Increase access to common goods and services, such as groceries, schools, and day care;
- v. Incorporate affordable housing into the project;
- vi. Incorporate the neighborhood electric vehicle network;
- vii. Orient the project toward transit, bicycle and pedestrian facilities;
- viii. Improve pedestrian or bicycle networks, or transit service;
- ix. Provide traffic calming measures;
- x. Provide bicycle parking;
- xi. Limit or eliminate park supply;
- xii. Unbundle parking costs;
- xiii. Provide parking cash-out programs;
- xiv. Implement or provide access to commute reduction program;

f) Incorporate bicycle and pedestrian facilities into project designs, maintaining these facilities, and providing amenities incentivizing their use; and planning for and building local bicycle projects that connect with the regional network;

g) Improving transit access to rail and bus routes by incentives for construction and transit facilities within developments, and/or providing dedicated shuttle service to transit stations; and

h) Adopting employer trip reduction measures to reduce employee trips such as vanpool and carpool programs, providing end-of-trip facilities, and telecommuting programs including but not limited to measures that:

- i. Provide car-sharing, bike sharing, and ride-sharing programs;
- ii. Provide transit passes;
- iii. Shift single occupancy vehicle trips to carpooling or vanpooling, for example providing ride-matching services;
- iv. Provide incentives or subsidies that increase that use of modes other than single-occupancy vehicle;
- v. Provide on-site amenities at places of work, such as priority parking for carpools and vanpools, secure bike parking, and showers and locker rooms;

<ul style="list-style-type: none"> <li>vi. Provide employee transportation coordinators at employment sites;</li> <li>vii. Provide a guaranteed ride home service to users of non-auto modes.</li> </ul>
i) Designate a percentage of parking spaces for ride-sharing vehicles or high-occupancy vehicles, and provide adequate passenger loading and unloading for those vehicles;
j) Land use siting and design measures that reduce GHG emissions, including: <ul style="list-style-type: none"> <li>i. Developing on infill and brownfields sites;</li> <li>ii. Building compact and mixed-use developments near transit;</li> <li>iii. Retaining on-site mature trees and vegetation, and planting new canopy trees;</li> <li>iv. Measures that increase vehicle efficiency, encourage use of zero and low emissions vehicles, or reduce the carbon content of fuels, including constructing or encouraging construction of electric vehicle charging stations or neighborhood electric vehicle networks, or charging for electric bicycles; and</li> <li>v. Measures to reduce GHG emissions from solid waste management through encouraging solid waste recycling and reuse.</li> </ul>
k) Consult the SCAG Environmental Justice Toolbox for potential measures to address impacts to low-income and/or minority communities. The measures provided above are also intended to be applied in low income and minority communities as applicable and feasible.
l) Require at least five percent of all vehicle parking spaces include electric vehicle charging stations, or at a minimum, require the appropriate infrastructure to facilitate sufficient electric charging for passenger vehicles and trucks to plug-in.
m) Encourage telecommuting and alternative work schedules, such as: <ul style="list-style-type: none"> <li>i. Staggered starting times</li> <li>ii. Flexible schedules</li> <li>iii. Compressed work weeks</li> </ul>
n) Implement commute trip reduction marketing, such as: <ul style="list-style-type: none"> <li>i. New employee orientation of trip reduction and alternative mode options</li> <li>ii. Event promotions</li> <li>iii. Publications</li> </ul>
o) Implement preferential parking permit program
p) Implement school pool and bus programs
q) Price workplace parking, such as: <ul style="list-style-type: none"> <li>i. Explicitly charging for parking for its employees;</li> <li>ii. Implementing above market rate pricing;</li> <li>iii. Validating parking only for invited guests;</li> <li>iv. Not providing employee parking and transportation allowances; and</li> <li>v. Educating employees about available alternatives.</li> </ul>

These measures offer a cost-effective, feasible way to incorporate lower-emitting design features into the proposed Project, which subsequently, reduce emissions released during Project construction and operation.

As it is policy of the State that eligible renewable energy resources and zero-carbon resources supply 100% of retail sales of electricity to California end-use customers by December 31, 2045, we emphasize that the energy mix that will charge the batteries and power electrical equipment must be 100%

renewable energy resources. Until the feasibility of charging the batteries with renewable energy resources only is evaluated, the Project should not be approved.

An EIR should be prepared to include all feasible mitigation measures, as well as include updated air quality, health risk, and GHG analyses to ensure that the necessary mitigation measures are implemented to reduce emissions to below thresholds. The EIR should also demonstrate a commitment to the implementation of these measures prior to Project approval, to ensure that the Project's significant emissions are reduced to the maximum extent possible.

## Disclaimer

SWAPE has received limited discovery regarding this project. Additional information may become available in the future; thus, we retain the right to revise or amend this report when additional information becomes available. Our professional services have been performed using that degree of care and skill ordinarily exercised, under similar circumstances, by reputable environmental consultants practicing in this or similar localities at the time of service. No other warranty, expressed or implied, is made as to the scope of work, work methodologies and protocols, site conditions, analytical testing results, and findings presented. This report reflects efforts which were limited to information that was reasonably accessible at the time of the work, and may contain informational gaps, inconsistencies, or otherwise be incomplete due to the unavailability or uncertainty of information obtained or provided by third parties.

Sincerely,



Matt Hagemann, P.G., C.Hg.



Paul E. Rosenfeld, Ph.D.

Attachment A: Updated Construction Schedule Calculations  
Attachment B: SWAPE's CalEEMod Output Files  
Attachment C: Updated Health Risk Calculations  
Attachment D: AERSCREEN Output Files  
Attachment E: Matt Hagemann CV  
Attachment F: Paul Rosenfeld CV

Construction Schedule Calculations						
Phase	Default Phase Length	Construction Duration	%	Construction Duration	Revised Phase Length	
Demolition	20	343	0.0583	385	22	
Site Preparation	2	343	0.0058	385	2	
Grading	4	343	0.0117	385	4	
Construction	200	343	0.5831	385	224	
Paving	10	343	0.0292	385	11	
Architectural Coating	10	343	0.0292	385	11	

	Total Default Construction Duration	Revised Construction Duration
Start Date	10/29/2021	10/29/2021
End Date	10/7/2022	11/18/2022
Total Days	343	385

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1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Government Office Building	6.42	1000sqft	0.15	6,416.00	0
Enclosed Parking Structure	151.90	1000sqft	0.51	151,900.00	0
Recreational Swimming Pool	1.22	1000sqft	0.03	1,217.00	0
Apartments Low Rise	260.00	Dwelling Unit	1.18	260,000.00	744
Strip Mall	3.00	1000sqft	0.07	3,000.00	0

1.2 Other Project Characteristics

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2023
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	390.98	<b>CH4 Intensity (lb/MWhr)</b>	0.033	<b>N2O Intensity (lb/MWhr)</b>	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics - Consistent with IS/MND's model.

Land Use - Consistent with IS/MND's model

Construction Phase - See comment on "Unsubstantiated Changes to Individual Construction Phase Lengths".

Off-road Equipment - Consistent with IS/MND's model.

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Off-road Equipment - Consistent with IS/MND's model.

Demolition - Consistent with IS/MND's model.

Grading - See comment on "Unsubstantiated Reductions to Acres of Grading Values".

Architectural Coating - Consistent with IS/MND's model.

Vehicle Trips - Consistent with IS/MND's model.

Water And Wastewater - Consistent with IS/MND's model.

Trips and VMT - Consistent with IS/MND's model.

On-road Fugitive Dust - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Fleet Mix - Consistent with IS/MND's model.

Road Dust - Consistent with IS/MND's model.

Woodstoves - Consistent with IS/MND's model.

Consumer Products - Consistent with IS/MND's model.

Area Coating - Consistent with IS/MND's model.

Landscape Equipment - Consistent with IS/MND's model.

Energy Use - Consistent with IS/MND's model.

Solid Waste - Consistent with IS/MND's model.

Operational Off-Road Equipment - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps EF - Consistent with IS/MND's model.

Stationary Sources - Process Boilers - Consistent with IS/MND's model.

Stationary Sources - Process Boilers EF - Consistent with IS/MND's model.

Stationary Sources - User Defined - Consistent with IS/MND's model.

Land Use Change - Consistent with IS/MND's model.

Sequestration - Consistent with IS/MND's model.

Construction Off-road Equipment Mitigation - Consistent with IS/MND's model.

Mobile Land Use Mitigation - Consistent with IS/MND's model.

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Mobile Commute Mitigation - Consistent with IS/MND's model.

Area Mitigation - Consistent with IS/MND's model.

Energy Mitigation - Consistent with IS/MND's model.

Water Mitigation - Consistent with IS/MND's model.

Waste Mitigation - Consistent with IS/MND's model.

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	11.00
tblConstructionPhase	NumDays	200.00	224.00
tblConstructionPhase	NumDays	20.00	22.00
tblConstructionPhase	NumDays	10.00	11.00
tblLandUse	LandUseSquareFeet	6,420.00	6,416.00
tblLandUse	LandUseSquareFeet	1,220.00	1,217.00
tblLandUse	LotAcreage	3.49	0.51
tblLandUse	LotAcreage	16.25	1.18

**2.0 Emissions Summary**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2021	0.0525	0.4307	0.3949	8.6000e-004	0.0506	0.0208	0.0713	0.0179	0.0195	0.0375	0.0000	76.0346	76.0346	0.0116	1.9200e-003	76.8979
2022	1.1423	1.6546	2.2931	5.9200e-003	0.3272	0.0671	0.3943	0.0877	0.0646	0.1523	0.0000	530.4771	530.4771	0.0464	0.0208	537.8289
<b>Maximum</b>	<b>1.1423</b>	<b>1.6546</b>	<b>2.2931</b>	<b>5.9200e-003</b>	<b>0.3272</b>	<b>0.0671</b>	<b>0.3943</b>	<b>0.0877</b>	<b>0.0646</b>	<b>0.1523</b>	<b>0.0000</b>	<b>530.4771</b>	<b>530.4771</b>	<b>0.0464</b>	<b>0.0208</b>	<b>537.8289</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2021	0.0525	0.4307	0.3949	8.6000e-004	0.0506	0.0208	0.0713	0.0179	0.0195	0.0375	0.0000	76.0346	76.0346	0.0116	1.9200e-003	76.8978
2022	1.1423	1.6546	2.2931	5.9200e-003	0.3272	0.0671	0.3943	0.0877	0.0646	0.1523	0.0000	530.4768	530.4768	0.0464	0.0208	537.8286
<b>Maximum</b>	<b>1.1423</b>	<b>1.6546</b>	<b>2.2931</b>	<b>5.9200e-003</b>	<b>0.3272</b>	<b>0.0671</b>	<b>0.3943</b>	<b>0.0877</b>	<b>0.0646</b>	<b>0.1523</b>	<b>0.0000</b>	<b>530.4768</b>	<b>530.4768</b>	<b>0.0464</b>	<b>0.0208</b>	<b>537.8286</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	10-29-2021	1-28-2022	0.6635	0.6635
2	1-29-2022	4-28-2022	0.5816	0.5816
3	4-29-2022	7-28-2022	0.5833	0.5833
4	7-29-2022	9-30-2022	0.4102	0.4102
		Highest	0.6635	0.6635

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943
Energy	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	523.8268	523.8268	0.0328	6.7800e-003	526.6668
Mobile	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.5483	2,302.5483	0.1407	0.0967	2,334.8791
Waste						0.0000	0.0000		0.0000	0.0000	27.5398	0.0000	27.5398	1.6276	0.0000	68.2287
Water						0.0000	0.0000		0.0000	0.0000	5.8723	65.6809	71.5532	0.6087	0.0149	91.2146
<b>Total</b>	<b>3.0640</b>	<b>1.4475</b>	<b>15.1732</b>	<b>0.0300</b>	<b>2.6451</b>	<b>0.2925</b>	<b>2.9376</b>	<b>0.7060</b>	<b>0.2913</b>	<b>0.9973</b>	<b>61.0291</b>	<b>2,949.5102</b>	<b>3,010.5392</b>	<b>2.4963</b>	<b>0.1203</b>	<b>3,108.7834</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943
Energy	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	523.8268	523.8268	0.0328	6.7800e-003	526.6668
Mobile	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.5483	2,302.5483	0.1407	0.0967	2,334.8791
Waste						0.0000	0.0000		0.0000	0.0000	27.5398	0.0000	27.5398	1.6276	0.0000	68.2287
Water						0.0000	0.0000		0.0000	0.0000	5.8723	65.6809	71.5532	0.6087	0.0149	91.2146
<b>Total</b>	<b>3.0640</b>	<b>1.4475</b>	<b>15.1732</b>	<b>0.0300</b>	<b>2.6451</b>	<b>0.2925</b>	<b>2.9376</b>	<b>0.7060</b>	<b>0.2913</b>	<b>0.9973</b>	<b>61.0291</b>	<b>2,949.5102</b>	<b>3,010.5392</b>	<b>2.4963</b>	<b>0.1203</b>	<b>3,108.7834</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/29/2021	11/29/2021	5	22	
2	Site Preparation	Site Preparation	11/30/2021	12/1/2021	5	2	
3	Grading	Grading	12/2/2021	12/7/2021	5	4	

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4	Building Construction	Building Construction	12/8/2021	10/17/2022	5	224
5	Paving	Paving	10/18/2022	11/1/2022	5	11
6	Architectural Coating	Architectural Coating	11/2/2022	11/16/2022	5	11

**Acres of Grading (Site Preparation Phase): 1.88**

**Acres of Grading (Grading Phase): 4**

**Acres of Paving: 0.51**

**Residential Indoor: 526,500; Residential Outdoor: 175,500; Non-Residential Indoor: 14,124; Non-Residential Outdoor: 4,708; Striped Parking Area: 9,114 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36

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Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	255.00	54.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	51.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

**3.2 Demolition - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0219	0.2167	0.1594	2.7000e-004		0.0115	0.0115		0.0107	0.0107	0.0000	23.1785	23.1785	5.9300e-003	0.0000	23.3266
<b>Total</b>	<b>0.0219</b>	<b>0.2167</b>	<b>0.1594</b>	<b>2.7000e-004</b>		<b>0.0115</b>	<b>0.0115</b>		<b>0.0107</b>	<b>0.0107</b>	<b>0.0000</b>	<b>23.1785</b>	<b>23.1785</b>	<b>5.9300e-003</b>	<b>0.0000</b>	<b>23.3266</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.7000e-004	4.8400e-003	1.0000e-005	1.5700e-003	1.0000e-005	1.5800e-003	4.2000e-004	1.0000e-005	4.3000e-004	0.0000	1.2745	1.2745	3.0000e-005	3.0000e-005	1.2853
<b>Total</b>	<b>4.6000e-004</b>	<b>3.7000e-004</b>	<b>4.8400e-003</b>	<b>1.0000e-005</b>	<b>1.5700e-003</b>	<b>1.0000e-005</b>	<b>1.5800e-003</b>	<b>4.2000e-004</b>	<b>1.0000e-005</b>	<b>4.3000e-004</b>	<b>0.0000</b>	<b>1.2745</b>	<b>1.2745</b>	<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>1.2853</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0219	0.2167	0.1594	2.7000e-004		0.0115	0.0115		0.0107	0.0107	0.0000	23.1784	23.1784	5.9300e-003	0.0000	23.3266
<b>Total</b>	<b>0.0219</b>	<b>0.2167</b>	<b>0.1594</b>	<b>2.7000e-004</b>		<b>0.0115</b>	<b>0.0115</b>		<b>0.0107</b>	<b>0.0107</b>	<b>0.0000</b>	<b>23.1784</b>	<b>23.1784</b>	<b>5.9300e-003</b>	<b>0.0000</b>	<b>23.3266</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.7000e-004	4.8400e-003	1.0000e-005	1.5700e-003	1.0000e-005	1.5800e-003	4.2000e-004	1.0000e-005	4.3000e-004	0.0000	1.2745	1.2745	3.0000e-005	3.0000e-005	1.2853
<b>Total</b>	<b>4.6000e-004</b>	<b>3.7000e-004</b>	<b>4.8400e-003</b>	<b>1.0000e-005</b>	<b>1.5700e-003</b>	<b>1.0000e-005</b>	<b>1.5800e-003</b>	<b>4.2000e-004</b>	<b>1.0000e-005</b>	<b>4.3000e-004</b>	<b>0.0000</b>	<b>1.2745</b>	<b>1.2745</b>	<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>1.2853</b>

**3.3 Site Preparation - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					6.2700e-003	0.0000	6.2700e-003	3.0000e-003	0.0000	3.0000e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.5600e-003	0.0174	7.5600e-003	2.0000e-005		7.7000e-004	7.7000e-004		7.0000e-004	7.0000e-004	0.0000	1.5118	1.5118	4.9000e-004	0.0000	1.5241
<b>Total</b>	<b>1.5600e-003</b>	<b>0.0174</b>	<b>7.5600e-003</b>	<b>2.0000e-005</b>	<b>6.2700e-003</b>	<b>7.7000e-004</b>	<b>7.0400e-003</b>	<b>3.0000e-003</b>	<b>7.0000e-004</b>	<b>3.7000e-003</b>	<b>0.0000</b>	<b>1.5118</b>	<b>1.5118</b>	<b>4.9000e-004</b>	<b>0.0000</b>	<b>1.5241</b>

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**3.3 Site Preparation - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	2.0000e-005	2.7000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0713	0.0713	0.0000	0.0000	0.0719
<b>Total</b>	<b>3.0000e-005</b>	<b>2.0000e-005</b>	<b>2.7000e-004</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0713</b>	<b>0.0713</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0719</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					6.2700e-003	0.0000	6.2700e-003	3.0000e-003	0.0000	3.0000e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.5600e-003	0.0174	7.5600e-003	2.0000e-005		7.7000e-004	7.7000e-004		7.0000e-004	7.0000e-004	0.0000	1.5118	1.5118	4.9000e-004	0.0000	1.5241
<b>Total</b>	<b>1.5600e-003</b>	<b>0.0174</b>	<b>7.5600e-003</b>	<b>2.0000e-005</b>	<b>6.2700e-003</b>	<b>7.7000e-004</b>	<b>7.0400e-003</b>	<b>3.0000e-003</b>	<b>7.0000e-004</b>	<b>3.7000e-003</b>	<b>0.0000</b>	<b>1.5118</b>	<b>1.5118</b>	<b>4.9000e-004</b>	<b>0.0000</b>	<b>1.5241</b>

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**3.3 Site Preparation - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	2.0000e-005	2.7000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0713	0.0713	0.0000	0.0000	0.0719
<b>Total</b>	<b>3.0000e-005</b>	<b>2.0000e-005</b>	<b>2.7000e-004</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>9.0000e-005</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0713</b>	<b>0.0713</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0719</b>

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0142	0.0000	0.0142	6.8500e-003	0.0000	6.8500e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.6500e-003	0.0404	0.0195	4.0000e-005		1.8300e-003	1.8300e-003		1.6800e-003	1.6800e-003	0.0000	3.6208	3.6208	1.1700e-003	0.0000	3.6501
<b>Total</b>	<b>3.6500e-003</b>	<b>0.0404</b>	<b>0.0195</b>	<b>4.0000e-005</b>	<b>0.0142</b>	<b>1.8300e-003</b>	<b>0.0160</b>	<b>6.8500e-003</b>	<b>1.6800e-003</b>	<b>8.5300e-003</b>	<b>0.0000</b>	<b>3.6208</b>	<b>3.6208</b>	<b>1.1700e-003</b>	<b>0.0000</b>	<b>3.6501</b>

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**3.4 Grading - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	5.0000e-005	6.8000e-004	0.0000	2.2000e-004	0.0000	2.2000e-004	6.0000e-005	0.0000	6.0000e-005	0.0000	0.1783	0.1783	0.0000	0.0000	0.1798
<b>Total</b>	<b>6.0000e-005</b>	<b>5.0000e-005</b>	<b>6.8000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>0.1783</b>	<b>0.1783</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1798</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0142	0.0000	0.0142	6.8500e-003	0.0000	6.8500e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.6500e-003	0.0404	0.0195	4.0000e-005		1.8300e-003	1.8300e-003		1.6800e-003	1.6800e-003	0.0000	3.6208	3.6208	1.1700e-003	0.0000	3.6501
<b>Total</b>	<b>3.6500e-003</b>	<b>0.0404</b>	<b>0.0195</b>	<b>4.0000e-005</b>	<b>0.0142</b>	<b>1.8300e-003</b>	<b>0.0160</b>	<b>6.8500e-003</b>	<b>1.6800e-003</b>	<b>8.5300e-003</b>	<b>0.0000</b>	<b>3.6208</b>	<b>3.6208</b>	<b>1.1700e-003</b>	<b>0.0000</b>	<b>3.6501</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	5.0000e-005	6.8000e-004	0.0000	2.2000e-004	0.0000	2.2000e-004	6.0000e-005	0.0000	6.0000e-005	0.0000	0.1783	0.1783	0.0000	0.0000	0.1798
<b>Total</b>	<b>6.0000e-005</b>	<b>5.0000e-005</b>	<b>6.8000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>0.1783</b>	<b>0.1783</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1798</b>

**3.5 Building Construction - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0163	0.1227	0.1161	2.0000e-004		6.1600e-003	6.1600e-003		5.9500e-003	5.9500e-003	0.0000	16.3393	16.3393	2.9200e-003	0.0000	16.4122
<b>Total</b>	<b>0.0163</b>	<b>0.1227</b>	<b>0.1161</b>	<b>2.0000e-004</b>		<b>6.1600e-003</b>	<b>6.1600e-003</b>		<b>5.9500e-003</b>	<b>5.9500e-003</b>	<b>0.0000</b>	<b>16.3393</b>	<b>16.3393</b>	<b>2.9200e-003</b>	<b>0.0000</b>	<b>16.4122</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	1.1400e-003	0.0271	8.8400e-003	9.0000e-005	3.0600e-003	3.9000e-004	3.4500e-003	8.8000e-004	3.8000e-004	1.2600e-003	0.0000	9.4061	9.4061	5.3000e-004	1.3400e-003	9.8200
Worker	7.4000e-003	5.8700e-003	0.0777	2.2000e-004	0.0252	1.5000e-004	0.0253	6.6900e-003	1.4000e-004	6.8300e-003	0.0000	20.4542	20.4542	5.4000e-004	5.4000e-004	20.6279
<b>Total</b>	<b>8.5400e-003</b>	<b>0.0330</b>	<b>0.0865</b>	<b>3.1000e-004</b>	<b>0.0283</b>	<b>5.4000e-004</b>	<b>0.0288</b>	<b>7.5700e-003</b>	<b>5.2000e-004</b>	<b>8.0900e-003</b>	<b>0.0000</b>	<b>29.8602</b>	<b>29.8602</b>	<b>1.0700e-003</b>	<b>1.8800e-003</b>	<b>30.4479</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0163	0.1227	0.1161	2.0000e-004		6.1600e-003	6.1600e-003		5.9500e-003	5.9500e-003	0.0000	16.3393	16.3393	2.9200e-003	0.0000	16.4122
<b>Total</b>	<b>0.0163</b>	<b>0.1227</b>	<b>0.1161</b>	<b>2.0000e-004</b>		<b>6.1600e-003</b>	<b>6.1600e-003</b>		<b>5.9500e-003</b>	<b>5.9500e-003</b>	<b>0.0000</b>	<b>16.3393</b>	<b>16.3393</b>	<b>2.9200e-003</b>	<b>0.0000</b>	<b>16.4122</b>

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**3.5 Building Construction - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	1.1400e-003	0.0271	8.8400e-003	9.0000e-005	3.0600e-003	3.9000e-004	3.4500e-003	8.8000e-004	3.8000e-004	1.2600e-003	0.0000	9.4061	9.4061	5.3000e-004	1.3400e-003	9.8200
Worker	7.4000e-003	5.8700e-003	0.0777	2.2000e-004	0.0252	1.5000e-004	0.0253	6.6900e-003	1.4000e-004	6.8300e-003	0.0000	20.4542	20.4542	5.4000e-004	5.4000e-004	20.6279
<b>Total</b>	<b>8.5400e-003</b>	<b>0.0330</b>	<b>0.0865</b>	<b>3.1000e-004</b>	<b>0.0283</b>	<b>5.4000e-004</b>	<b>0.0288</b>	<b>7.5700e-003</b>	<b>5.2000e-004</b>	<b>8.0900e-003</b>	<b>0.0000</b>	<b>29.8602</b>	<b>29.8602</b>	<b>1.0700e-003</b>	<b>1.8800e-003</b>	<b>30.4479</b>

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1698	1.2878	1.3108	2.2700e-003		0.0607	0.0607		0.0586	0.0586	0.0000	187.0242	187.0242	0.0326	0.0000	187.8386
<b>Total</b>	<b>0.1698</b>	<b>1.2878</b>	<b>1.3108</b>	<b>2.2700e-003</b>		<b>0.0607</b>	<b>0.0607</b>		<b>0.0586</b>	<b>0.0586</b>	<b>0.0000</b>	<b>187.0242</b>	<b>187.0242</b>	<b>0.0326</b>	<b>0.0000</b>	<b>187.8386</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	9.1700e-003	0.2614	0.0901	1.0500e-003	0.0350	2.4300e-003	0.0375	0.0101	2.3300e-003	0.0124	0.0000	104.6417	104.6417	5.9900e-003	0.0150	109.2637
Worker	0.0792	0.0595	0.8228	2.4700e-003	0.2883	1.5800e-003	0.2899	0.0766	1.4600e-003	0.0780	0.0000	227.8796	227.8796	5.6300e-003	5.6900e-003	229.7168
<b>Total</b>	<b>0.0883</b>	<b>0.3210</b>	<b>0.9128</b>	<b>3.5200e-003</b>	<b>0.3234</b>	<b>4.0100e-003</b>	<b>0.3274</b>	<b>0.0867</b>	<b>3.7900e-003</b>	<b>0.0905</b>	<b>0.0000</b>	<b>332.5213</b>	<b>332.5213</b>	<b>0.0116</b>	<b>0.0207</b>	<b>338.9805</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1698	1.2878	1.3108	2.2700e-003		0.0607	0.0607		0.0586	0.0586	0.0000	187.0240	187.0240	0.0326	0.0000	187.8384
<b>Total</b>	<b>0.1698</b>	<b>1.2878</b>	<b>1.3108</b>	<b>2.2700e-003</b>		<b>0.0607</b>	<b>0.0607</b>		<b>0.0586</b>	<b>0.0586</b>	<b>0.0000</b>	<b>187.0240</b>	<b>187.0240</b>	<b>0.0326</b>	<b>0.0000</b>	<b>187.8384</b>

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**3.5 Building Construction - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	9.1700e-003	0.2614	0.0901	1.0500e-003	0.0350	2.4300e-003	0.0375	0.0101	2.3300e-003	0.0124	0.0000	104.6417	104.6417	5.9900e-003	0.0150	109.2637
Worker	0.0792	0.0595	0.8228	2.4700e-003	0.2883	1.5800e-003	0.2899	0.0766	1.4600e-003	0.0780	0.0000	227.8796	227.8796	5.6300e-003	5.6900e-003	229.7168
<b>Total</b>	<b>0.0883</b>	<b>0.3210</b>	<b>0.9128</b>	<b>3.5200e-003</b>	<b>0.3234</b>	<b>4.0100e-003</b>	<b>0.3274</b>	<b>0.0867</b>	<b>3.7900e-003</b>	<b>0.0905</b>	<b>0.0000</b>	<b>332.5213</b>	<b>332.5213</b>	<b>0.0116</b>	<b>0.0207</b>	<b>338.9805</b>

**3.6 Paving - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	3.7800e-003	0.0373	0.0484	7.0000e-005		1.9100e-003	1.9100e-003		1.7600e-003	1.7600e-003	0.0000	6.4733	6.4733	2.0500e-003	0.0000	6.5246
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>3.7800e-003</b>	<b>0.0373</b>	<b>0.0484</b>	<b>7.0000e-005</b>		<b>1.9100e-003</b>	<b>1.9100e-003</b>		<b>1.7600e-003</b>	<b>1.7600e-003</b>	<b>0.0000</b>	<b>6.4733</b>	<b>6.4733</b>	<b>2.0500e-003</b>	<b>0.0000</b>	<b>6.5246</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.2000e-004	1.6000e-004	2.2400e-003	1.0000e-005	7.8000e-004	0.0000	7.9000e-004	2.1000e-004	0.0000	2.1000e-004	0.0000	0.6204	0.6204	2.0000e-005	2.0000e-005	0.6254
<b>Total</b>	<b>2.2000e-004</b>	<b>1.6000e-004</b>	<b>2.2400e-003</b>	<b>1.0000e-005</b>	<b>7.8000e-004</b>	<b>0.0000</b>	<b>7.9000e-004</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>0.6204</b>	<b>0.6204</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>0.6254</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	3.7800e-003	0.0373	0.0484	7.0000e-005		1.9100e-003	1.9100e-003		1.7600e-003	1.7600e-003	0.0000	6.4733	6.4733	2.0500e-003	0.0000	6.5246
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>3.7800e-003</b>	<b>0.0373</b>	<b>0.0484</b>	<b>7.0000e-005</b>		<b>1.9100e-003</b>	<b>1.9100e-003</b>		<b>1.7600e-003</b>	<b>1.7600e-003</b>	<b>0.0000</b>	<b>6.4733</b>	<b>6.4733</b>	<b>2.0500e-003</b>	<b>0.0000</b>	<b>6.5246</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.2000e-004	1.6000e-004	2.2400e-003	1.0000e-005	7.8000e-004	0.0000	7.9000e-004	2.1000e-004	0.0000	2.1000e-004	0.0000	0.6204	0.6204	2.0000e-005	2.0000e-005	0.6254
<b>Total</b>	<b>2.2000e-004</b>	<b>1.6000e-004</b>	<b>2.2400e-003</b>	<b>1.0000e-005</b>	<b>7.8000e-004</b>	<b>0.0000</b>	<b>7.9000e-004</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>0.6204</b>	<b>0.6204</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>0.6254</b>

**3.7 Architectural Coating - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.8782					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.1200e-003	7.7500e-003	9.9700e-003	2.0000e-005		4.5000e-004	4.5000e-004		4.5000e-004	4.5000e-004	0.0000	1.4043	1.4043	9.0000e-005	0.0000	1.4066
<b>Total</b>	<b>0.8793</b>	<b>7.7500e-003</b>	<b>9.9700e-003</b>	<b>2.0000e-005</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>	<b>0.0000</b>	<b>1.4043</b>	<b>1.4043</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>1.4066</b>

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**3.7 Architectural Coating - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.5000e-004	6.4000e-004	8.7900e-003	3.0000e-005	3.0800e-003	2.0000e-005	3.1000e-003	8.2000e-004	2.0000e-005	8.3000e-004	0.0000	2.4337	2.4337	6.0000e-005	6.0000e-005	2.4533
<b>Total</b>	<b>8.5000e-004</b>	<b>6.4000e-004</b>	<b>8.7900e-003</b>	<b>3.0000e-005</b>	<b>3.0800e-003</b>	<b>2.0000e-005</b>	<b>3.1000e-003</b>	<b>8.2000e-004</b>	<b>2.0000e-005</b>	<b>8.3000e-004</b>	<b>0.0000</b>	<b>2.4337</b>	<b>2.4337</b>	<b>6.0000e-005</b>	<b>6.0000e-005</b>	<b>2.4533</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.8782					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.1200e-003	7.7500e-003	9.9700e-003	2.0000e-005		4.5000e-004	4.5000e-004		4.5000e-004	4.5000e-004	0.0000	1.4043	1.4043	9.0000e-005	0.0000	1.4066
<b>Total</b>	<b>0.8793</b>	<b>7.7500e-003</b>	<b>9.9700e-003</b>	<b>2.0000e-005</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>		<b>4.5000e-004</b>	<b>4.5000e-004</b>	<b>0.0000</b>	<b>1.4043</b>	<b>1.4043</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>1.4066</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.5000e-004	6.4000e-004	8.7900e-003	3.0000e-005	3.0800e-003	2.0000e-005	3.1000e-003	8.2000e-004	2.0000e-005	8.3000e-004	0.0000	2.4337	2.4337	6.0000e-005	6.0000e-005	2.4533
<b>Total</b>	<b>8.5000e-004</b>	<b>6.4000e-004</b>	<b>8.7900e-003</b>	<b>3.0000e-005</b>	<b>3.0800e-003</b>	<b>2.0000e-005</b>	<b>3.1000e-003</b>	<b>8.2000e-004</b>	<b>2.0000e-005</b>	<b>8.3000e-004</b>	<b>0.0000</b>	<b>2.4337</b>	<b>2.4337</b>	<b>6.0000e-005</b>	<b>6.0000e-005</b>	<b>2.4533</b>

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.5483	2,302.5483	0.1407	0.0967	2,334.8791
Unmitigated	1.0425	1.1972	10.7705	0.0247	2.6451	0.0171	2.6622	0.7060	0.0159	0.7219	0.0000	2,302.5483	2,302.5483	0.1407	0.0967	2,334.8791

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	1,903.20	2,116.40	1632.80	6,475,601	6,475,601
Enclosed Parking Structure	0.00	0.00	0.00		
Government Office Building	145.03	0.00	0.00	243,933	243,933
Recreational Swimming Pool	35.16	11.10	16.59	70,802	70,802
Strip Mall	132.96	126.12	61.29	231,630	231,630
<b>Total</b>	<b>2,216.35</b>	<b>2,253.62</b>	<b>1,710.68</b>	<b>7,021,966</b>	<b>7,021,966</b>

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking Structure	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Government Office Building	16.60	8.40	6.90	33.00	62.00	5.00	50	34	16
Recreational Swimming Pool	16.60	8.40	6.90	33.00	48.00	19.00	52	39	9
Strip Mall	16.60	8.40	6.90	16.60	64.40	19.00	45	40	15

**4.4 Fleet Mix**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Enclosed Parking Structure	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Government Office Building	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Recreational Swimming Pool	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Strip Mall	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	348.0992	348.0992	0.0294	3.5600e-003	349.8950
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	348.0992	348.0992	0.0294	3.5600e-003	349.8950
NaturalGas Mitigated	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	175.7276	175.7276	3.3700e-003	3.2200e-003	176.7719
NaturalGas Unmitigated	0.0178	0.1519	0.0660	9.7000e-004		0.0123	0.0123		0.0123	0.0123	0.0000	175.7276	175.7276	3.3700e-003	3.2200e-003	176.7719

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	3.22898e+006	0.0174	0.1488	0.0633	9.5000e-004		0.0120	0.0120		0.0120	0.0120	0.0000	172.3105	172.3105	3.3000e-003	3.1600e-003	173.3344
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	58064.8	3.1000e-004	2.8500e-003	2.3900e-003	2.0000e-005		2.2000e-004	2.2000e-004		2.2000e-004	2.2000e-004	0.0000	3.0986	3.0986	6.0000e-005	6.0000e-005	3.1170
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	5970	3.0000e-005	2.9000e-004	2.5000e-004	0.0000		2.0000e-005	2.0000e-005		2.0000e-005	2.0000e-005	0.0000	0.3186	0.3186	1.0000e-005	1.0000e-005	0.3205
<b>Total</b>		<b>0.0178</b>	<b>0.1519</b>	<b>0.0660</b>	<b>9.7000e-004</b>		<b>0.0123</b>	<b>0.0123</b>		<b>0.0123</b>	<b>0.0123</b>	<b>0.0000</b>	<b>175.7276</b>	<b>175.7276</b>	<b>3.3700e-003</b>	<b>3.2300e-003</b>	<b>176.7719</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	3.22898e+006	0.0174	0.1488	0.0633	9.5000e-004		0.0120	0.0120		0.0120	0.0120	0.0000	172.3105	172.3105	3.3000e-003	3.1600e-003	173.3344
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	58064.8	3.1000e-004	2.8500e-003	2.3900e-003	2.0000e-005		2.2000e-004	2.2000e-004		2.2000e-004	2.2000e-004	0.0000	3.0986	3.0986	6.0000e-005	6.0000e-005	3.1170
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	5970	3.0000e-005	2.9000e-004	2.5000e-004	0.0000		2.0000e-005	2.0000e-005		2.0000e-005	2.0000e-005	0.0000	0.3186	0.3186	1.0000e-005	1.0000e-005	0.3205
<b>Total</b>		<b>0.0178</b>	<b>0.1519</b>	<b>0.0660</b>	<b>9.7000e-004</b>		<b>0.0123</b>	<b>0.0123</b>		<b>0.0123</b>	<b>0.0123</b>	<b>0.0000</b>	<b>175.7276</b>	<b>175.7276</b>	<b>3.3700e-003</b>	<b>3.2300e-003</b>	<b>176.7719</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.3 Energy by Land Use - Electricity**

**Unmitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	1.04541e+006	185.3994	0.0157	1.9000e-003	186.3558
Enclosed Parking Structure	797475	141.4286	0.0119	1.4500e-003	142.1582
Government Office Building	86551.8	15.3496	1.3000e-003	1.6000e-004	15.4288
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000
Strip Mall	33390	5.9216	5.0000e-004	6.0000e-005	5.9521
<b>Total</b>		<b>348.0992</b>	<b>0.0294</b>	<b>3.5700e-003</b>	<b>349.8950</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.3 Energy by Land Use - Electricity**

**Mitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	1.04541e+006	185.3994	0.0157	1.9000e-003	186.3558
Enclosed Parking Structure	797475	141.4286	0.0119	1.4500e-003	142.1582
Government Office Building	86551.8	15.3496	1.3000e-003	1.6000e-004	15.4288
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000
Strip Mall	33390	5.9216	5.0000e-004	6.0000e-005	5.9521
<b>Total</b>		<b>348.0992</b>	<b>0.0294</b>	<b>3.5700e-003</b>	<b>349.8950</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943
Unmitigated	2.0038	0.0984	4.3368	4.3600e-003		0.2631	0.2631		0.2631	0.2631	27.6170	57.4542	85.0711	0.0866	1.8700e-003	87.7943

**6.2 Area by SubCategory**

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0878					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.9834					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.8516	0.0674	1.6528	4.2200e-003		0.2483	0.2483		0.2483	0.2483	27.6170	53.0703	80.6873	0.0824	1.8700e-003	83.3048
Landscaping	0.0810	0.0309	2.6840	1.4000e-004		0.0149	0.0149		0.0149	0.0149	0.0000	4.3839	4.3839	4.2200e-003	0.0000	4.4894
<b>Total</b>	<b>2.0038</b>	<b>0.0984</b>	<b>4.3368</b>	<b>4.3600e-003</b>		<b>0.2631</b>	<b>0.2631</b>		<b>0.2631</b>	<b>0.2631</b>	<b>27.6170</b>	<b>57.4542</b>	<b>85.0711</b>	<b>0.0866</b>	<b>1.8700e-003</b>	<b>87.7943</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0878					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.9834					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.8516	0.0674	1.6528	4.2200e-003		0.2483	0.2483		0.2483	0.2483	27.6170	53.0703	80.6873	0.0824	1.8700e-003	83.3048
Landscaping	0.0810	0.0309	2.6840	1.4000e-004		0.0149	0.0149		0.0149	0.0149	0.0000	4.3839	4.3839	4.2200e-003	0.0000	4.4894
<b>Total</b>	<b>2.0038</b>	<b>0.0984</b>	<b>4.3368</b>	<b>4.3600e-003</b>		<b>0.2631</b>	<b>0.2631</b>		<b>0.2631</b>	<b>0.2631</b>	<b>27.6170</b>	<b>57.4542</b>	<b>85.0711</b>	<b>0.0866</b>	<b>1.8700e-003</b>	<b>87.7943</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	71.5532	0.6087	0.0149	91.2146
Unmitigated	71.5532	0.6087	0.0149	91.2146

**7.2 Water by Land Use**

**Unmitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	16.94 / 10.6796	65.5346	0.5571	0.0137	83.5288
Enclosed Parking Structure	0 / 0	0.0000	0.0000	0.0000	0.0000
Government Office Building	1.2754 / 0.781694	4.8900	0.0419	1.0300e-003	6.2445
Recreational Swimming Pool	0.0721546 / 0.0442238	0.2767	2.3700e-003	6.0000e-005	0.3533
Strip Mall	0.222218 / 0.136198	0.8520	7.3100e-003	1.8000e-004	1.0880
<b>Total</b>		<b>71.5533</b>	<b>0.6087</b>	<b>0.0149</b>	<b>91.2146</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**7.2 Water by Land Use**

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	16.94 / 10.6796	65.5346	0.5571	0.0137	83.5288
Enclosed Parking Structure	0 / 0	0.0000	0.0000	0.0000	0.0000
Government Office Building	1.2754 / 0.781694	4.8900	0.0419	1.0300e-003	6.2445
Recreational Swimming Pool	0.0721546 / 0.0442238	0.2767	2.3700e-003	6.0000e-005	0.3533
Strip Mall	0.222218 / 0.136198	0.8520	7.3100e-003	1.8000e-004	1.0880
<b>Total</b>		<b>71.5533</b>	<b>0.6087</b>	<b>0.0149</b>	<b>91.2146</b>

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	27.5398	1.6276	0.0000	68.2287
Unmitigated	27.5398	1.6276	0.0000	68.2287

**8.2 Waste by Land Use**

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	119.6	24.2777	1.4348	0.0000	60.1470
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000
Government Office Building	5.97	1.2119	0.0716	0.0000	3.0023
Recreational Swimming Pool	6.95	1.4108	0.0834	0.0000	3.4952
Strip Mall	3.15	0.6394	0.0378	0.0000	1.5841
<b>Total</b>		<b>27.5398</b>	<b>1.6276</b>	<b>0.0000</b>	<b>68.2287</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.2 Waste by Land Use**

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	119.6	24.2777	1.4348	0.0000	60.1470
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000
Government Office Building	5.97	1.2119	0.0716	0.0000	3.0023
Recreational Swimming Pool	6.95	1.4108	0.0834	0.0000	3.4952
Strip Mall	3.15	0.6394	0.0378	0.0000	1.5841
<b>Total</b>		<b>27.5398</b>	<b>1.6276</b>	<b>0.0000</b>	<b>68.2287</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**OrangethorpePlacentia -  
Orange County, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Government Office Building	6.42	1000sqft	0.15	6,416.00	0
Enclosed Parking Structure	151.90	1000sqft	0.51	151,900.00	0
Recreational Swimming Pool	1.22	1000sqft	0.03	1,217.00	0
Apartments Low Rise	260.00	Dwelling Unit	1.18	260,000.00	744
Strip Mall	3.00	1000sqft	0.07	3,000.00	0

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2023
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	390.98	<b>CH4 Intensity (lb/MWhr)</b>	0.033	<b>N2O Intensity (lb/MWhr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics - Consistent with IS/MND's model.

Land Use - Consistent with IS/MND's model

Construction Phase - See comment on "Unsubstantiated Changes to Individual Construction Phase Lengths".

Off-road Equipment - Consistent with IS/MND's model.

## OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Off-road Equipment - Consistent with IS/MND's model.

Demolition - Consistent with IS/MND's model.

Grading - See comment on "Unsubstantiated Reductions to Acres of Grading Values".

Architectural Coating - Consistent with IS/MND's model.

Vehicle Trips - Consistent with IS/MND's model.

Water And Wastewater - Consistent with IS/MND's model.

Trips and VMT - Consistent with IS/MND's model.

On-road Fugitive Dust - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Fleet Mix - Consistent with IS/MND's model.

Road Dust - Consistent with IS/MND's model.

Woodstoves - Consistent with IS/MND's model.

Consumer Products - Consistent with IS/MND's model.

Area Coating - Consistent with IS/MND's model.

Landscape Equipment - Consistent with IS/MND's model.

Energy Use - Consistent with IS/MND's model.

Solid Waste - Consistent with IS/MND's model.

Operational Off-Road Equipment - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps EF - Consistent with IS/MND's model.

Stationary Sources - Process Boilers - Consistent with IS/MND's model.

Stationary Sources - Process Boilers EF - Consistent with IS/MND's model.

Stationary Sources - User Defined - Consistent with IS/MND's model.

Land Use Change - Consistent with IS/MND's model.

Sequestration - Consistent with IS/MND's model.

Construction Off-road Equipment Mitigation - Consistent with IS/MND's model.

Mobile Land Use Mitigation - Consistent with IS/MND's model.

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Mobile Commute Mitigation - Consistent with IS/MND's model.

Area Mitigation - Consistent with IS/MND's model.

Energy Mitigation - Consistent with IS/MND's model.

Water Mitigation - Consistent with IS/MND's model.

Waste Mitigation - Consistent with IS/MND's model.

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	11.00
tblConstructionPhase	NumDays	200.00	224.00
tblConstructionPhase	NumDays	20.00	22.00
tblConstructionPhase	NumDays	10.00	11.00
tblLandUse	LandUseSquareFeet	6,420.00	6,416.00
tblLandUse	LandUseSquareFeet	1,220.00	1,217.00
tblLandUse	LotAcreage	3.49	0.51
tblLandUse	LotAcreage	16.25	1.18

**2.0 Emissions Summary**

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OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.7618	20.2363	22.9447	0.0582	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,749.645 1	5,749.645 1	0.6480	0.2255	5,829.032 7
2022	160.0321	15.4416	21.9786	0.0571	3.1956	0.6278	3.8234	0.8553	0.6056	1.4609	0.0000	5,648.527 1	5,648.527 1	0.4718	0.2169	5,724.958 0
<b>Maximum</b>	<b>160.0321</b>	<b>20.2363</b>	<b>22.9447</b>	<b>0.0582</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,749.645 1</b>	<b>5,749.645 1</b>	<b>0.6480</b>	<b>0.2255</b>	<b>5,829.032 7</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.7618	20.2363	22.9447	0.0582	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,749.645 1	5,749.645 1	0.6480	0.2255	5,829.032 7
2022	160.0321	15.4416	21.9786	0.0571	3.1956	0.6278	3.8234	0.8553	0.6056	1.4609	0.0000	5,648.527 1	5,648.527 1	0.4718	0.2169	5,724.958 0
<b>Maximum</b>	<b>160.0321</b>	<b>20.2363</b>	<b>22.9447</b>	<b>0.0582</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,749.645 1</b>	<b>5,749.645 1</b>	<b>0.6480</b>	<b>0.2255</b>	<b>5,829.032 7</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.1371	16,186.1371	0.9361	0.6298	16,397.2123
<b>Total</b>	<b>81.3948</b>	<b>13.2790</b>	<b>221.1659</b>	<b>0.5011</b>	<b>16.6713</b>	<b>20.1528</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1453</b>	<b>24.5889</b>	<b>2,435.3988</b>	<b>21,966.2019</b>	<b>24,401.6007</b>	<b>8.2565</b>	<b>0.8145</b>	<b>24,850.7437</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.1371	16,186.1371	0.9361	0.6298	16,397.2123
<b>Total</b>	<b>81.3948</b>	<b>13.2790</b>	<b>221.1659</b>	<b>0.5011</b>	<b>16.6713</b>	<b>20.1528</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1453</b>	<b>24.5889</b>	<b>2,435.3988</b>	<b>21,966.2019</b>	<b>24,401.6007</b>	<b>8.2565</b>	<b>0.8145</b>	<b>24,850.7437</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/29/2021	11/29/2021	5	22	
2	Site Preparation	Site Preparation	11/30/2021	12/1/2021	5	2	
3	Grading	Grading	12/2/2021	12/7/2021	5	4	
4	Building Construction	Building Construction	12/8/2021	10/17/2022	5	224	
5	Paving	Paving	10/18/2022	11/1/2022	5	11	
6	Architectural Coating	Architectural Coating	11/2/2022	11/16/2022	5	11	

**Acres of Grading (Site Preparation Phase): 1.88**

**Acres of Grading (Grading Phase): 4**

**Acres of Paving: 0.51**

**Residential Indoor: 526,500; Residential Outdoor: 175,500; Non-Residential Indoor: 14,124; Non-Residential Outdoor: 4,708; Striped Parking Area: 9,114 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	255.00	54.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	51.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715		2,322.7171	2,322.7171	0.5940		2,337.5658
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>		<b>2,322.7171</b>	<b>2,322.7171</b>	<b>0.5940</b>		<b>2,337.5658</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0419	0.0297	0.4628	1.3100e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		132.3643	132.3643	3.3400e-003	3.1100e-003	133.3732
<b>Total</b>	<b>0.0419</b>	<b>0.0297</b>	<b>0.4628</b>	<b>1.3100e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>132.3643</b>	<b>132.3643</b>	<b>3.3400e-003</b>	<b>3.1100e-003</b>	<b>133.3732</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715	0.0000	2,322.717 1	2,322.717 1	0.5940		2,337.565 8
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>	<b>0.0000</b>	<b>2,322.717 1</b>	<b>2,322.717 1</b>	<b>0.5940</b>		<b>2,337.565 8</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0419	0.0297	0.4628	1.3100e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		132.3643	132.3643	3.3400e-003	3.1100e-003	133.3732
<b>Total</b>	<b>0.0419</b>	<b>0.0297</b>	<b>0.4628</b>	<b>1.3100e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>132.3643</b>	<b>132.3643</b>	<b>3.3400e-003</b>	<b>3.1100e-003</b>	<b>133.3732</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041		1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>		<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0258	0.0182	0.2848	8.0000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		81.4549	81.4549	2.0500e-003	1.9100e-003	82.0758
<b>Total</b>	<b>0.0258</b>	<b>0.0182</b>	<b>0.2848</b>	<b>8.0000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>81.4549</b>	<b>81.4549</b>	<b>2.0500e-003</b>	<b>1.9100e-003</b>	<b>82.0758</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041	0.0000	1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>	<b>0.0000</b>	<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0258	0.0182	0.2848	8.0000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		81.4549	81.4549	2.0500e-003	1.9100e-003	82.0758
<b>Total</b>	<b>0.0258</b>	<b>0.0182</b>	<b>0.2848</b>	<b>8.0000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>81.4549</b>	<b>81.4549</b>	<b>2.0500e-003</b>	<b>1.9100e-003</b>	<b>82.0758</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425		1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>		<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0322	0.0228	0.3560	1.0100e-003	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		101.8187	101.8187	2.5700e-003	2.3900e-003	102.5948
<b>Total</b>	<b>0.0322</b>	<b>0.0228</b>	<b>0.3560</b>	<b>1.0100e-003</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>101.8187</b>	<b>101.8187</b>	<b>2.5700e-003</b>	<b>2.3900e-003</b>	<b>102.5948</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425	0.0000	1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>	<b>0.0000</b>	<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0322	0.0228	0.3560	1.0100e-003	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		101.8187	101.8187	2.5700e-003	2.3900e-003	102.5948
<b>Total</b>	<b>0.0322</b>	<b>0.0228</b>	<b>0.3560</b>	<b>1.0100e-003</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>101.8187</b>	<b>101.8187</b>	<b>2.5700e-003</b>	<b>2.3900e-003</b>	<b>102.5948</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608		2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>		<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1273	2.8753	0.9674	0.0106	0.3453	0.0435	0.3888	0.0994	0.0416	0.1410		1,152.0489	1,152.0489	0.0649	0.1646	1,202.7143
Worker	0.8220	0.5815	9.0779	0.0256	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,596.3762	2,596.3762	0.0655	0.0609	2,616.1667
<b>Total</b>	<b>0.9493</b>	<b>3.4569</b>	<b>10.0453</b>	<b>0.0362</b>	<b>3.1956</b>	<b>0.0599</b>	<b>3.2555</b>	<b>0.8553</b>	<b>0.0567</b>	<b>0.9120</b>		<b>3,748.4251</b>	<b>3,748.4251</b>	<b>0.1304</b>	<b>0.2255</b>	<b>3,818.8810</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608	0.0000	2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>	<b>0.0000</b>	<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1273	2.8753	0.9674	0.0106	0.3453	0.0435	0.3888	0.0994	0.0416	0.1410		1,152.0489	1,152.0489	0.0649	0.1646	1,202.7143
Worker	0.8220	0.5815	9.0779	0.0256	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,596.3762	2,596.3762	0.0655	0.0609	2,616.1667
<b>Total</b>	<b>0.9493</b>	<b>3.4569</b>	<b>10.0453</b>	<b>0.0362</b>	<b>3.1956</b>	<b>0.0599</b>	<b>3.2555</b>	<b>0.8553</b>	<b>0.0567</b>	<b>0.9120</b>		<b>3,748.4251</b>	<b>3,748.4251</b>	<b>0.1304</b>	<b>0.2255</b>	<b>3,818.8810</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689		2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>		<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0898	2.4230	0.8603	0.0102	0.3453	0.0236	0.3689	0.0994	0.0226	0.1219		1,119.7309	1,119.7309	0.0642	0.1605	1,169.1542
Worker	0.7673	0.5155	8.3919	0.0248	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,527.2534	2,527.2534	0.0591	0.0564	2,545.5457
<b>Total</b>	<b>0.8570</b>	<b>2.9385</b>	<b>9.2522</b>	<b>0.0351</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2345</b>	<b>0.8553</b>	<b>0.0367</b>	<b>0.8920</b>		<b>3,646.9843</b>	<b>3,646.9843</b>	<b>0.1232</b>	<b>0.2169</b>	<b>3,714.6999</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689	0.0000	2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>	<b>0.0000</b>	<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0898	2.4230	0.8603	0.0102	0.3453	0.0236	0.3689	0.0994	0.0226	0.1219		1,119.7309	1,119.7309	0.0642	0.1605	1,169.1542
Worker	0.7673	0.5155	8.3919	0.0248	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,527.2534	2,527.2534	0.0591	0.0564	2,545.5457
<b>Total</b>	<b>0.8570</b>	<b>2.9385</b>	<b>9.2522</b>	<b>0.0351</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2345</b>	<b>0.8553</b>	<b>0.0367</b>	<b>0.8920</b>		<b>3,646.9843</b>	<b>3,646.9843</b>	<b>0.1232</b>	<b>0.2169</b>	<b>3,714.6999</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205		1,297.378 <sub>9</sub>	1,297.378 <sub>9</sub>	0.4113		1,307.660 <sub>8</sub>
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>		<b>1,297.378<sub>9</sub></b>	<b>1,297.378<sub>9</sub></b>	<b>0.4113</b>		<b>1,307.660<sub>8</sub></b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0391	0.0263	0.4278	1.2700e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		128.8404	128.8404	3.0100e-003	2.8800e-003	129.7729
<b>Total</b>	<b>0.0391</b>	<b>0.0263</b>	<b>0.4278</b>	<b>1.2700e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>128.8404</b>	<b>128.8404</b>	<b>3.0100e-003</b>	<b>2.8800e-003</b>	<b>129.7729</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205	0.0000	1,297.378 <sub>9</sub>	1,297.378 <sub>9</sub>	0.4113		1,307.660 <sub>8</sub>
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>	<b>0.0000</b>	<b>1,297.378<sub>9</sub></b>	<b>1,297.378<sub>9</sub></b>	<b>0.4113</b>		<b>1,307.660<sub>8</sub></b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0391	0.0263	0.4278	1.2700e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		128.8404	128.8404	3.0100e-003	2.8800e-003	129.7729
<b>Total</b>	<b>0.0391</b>	<b>0.0263</b>	<b>0.4278</b>	<b>1.2700e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>128.8404</b>	<b>128.8404</b>	<b>3.0100e-003</b>	<b>2.8800e-003</b>	<b>129.7729</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1535	0.1031	1.6784	4.9700e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		505.4507	505.4507	0.0118	0.0113	509.1091
<b>Total</b>	<b>0.1535</b>	<b>0.1031</b>	<b>1.6784</b>	<b>4.9700e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>505.4507</b>	<b>505.4507</b>	<b>0.0118</b>	<b>0.0113</b>	<b>509.1091</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1535	0.1031	1.6784	4.9700e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		505.4507	505.4507	0.0118	0.0113	509.1091
<b>Total</b>	<b>0.1535</b>	<b>0.1031</b>	<b>1.6784</b>	<b>4.9700e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>505.4507</b>	<b>505.4507</b>	<b>0.0118</b>	<b>0.0113</b>	<b>509.1091</b>

OrangethorpePlacentia - - Orange County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.13 71	16,186.13 71	0.9361	0.6298	16,397.21 23
Unmitigated	6.6507	6.8045	67.1094	0.1574	16.6713	0.1058	16.7772	4.4436	0.0984	4.5419		16,186.13 71	16,186.13 71	0.9361	0.6298	16,397.21 23

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	1,903.20	2,116.40	1632.80	6,475,601	6,475,601
Enclosed Parking Structure	0.00	0.00	0.00		
Government Office Building	145.03	0.00	0.00	243,933	243,933
Recreational Swimming Pool	35.16	11.10	16.59	70,802	70,802
Strip Mall	132.96	126.12	61.29	231,630	231,630
Total	2,216.35	2,253.62	1,710.68	7,021,966	7,021,966

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking Structure	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Government Office Building	16.60	8.40	6.90	33.00	62.00	5.00	50	34	16
Recreational Swimming Pool	16.60	8.40	6.90	33.00	48.00	19.00	52	39	9
Strip Mall	16.60	8.40	6.90	16.60	64.40	19.00	45	40	15

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Enclosed Parking Structure	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Government Office Building	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Recreational Swimming Pool	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Strip Mall	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
NaturalGas Unmitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131

**5.2 Energy by Land Use - NaturalGas**

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8846.51	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	159.082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	16.3562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8.84651	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	0.159082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	0.0163562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Unmitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182

**6.2 Area by SubCategory**

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

OrangethorpePlacentia - - Orange County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**OrangethorpePlacentia -  
Orange County, Winter**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Government Office Building	6.42	1000sqft	0.15	6,416.00	0
Enclosed Parking Structure	151.90	1000sqft	0.51	151,900.00	0
Recreational Swimming Pool	1.22	1000sqft	0.03	1,217.00	0
Apartments Low Rise	260.00	Dwelling Unit	1.18	260,000.00	744
Strip Mall	3.00	1000sqft	0.07	3,000.00	0

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	30
<b>Climate Zone</b>	8			<b>Operational Year</b>	2023
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	390.98	<b>CH4 Intensity (lb/MWhr)</b>	0.033	<b>N2O Intensity (lb/MWhr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics - Consistent with IS/MND's model.

Land Use - Consistent with IS/MND's model

Construction Phase - See comment on "Unsubstantiated Changes to Individual Construction Phase Lengths".

Off-road Equipment - Consistent with IS/MND's model.

## OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Off-road Equipment - Consistent with IS/MND's model.

Demolition - Consistent with IS/MND's model.

Grading - See comment on "Unsubstantiated Reductions to Acres of Grading Values".

Architectural Coating - Consistent with IS/MND's model.

Vehicle Trips - Consistent with IS/MND's model.

Water And Wastewater - Consistent with IS/MND's model.

Trips and VMT - Consistent with IS/MND's model.

On-road Fugitive Dust - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Vehicle Emission Factors - Consistent with IS/MND's model.

Fleet Mix - Consistent with IS/MND's model.

Road Dust - Consistent with IS/MND's model.

Woodstoves - Consistent with IS/MND's model.

Consumer Products - Consistent with IS/MND's model.

Area Coating - Consistent with IS/MND's model.

Landscape Equipment - Consistent with IS/MND's model.

Energy Use - Consistent with IS/MND's model.

Solid Waste - Consistent with IS/MND's model.

Operational Off-Road Equipment - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps - Consistent with IS/MND's model.

Stationary Sources - Emergency Generators and Fire Pumps EF - Consistent with IS/MND's model.

Stationary Sources - Process Boilers - Consistent with IS/MND's model.

Stationary Sources - Process Boilers EF - Consistent with IS/MND's model.

Stationary Sources - User Defined - Consistent with IS/MND's model.

Land Use Change - Consistent with IS/MND's model.

Sequestration - Consistent with IS/MND's model.

Construction Off-road Equipment Mitigation - Consistent with IS/MND's model.

Mobile Land Use Mitigation - Consistent with IS/MND's model.

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Mobile Commute Mitigation - Consistent with IS/MND's model.

Area Mitigation - Consistent with IS/MND's model.

Energy Mitigation - Consistent with IS/MND's model.

Water Mitigation - Consistent with IS/MND's model.

Waste Mitigation - Consistent with IS/MND's model.

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	11.00
tblConstructionPhase	NumDays	200.00	224.00
tblConstructionPhase	NumDays	20.00	22.00
tblConstructionPhase	NumDays	10.00	11.00
tblLandUse	LandUseSquareFeet	6,420.00	6,416.00
tblLandUse	LandUseSquareFeet	1,220.00	1,217.00
tblLandUse	LotAcreage	3.49	0.51
tblLandUse	LotAcreage	16.25	1.18

**2.0 Emissions Summary**

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OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.8312	20.2386	22.3367	0.0570	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,624.7668	5,624.7668	0.6480	0.2295	5,705.3938
2022	160.0457	15.5872	21.4267	0.0559	3.1956	0.6279	3.8235	0.8553	0.6056	1.4609	0.0000	5,527.7090	5,527.7090	0.4730	0.2207	5,605.2994
<b>Maximum</b>	<b>160.0457</b>	<b>20.2386</b>	<b>22.3367</b>	<b>0.0570</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,624.7668</b>	<b>5,624.7668</b>	<b>0.6480</b>	<b>0.2295</b>	<b>5,705.3938</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	2.8312	20.2386	22.3367	0.0570	7.1944	1.0417	8.1108	3.4544	0.9722	4.2975	0.0000	5,624.7668	5,624.7668	0.6480	0.2295	5,705.3938
2022	160.0457	15.5872	21.4267	0.0559	3.1956	0.6279	3.8235	0.8553	0.6056	1.4609	0.0000	5,527.7090	5,527.7090	0.4730	0.2207	5,605.2994
<b>Maximum</b>	<b>160.0457</b>	<b>20.2386</b>	<b>22.3367</b>	<b>0.0570</b>	<b>7.1944</b>	<b>1.0417</b>	<b>8.1108</b>	<b>3.4544</b>	<b>0.9722</b>	<b>4.2975</b>	<b>0.0000</b>	<b>5,624.7668</b>	<b>5,624.7668</b>	<b>0.6480</b>	<b>0.2295</b>	<b>5,705.3938</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.9313	15,565.9313	0.9670	0.6566	15,785.7625
<b>Total</b>	<b>81.3547</b>	<b>13.7861</b>	<b>220.3135</b>	<b>0.4951</b>	<b>16.6713</b>	<b>20.1529</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1454</b>	<b>24.5890</b>	<b>2,435.3988</b>	<b>21,345.9962</b>	<b>23,781.3949</b>	<b>8.2874</b>	<b>0.8413</b>	<b>24,239.2939</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Energy	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
Mobile	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.9313	15,565.9313	0.9670	0.6566	15,785.7625
<b>Total</b>	<b>81.3547</b>	<b>13.7861</b>	<b>220.3135</b>	<b>0.4951</b>	<b>16.6713</b>	<b>20.1529</b>	<b>36.8242</b>	<b>4.4436</b>	<b>20.1454</b>	<b>24.5890</b>	<b>2,435.3988</b>	<b>21,345.9962</b>	<b>23,781.3949</b>	<b>8.2874</b>	<b>0.8413</b>	<b>24,239.2939</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	10/29/2021	11/29/2021	5	22	
2	Site Preparation	Site Preparation	11/30/2021	12/1/2021	5	2	
3	Grading	Grading	12/2/2021	12/7/2021	5	4	
4	Building Construction	Building Construction	12/8/2021	10/17/2022	5	224	
5	Paving	Paving	10/18/2022	11/1/2022	5	11	
6	Architectural Coating	Architectural Coating	11/2/2022	11/16/2022	5	11	

**Acres of Grading (Site Preparation Phase): 1.88**

**Acres of Grading (Grading Phase): 4**

**Acres of Paving: 0.51**

**Residential Indoor: 526,500; Residential Outdoor: 175,500; Non-Residential Indoor: 14,124; Non-Residential Outdoor: 4,708; Striped Parking Area: 9,114 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	255.00	54.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	51.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715		2,322.717 1	2,322.717 1	0.5940		2,337.565 8
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>		<b>2,322.717 1</b>	<b>2,322.717 1</b>	<b>0.5940</b>		<b>2,337.565 8</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0455	0.0326	0.4301	1.2400e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		125.9987	125.9987	3.4100e-003	3.3100e-003	127.0692
<b>Total</b>	<b>0.0455</b>	<b>0.0326</b>	<b>0.4301</b>	<b>1.2400e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>125.9987</b>	<b>125.9987</b>	<b>3.4100e-003</b>	<b>3.3100e-003</b>	<b>127.0692</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Demolition - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.9930	19.6966	14.4925	0.0241		1.0409	1.0409		0.9715	0.9715	0.0000	2,322.717 1	2,322.717 1	0.5940		2,337.565 8
<b>Total</b>	<b>1.9930</b>	<b>19.6966</b>	<b>14.4925</b>	<b>0.0241</b>		<b>1.0409</b>	<b>1.0409</b>		<b>0.9715</b>	<b>0.9715</b>	<b>0.0000</b>	<b>2,322.717 1</b>	<b>2,322.717 1</b>	<b>0.5940</b>		<b>2,337.565 8</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0455	0.0326	0.4301	1.2400e-003	0.1453	8.3000e-004	0.1461	0.0385	7.7000e-004	0.0393		125.9987	125.9987	3.4100e-003	3.3100e-003	127.0692
<b>Total</b>	<b>0.0455</b>	<b>0.0326</b>	<b>0.4301</b>	<b>1.2400e-003</b>	<b>0.1453</b>	<b>8.3000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.7000e-004</b>	<b>0.0393</b>		<b>125.9987</b>	<b>125.9987</b>	<b>3.4100e-003</b>	<b>3.3100e-003</b>	<b>127.0692</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041		1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>		<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0280	0.0200	0.2647	7.7000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		77.5377	77.5377	2.1000e-003	2.0300e-003	78.1964
<b>Total</b>	<b>0.0280</b>	<b>0.0200</b>	<b>0.2647</b>	<b>7.7000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>77.5377</b>	<b>77.5377</b>	<b>2.1000e-003</b>	<b>2.0300e-003</b>	<b>78.1964</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Site Preparation - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.5558	17.4203	7.5605	0.0172		0.7654	0.7654		0.7041	0.7041	0.0000	1,666.5174	1,666.5174	0.5390		1,679.9920
<b>Total</b>	<b>1.5558</b>	<b>17.4203</b>	<b>7.5605</b>	<b>0.0172</b>	<b>6.2662</b>	<b>0.7654</b>	<b>7.0316</b>	<b>3.0041</b>	<b>0.7041</b>	<b>3.7082</b>	<b>0.0000</b>	<b>1,666.5174</b>	<b>1,666.5174</b>	<b>0.5390</b>		<b>1,679.9920</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0280	0.0200	0.2647	7.7000e-004	0.0894	5.1000e-004	0.0899	0.0237	4.7000e-004	0.0242		77.5377	77.5377	2.1000e-003	2.0300e-003	78.1964
<b>Total</b>	<b>0.0280</b>	<b>0.0200</b>	<b>0.2647</b>	<b>7.7000e-004</b>	<b>0.0894</b>	<b>5.1000e-004</b>	<b>0.0899</b>	<b>0.0237</b>	<b>4.7000e-004</b>	<b>0.0242</b>		<b>77.5377</b>	<b>77.5377</b>	<b>2.1000e-003</b>	<b>2.0300e-003</b>	<b>78.1964</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425		1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>		<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0350	0.0251	0.3309	9.6000e-004	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		96.9221	96.9221	2.6200e-003	2.5400e-003	97.7455
<b>Total</b>	<b>0.0350</b>	<b>0.0251</b>	<b>0.3309</b>	<b>9.6000e-004</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>96.9221</b>	<b>96.9221</b>	<b>2.6200e-003</b>	<b>2.5400e-003</b>	<b>97.7455</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Grading - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.8271	20.2135	9.7604	0.0206		0.9158	0.9158		0.8425	0.8425	0.0000	1,995.6114	1,995.6114	0.6454		2,011.7470
<b>Total</b>	<b>1.8271</b>	<b>20.2135</b>	<b>9.7604</b>	<b>0.0206</b>	<b>7.0826</b>	<b>0.9158</b>	<b>7.9983</b>	<b>3.4247</b>	<b>0.8425</b>	<b>4.2672</b>	<b>0.0000</b>	<b>1,995.6114</b>	<b>1,995.6114</b>	<b>0.6454</b>		<b>2,011.7470</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0350	0.0251	0.3309	9.6000e-004	0.1118	6.4000e-004	0.1124	0.0296	5.9000e-004	0.0302		96.9221	96.9221	2.6200e-003	2.5400e-003	97.7455
<b>Total</b>	<b>0.0350</b>	<b>0.0251</b>	<b>0.3309</b>	<b>9.6000e-004</b>	<b>0.1118</b>	<b>6.4000e-004</b>	<b>0.1124</b>	<b>0.0296</b>	<b>5.9000e-004</b>	<b>0.0302</b>		<b>96.9221</b>	<b>96.9221</b>	<b>2.6200e-003</b>	<b>2.5400e-003</b>	<b>97.7455</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608		2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>		<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1264	2.9833	1.0006	0.0106	0.3453	0.0437	0.3890	0.0994	0.0418	0.1411		1,152.0338	1,152.0338	0.0648	0.1647	1,202.7319
Worker	0.8923	0.6389	8.4367	0.0244	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,471.5131	2,471.5131	0.0668	0.0649	2,492.5102
<b>Total</b>	<b>1.0187</b>	<b>3.6222</b>	<b>9.4373</b>	<b>0.0350</b>	<b>3.1956</b>	<b>0.0600</b>	<b>3.2556</b>	<b>0.8553</b>	<b>0.0568</b>	<b>0.9121</b>		<b>3,623.5468</b>	<b>3,623.5468</b>	<b>0.1316</b>	<b>0.2295</b>	<b>3,695.2421</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2021**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.8125	13.6361	12.8994	0.0221		0.6843	0.6843		0.6608	0.6608	0.0000	2,001.2200	2,001.2200	0.3573		2,010.1517
<b>Total</b>	<b>1.8125</b>	<b>13.6361</b>	<b>12.8994</b>	<b>0.0221</b>		<b>0.6843</b>	<b>0.6843</b>		<b>0.6608</b>	<b>0.6608</b>	<b>0.0000</b>	<b>2,001.2200</b>	<b>2,001.2200</b>	<b>0.3573</b>		<b>2,010.1517</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.1264	2.9833	1.0006	0.0106	0.3453	0.0437	0.3890	0.0994	0.0418	0.1411		1,152.0338	1,152.0338	0.0648	0.1647	1,202.7319
Worker	0.8923	0.6389	8.4367	0.0244	2.8503	0.0163	2.8666	0.7559	0.0150	0.7709		2,471.5131	2,471.5131	0.0668	0.0649	2,492.5102
<b>Total</b>	<b>1.0187</b>	<b>3.6222</b>	<b>9.4373</b>	<b>0.0350</b>	<b>3.1956</b>	<b>0.0600</b>	<b>3.2556</b>	<b>0.8553</b>	<b>0.0568</b>	<b>0.9121</b>		<b>3,623.5468</b>	<b>3,623.5468</b>	<b>0.1316</b>	<b>0.2295</b>	<b>3,695.2421</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689		2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>		<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0885	2.5179	0.8911	0.0102	0.3453	0.0237	0.3690	0.0994	0.0226	0.1220		1,120.0822	1,120.0822	0.0640	0.1606	1,169.5514
Worker	0.8357	0.5662	7.8092	0.0237	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,406.0839	2,406.0839	0.0604	0.0601	2,425.4899
<b>Total</b>	<b>0.9242</b>	<b>3.0841</b>	<b>8.7003</b>	<b>0.0339</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2346</b>	<b>0.8553</b>	<b>0.0368</b>	<b>0.8921</b>		<b>3,526.1661</b>	<b>3,526.1661</b>	<b>0.1244</b>	<b>0.2207</b>	<b>3,595.0413</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Building Construction - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.6487	12.5031	12.7264	0.0221		0.5889	0.5889		0.5689	0.5689	0.0000	2,001.5429	2,001.5429	0.3486		2,010.2581
<b>Total</b>	<b>1.6487</b>	<b>12.5031</b>	<b>12.7264</b>	<b>0.0221</b>		<b>0.5889</b>	<b>0.5889</b>		<b>0.5689</b>	<b>0.5689</b>	<b>0.0000</b>	<b>2,001.5429</b>	<b>2,001.5429</b>	<b>0.3486</b>		<b>2,010.2581</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0885	2.5179	0.8911	0.0102	0.3453	0.0237	0.3690	0.0994	0.0226	0.1220		1,120.0822	1,120.0822	0.0640	0.1606	1,169.5514
Worker	0.8357	0.5662	7.8092	0.0237	2.8503	0.0154	2.8657	0.7559	0.0142	0.7701		2,406.0839	2,406.0839	0.0604	0.0601	2,425.4899
<b>Total</b>	<b>0.9242</b>	<b>3.0841</b>	<b>8.7003</b>	<b>0.0339</b>	<b>3.1956</b>	<b>0.0390</b>	<b>3.2346</b>	<b>0.8553</b>	<b>0.0368</b>	<b>0.8921</b>		<b>3,526.1661</b>	<b>3,526.1661</b>	<b>0.1244</b>	<b>0.2207</b>	<b>3,595.0413</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205		1,297.3789	1,297.3789	0.4113		1,307.6608
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>		<b>1,297.3789</b>	<b>1,297.3789</b>	<b>0.4113</b>		<b>1,307.6608</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0426	0.0289	0.3981	1.2100e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		122.6631	122.6631	3.0800e-003	3.0600e-003	123.6524
<b>Total</b>	<b>0.0426</b>	<b>0.0289</b>	<b>0.3981</b>	<b>1.2100e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>122.6631</b>	<b>122.6631</b>	<b>3.0800e-003</b>	<b>3.0600e-003</b>	<b>123.6524</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Paving - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6877	6.7738	8.8060	0.0135		0.3474	0.3474		0.3205	0.3205	0.0000	1,297.378 <sub>9</sub>	1,297.378 <sub>9</sub>	0.4113		1,307.660 <sub>8</sub>
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.6877</b>	<b>6.7738</b>	<b>8.8060</b>	<b>0.0135</b>		<b>0.3474</b>	<b>0.3474</b>		<b>0.3205</b>	<b>0.3205</b>	<b>0.0000</b>	<b>1,297.378<sub>9</sub></b>	<b>1,297.378<sub>9</sub></b>	<b>0.4113</b>		<b>1,307.660<sub>8</sub></b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0426	0.0289	0.3981	1.2100e-003	0.1453	7.8000e-004	0.1461	0.0385	7.2000e-004	0.0393		122.6631	122.6631	3.0800e-003	3.0600e-003	123.6524
<b>Total</b>	<b>0.0426</b>	<b>0.0289</b>	<b>0.3981</b>	<b>1.2100e-003</b>	<b>0.1453</b>	<b>7.8000e-004</b>	<b>0.1461</b>	<b>0.0385</b>	<b>7.2000e-004</b>	<b>0.0393</b>		<b>122.6631</b>	<b>122.6631</b>	<b>3.0800e-003</b>	<b>3.0600e-003</b>	<b>123.6524</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1671	0.1132	1.5618	4.7300e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		481.2168	481.2168	0.0121	0.0120	485.0980
<b>Total</b>	<b>0.1671</b>	<b>0.1132</b>	<b>1.5618</b>	<b>4.7300e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>481.2168</b>	<b>481.2168</b>	<b>0.0121</b>	<b>0.0120</b>	<b>485.0980</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.7 Architectural Coating - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	159.6741					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062
<b>Total</b>	<b>159.8786</b>	<b>1.4085</b>	<b>1.8136</b>	<b>2.9700e-003</b>		<b>0.0817</b>	<b>0.0817</b>		<b>0.0817</b>	<b>0.0817</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0183</b>		<b>281.9062</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1671	0.1132	1.5618	4.7300e-003	0.5701	3.0800e-003	0.5731	0.1512	2.8300e-003	0.1540		481.2168	481.2168	0.0121	0.0120	485.0980
<b>Total</b>	<b>0.1671</b>	<b>0.1132</b>	<b>1.5618</b>	<b>4.7300e-003</b>	<b>0.5701</b>	<b>3.0800e-003</b>	<b>0.5731</b>	<b>0.1512</b>	<b>2.8300e-003</b>	<b>0.1540</b>		<b>481.2168</b>	<b>481.2168</b>	<b>0.0121</b>	<b>0.0120</b>	<b>485.0980</b>

OrangethorpePlacentia - - Orange County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.93 13	15,565.93 13	0.9670	0.6566	15,785.76 25
Unmitigated	6.6107	7.3116	66.2569	0.1513	16.6713	0.1059	16.7772	4.4436	0.0984	4.5420		15,565.93 13	15,565.93 13	0.9670	0.6566	15,785.76 25

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	1,903.20	2,116.40	1632.80	6,475,601	6,475,601
Enclosed Parking Structure	0.00	0.00	0.00		
Government Office Building	145.03	0.00	0.00	243,933	243,933
Recreational Swimming Pool	35.16	11.10	16.59	70,802	70,802
Strip Mall	132.96	126.12	61.29	231,630	231,630
Total	2,216.35	2,253.62	1,710.68	7,021,966	7,021,966

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking Structure	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Government Office Building	16.60	8.40	6.90	33.00	62.00	5.00	50	34	16
Recreational Swimming Pool	16.60	8.40	6.90	33.00	48.00	19.00	52	39	9
Strip Mall	16.60	8.40	6.90	16.60	64.40	19.00	45	40	15

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Enclosed Parking Structure	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Government Office Building	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Recreational Swimming Pool	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942
Strip Mall	0.544795	0.058861	0.186903	0.129401	0.024381	0.006522	0.014242	0.004855	0.000656	0.000385	0.024332	0.000723	0.003942

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131
NaturalGas Unmitigated	0.0973	0.8325	0.3614	5.3100e-003		0.0672	0.0672		0.0672	0.0672		1,061.4057	1,061.4057	0.0203	0.0195	1,067.7131

**5.2 Energy by Land Use - NaturalGas**

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8846.51	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	159.082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	16.3562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	8.84651	0.0954	0.8153	0.3469	5.2000e-003		0.0659	0.0659		0.0659	0.0659		1,040.7660	1,040.7660	0.0200	0.0191	1,046.9507
Enclosed Parking Structure	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Government Office Building	0.159082	1.7200e-003	0.0156	0.0131	9.0000e-005		1.1900e-003	1.1900e-003		1.1900e-003	1.1900e-003		18.7155	18.7155	3.6000e-004	3.4000e-004	18.8267
Recreational Swimming Pool	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Strip Mall	0.0163562	1.8000e-004	1.6000e-003	1.3500e-003	1.0000e-005		1.2000e-004	1.2000e-004		1.2000e-004	1.2000e-004		1.9243	1.9243	4.0000e-005	4.0000e-005	1.9357
<b>Total</b>		<b>0.0973</b>	<b>0.8325</b>	<b>0.3614</b>	<b>5.3000e-003</b>		<b>0.0672</b>	<b>0.0672</b>		<b>0.0672</b>	<b>0.0672</b>		<b>1,061.4057</b>	<b>1,061.4057</b>	<b>0.0204</b>	<b>0.0195</b>	<b>1,067.7131</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182
Unmitigated	74.6467	5.6420	153.6952	0.3385		19.9798	19.9798		19.9798	19.9798	2,435.3988	4,718.6592	7,154.0580	7.3001	0.1653	7,385.8182

**6.2 Area by SubCategory**

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.4812					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	5.3882					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	68.1294	5.3946	132.2235	0.3373		19.8610	19.8610		19.8610	19.8610	2,435.3988	4,680.0000	7,115.3988	7.2628	0.1653	7,346.2282
Landscaping	0.6479	0.2475	21.4717	1.1300e-003		0.1188	0.1188		0.1188	0.1188		38.6592	38.6592	0.0372		39.5900
<b>Total</b>	<b>74.6467</b>	<b>5.6420</b>	<b>153.6952</b>	<b>0.3384</b>		<b>19.9798</b>	<b>19.9798</b>		<b>19.9798</b>	<b>19.9798</b>	<b>2,435.3988</b>	<b>4,718.6592</b>	<b>7,154.0580</b>	<b>7.3001</b>	<b>0.1653</b>	<b>7,385.8182</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

OrangethorpePlacentia - - Orange County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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Construction		Total	
2021			
Annual Emissions (tons/year)	0.0209	Total DPM (lbs)	110.4010959
Daily Emissions (lbs/day)	0.114520548	Total DPM (g)	50077.9371
Construction Duration (days)	64	Emission Rate (g/s)	0.001505469
Total DPM (lbs)	7.329315068	Release Height (meters)	3
Total DPM (g)	3324.577315	Total Acreage	2.72
Start Date	10/29/2021	Max Horizontal (meters)	148.37
End Date	1/1/2022	Min Horizontal (meters)	74.19
Construction Days	64	Initial Vertical Dimension (meters)	1.5
<b>2022</b>		Setting	Placentia
Annual Emissions (tons/year)	0.0586	Population	51,274
Daily Emissions (lbs/day)	0.32109589	Start Date	10/29/2021
Construction Duration (days)	321	End Date	11/18/2022
Total DPM (lbs)	103.0717808	Total Construction Days	385
Total DPM (g)	46753.35978	Total Years of Construction	1.05
Start Date	1/1/2022	Total Years of Operation	28.95
End Date	11/18/2022		
Construction Days	321		

Operation	
Emission Rate	
Annual Emissions (tons/year)	0.0415
Daily Emissions (lbs/day)	0.22739726
Total DPM (lbs)	83
Emission Rate (g/s)	0.001193836
Release Height (meters)	3
Total Acreage	2.72
Max Horizontal (meters)	148.37
Min Horizontal (meters)	74.19
Initial Vertical Dimension (meters)	1.5
Setting	Placentia
Population	51,274

AERSCREEN 21112 / AERMOD 21112

01/02/24  
08:55:23

TITLE: OrangeThorpe, Construction

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\*\*\*\*\* AREA PARAMETERS \*\*\*\*\*  
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SOURCE EMISSION RATE:	0.151E-02 g/s	0.119E-01 lb/hr
AREA EMISSION RATE:	0.137E-06 g/(s-m2)	0.109E-05 lb/(hr-m2)
AREA HEIGHT:	3.00 meters	9.84 feet
AREA SOURCE LONG SIDE:	148.37 meters	486.78 feet
AREA SOURCE SHORT SIDE:	74.19 meters	243.41 feet
INITIAL VERTICAL DIMENSION:	1.50 meters	4.92 feet
RURAL OR URBAN:	URBAN	
POPULATION:	51274	
INITIAL PROBE DISTANCE =	5000. meters	16404. feet

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\*\*\*\*\* BUILDING DOWNWASH PARAMETERS \*\*\*\*\*  
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BUILDING DOWNWASH NOT USED FOR NON-POINT SOURCES

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\*\*\*\*\* FLOW SECTOR ANALYSIS \*\*\*\*\*  
25 meter receptor spacing: 1. meters - 5000. meters  
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MAXIMUM IMPACT RECEPTOR

Zo	SURFACE	1-HR CONC	RADIAL	DIST	TEMPORAL
SECTOR	ROUGHNESS	(ug/m3)	(deg)	(m)	PERIOD
1*	1.000	4.121	0	75.0	WIN

\* = worst case diagonal

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\*\*\*\*\* MAKEMET METEOROLOGY PARAMETERS \*\*\*\*\*

MIN/MAX TEMPERATURE: 250.0 / 310.0 (K)

MINIMUM WIND SPEED: 0.5 m/s

ANEMOMETER HEIGHT: 10.000 meters

SURFACE CHARACTERISTICS INPUT: AERMET SEASONAL TABLES

DOMINANT SURFACE PROFILE: Urban  
 DOMINANT CLIMATE TYPE: Average Moisture  
 DOMINANT SEASON: Winter

ALBEDO: 0.35  
 BOWEN RATIO: 1.50  
 ROUGHNESS LENGTH: 1.000 (meters)

SURFACE FRICTION VELOCITY (U\*) NOT ADJUSTED

METEOROLOGY CONDITIONS USED TO PREDICT OVERALL MAXIMUM IMPACT

YR MO DY JDY HR  
 ---  
 10 01 10 10 01

H0	U*	W*	DT/DZ	ZICNV	ZIMCH	M-O	LEN	Z0	BOWEN	ALBEDO	REF WS
-1.30	0.043	-9.000	0.020	-999.	21.	6.0	1.000	1.50	0.35	0.50	

HT	REF TA	HT
10.0	310.0	2.0

\*\*\*\*\* AERSCREEN AUTOMATED DISTANCES \*\*\*\*\*  
 OVERALL MAXIMUM CONCENTRATIONS BY DISTANCE

DIST (m)	MAXIMUM 1-HR CONC (ug/m3)	DIST (m)	MAXIMUM 1-HR CONC (ug/m3)
1.00	3.067	2525.00	0.3541E-01

25.00	3.487	2550.00	0.3494E-01
50.00	3.818	2575.00	0.3448E-01
75.00	4.121	2600.00	0.3402E-01
100.00	2.832	2625.00	0.3358E-01
125.00	2.038	2650.00	0.3315E-01
150.00	1.605	2675.00	0.3272E-01
175.00	1.308	2700.00	0.3231E-01
200.00	1.095	2725.00	0.3190E-01
225.00	0.9356	2750.00	0.3151E-01
250.00	0.8125	2775.00	0.3112E-01
275.00	0.7152	2800.00	0.3074E-01
300.00	0.6362	2825.00	0.3037E-01
325.00	0.5714	2850.00	0.3000E-01
350.00	0.5168	2875.00	0.2965E-01
375.00	0.4711	2900.00	0.2930E-01
400.00	0.4320	2925.00	0.2896E-01
425.00	0.3979	2950.00	0.2862E-01
450.00	0.3682	2975.00	0.2829E-01
475.00	0.3423	3000.00	0.2797E-01
500.00	0.3195	3025.00	0.2765E-01
525.00	0.2990	3050.00	0.2734E-01
550.00	0.2808	3074.99	0.2704E-01
575.00	0.2644	3100.00	0.2674E-01
600.00	0.2496	3125.00	0.2645E-01
625.00	0.2362	3150.00	0.2616E-01
650.00	0.2240	3175.00	0.2588E-01
675.00	0.2128	3200.00	0.2561E-01
700.00	0.2025	3225.00	0.2533E-01
725.00	0.1930	3250.00	0.2507E-01
750.00	0.1843	3275.00	0.2481E-01
775.00	0.1763	3300.00	0.2455E-01
800.00	0.1688	3325.00	0.2430E-01
825.00	0.1619	3350.00	0.2405E-01
850.00	0.1555	3375.00	0.2381E-01
875.00	0.1495	3400.00	0.2357E-01
900.00	0.1439	3425.00	0.2333E-01
925.00	0.1387	3450.00	0.2310E-01
950.00	0.1337	3475.00	0.2287E-01
975.00	0.1291	3500.00	0.2265E-01
1000.00	0.1247	3525.00	0.2243E-01
1025.00	0.1206	3550.00	0.2222E-01
1050.00	0.1167	3575.00	0.2200E-01
1075.00	0.1130	3600.00	0.2179E-01
1100.00	0.1095	3625.00	0.2159E-01
1125.00	0.1062	3650.00	0.2139E-01
1150.00	0.1031	3675.00	0.2119E-01
1175.00	0.1001	3700.00	0.2099E-01
1200.00	0.9725E-01	3724.99	0.2080E-01
1225.00	0.9455E-01	3750.00	0.2061E-01
1250.00	0.9199E-01	3775.00	0.2042E-01

1275.00	0.8954E-01	3800.00	0.2024E-01
1300.00	0.8721E-01	3825.00	0.2006E-01
1325.00	0.8498E-01	3850.00	0.1988E-01
1350.00	0.8285E-01	3875.00	0.1971E-01
1375.00	0.8144E-01	3900.00	0.1953E-01
1400.00	0.7946E-01	3925.00	0.1936E-01
1425.00	0.7755E-01	3950.00	0.1920E-01
1450.00	0.7572E-01	3975.00	0.1903E-01
1475.00	0.7397E-01	4000.00	0.1887E-01
1500.00	0.7228E-01	4025.00	0.1871E-01
1525.00	0.7066E-01	4050.00	0.1855E-01
1550.00	0.6911E-01	4075.00	0.1840E-01
1575.00	0.6761E-01	4100.00	0.1824E-01
1600.00	0.6616E-01	4125.00	0.1809E-01
1625.00	0.6477E-01	4150.00	0.1794E-01
1650.00	0.6343E-01	4175.00	0.1780E-01
1675.00	0.6214E-01	4200.00	0.1765E-01
1700.00	0.6089E-01	4225.00	0.1751E-01
1725.00	0.5968E-01	4250.00	0.1737E-01
1750.00	0.5851E-01	4275.00	0.1723E-01
1775.00	0.5739E-01	4300.00	0.1709E-01
1800.00	0.5630E-01	4325.00	0.1696E-01
1825.00	0.5524E-01	4350.00	0.1682E-01
1850.00	0.5422E-01	4375.00	0.1669E-01
1875.00	0.5324E-01	4400.00	0.1656E-01
1900.00	0.5228E-01	4425.00	0.1643E-01
1924.99	0.5135E-01	4450.00	0.1631E-01
1950.00	0.5045E-01	4475.00	0.1618E-01
1975.00	0.4958E-01	4500.00	0.1606E-01
2000.00	0.4873E-01	4525.00	0.1594E-01
2025.00	0.4791E-01	4550.00	0.1582E-01
2050.00	0.4711E-01	4575.00	0.1570E-01
2075.00	0.4633E-01	4600.00	0.1559E-01
2100.00	0.4558E-01	4625.00	0.1547E-01
2125.00	0.4485E-01	4650.00	0.1536E-01
2150.00	0.4414E-01	4675.00	0.1524E-01
2175.00	0.4344E-01	4700.00	0.1513E-01
2200.00	0.4277E-01	4725.00	0.1502E-01
2225.00	0.4211E-01	4750.00	0.1492E-01
2250.00	0.4147E-01	4775.00	0.1481E-01
2275.00	0.4085E-01	4800.00	0.1470E-01
2300.00	0.4024E-01	4825.00	0.1460E-01
2325.00	0.3965E-01	4850.00	0.1450E-01
2350.00	0.3907E-01	4875.00	0.1440E-01
2375.00	0.3851E-01	4900.00	0.1430E-01
2400.00	0.3796E-01	4924.99	0.1420E-01
2425.00	0.3743E-01	4950.00	0.1410E-01
2449.99	0.3691E-01	4975.00	0.1400E-01
2475.00	0.3640E-01	5000.00	0.1391E-01
2500.00	0.3590E-01		

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 \*\*\*\*\* AERSCREEN MAXIMUM IMPACT SUMMARY \*\*\*\*\*  
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 under Screening Guidance

CALCULATION PROCEDURE	MAXIMUM 1-HOUR CONC (ug/m3)	SCALED 3-HOUR CONC (ug/m3)	SCALED 8-HOUR CONC (ug/m3)	SCALED 24-HOUR CONC (ug/m3)	SCALED ANNUAL CONC (ug/m3)
FLAT TERRAIN	4.121	4.121	4.121	4.121	N/A
DISTANCE FROM SOURCE	75.00 meters				
IMPACT AT THE AMBIENT BOUNDARY	3.067	3.067	3.067	3.067	N/A
DISTANCE FROM SOURCE	1.00 meters				

TITLE: OrangeThorpe, Operation

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\*\*\*\*\* AREA PARAMETERS \*\*\*\*\*  
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SOURCE EMISSION RATE:	0.119E-02 g/s	0.947E-02 lb/hr
AREA EMISSION RATE:	0.108E-06 g/(s-m2)	0.861E-06 lb/(hr-m2)
AREA HEIGHT:	3.00 meters	9.84 feet
AREA SOURCE LONG SIDE:	148.37 meters	486.78 feet
AREA SOURCE SHORT SIDE:	74.19 meters	243.41 feet
INITIAL VERTICAL DIMENSION:	1.50 meters	4.92 feet
RURAL OR URBAN:	URBAN	
POPULATION:	51274	
INITIAL PROBE DISTANCE =	5000. meters	16404. feet

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\*\*\*\*\* BUILDING DOWNWASH PARAMETERS \*\*\*\*\*  
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BUILDING DOWNWASH NOT USED FOR NON-POINT SOURCES

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\*\*\*\*\* FLOW SECTOR ANALYSIS \*\*\*\*\*  
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25 meter receptor spacing: 1. meters - 5000. meters

MAXIMUM IMPACT RECEPTOR

Zo	SURFACE	1-HR CONC	RADIAL	DIST	TEMPORAL
SECTOR	ROUGHNESS	(ug/m3)	(deg)	(m)	PERIOD
1*	1.000	3.269	0	75.0	WIN

\* = worst case diagonal

\*\*\*\*\* MAKEMET METEOROLOGY PARAMETERS \*\*\*\*\*

MIN/MAX TEMPERATURE: 250.0 / 310.0 (K)

MINIMUM WIND SPEED: 0.5 m/s

ANEMOMETER HEIGHT: 10.000 meters

SURFACE CHARACTERISTICS INPUT: AERMET SEASONAL TABLES

DOMINANT SURFACE PROFILE: Urban  
 DOMINANT CLIMATE TYPE: Average Moisture  
 DOMINANT SEASON: Winter

ALBEDO: 0.35  
 BOWEN RATIO: 1.50  
 ROUGHNESS LENGTH: 1.000 (meters)

SURFACE FRICTION VELOCITY (U\*) NOT ADJUSTED

METEOROLOGY CONDITIONS USED TO PREDICT OVERALL MAXIMUM IMPACT

YR MO DY JDY HR  
 ---  
 10 01 10 10 01

H0	U*	W*	DT/DZ	ZICNV	ZIMCH	M-O	LEN	Z0	BOWEN	ALBEDO	REF WS
-1.30	0.043	-9.000	0.020	-999.	21.	6.0	1.000	1.50	0.35	0.50	

HT	REF TA	HT
10.0	310.0	2.0

\*\*\*\*\* AERSCREEN AUTOMATED DISTANCES \*\*\*\*\*

OVERALL MAXIMUM CONCENTRATIONS BY DISTANCE

DIST (m)	MAXIMUM 1-HR CONC (ug/m3)	DIST (m)	MAXIMUM 1-HR CONC (ug/m3)
1.00	2.433	2525.00	0.2809E-01

25.00	2.766	2550.00	0.2771E-01
50.00	3.028	2575.00	0.2734E-01
75.00	3.269	2600.00	0.2698E-01
100.00	2.246	2625.00	0.2663E-01
125.00	1.617	2650.00	0.2629E-01
150.00	1.273	2675.00	0.2595E-01
175.00	1.038	2700.00	0.2563E-01
200.00	0.8685	2725.00	0.2530E-01
225.00	0.7421	2750.00	0.2499E-01
250.00	0.6444	2775.00	0.2468E-01
275.00	0.5672	2800.00	0.2438E-01
300.00	0.5046	2825.00	0.2409E-01
325.00	0.4532	2850.00	0.2380E-01
350.00	0.4099	2875.00	0.2351E-01
375.00	0.3736	2900.00	0.2324E-01
400.00	0.3426	2925.00	0.2297E-01
425.00	0.3155	2950.00	0.2270E-01
450.00	0.2920	2975.00	0.2244E-01
475.00	0.2715	3000.00	0.2218E-01
500.00	0.2534	3025.00	0.2193E-01
525.00	0.2371	3050.00	0.2169E-01
550.00	0.2227	3075.00	0.2145E-01
575.00	0.2097	3100.00	0.2121E-01
600.00	0.1980	3125.00	0.2098E-01
625.00	0.1873	3150.00	0.2075E-01
650.00	0.1776	3175.00	0.2053E-01
675.00	0.1687	3200.00	0.2031E-01
700.00	0.1606	3225.00	0.2009E-01
725.00	0.1531	3250.00	0.1988E-01
750.00	0.1462	3275.00	0.1967E-01
775.00	0.1398	3300.00	0.1947E-01
800.00	0.1339	3325.00	0.1927E-01
825.00	0.1284	3350.00	0.1907E-01
850.00	0.1233	3375.00	0.1888E-01
875.00	0.1186	3400.00	0.1869E-01
900.00	0.1141	3425.00	0.1851E-01
925.00	0.1100	3450.00	0.1832E-01
950.00	0.1061	3475.00	0.1814E-01
975.00	0.1024	3500.00	0.1797E-01
1000.00	0.9890E-01	3525.00	0.1779E-01
1025.00	0.9562E-01	3550.00	0.1762E-01
1050.00	0.9252E-01	3575.00	0.1745E-01
1075.00	0.8960E-01	3600.00	0.1729E-01
1100.00	0.8684E-01	3625.00	0.1712E-01
1125.00	0.8422E-01	3650.00	0.1696E-01
1150.00	0.8173E-01	3675.00	0.1680E-01
1175.00	0.7937E-01	3700.00	0.1665E-01
1200.00	0.7713E-01	3725.00	0.1650E-01
1225.00	0.7499E-01	3750.00	0.1635E-01
1250.00	0.7296E-01	3775.00	0.1620E-01

1275.00	0.7102E-01	3800.00	0.1605E-01
1300.00	0.6917E-01	3825.00	0.1591E-01
1325.00	0.6740E-01	3850.00	0.1577E-01
1350.00	0.6571E-01	3875.00	0.1563E-01
1375.00	0.6460E-01	3900.00	0.1549E-01
1400.00	0.6302E-01	3925.00	0.1536E-01
1425.00	0.6151E-01	3950.00	0.1523E-01
1450.00	0.6006E-01	3975.00	0.1509E-01
1475.00	0.5867E-01	4000.00	0.1497E-01
1500.00	0.5733E-01	4025.00	0.1484E-01
1525.00	0.5604E-01	4050.00	0.1471E-01
1550.00	0.5481E-01	4075.00	0.1459E-01
1575.00	0.5362E-01	4100.00	0.1447E-01
1600.00	0.5248E-01	4125.00	0.1435E-01
1625.00	0.5137E-01	4150.00	0.1423E-01
1650.00	0.5031E-01	4175.00	0.1411E-01
1675.00	0.4928E-01	4200.00	0.1400E-01
1700.00	0.4829E-01	4225.00	0.1389E-01
1725.00	0.4733E-01	4250.00	0.1377E-01
1750.00	0.4641E-01	4275.00	0.1366E-01
1775.00	0.4552E-01	4300.00	0.1356E-01
1800.00	0.4465E-01	4325.00	0.1345E-01
1825.00	0.4382E-01	4350.00	0.1334E-01
1850.00	0.4301E-01	4375.00	0.1324E-01
1875.00	0.4222E-01	4400.00	0.1314E-01
1900.00	0.4146E-01	4425.00	0.1303E-01
1924.99	0.4073E-01	4450.00	0.1293E-01
1950.00	0.4001E-01	4475.00	0.1284E-01
1975.00	0.3932E-01	4500.00	0.1274E-01
2000.00	0.3865E-01	4525.00	0.1264E-01
2025.00	0.3800E-01	4550.00	0.1255E-01
2050.00	0.3736E-01	4575.00	0.1245E-01
2075.00	0.3675E-01	4600.00	0.1236E-01
2100.00	0.3615E-01	4625.00	0.1227E-01
2125.00	0.3557E-01	4650.00	0.1218E-01
2150.00	0.3500E-01	4675.00	0.1209E-01
2175.00	0.3446E-01	4700.00	0.1200E-01
2200.00	0.3392E-01	4725.00	0.1192E-01
2224.99	0.3340E-01	4750.00	0.1183E-01
2250.00	0.3289E-01	4775.00	0.1175E-01
2275.00	0.3240E-01	4800.00	0.1166E-01
2300.00	0.3192E-01	4825.00	0.1158E-01
2325.00	0.3145E-01	4850.00	0.1150E-01
2350.00	0.3099E-01	4875.00	0.1142E-01
2375.00	0.3054E-01	4900.00	0.1134E-01
2400.00	0.3011E-01	4925.00	0.1126E-01
2425.00	0.2969E-01	4950.00	0.1118E-01
2450.00	0.2927E-01	4975.00	0.1110E-01
2475.00	0.2887E-01	5000.00	0.1103E-01
2500.00	0.2847E-01		

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 \*\*\*\*\* AERSCREEN MAXIMUM IMPACT SUMMARY \*\*\*\*\*  
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CALCULATION PROCEDURE	MAXIMUM 1-HOUR CONC (ug/m3)	SCALED 3-HOUR CONC (ug/m3)	SCALED 8-HOUR CONC (ug/m3)	SCALED 24-HOUR CONC (ug/m3)	SCALED ANNUAL CONC (ug/m3)
FLAT TERRAIN	3.269	3.269	3.269	3.269	N/A
DISTANCE FROM SOURCE	75.00 meters				
IMPACT AT THE AMBIENT BOUNDARY	2.433	2.433	2.433	2.433	N/A
DISTANCE FROM SOURCE	1.00 meters				



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## **Matthew F. Hagemann, P.G., C.Hg., QSD, QSP**

**Geologic and Hydrogeologic Characterization  
Investigation and Remediation Strategies  
Litigation Support and Testifying Expert  
Industrial Stormwater Compliance  
CEQA Review**

### **Education:**

M.S. Degree, Geology, California State University Los Angeles, Los Angeles, CA, 1984.

B.A. Degree, Geology, Humboldt State University, Arcata, CA, 1982.

### **Professional Certifications:**

California Professional Geologist

California Certified Hydrogeologist

Qualified SWPPP Developer and Practitioner

### **Professional Experience:**

Matt has 30 years of experience in environmental policy, contaminant assessment and remediation, stormwater compliance, and CEQA review. He spent nine years with the U.S. EPA in the RCRA and Superfund programs and served as EPA's Senior Science Policy Advisor in the Western Regional Office where he identified emerging threats to groundwater from perchlorate and MTBE. While with EPA, Matt also served as a Senior Hydrogeologist in the oversight of the assessment of seven major military facilities undergoing base closure. He led numerous enforcement actions under provisions of the Resource Conservation and Recovery Act (RCRA) and directed efforts to improve hydrogeologic characterization and water quality monitoring. For the past 15 years, as a founding partner with SWAPE, Matt has developed extensive client relationships and has managed complex projects that include consultation as an expert witness and a regulatory specialist, and a manager of projects ranging from industrial stormwater compliance to CEQA review of impacts from hazardous waste, air quality and greenhouse gas emissions.

Positions Matt has held include:

- Founding Partner, Soil/Water/Air Protection Enterprise (SWAPE) (2003 – present);
- Geology Instructor, Golden West College, 2010 – 2014, 2017;
- Senior Environmental Analyst, Komex H2O Science, Inc. (2000 -- 2003);

- Executive Director, Orange Coast Watch (2001 – 2004);
- Senior Science Policy Advisor and Hydrogeologist, U.S. Environmental Protection Agency (1989–1998);
- Hydrogeologist, National Park Service, Water Resources Division (1998 – 2000);
- Adjunct Faculty Member, San Francisco State University, Department of Geosciences (1993 – 1998);
- Instructor, College of Marin, Department of Science (1990 – 1995);
- Geologist, U.S. Forest Service (1986 – 1998); and
- Geologist, Dames & Moore (1984 – 1986).

**Senior Regulatory and Litigation Support Analyst:**

With SWAPE, Matt’s responsibilities have included:

- Lead analyst and testifying expert in the review of over 300 environmental impact reports and negative declarations since 2003 under CEQA that identify significant issues with regard to hazardous waste, water resources, water quality, air quality, greenhouse gas emissions, and geologic hazards. Make recommendations for additional mitigation measures to lead agencies at the local and county level to include additional characterization of health risks and implementation of protective measures to reduce worker exposure to hazards from toxins and Valley Fever.
- Stormwater analysis, sampling and best management practice evaluation at more than 100 industrial facilities.
- Expert witness on numerous cases including, for example, perfluorooctanoic acid (PFOA) contamination of groundwater, MTBE litigation, air toxins at hazards at a school, CERCLA compliance in assessment and remediation, and industrial stormwater contamination.
- Technical assistance and litigation support for vapor intrusion concerns.
- Lead analyst and testifying expert in the review of environmental issues in license applications for large solar power plants before the California Energy Commission.
- Manager of a project to evaluate numerous formerly used military sites in the western U.S.
- Manager of a comprehensive evaluation of potential sources of perchlorate contamination in Southern California drinking water wells.
- Manager and designated expert for litigation support under provisions of Proposition 65 in the review of releases of gasoline to sources drinking water at major refineries and hundreds of gas stations throughout California.

With Komex H2O Science Inc., Matt’s duties included the following:

- Senior author of a report on the extent of perchlorate contamination that was used in testimony by the former U.S. EPA Administrator and General Counsel.
- Senior researcher in the development of a comprehensive, electronically interactive chronology of MTBE use, research, and regulation.
- Senior researcher in the development of a comprehensive, electronically interactive chronology of perchlorate use, research, and regulation.
- Senior researcher in a study that estimates nationwide costs for MTBE remediation and drinking water treatment, results of which were published in newspapers nationwide and in testimony against provisions of an energy bill that would limit liability for oil companies.
- Research to support litigation to restore drinking water supplies that have been contaminated by MTBE in California and New York.

- Expert witness testimony in a case of oil production-related contamination in Mississippi.
- Lead author for a multi-volume remedial investigation report for an operating school in Los Angeles that met strict regulatory requirements and rigorous deadlines.
- Development of strategic approaches for cleanup of contaminated sites in consultation with clients and regulators.

**Executive Director:**

As Executive Director with Orange Coast Watch, Matt led efforts to restore water quality at Orange County beaches from multiple sources of contamination including urban runoff and the discharge of wastewater. In reporting to a Board of Directors that included representatives from leading Orange County universities and businesses, Matt prepared issue papers in the areas of treatment and disinfection of wastewater and control of the discharge of grease to sewer systems. Matt actively participated in the development of countywide water quality permits for the control of urban runoff and permits for the discharge of wastewater. Matt worked with other nonprofits to protect and restore water quality, including Surfrider, Natural Resources Defense Council and Orange County CoastKeeper as well as with business institutions including the Orange County Business Council.

**Hydrogeology:**

As a Senior Hydrogeologist with the U.S. Environmental Protection Agency, Matt led investigations to characterize and cleanup closing military bases, including Mare Island Naval Shipyard, Hunters Point Naval Shipyard, Treasure Island Naval Station, Alameda Naval Station, Moffett Field, Mather Army Airfield, and Sacramento Army Depot. Specific activities were as follows:

- Led efforts to model groundwater flow and contaminant transport, ensured adequacy of monitoring networks, and assessed cleanup alternatives for contaminated sediment, soil, and groundwater.
- Initiated a regional program for evaluation of groundwater sampling practices and laboratory analysis at military bases.
- Identified emerging issues, wrote technical guidance, and assisted in policy and regulation development through work on four national U.S. EPA workgroups, including the Superfund Groundwater Technical Forum and the Federal Facilities Forum.

At the request of the State of Hawaii, Matt developed a methodology to determine the vulnerability of groundwater to contamination on the islands of Maui and Oahu. He used analytical models and a GIS to show zones of vulnerability, and the results were adopted and published by the State of Hawaii and County of Maui.

As a hydrogeologist with the EPA Groundwater Protection Section, Matt worked with provisions of the Safe Drinking Water Act and NEPA to prevent drinking water contamination. Specific activities included the following:

- Received an EPA Bronze Medal for his contribution to the development of national guidance for the protection of drinking water.
- Managed the Sole Source Aquifer Program and protected the drinking water of two communities through designation under the Safe Drinking Water Act. He prepared geologic reports, conducted

public hearings, and responded to public comments from residents who were very concerned about the impact of designation.

- Reviewed a number of Environmental Impact Statements for planned major developments, including large hazardous and solid waste disposal facilities, mine reclamation, and water transfer.

Matt served as a hydrogeologist with the RCRA Hazardous Waste program. Duties were as follows:

- Supervised the hydrogeologic investigation of hazardous waste sites to determine compliance with Subtitle C requirements.
- Reviewed and wrote "part B" permits for the disposal of hazardous waste.
- Conducted RCRA Corrective Action investigations of waste sites and led inspections that formed the basis for significant enforcement actions that were developed in close coordination with U.S. EPA legal counsel.
- Wrote contract specifications and supervised contractor's investigations of waste sites.

With the National Park Service, Matt directed service-wide investigations of contaminant sources to prevent degradation of water quality, including the following tasks:

- Applied pertinent laws and regulations including CERCLA, RCRA, NEPA, NRDA, and the Clean Water Act to control military, mining, and landfill contaminants.
- Conducted watershed-scale investigations of contaminants at parks, including Yellowstone and Olympic National Park.
- Identified high-levels of perchlorate in soil adjacent to a national park in New Mexico and advised park superintendent on appropriate response actions under CERCLA.
- Served as a Park Service representative on the Interagency Perchlorate Steering Committee, a national workgroup.
- Developed a program to conduct environmental compliance audits of all National Parks while serving on a national workgroup.
- Co-authored two papers on the potential for water contamination from the operation of personal watercraft and snowmobiles, these papers serving as the basis for the development of nationwide policy on the use of these vehicles in National Parks.
- Contributed to the Federal Multi-Agency Source Water Agreement under the Clean Water Action Plan.

### **Policy:**

Served senior management as the Senior Science Policy Advisor with the U.S. Environmental Protection Agency, Region 9.

Activities included the following:

- Advised the Regional Administrator and senior management on emerging issues such as the potential for the gasoline additive MTBE and ammonium perchlorate to contaminate drinking water supplies.
- Shaped EPA's national response to these threats by serving on workgroups and by contributing to guidance, including the Office of Research and Development publication, *Oxygenates in Water: Critical Information and Research Needs*.
- Improved the technical training of EPA's scientific and engineering staff.
- Earned an EPA Bronze Medal for representing the region's 300 scientists and engineers in negotiations with the Administrator and senior management to better integrate scientific

principles into the policy-making process.

- Established national protocol for the peer review of scientific documents.

### **Geology:**

With the U.S. Forest Service, Matt led investigations to determine hillslope stability of areas proposed for timber harvest in the central Oregon Coast Range. Specific activities were as follows:

- Mapped geology in the field, and used aerial photographic interpretation and mathematical models to determine slope stability.
- Coordinated his research with community members who were concerned with natural resource protection.
- Characterized the geology of an aquifer that serves as the sole source of drinking water for the city of Medford, Oregon.

As a consultant with Dames and Moore, Matt led geologic investigations of two contaminated sites (later listed on the Superfund NPL) in the Portland, Oregon, area and a large hazardous waste site in eastern Oregon. Duties included the following:

- Supervised year-long effort for soil and groundwater sampling.
- Conducted aquifer tests.
- Investigated active faults beneath sites proposed for hazardous waste disposal.

### **Teaching:**

From 1990 to 1998, Matt taught at least one course per semester at the community college and university levels:

- At San Francisco State University, held an adjunct faculty position and taught courses in environmental geology, oceanography (lab and lecture), hydrogeology, and groundwater contamination.
- Served as a committee member for graduate and undergraduate students.
- Taught courses in environmental geology and oceanography at the College of Marin.

Matt is currently a part time geology instructor at Golden West College in Huntington Beach, California where he taught from 2010 to 2014 and in 2017.

### **Invited Testimony, Reports, Papers and Presentations:**

**Hagemann, M.F.**, 2008. Disclosure of Hazardous Waste Issues under CEQA. Presentation to the Public Environmental Law Conference, Eugene, Oregon.

**Hagemann, M.F.**, 2008. Disclosure of Hazardous Waste Issues under CEQA. Invited presentation to U.S. EPA Region 9, San Francisco, California.

**Hagemann, M.F.**, 2005. Use of Electronic Databases in Environmental Regulation, Policy Making and Public Participation. Brownfields 2005, Denver, Colorado.

**Hagemann, M.F.**, 2004. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in Nevada and the Southwestern U.S. Presentation to a meeting of the American Groundwater Trust, Las Vegas, NV (served on conference organizing committee).

**Hagemann, M.F.**, 2004. Invited testimony to a California Senate committee hearing on air toxins at schools in Southern California, Los Angeles.

Brown, A., Farrow, J., Gray, A. and **Hagemann, M.**, 2004. An Estimate of Costs to Address MTBE Releases from Underground Storage Tanks and the Resulting Impact to Drinking Water Wells. Presentation to the Ground Water and Environmental Law Conference, National Groundwater Association.

**Hagemann, M.F.**, 2004. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in Arizona and the Southwestern U.S. Presentation to a meeting of the American Groundwater Trust, Phoenix, AZ (served on conference organizing committee).

**Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in the Southwestern U.S. Invited presentation to a special committee meeting of the National Academy of Sciences, Irvine, CA.

**Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River. Invited presentation to a tribal EPA meeting, Pechanga, CA.

**Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River. Invited presentation to a meeting of tribal representatives, Parker, AZ.

**Hagemann, M.F.**, 2003. Impact of Perchlorate on the Colorado River and Associated Drinking Water Supplies. Invited presentation to the Inter-Tribal Meeting, Torres Martinez Tribe.

**Hagemann, M.F.**, 2003. The Emergence of Perchlorate as a Widespread Drinking Water Contaminant. Invited presentation to the U.S. EPA Region 9.

**Hagemann, M.F.**, 2003. A Deductive Approach to the Assessment of Perchlorate Contamination. Invited presentation to the California Assembly Natural Resources Committee.

**Hagemann, M.F.**, 2003. Perchlorate: A Cold War Legacy in Drinking Water. Presentation to a meeting of the National Groundwater Association.

**Hagemann, M.F.**, 2002. From Tank to Tap: A Chronology of MTBE in Groundwater. Presentation to a meeting of the National Groundwater Association.

**Hagemann, M.F.**, 2002. A Chronology of MTBE in Groundwater and an Estimate of Costs to Address Impacts to Groundwater. Presentation to the annual meeting of the Society of Environmental Journalists.

**Hagemann, M.F.**, 2002. An Estimate of the Cost to Address MTBE Contamination in Groundwater (and Who Will Pay). Presentation to a meeting of the National Groundwater Association.

**Hagemann, M.F.**, 2002. An Estimate of Costs to Address MTBE Releases from Underground Storage Tanks and the Resulting Impact to Drinking Water Wells. Presentation to a meeting of the U.S. EPA and State Underground Storage Tank Program managers.

**Hagemann, M.F.**, 2001. From Tank to Tap: A Chronology of MTBE in Groundwater. Unpublished report.

**Hagemann, M.F.**, 2001. Estimated Cleanup Cost for MTBE in Groundwater Used as Drinking Water. Unpublished report.

**Hagemann, M.F.**, 2001. Estimated Costs to Address MTBE Releases from Leaking Underground Storage Tanks. Unpublished report.

**Hagemann, M.F.**, and VanMouwerik, M., 1999. Potential Water Quality Concerns Related to Snowmobile Usage. Water Resources Division, National Park Service, Technical Report.

VanMouwerik, M. and **Hagemann, M.F.** 1999, Water Quality Concerns Related to Personal Watercraft Usage. Water Resources Division, National Park Service, Technical Report.

**Hagemann, M.F.**, 1999, Is Dilution the Solution to Pollution in National Parks? The George Wright Society Biannual Meeting, Asheville, North Carolina.

**Hagemann, M.F.**, 1997, The Potential for MTBE to Contaminate Groundwater. U.S. EPA Superfund Groundwater Technical Forum Annual Meeting, Las Vegas, Nevada.

**Hagemann, M.F.**, and Gill, M., 1996, Impediments to Intrinsic Remediation, Moffett Field Naval Air Station, Conference on Intrinsic Remediation of Chlorinated Hydrocarbons, Salt Lake City.

**Hagemann, M.F.**, Fukunaga, G.L., 1996, The Vulnerability of Groundwater to Anthropogenic Contaminants on the Island of Maui, Hawaii. Hawaii Water Works Association Annual Meeting, Maui, October 1996.

**Hagemann, M. F.**, Fukunaga, G. L., 1996, Ranking Groundwater Vulnerability in Central Oahu, Hawaii. Proceedings, Geographic Information Systems in Environmental Resources Management, Air and Waste Management Association Publication VIP-61.

**Hagemann, M.F.**, 1994. Groundwater Characterization and Clean up at Closing Military Bases in California. Proceedings, California Groundwater Resources Association Meeting.

**Hagemann, M.F.** and Sabol, M.A., 1993. Role of the U.S. EPA in the High Plains States Groundwater Recharge Demonstration Program. Proceedings, Sixth Biennial Symposium on the Artificial Recharge of Groundwater.

**Hagemann, M.F.**, 1993. U.S. EPA Policy on the Technical Impracticability of the Cleanup of DNAPL-contaminated Groundwater. California Groundwater Resources Association Meeting.

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**Hagemann, M.F.**, 1992. Dense Nonaqueous Phase Liquid Contamination of Groundwater: An Ounce of Prevention... Proceedings, Association of Engineering Geologists Annual Meeting, v. 35.

**Other Experience:**

Selected as subject matter expert for the California Professional Geologist licensing examinations, 2009-2011.



Technical Consultation, Data Analysis and  
Litigation Support for the Environment

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## ***Paul Rosenfeld, Ph.D.***

*Principal Environmental Chemist*

**Chemical Fate and Transport & Air Dispersion Modeling**

**Risk Assessment & Remediation Specialist**

### **Education**

Ph.D. Soil Chemistry, University of Washington, 1999. Dissertation on volatile organic compound filtration.

M.S. Environmental Science, U.C. Berkeley, 1995. Thesis on organic waste economics.

B.A. Environmental Studies, U.C. Santa Barbara, 1991. Focus on wastewater treatment.

### **Professional Experience**

Dr. Rosenfeld has over 25 years of experience conducting environmental investigations and risk assessments for evaluating impacts to human health, property, and ecological receptors. His expertise focuses on the fate and transport of environmental contaminants, human health risk, exposure assessment, and ecological restoration. Dr. Rosenfeld has evaluated and modeled emissions from oil spills, landfills, boilers and incinerators, process stacks, storage tanks, confined animal feeding operations, industrial, military and agricultural sources, unconventional oil drilling operations, and locomotive and construction engines. His project experience ranges from monitoring and modeling of pollution sources to evaluating impacts of pollution on workers at industrial facilities and residents in surrounding communities. Dr. Rosenfeld has also successfully modeled exposure to contaminants distributed by water systems and via vapor intrusion.

Dr. Rosenfeld has investigated and designed remediation programs and risk assessments for contaminated sites containing lead, heavy metals, mold, bacteria, particulate matter, petroleum hydrocarbons, chlorinated solvents, pesticides, radioactive waste, dioxins and furans, semi- and volatile organic compounds, PCBs, PAHs, creosote, perchlorate, asbestos, per- and poly-fluoroalkyl substances (PFOA/PFOS), unusual polymers, fuel oxygenates (MTBE), among other pollutants. Dr. Rosenfeld also has experience evaluating greenhouse gas emissions from various projects and is an expert on the assessment of odors from industrial and agricultural sites, as well as the evaluation of odor nuisance impacts and technologies for abatement of odorous emissions. As a principal scientist at SWAPE, Dr. Rosenfeld directs air dispersion modeling and exposure assessments. He has served as an expert witness and testified about pollution sources causing nuisance and/or personal injury at sites and has testified as an expert witness on numerous cases involving exposure to soil, water and air contaminants from industrial, railroad, agricultural, and military sources.

## **Professional History:**

Soil Water Air Protection Enterprise (SWAPE); 2003 to present; Principal and Founding Partner  
UCLA School of Public Health; 2007 to 2011; Lecturer (Assistant Researcher)  
UCLA School of Public Health; 2003 to 2006; Adjunct Professor  
UCLA Environmental Science and Engineering Program; 2002-2004; Doctoral Intern Coordinator  
UCLA Institute of the Environment, 2001-2002; Research Associate  
Komex H<sub>2</sub>O Science, 2001 to 2003; Senior Remediation Scientist  
National Groundwater Association, 2002-2004; Lecturer  
San Diego State University, 1999-2001; Adjunct Professor  
Anteon Corp., San Diego, 2000-2001; Remediation Project Manager  
Ogden (now Amec), San Diego, 2000-2000; Remediation Project Manager  
Bechtel, San Diego, California, 1999 – 2000; Risk Assessor  
King County, Seattle, 1996 – 1999; Scientist  
James River Corp., Washington, 1995-96; Scientist  
Big Creek Lumber, Davenport, California, 1995; Scientist  
Plumas Corp., California and USFS, Tahoe 1993-1995; Scientist  
Peace Corps and World Wildlife Fund, St. Kitts, West Indies, 1991-1993; Scientist

## **Publications:**

**Rosenfeld P. E.**, Spaeth K., Hallman R., Bressler R., Smith, G., (2022) Cancer Risk and Diesel Exhaust Exposure Among Railroad Workers. *Water Air Soil Pollution*. **233**, 171.

Remy, L.L., Clay T., Byers, V., **Rosenfeld P. E.** (2019) Hospital, Health, and Community Burden After Oil Refinery Fires, Richmond, California 2007 and 2012. *Environmental Health*. 18:48

Simons, R.A., Seo, Y. **Rosenfeld, P.**, (2015) Modeling the Effect of Refinery Emission On Residential Property Value. *Journal of Real Estate Research*. 27(3):321-342

Chen, J. A, Zapata A. R., Sutherland A. J., Molmen, D.R., Chow, B. S., Wu, L. E., **Rosenfeld, P. E.**, Hesse, R. C., (2012) Sulfur Dioxide and Volatile Organic Compound Exposure To A Community In Texas City Texas Evaluated Using Aermol and Empirical Data. *American Journal of Environmental Science*, 8(6), 622-632.

**Rosenfeld, P.E.** & Feng, L. (2011). *The Risks of Hazardous Waste*. Amsterdam: Elsevier Publishing.

Cheremisinoff, N.P., & **Rosenfeld, P.E.** (2011). *Handbook of Pollution Prevention and Cleaner Production: Best Practices in the Agrochemical Industry*, Amsterdam: Elsevier Publishing.

Gonzalez, J., Feng, L., Sutherland, A., Waller, C., Sok, H., Hesse, R., **Rosenfeld, P.** (2010). PCBs and Dioxins/Furans in Attic Dust Collected Near Former PCB Production and Secondary Copper Facilities in Sauget, IL. *Procedia Environmental Sciences*. 113–125.

Feng, L., Wu, C., Tam, L., Sutherland, A.J., Clark, J.J., **Rosenfeld, P.E.** (2010). Dioxin and Furan Blood Lipid and Attic Dust Concentrations in Populations Living Near Four Wood Treatment Facilities in the United States. *Journal of Environmental Health*. 73(6), 34-46.

Cheremisinoff, N.P., & **Rosenfeld, P.E.** (2010). *Handbook of Pollution Prevention and Cleaner Production: Best Practices in the Wood and Paper Industries*. Amsterdam: Elsevier Publishing.

Cheremisinoff, N.P., & **Rosenfeld, P.E.** (2009). *Handbook of Pollution Prevention and Cleaner Production: Best Practices in the Petroleum Industry*. Amsterdam: Elsevier Publishing.

Wu, C., Tam, L., Clark, J., **Rosenfeld, P.** (2009). Dioxin and furan blood lipid concentrations in populations living near four wood treatment facilities in the United States. *WIT Transactions on Ecology and the Environment, Air Pollution*, 123 (17), 319-327.

Tam L. K., Wu C. D., Clark J. J. and **Rosenfeld, P.E.** (2008). A Statistical Analysis Of Attic Dust And Blood Lipid Concentrations Of Tetrachloro-p-Dibenzodioxin (TCDD) Toxicity Equivalency Quotients (TEQ) In Two Populations Near Wood Treatment Facilities. *Organohalogen Compounds*, 70, 002252-002255.

Tam L. K., Wu C. D., Clark J. J. and **Rosenfeld, P.E.** (2008). Methods For Collect Samples For Assessing Dioxins And Other Environmental Contaminants In Attic Dust: A Review. *Organohalogen Compounds*, 70, 000527-000530.

Hensley, A.R. A. Scott, J. J. J. Clark, **Rosenfeld, P.E.** (2007). Attic Dust and Human Blood Samples Collected near a Former Wood Treatment Facility. *Environmental Research*. 105, 194-197.

**Rosenfeld, P.E.**, J. J. J. Clark, A. R. Hensley, M. Suffet. (2007). The Use of an Odor Wheel Classification for Evaluation of Human Health Risk Criteria for Compost Facilities. *Water Science & Technology* 55(5), 345-357.

**Rosenfeld, P. E.**, M. Suffet. (2007). The Anatomy Of Odour Wheels For Odours Of Drinking Water, Wastewater, Compost And The Urban Environment. *Water Science & Technology* 55(5), 335-344.

Sullivan, P. J. Clark, J.J.J., Agardy, F. J., **Rosenfeld, P.E.** (2007). *Toxic Legacy, Synthetic Toxins in the Food, Water, and Air in American Cities*. Boston Massachusetts: Elsevier Publishing

**Rosenfeld, P.E.**, and Suffet I.H. (2004). Control of Compost Odor Using High Carbon Wood Ash. *Water Science and Technology*. 49(9),171-178.

**Rosenfeld P. E.**, J.J. Clark, I.H. (Mel) Suffet (2004). The Value of An Odor-Quality-Wheel Classification Scheme For The Urban Environment. *Water Environment Federation's Technical Exhibition and Conference (WEFTEC) 2004*. New Orleans, October 2-6, 2004.

**Rosenfeld, P.E.**, and Suffet, I.H. (2004). Understanding Odorants Associated With Compost, Biomass Facilities, and the Land Application of Biosolids. *Water Science and Technology*. 49(9), 193-199.

**Rosenfeld, P.E.**, and Suffet I.H. (2004). Control of Compost Odor Using High Carbon Wood Ash, *Water Science and Technology*, 49( 9), 171-178.

**Rosenfeld, P. E.**, Grey, M. A., Sellew, P. (2004). Measurement of Biosolids Odor and Odorant Emissions from Windrows, Static Pile and Biofilter. *Water Environment Research*. 76(4), 310-315.

**Rosenfeld, P.E.**, Grey, M and Suffet, M. (2002). Compost Demonstration Project, Sacramento California Using High-Carbon Wood Ash to Control Odor at a Green Materials Composting Facility. *Integrated Waste Management Board Public Affairs Office, Publications Clearinghouse (MS-6)*, Sacramento, CA Publication #442-02-008.

**Rosenfeld, P.E.**, and C.L. Henry. (2001). Characterization of odor emissions from three different biosolids. *Water Soil and Air Pollution*. 127(1-4), 173-191.

**Rosenfeld, P.E.**, and Henry C. L., (2000). Wood ash control of odor emissions from biosolids application. *Journal of Environmental Quality*. 29, 1662-1668.

**Rosenfeld, P.E.**, C.L. Henry and D. Bennett. (2001). Wastewater dewatering polymer affect on biosolids odor emissions and microbial activity. *Water Environment Research*. 73(4), 363-367.

**Rosenfeld, P.E.**, and C.L. Henry. (2001). Activated Carbon and Wood Ash Sorption of Wastewater, Compost, and Biosolids Odorants. *Water Environment Research*, 73, 388-393.

**Rosenfeld, P.E.**, and Henry C. L., (2001). High carbon wood ash effect on biosolids microbial activity and odor. *Water Environment Research*. 131(1-4), 247-262.

Chollack, T. and **P. Rosenfeld**. (1998). Compost Amendment Handbook For Landscaping. Prepared for and distributed by the City of Redmond, Washington State.

**Rosenfeld, P. E.** (1992). The Mount Liamuiga Crater Trail. *Heritage Magazine of St. Kitts*, 3(2).

**Rosenfeld, P. E.** (1993). High School Biogas Project to Prevent Deforestation On St. Kitts. *Biomass Users Network*, 7(1).

**Rosenfeld, P. E.** (1998). Characterization, Quantification, and Control of Odor Emissions From Biosolids Application To Forest Soil. Doctoral Thesis. University of Washington College of Forest Resources.

**Rosenfeld, P. E.** (1994). Potential Utilization of Small Diameter Trees on Sierra County Public Land. Masters thesis reprinted by the Sierra County Economic Council. Sierra County, California.

**Rosenfeld, P. E.** (1991). How to Build a Small Rural Anaerobic Digester & Uses Of Biogas In The First And Third World. Bachelors Thesis. University of California.

## **Presentations:**

**Rosenfeld, P.E.**, "The science for Perfluorinated Chemicals (PFAS): What makes remediation so hard?" Law Seminars International, (May 9-10, 2018) 800 Fifth Avenue, Suite 101 Seattle, WA.

**Rosenfeld, P.E.**, Sutherland, A; Hesse, R.; Zapata, A. (October 3-6, 2013). Air dispersion modeling of volatile organic emissions from multiple natural gas wells in Decatur, TX. *44th Western Regional Meeting, American Chemical Society*. Lecture conducted from Santa Clara, CA.

Sok, H.L.; Waller, C.C.; Feng, L.; Gonzalez, J.; Sutherland, A.J.; Wisdom-Stack, T.; Sahai, R.K.; Hesse, R.C.; **Rosenfeld, P.E.** (June 20-23, 2010). Atrazine: A Persistent Pesticide in Urban Drinking Water. *Urban Environmental Pollution*. Lecture conducted from Boston, MA.

Feng, L.; Gonzalez, J.; Sok, H.L.; Sutherland, A.J.; Waller, C.C.; Wisdom-Stack, T.; Sahai, R.K.; La, M.; Hesse, R.C.; **Rosenfeld, P.E.** (June 20-23, 2010). Bringing Environmental Justice to East St. Louis, Illinois. *Urban Environmental Pollution*. Lecture conducted from Boston, MA.

**Rosenfeld, P.E.** (April 19-23, 2009). Perfluorooctanoic Acid (PFOA) and Perfluorooctane Sulfonate (PFOS) Contamination in Drinking Water From the Use of Aqueous Film Forming Foams (AFFF) at Airports in the United States. *2009 Ground Water Summit and 2009 Ground Water Protection Council Spring Meeting*, Lecture conducted from Tuscon, AZ.

**Rosenfeld, P.E.** (April 19-23, 2009). Cost to Filter Atrazine Contamination from Drinking Water in the United States" Contamination in Drinking Water From the Use of Aqueous Film Forming Foams (AFFF) at Airports in the United States. *2009 Ground Water Summit and 2009 Ground Water Protection Council Spring Meeting*. Lecture conducted from Tuscon, AZ.

Wu, C., Tam, L., Clark, J., **Rosenfeld, P.** (20-22 July, 2009). Dioxin and furan blood lipid concentrations in populations living near four wood treatment facilities in the United States. Brebbia, C.A. and Popov, V., eds., *Air Pollution XVII: Proceedings of the Seventeenth International Conference on Modeling, Monitoring and Management of Air Pollution*. Lecture conducted from Tallinn, Estonia.

**Rosenfeld, P. E.** (October 15-18, 2007). Moss Point Community Exposure To Contaminants From A Releasing Facility. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Platform lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld, P. E.** (October 15-18, 2007). The Repeated Trespass of Tritium-Contaminated Water Into A Surrounding Community Form Repeated Waste Spills From A Nuclear Power Plant. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Platform lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld, P. E.** (October 15-18, 2007). Somerville Community Exposure To Contaminants From Wood Treatment Facility Emissions. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld P. E.** (March 2007). Production, Chemical Properties, Toxicology, & Treatment Case Studies of 1,2,3-Trichloropropane (TCP). *The Association for Environmental Health and Sciences (AEHS) Annual Meeting*. Lecture conducted from San Diego, CA.

**Rosenfeld P. E.** (March 2007). Blood and Attic Sampling for Dioxin/Furan, PAH, and Metal Exposure in Florida, Alabama. *The AEHS Annual Meeting*. Lecture conducted from San Diego, CA.

Hensley A.R., Scott, A., **Rosenfeld P.E.**, Clark, J.J.J. (August 21 – 25, 2006). Dioxin Containing Attic Dust And Human Blood Samples Collected Near A Former Wood Treatment Facility. *The 26th International Symposium on Halogenated Persistent Organic Pollutants – DIOXIN2006*. Lecture conducted from Radisson SAS Scandinavia Hotel in Oslo Norway.

Hensley A.R., Scott, A., **Rosenfeld P.E.**, Clark, J.J.J. (November 4-8, 2006). Dioxin Containing Attic Dust And Human Blood Samples Collected Near A Former Wood Treatment Facility. *APHA 134 Annual Meeting & Exposition*. Lecture conducted from Boston Massachusetts.

**Paul Rosenfeld Ph.D.** (October 24-25, 2005). Fate, Transport and Persistence of PFOA and Related Chemicals. Mealey's C8/PFOA. *Science, Risk & Litigation Conference*. Lecture conducted from The Rittenhouse Hotel, Philadelphia, PA.

**Paul Rosenfeld Ph.D.** (September 19, 2005). Brominated Flame Retardants in Groundwater: Pathways to Human Ingestion, *Toxicology and Remediation PEMA Emerging Contaminant Conference*. Lecture conducted from Hilton Hotel, Irvine California.

**Paul Rosenfeld Ph.D.** (September 19, 2005). Fate, Transport, Toxicity, And Persistence of 1,2,3-TCP. *PEMA Emerging Contaminant Conference*. Lecture conducted from Hilton Hotel in Irvine, California.

**Paul Rosenfeld Ph.D.** (September 26-27, 2005). Fate, Transport and Persistence of PDBEs. *Mealey's Groundwater Conference*. Lecture conducted from Ritz Carlton Hotel, Marina Del Ray, California.

**Paul Rosenfeld Ph.D.** (June 7-8, 2005). Fate, Transport and Persistence of PFOA and Related Chemicals. *International Society of Environmental Forensics: Focus On Emerging Contaminants*. Lecture conducted from Sheraton Oceanfront Hotel, Virginia Beach, Virginia.

**Paul Rosenfeld Ph.D.** (July 21-22, 2005). Fate Transport, Persistence and Toxicology of PFOA and Related Perfluorochemicals. *2005 National Groundwater Association Ground Water And Environmental Law Conference*. Lecture conducted from Wyndham Baltimore Inner Harbor, Baltimore Maryland.

**Paul Rosenfeld Ph.D.** (July 21-22, 2005). Brominated Flame Retardants in Groundwater: Pathways to Human Ingestion, Toxicology and Remediation. *2005 National Groundwater Association Ground Water and Environmental Law Conference*. Lecture conducted from Wyndham Baltimore Inner Harbor, Baltimore Maryland.

**Paul Rosenfeld, Ph.D.** and James Clark Ph.D. and Rob Hesse R.G. (May 5-6, 2004). Tert-butyl Alcohol Liability and Toxicology, A National Problem and Unquantified Liability. *National Groundwater Association. Environmental Law Conference*. Lecture conducted from Congress Plaza Hotel, Chicago Illinois.

**Paul Rosenfeld, Ph.D.** (March 2004). Perchlorate Toxicology. *Meeting of the American Groundwater Trust*. Lecture conducted from Phoenix Arizona.

Hagemann, M.F., **Paul Rosenfeld, Ph.D.** and Rob Hesse (2004). Perchlorate Contamination of the Colorado River. *Meeting of tribal representatives*. Lecture conducted from Parker, AZ.

**Paul Rosenfeld, Ph.D.** (April 7, 2004). A National Damage Assessment Model For PCE and Dry Cleaners. *Drycleaner Symposium. California Ground Water Association*. Lecture conducted from Radison Hotel, Sacramento, California.

**Rosenfeld, P. E.**, Grey, M., (June 2003) Two stage biofilter for biosolids composting odor control. *Seventh International In Situ And On Site Bioremediation Symposium Battelle Conference Orlando, FL*.

**Paul Rosenfeld, Ph.D.** and James Clark Ph.D. (February 20-21, 2003) Understanding Historical Use, Chemical Properties, Toxicity and Regulatory Guidance of 1,4 Dioxane. *National Groundwater Association. Southwest Focus Conference. Water Supply and Emerging Contaminants..* Lecture conducted from Hyatt Regency Phoenix Arizona.

**Paul Rosenfeld, Ph.D.** (February 6-7, 2003). Underground Storage Tank Litigation and Remediation. *California CUPA Forum*. Lecture conducted from Marriott Hotel, Anaheim California.

**Paul Rosenfeld, Ph.D.** (October 23, 2002) Underground Storage Tank Litigation and Remediation. *EPA Underground Storage Tank Roundtable*. Lecture conducted from Sacramento California.

**Rosenfeld, P.E.** and Suffet, M. (October 7- 10, 2002). Understanding Odor from Compost, *Wastewater and Industrial Processes. Sixth Annual Symposium On Off Flavors in the Aquatic Environment. International Water Association*. Lecture conducted from Barcelona Spain.

**Rosenfeld, P.E.** and Suffet, M. (October 7- 10, 2002). Using High Carbon Wood Ash to Control Compost Odor. *Sixth Annual Symposium On Off Flavors in the Aquatic Environment. International Water Association*. Lecture conducted from Barcelona Spain.

**Rosenfeld, P.E.** and Grey, M. A. (September 22-24, 2002). Biocycle Composting For Coastal Sage Restoration. *Northwest Biosolids Management Association*. Lecture conducted from Vancouver Washington..

**Rosenfeld, P.E.** and Grey, M. A. (November 11-14, 2002). Using High-Carbon Wood Ash to Control Odor at a Green Materials Composting Facility. *Soil Science Society Annual Conference*. Lecture conducted from Indianapolis, Maryland.

**Rosenfeld, P.E.** (September 16, 2000). Two stage biofilter for biosolids composting odor control. *Water Environment Federation*. Lecture conducted from Anaheim California.

**Rosenfeld, P.E.** (October 16, 2000). Wood ash and biofilter control of compost odor. *Biofest*. Lecture conducted from Ocean Shores, California.

**Rosenfeld, P.E.** (2000). Bioremediation Using Organic Soil Amendments. *California Resource Recovery Association*. Lecture conducted from Sacramento California.

**Rosenfeld, P.E.**, C.L. Henry, R. Harrison. (1998). Oat and Grass Seed Germination and Nitrogen and Sulfur Emissions Following Biosolids Incorporation With High-Carbon Wood-Ash. *Water Environment Federation 12th Annual Residuals and Biosolids Management Conference Proceedings*. Lecture conducted from Bellevue Washington.

**Rosenfeld, P.E.**, and C.L. Henry. (1999). An evaluation of ash incorporation with biosolids for odor reduction. *Soil Science Society of America*. Lecture conducted from Salt Lake City Utah.

**Rosenfeld, P.E.,** C.L. Henry, R. Harrison. (1998). Comparison of Microbial Activity and Odor Emissions from Three Different Biosolids Applied to Forest Soil. *Brown and Caldwell*. Lecture conducted from Seattle Washington.

**Rosenfeld, P.E.,** C.L. Henry. (1998). Characterization, Quantification, and Control of Odor Emissions from Biosolids Application To Forest Soil. *Biofest*. Lecture conducted from Lake Chelan, Washington.

**Rosenfeld, P.E.,** C.L. Henry, R. Harrison. (1998). Oat and Grass Seed Germination and Nitrogen and Sulfur Emissions Following Biosolids Incorporation With High-Carbon Wood-Ash. Water Environment Federation 12th Annual Residuals and Biosolids Management Conference Proceedings. Lecture conducted from Bellevue Washington.

**Rosenfeld, P.E.,** C.L. Henry, R. B. Harrison, and R. Dills. (1997). Comparison of Odor Emissions From Three Different Biosolids Applied to Forest Soil. *Soil Science Society of America*. Lecture conducted from Anaheim California.

## **Teaching Experience:**

UCLA Department of Environmental Health (Summer 2003 through 20010) Taught Environmental Health Science 100 to students, including undergrad, medical doctors, public health professionals and nurses. Course focused on the health effects of environmental contaminants.

National Ground Water Association, Successful Remediation Technologies. Custom Course in Sante Fe, New Mexico. May 21, 2002. Focused on fate and transport of fuel contaminants associated with underground storage tanks.

National Ground Water Association; Successful Remediation Technologies Course in Chicago Illinois. April 1, 2002. Focused on fate and transport of contaminants associated with Superfund and RCRA sites.

California Integrated Waste Management Board, April and May, 2001. Alternative Landfill Caps Seminar in San Diego, Ventura, and San Francisco. Focused on both prescriptive and innovative landfill cover design.

UCLA Department of Environmental Engineering, February 5, 2002. Seminar on Successful Remediation Technologies focusing on Groundwater Remediation.

University Of Washington, Soil Science Program, Teaching Assistant for several courses including: Soil Chemistry, Organic Soil Amendments, and Soil Stability.

U.C. Berkeley, Environmental Science Program Teaching Assistant for Environmental Science 10.

## **Academic Grants Awarded:**

California Integrated Waste Management Board. \$41,000 grant awarded to UCLA Institute of the Environment. Goal: To investigate effect of high carbon wood ash on volatile organic emissions from compost. 2001.

Synagro Technologies, Corona California: \$10,000 grant awarded to San Diego State University. Goal: investigate effect of biosolids for restoration and remediation of degraded coastal sage soils. 2000.

King County, Department of Research and Technology, Washington State. \$100,000 grant awarded to University of Washington: Goal: To investigate odor emissions from biosolids application and the effect of polymers and ash on VOC emissions. 1998.

Northwest Biosolids Management Association, Washington State. \$20,000 grant awarded to investigate effect of polymers and ash on VOC emissions from biosolids. 1997.

James River Corporation, Oregon: \$10,000 grant was awarded to investigate the success of genetically engineered Poplar trees with resistance to round-up. 1996.

United State Forest Service, Tahoe National Forest: \$15,000 grant was awarded to investigating fire ecology of the Tahoe National Forest. 1995.

Kellogg Foundation, Washington D.C. \$500 grant was awarded to construct a large anaerobic digester on St. Kitts in West Indies. 1993

## **Deposition and/or Trial Testimony:**

In the Superior Court of the State of California, County of San Bernardino  
Billy Wildrick, Plaintiff vs. BNSF Railway Company  
Case No. CIVDS1711810  
Rosenfeld Deposition 10-17-2022

In the State Court of Bibb County, State of Georgia  
Richard Hutcherson, Plaintiff vs Norfolk Southern Railway Company  
Case No. 10-SCCV-092007  
Rosenfeld Deposition 10-6-2022

In the Civil District Court of the Parish of Orleans, State of Louisiana  
Millard Clark, Plaintiff vs. Dixie Carriers, Inc. et al.  
Case No. 2020-03891  
Rosenfeld Deposition 9-15-2022

In The Circuit Court of Livingston County, State of Missouri, Circuit Civil Division  
Shirley Ralls, Plaintiff vs. Canadian Pacific Railway and Soo Line Railroad  
Case No. 18-LV-CC0020  
Rosenfeld Deposition 9-7-2022

In The Circuit Court of the 13th Judicial Circuit Court, Hillsborough County, Florida Civil Division  
Jonny C. Daniels, Plaintiff vs. CSX Transportation Inc.  
Case No. 20-CA-5502  
Rosenfeld Deposition 9-1-2022

In The Circuit Court of St. Louis County, State of Missouri  
Kieth Luke et. al. Plaintiff vs. Monsanto Company et. al.  
Case No. 19SL-CC03191  
Rosenfeld Deposition 8-25-2022

In The Circuit Court of the 13th Judicial Circuit Court, Hillsborough County, Florida Civil Division  
Jeffery S. Lamotte, Plaintiff vs. CSX Transportation Inc.  
Case No. NO. 20-CA-0049  
Rosenfeld Deposition 8-22-2022

In State of Minnesota District Court, County of St. Louis Sixth Judicial District  
Greg Bean, Plaintiff vs. Soo Line Railroad Company  
Case No. 69-DU-CV-21-760  
Rosenfeld Deposition 8-17-2022

In United States District Court Western District of Washington at Tacoma, Washington  
John D. Fitzgerald Plaintiff vs. BNSF  
Case No. 3:21-cv-05288-RJB  
Rosenfeld Deposition 8-11-2022

In Circuit Court of the Sixth Judicial Circuit, Macon Illinois  
Rocky Bennyhoff Plaintiff vs. Norfolk Southern  
Case No. 20-L-56  
Rosenfeld Deposition 8-3-2022

In Court of Common Pleas, Hamilton County Ohio  
Joe Briggins Plaintiff vs. CSX  
Case No. A2004464  
Rosenfeld Deposition 6-17-2022

In the Superior Court of the State of California, County of Kern  
George LaFazia vs. BNSF Railway Company.  
Case No. BCV-19-103087  
Rosenfeld Deposition 5-17-2022

In the Circuit Court of Cook County Illinois  
Bobby Earles vs. Penn Central et. al.  
Case No. 2020-L-000550  
Rosenfeld Deposition 4-16-2022

In United States District Court Easter District of Florida  
Albert Hartman Plaintiff vs. Illinois Central  
Case No. 2:20-cv-1633  
Rosenfeld Deposition 4-4-2022

In the Circuit Court of the 4<sup>th</sup> Judicial Circuit, in and For Duval County, Florida  
Barbara Steele vs. CSX Transportation  
Case No.16-219-Ca-008796  
Rosenfeld Deposition 3-15-2022

In United States District Court Easter District of New York  
Romano et al. vs. Northrup Grumman Corporation  
Case No. 16-cv-5760  
Rosenfeld Deposition 3-10-2022

In the Circuit Court of Cook County Illinois  
Linda Benjamin vs. Illinois Central  
Case No. No. 2019 L 007599  
Rosenfeld Deposition 1-26-2022

In the Circuit Court of Cook County Illinois  
Donald Smith vs. Illinois Central  
Case No. No. 2019 L 003426  
Rosenfeld Deposition 1-24-2022

In the Circuit Court of Cook County Illinois  
Jan Holeman vs. BNSF  
Case No. 2019 L 000675  
Rosenfeld Deposition 1-18-2022

In the State Court of Bibb County State of Georgia  
Dwayne B. Garrett vs. Norfolk Southern  
Case No. 20-SCCV-091232  
Rosenfeld Deposition 11-10-2021

In the Circuit Court of Cook County Illinois  
Joseph Ruepke vs. BNSF  
Case No. 2019 L 007730  
Rosenfeld Deposition 11-5-2021

In the United States District Court For the District of Nebraska  
Steven Gillett vs. BNSF  
Case No. 4:20-cv-03120  
Rosenfeld Deposition 10-28-2021

In the Montana Thirteenth District Court of Yellowstone County  
James Eadus vs. Soo Line Railroad and BNSF  
Case No. DV 19-1056  
Rosenfeld Deposition 10-21-2021

In the Circuit Court Of The Twentieth Judicial Circuit, St Clair County, Illinois  
Martha Custer et al.cvs. Cerro Flow Products, Inc.  
Case No. 0i9-L-2295  
Rosenfeld Deposition 5-14-2021  
Trial October 8-4-2021

In the Circuit Court of Cook County Illinois  
Joseph Rafferty vs. Consolidated Rail Corporation and National Railroad Passenger Corporation d/b/a  
AMTRAK,  
Case No. 18-L-6845  
Rosenfeld Deposition 6-28-2021

In the United States District Court For the Northern District of Illinois  
Theresa Romcoe vs. Northeast Illinois Regional Commuter Railroad Corporation d/b/a METRA Rail  
Case No. 17-cv-8517  
Rosenfeld Deposition 5-25-2021

In the Superior Court of the State of Arizona In and For the Cunty of Maricopa  
Mary Tryon et al. vs. The City of Pheonix v. Cox Cactus Farm, L.L.C., Utah Shelter Systems, Inc.  
Case No. CV20127-094749  
Rosenfeld Deposition 5-7-2021

In the United States District Court for the Eastern District of Texas Beaumont Division  
Robinson, Jeremy et al vs. CNA Insurance Company et al.  
Case No. 1:17-cv-000508  
Rosenfeld Deposition 3-25-2021

In the Superior Court of the State of California, County of San Bernardino  
Gary Garner, Personal Representative for the Estate of Melvin Garner vs. BNSF Railway Company.  
Case No. 1720288  
Rosenfeld Deposition 2-23-2021

In the Superior Court of the State of California, County of Los Angeles, Spring Street Courthouse  
Benny M Rodriguez vs. Union Pacific Railroad, A Corporation, et al.  
Case No. 18STCV01162  
Rosenfeld Deposition 12-23-2020

In the Circuit Court of Jackson County, Missouri  
Karen Cornwell, Plaintiff, vs. Marathon Petroleum, LP, Defendant.  
Case No. 1716-CV10006  
Rosenfeld Deposition 8-30-2019

In the United States District Court For The District of New Jersey  
Duarte et al, Plaintiffs, vs. United States Metals Refining Company et. al. Defendant.  
Case No. 2:17-cv-01624-ES-SCM  
Rosenfeld Deposition 6-7-2019

In the United States District Court of Southern District of Texas Galveston Division  
M/T Carla Maersk vs. Conti 168., Schiffahrts-GMBH & Co. Bulker KG MS “Conti Perdido” Defendant.  
Case No. 3:15-CV-00106 consolidated with 3:15-CV-00237  
Rosenfeld Deposition 5-9-2019

In The Superior Court of the State of California In And For The County Of Los Angeles – Santa Monica  
Carole-Taddeo-Bates et al., vs. Ifran Khan et al., Defendants  
Case No. BC615636  
Rosenfeld Deposition 1-26-2019

In The Superior Court of the State of California In And For The County Of Los Angeles – Santa Monica  
The San Gabriel Valley Council of Governments et al. vs El Adobe Apts. Inc. et al., Defendants  
Case No. BC646857  
Rosenfeld Deposition 10-6-2018; Trial 3-7-19

In United States District Court For The District of Colorado  
Bells et al. Plaintiffs vs. The 3M Company et al., Defendants  
Case No. 1:16-cv-02531-RBJ  
Rosenfeld Deposition 3-15-2018 and 4-3-2018

In The District Court Of Regan County, Texas, 112<sup>th</sup> Judicial District  
Phillip Bales et al., Plaintiff vs. Dow Agrosiences, LLC, et al., Defendants  
Cause No. 1923  
Rosenfeld Deposition 11-17-2017

In The Superior Court of the State of California In And For The County Of Contra Costa  
Simons et al., Plaintiffs vs. Chevron Corporation, et al., Defendants  
Cause No. C12-01481  
Rosenfeld Deposition 11-20-2017

In The Circuit Court Of The Twentieth Judicial Circuit, St Clair County, Illinois  
Martha Custer et al., Plaintiff vs. Cerro Flow Products, Inc., Defendants  
Case No.: No. 0i9-L-2295  
Rosenfeld Deposition 8-23-2017

In United States District Court For The Southern District of Mississippi  
Guy Manuel vs. The BP Exploration et al., Defendants  
Case No. 1:19-cv-00315-RHW  
Rosenfeld Deposition 4-22-2020

In The Superior Court of the State of California, For The County of Los Angeles  
Warrn Gilbert and Penny Gilbert, Plaintiff vs. BMW of North America LLC  
Case No. LC102019 (c/w BC582154)  
Rosenfeld Deposition 8-16-2017, Trail 8-28-2018

In the Northern District Court of Mississippi, Greenville Division  
Brenda J. Cooper, et al., Plaintiffs, vs. Meritor Inc., et al., Defendants  
Case No. 4:16-cv-52-DMB-JVM  
Rosenfeld Deposition July 2017

In The Superior Court of the State of Washington, County of Snohomish  
Michael Davis and Julie Davis et al., Plaintiff vs. Cedar Grove Composting Inc., Defendants  
Case No. 13-2-03987-5  
Rosenfeld Deposition, February 2017  
Trial March 2017

In The Superior Court of the State of California, County of Alameda  
Charles Spain., Plaintiff vs. Thermo Fisher Scientific, et al., Defendants  
Case No. RG14711115  
Rosenfeld Deposition September 2015

In The Iowa District Court In And For Poweshiek County  
Russell D. Winburn, et al., Plaintiffs vs. Doug Hoksbergen, et al., Defendants  
Case No. LALA002187  
Rosenfeld Deposition August 2015

In The Circuit Court of Ohio County, West Virginia  
Robert Andrews, et al. v. Antero, et al.  
Civil Action No. 14-C-30000  
Rosenfeld Deposition June 2015

In The Iowa District Court for Muscatine County  
Laurie Freeman et. al. Plaintiffs vs. Grain Processing Corporation, Defendant  
Case No. 4980  
Rosenfeld Deposition May 2015

In the Circuit Court of the 17<sup>th</sup> Judicial Circuit, in and For Broward County, Florida  
Walter Hinton, et. al. Plaintiff, vs. City of Fort Lauderdale, Florida, a Municipality, Defendant.  
Case No. CACE07030358 (26)  
Rosenfeld Deposition December 2014

In the County Court of Dallas County Texas  
Lisa Parr et al, Plaintiff, vs. Aruba et al, Defendant.  
Case No. cc-11-01650-E  
Rosenfeld Deposition: March and September 2013  
Rosenfeld Trial April 2014

In the Court of Common Pleas of Tuscarawas County Ohio  
John Michael Abicht, et al., Plaintiffs, vs. Republic Services, Inc., et al., Defendants  
Case No. 2008 CT 10 0741 (Cons. w/ 2009 CV 10 0987)  
Rosenfeld Deposition October 2012

In the United States District Court for the Middle District of Alabama, Northern Division  
James K. Benefield, et al., Plaintiffs, vs. International Paper Company, Defendant.  
Civil Action No. 2:09-cv-232-WHA-TFM  
Rosenfeld Deposition July 2010, June 2011

In the Circuit Court of Jefferson County Alabama  
Jaeonette Moss Anthony, et al., Plaintiffs, vs. Drummond Company Inc., et al., Defendants  
Civil Action No. CV 2008-2076  
Rosenfeld Deposition September 2010

In the United States District Court, Western District Lafayette Division  
Ackle et al., Plaintiffs, vs. Citgo Petroleum Corporation, et al., Defendants.  
Case No. 2:07CV1052  
Rosenfeld Deposition July 2009

# TECHNICAL MEMORANDUM

**To:** Andrew Gonzales, City of Placentia  
**From:** William Halligan, Esq., Harris & Associates  
**Subject:** Response to Comments from Victoria Yundt, Lozeau Drury LLP on behalf of Supporters Alliance for Environmental Responsibility (“SAFER”)  
**Date:** August 16, 2024

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Per your request, we have prepared the following responses to comments from Victoria Yundt, Lozeau Drury LLP on behalf of Supporters Alliance for Environmental Responsibility (“SAFER”) received on July 8, 2024 after the close of the public review period for the Mitigated Negative Declaration for the Orangethorpe/Placentia Mixed Use Project (Proposed Project).

## Responses

- LD-1 The comments have been submitted on behalf of Supporters’ Alliance for Environmental Responsibility (SAFER) and its purported members “living and working in and around” the City of Placentia (the City). However, it is not clear if any SAFER members actually live in the City, as no evidence was provided that actual members live in the City or that they work in the City. An introductory statement and information were provided asserting that an Environmental Impact Report (EIR) should be prepared without the inclusion of substantial evidence to support a fair argument that an EIR should be prepared. Individual responses to comments from SAFER are provided below.
- LD-2 Comment noted, although the comment references a 7-level parking structure when only six levels are proposed within the Proposed Project.
- LD-3 This section of the comment letter provides legal cases in support of preparing an EIR where substantial evidence shows that a project may result in significant adverse impacts. The Proposed Project’s MND/IS was prepared in accordance with CEQA, including the CEQA Guidelines. As identified in responses to comments below, the IS/MND adequately analyzes the potentially significant environmental effects of the project with substantial evidence and provides feasible mitigation measures to reduce and avoid potentially significant environmental impacts. No significant and unavoidable impact would occur and preparation of an IS/MND is appropriate. The IS/MND includes description of the Proposed Project site’s existing environmental setting in page 1, Section 1.2, Environmental Setting, and the impacts of the Proposed Project have been measured against the real conditions on the ground. No substantial evidence of a fair argument has been provided to indicate that the Proposed Project was measured against hypothetical permitted levels.
- LD-4 The commenter maintains that the IS/MND analysis of air quality impacts is not supported by substantial evidence, but the commenter’s claims are themselves not supported by substantial evidence. Contrary to the commenter’s claims about inconsistency between the air quality modeling and analysis within the IS/MND, Appendix A of the IS/MND documents the inputs for the construction phase lengths and acres to be graded. The construction phases documented in Appendix A are

consistent with the construction schedule outlined in Section 2.4.4.b of the IS/MND. The inputs are based on the project-specific construction schedule provided by the Project Applicant and Project Architect. The default values that were changed in the model were justified in the CalEEMod worksheets. The CalEEMod User's Guide expressly calls for use of project-specific data when available, as they are more accurate than the default inputs based on general data collected across California. The default phase length of ten working days was determined to be too long for the Proposed Project because of the small size of the site and was reduced based on discussion with the Project Applicant and Project Architect to reflect a more realistic schedule for the Proposed Project. Similarly, the entire 2.72 acre site was assumed to be disturbed during both site preparation and grading (see Pages 6 and 7 of 36 in Appendix A). The total site area was determined to be representative of the total grading area and does reflect multiple passes of areas to be disturbed during the six days estimated for site preparation and grading. As a result, the construction emissions modeling in Appendix A accurately reflects the project-related emissions for construction. SWAPE incorrectly relied on CalEEMod defaults rather than actual project construction data to falsely increase the ROG emissions to 150.4 pounds per day. It should also be noted that SWAPE provides emissions for reactive organic gases (ROG), while the MND provides the emissions for volatile organic compounds (VOCs). The EPA and South Coast Air Quality Management District (South Coast AQMD) now define regulated organic compounds as VOCs rather than ROG, consistent with the CalEEMod Model.

LD-5 The Commenter asserts that use of the localized significance thresholds (LSTs) to determine the health risk impacts on nearby sensitive receptors is incorrect, but does not provide substantial evidence to support a fair argument that there is a significant impact on nearby sensitive receptors. As documented in the Initial Study, use of LSTs to correlate the cancer and non-cancer risks from project-related construction diesel particulate matter (DPM) has been clearly identified as the preferred methodology by staff at the South Coast Air Quality Management District (South Coast AQMD) since the 2015 Office of Environmental Health Hazards Assessment (OEHHA) guidelines were adopted. The commenter does not provide any evidence to support why there is any legal deficiency with the South Coast AQMD preferred methodology used here. The City follows the guidance of the South Coast Air Quality Management District (SCAQMD), which does not recommend analysis of toxic air contaminants (TACs), such as DPM, from short-term construction activities.

According to SCAQMD methodology, health effects from DPM are based on continuous exposure over a 70-year lifetime. Given the short-term construction schedule of approximately 14 months, the Project would not result in a long-term source of TAC emissions. Therefore, a HRA for construction emissions is not warranted.

The commenter claims that an HRA assessing the combined TAC impacts from Project construction and operation should be prepared taking into account age sensitivity factors from the Office of Environmental Health Hazard Assessment (OEHHA) Air Toxics Hot Spots Program Guidance Manual for the Preparation of Risk Assessments (Guidance Manual). OEHHA developed the Guidance Manual in conjunction with CARB for use in implementing the Air Toxics "Hot Spots" Program (Health and Safety Code Section 44360 et. seq.). The Air Toxics "Hot Spots" Program requires stationary sources to report the types and quantities of certain substances routinely released into the air. The goals of the Air Toxics "Hot Spots" Act are to collect emission data, to identify facilities having localized impacts, to ascertain health risks, to notify nearby residents of significant risks, and to reduce those significant risks to acceptable levels.

The Guidance Manual provides recommendations related to cancer risk evaluation of certain short-term projects. As discussed in Section 8.2.10 of the Guidance Manual, "The local air pollution control districts sometimes use the risk assessment guidelines for the Hot Spots program in permitting decisions for

short-term projects such as construction or waste site remediation.” Short-term projects that would require a permitting decision by South Coast Air Quality Management District (SCAQMD) typically would be limited to site remediation (e.g., stationary soil vapor extractors) and would not be applicable to the proposed Project. The new Guidance Manual does not provide specific recommendations for evaluation of short-term use of mobile sources (e.g., heavy-duty diesel construction equipment).

Additionally, comments presented to the SCAQMD Governing Board (Meeting Date: June 5, 2015, Agenda No. 28), relating to toxic air contaminant exposures under Rules 1401, 1401.1, 1402 and 212 revisions, specifically addressed the use of the OEHHA guidelines for projects subject to CEQA:

The Proposed Amended Rules are separate from the CEQA significance thresholds. The Response to Comments Staff Report PAR 1401, 1401.1, 1402, and 212 A - 8 June 2015 SCAQMD staff is currently evaluating how to implement the Revised OEHHA Guidelines under CEQA. The SCAQMD staff will evaluate a variety of options on how to evaluate health risks under the Revised OEHHA Guidelines under CEQA. The SCAQMD staff will conduct public workshops to gather input before bringing recommendations to the Governing Board. In the interim, staff will continue to use the previous guidelines for CEQA determinations.

To date, the SCAQMD, as a commenting agency, has not conducted public workshops nor developed policy relating to the application of age sensitivity factors utilizing OEHHA guidance for projects prepared by other public/lead agencies subject to CEQA.

SCAQMD recommends that HRAs be conducted only for substantial sources of DPM, such as truck stops and warehouse distribution facilities that generate more than 100 trucks per day or more than 40 trucks with operating transport refrigeration units. Based on this guidance, a HRA is not required as the residential mixed-use project would not generate substantial amounts of DPM during operation, as discussed below.

As shown on Table 4 on page 54 of the IS/MND, the construction emission rates would not exceed the LSTs for the existing residences in the area surrounding the Proposed Project site. Therefore, impacts would be less than significant.

Additionally, the proposed residential project is not the type of land use which would generate substantial quantities of toxic air contaminants such as DPM during project operation (such as industrial projects). The Project does not include any land uses that are a typical source of TACs according to CARB screening distance guidelines.<sup>1</sup> Consistent with the South Coast AQMD guidelines, residential projects do not warrant a full health risk assessment to substantiate less than significant health risk impacts in this regard.

Additionally, CARB recommends avoiding siting sensitive receptors close to land uses that generate more than 100 truck trips per day, assuming long term operation of the new use.<sup>2</sup> The Proposed Project is anticipated to generate a maximum of 94 heavy truck trips per day for only four days during grading, and 54 trucks per day or less for the remainder of the 14-month construction period. As such, the Project would not be expected to generate exhaust emissions from truck trips that would require a HRA.

Regarding the health risk calculation provided in Appendix B to the comment letter, the calculated emissions rates are overestimated for the Proposed Project site and therefore do not accurately represent actual pollutant exposure because of the Proposed Project. For example, the total of 83 pounds of exhaust emissions calculated for the Project includes all mobile emissions from Project operation. Only a small amount of these emissions would occur on the Project site. As such, assuming all

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<sup>1</sup> California Air Resources Board. 2005. Air Quality and Land Use Handbook: A Community Health Perspective. April.

<sup>2</sup> California Air Resources Board. 2005. Air Quality and Land Use Handbook: A Community Health Perspective. April.

mobile emissions would occur in the 2.72 acre Project site for 30 years overestimates individual receptor exposure and does not accurately represent impacts that would occur as result of Project implementation. As such, substantial evidence does not support a fair argument of a significant impact.

- LD-6 The emissions analysis in Appendix A of the IS/MND is based on modeling conducted using the California Emissions Estimator Model (CalEEMod), Version 2020.4.0. This model is released by the California Air Pollution Officer's Association (CAPCOA) and is widely accepted by air districts throughout California to use for estimate project-level land use development project's criteria air pollutant and GHG emissions impacts under CEQA. The assumptions and limitations of the model are documented in the User's Guide.<sup>3</sup> As such, the use of the the GHG modeling is supported by substantial evidence.

The GHG impact evaluation provides a quantitative evaluation of the Proposed Project GHG emissions impacts under GHG Threshold (a) and a qualitative analysis of consistency of the Proposed Project with plans adopted for the purpose of reducing GHG emissions. As such, the IS/MND does not utilize existing regulations as a means to justify less than significant GHG emissions impacts. The significance conclusion under GHG Threshold (a) is based on whether the Proposed Project generates a substantial increase in GHG emissions compared to the CEQA baseline and the City has chosen to use the threshold identified in the IS/MND as the threshold of significance for this impact. To this end, a lead agency "has substantial discretion in determining the appropriate threshold of significance to evaluate the severity of a particular impact," and the agency's choice of threshold will be upheld if it is "founded on substantial evidence." (*Mission Bay Alliance v. Office of Community Investment & Infrastructure (2016) 6 Cal.App.5th 160, 206; Jensen v. City of Santa Rosa (2018) 23 Cal.App.5th 877, 885; East Sacramento Partnerships For A Livable City v. City of Sacramento (2016) 5 Cal.App.5th 281, 300; Save Cuyama Valley v. County of Santa Barbara (2013) 213 Cal.App.4th 1059, 1068; Citizens for Responsible Equitable Development v. City of Chula Vista (2011) 197 Cal.App.4th 327, 333.*) As identified under GHG Threshold (a) the Proposed Project would not exceed the South Coast AQMD Working Group's brightline emissions threshold. The referenced SCAQMD 2035 target in Appendix B to the comment letter was discussed at the September 28, 2010 Stakeholder Working Group meeting. However, the revised target was not adopted by the SCAQMD Governing Board, and the City has no obligation to utilize a non-adopted threshold suggested by the commenter. In the IS/MND, the City chose to utilize a threshold where the Project is evaluated against the most recent threshold adopted by the Governing Board. Additionally, as discussed in Section 2.4.9.a, the adopted screening level threshold of 3,000 MT CO<sub>2</sub>e and efficiency target of 4.8 MT CO<sub>2</sub>e/year/service population were conservatively scaled to 2,520 MT CO<sub>2</sub>e and 4.0 MT CO<sub>2</sub>e/year/service population to reflect more stringent statewide emissions reduction targets. As such, substantial evidence supports the threshold of significance that the IS/MND uses for evaluating whether the Proposed Project would generate a substantial increase in GHG emissions.

The impact analysis under GHG Threshold (b) is limited to whether or not the Proposed Project would conflict with plans that have been adopted for the purpose of reducing emissions. It should be noted that a CEQA impact would only occur if inconsistency with a plan would result in environmental impacts. As identified under GHG Threshold (b) the Proposed Project would not result in significant impacts in this regard.

- LD-7 The commenter speculates about the types of indoor building materials that would be used during construction. There is no substantial evidence that the Proposed Project will involve use of materials that contain formaldehyde in levels that pose a risk to human health. Additionally, the Proposed Project would comply with the California Green Building Standards Code (CALGreen), which requires that all composite wood products used on the interior of a building "shall meet the requirements for

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<sup>3</sup> California Air Pollution Control Officer's Association (CAPCOA). 2017, November 8. CalEEMod User's Guide. <http://www.caleemod.com/>

formaldehyde as specified in California Air Resources Board (CARB) Air Toxics Control Measure (ATCM) for Composite Wood (17 California Code of Regulations Section 93120 et seq.).” CALGreen, established mandatory planning and design standards for reducing internal air contaminants for formaldehyde under CALGreen Section 5.504.4.5, Composite wood products, for non-residential structures. Materials must meet the specified emission limits for formaldehyde, as shown in Table 5.504.4.5 of CALGreen. As stated in the CEQA Guidelines Section 15126.4, compliance with a regulatory permit or other similar process may be identified as mitigation if compliance would result in implementation of measures that would be reasonably expected, based on substantial evidence in the record, to reduce the significant impact to the specified performance standards.

In summary, without substantial evidence that building materials that will be used in project construction will emit formaldehyde gas in levels that will exceed the State’s emission limits, the commenter’s assertion that future project employees and residents of the Proposed Project could be at risk for carcinogens constitutes speculation, and not a fair argument.

Additionally, the IS/MND evaluates compatibility of the project for the potential of the Proposed Project to result in physical impacts to the environment. Pursuant to *California Building Industry Association v. Bay Area Air Quality Management District* (2015) 62 Cal.4th 369 (Case No. S213478), impacts of the environment on the Proposed Project are not CEQA impacts. As identified in Section 2.4.4, Air Quality, the Proposed Project would not result in a substantial increase in concentrations of air pollutants as the Proposed Project does not generate a substantial number of trucks or stationary sources of emissions onsite. The commenter does not provide any substantial evidence that the Proposed Project would exacerbate existing environmental conditions with respect to formaldehyde emissions. Consequently, the Proposed Project would not exacerbate existing environmental hazards.

LD-8 As discussed in above LD-1 through LD-7, all impacts have been reduced to a less than significant, and preparation and circulation of an EIR is not necessary. Comments will be forwarded to the City’s decision makers for consideration prior to approval of the Proposed Project.

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**Andrew Gonzales**

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**From:** Gilad Ganish <gilad@blackwood.com>  
**Sent:** Friday, August 16, 2024 11:48 AM  
**To:** Andrew Gonzales  
**Cc:** Gilad Ganish  
**Subject:** Orangethorpe Economic Analysis  
**Attachments:** FIA Placentia - Orangethorpe Report 8.16.24.pdf; Orangthorpe.Placentia\_Letter\_Peer Review.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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Hi Andrew-

We hired RSG (<https://rsgsolutions.com/>) to do an economic analysis and also look at the Stover analysis.

Gilad

Gilad Ganish  
Blackwood Real Estate  
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AUG 19 2024  
PLANNING



August 14, 2024

**Via Electronic Mail**  
gilad@blackwood.com

Gilad Ganish, Partner  
Orangethorpe Investment Partners, LLC  
c/o Blackwood Real Estate  
2881 East La Cresta Avenue  
Anaheim, CA 92806

**RSG FISCAL & ECONOMIC IMPACT REPORT AND JON STOVER & ASSOCIATES  
DEVELOPMENT ANALYSIS COMPARISON**

Dear Mr. Ganish:

RSG, Inc. ("RSG") has prepared this letter to assist the Blackwood, LLC with comparing the Development Impact Analysis conducted by the City's consultant Jon Stover & Associates ("City Consultant") to the Fiscal and Economic Impact Report prepared by RSG on behalf of Blackwood, LLC. The two reports analyze various potential development options and their associated fiscal impacts for the 777 W. Orangethorpe Avenue project site ("project").

For context, the project entails the redevelopment of a shuttered car dealership on a 2.72-acre parcel with a mixed-use project consisting of 248 multifamily units, a 335-space parking structure, and a limited amount of ground floor commercial and resident serving amenities.

**Report Summaries**

The Development Impact Analysis prepared by the City Consultant evaluates three proposed development scenarios for the project that include development of the site as either (a) residential; (b) a hotel; or (c) a car dealership. This report focuses on the financial impacts of the three scenarios including comparing the revenue streams from various taxes (sales, transient occupancy, and property), and fees (building permit, plan check, and development impact fees (traffic, sewer, etc.)). The report also reviews impacts on job creation, salary and wages, construction, and stabilized operations under each scenario. Overall, this report emphasizes the economic contributions and accompanying implications of each scenario on the local economy with special attention to employment opportunities, revenue generation and the fiscal impacts over a 15-year timeframe.

The Fiscal and Economic Impact Report conducted by RSG considers the implications for the development of the project site as mixed-use residential consisting of studios, 1-2-bedroom units, on-site amenities, open-space, parking spaces/garage, and retail space. The report pays special attention to the fiscal impacts associated with the mixed-used development that include revenues from multiple tax sources (property, utility, sales & transaction, and property tax in-lieu of motor vehicle fee) and business

license fees. The report also projects the net-new revenues culminating from the proposed mixed-used development during construction and upon stabilization over a 28-year timeframe. In sum, this report highlights the project’s potential to support local businesses, generate substantial tax revenues and offset costs for municipal services.

**Report Findings**

Because both reports evaluated residential development, this letter compares the findings and conclusions by the City Consultant and RSG. The City Consultant identified a total annual revenue impact of \$188,097 to the City, compared to a conclusion of \$473,866 concluded by RSG, which is more than 2.5x greater than the City Consultant’s conclusion. From the limited information in the City Consultant’s report, we could not see why they omitted certain project related impacts.

The City Consultant also estimated annual general fund expenditures by the City, while the RSG study did not make such estimates. Their estimate amounted to an annual impact of \$246,435. Without providing commentary on this amount of expenditure, we do note that it still is substantially exceeded by the total annual revenues to the City as estimated by RSG, so we conclude that the project would actually remain fiscally beneficial even after taking into account the costs of services as estimated by the City Consultant report.

See the summary below comparing the conclusion between the two studies:

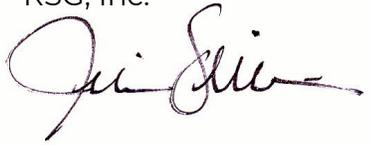
<b>Annual Project Estimates</b>	<b>City Consultant</b>	<b>RSG</b>	<b>Difference</b>
<u>Revenues</u>			
Property Taxes	\$ 158,955	\$ 162,052	+3,097
Property Tax in Lieu of VLF	0	87,952	+87,952
EIFD Taxes	0	112,303	+ 112,303
Sales Tax (Bradley Burns)	13,957	27,963	+14,006
Measure U	15,186	27,963	+12,777
Business License Fees	0	1,884	+1,884
Utility Users Tax	0	53,749	+53,749
<b>Total Revenue</b>	<b>188,097</b>	<b>473,865</b>	<b>285,768</b>
Expenditures	(246,435)	(246,435)	0
<b>Net Fiscal Impact</b>	<b>(\$ 58,338)</b>	<b>\$ 227,430</b>	<b>\$ 285,768</b>

Finally, the City Consultant separately estimated \$1,236,879 of one-time revenues from the project, including development impact fees, fees to other agencies, and charges for entitlements and permits; RSG did not study one-time impacts.

Gilad Ganish, Partner  
Orangethorpe Investment Partners, LLC  
August 14, 2024  
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Please let me know if you have any questions or need further help.

Sincerely,  
RSG, Inc.

A handwritten signature in black ink, appearing to read "Jim Simon", is written over a light yellow rectangular background.

Jim Simon  
President/Principal

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# Orangethorpe Avenue Mixed Use Fiscal & Economic Impact Report

Placentia, California

August 2024

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# INTRODUCTION

RSG, Inc. (“RSG”) is providing this Fiscal and Economic Impact Report (“Report”) analyzing a proposal for a mixed-use development project located at 777 West Orangethorpe Avenue (“Project”) within the City of Placentia, California. The proposed Project is being developed by Orangethorpe Investment Partners LLC (“Developer”) who have been working closely with the City of Placentia (“City”) on the design of the Project and is currently under contract for the acquisition for redevelopment of the former auto dealership located at the Project site.

RSG’s scope of work analyzes the fiscal and economic impacts of the Project for the duration of the Project’s construction beginning summer 2025 and ending summer 2027, plus twenty-five years after completion. This Report intends to demonstrate whether the Project, once built, will help support existing local businesses and generate tax revenue for the City.

## RSG QUALIFICATIONS

RSG provides a range of fiscal services to help government agencies become more effective with the resources they use to serve communities. We offer fiscal impact analyses, assistance in securing financing, annexation and incorporation studies, municipal service reviews, and community engagement services.

Our fiscal impact studies aim to provide clarity and insight to staff and decision-makers, helping under-resourced communities gain access to the resources needed for sustainability and quality of life. We prepare municipal service reviews and sphere of influence updates, and evaluate reorganization, annexation, or incorporation proposals, providing independent analysis and recommendations.

RSG has prepared dozens of fiscal impact studies for projects throughout California, including the following projects in Southern California within the past 10 years:

- Toll Bros Multifamily (Orange Co.)
  - Dana Point Multifamily Project (Completed 2022)
  - Santa Ana 4th & Main Mixed Use Project (Completed 2019)
- City of Jurupa Valley (Riverside Co.)
  - Rio Vista Specific Plan (Scheduled 2024 Completion) ^
  - Rubidoux Commerce Park (Completed 2023) ^
  - The District Specific Plan (Completed 2023) ^
  - ^ Included community benefits analysis
- Vineyards Development / Santa Ana (Orange Co.)
  - Bowery (Santa Ana) Multifamily Project (Completed 2020)

- 2525 Main Multifamily (Santa Ana) Project (Completed 2019)
- Dyer Road / Heritage (Santa Ana) Multifamily Project (Completed 2015)
- The Concord Group
  - El Segundo Residential Development Fiscal Analysis (Completed 2023)
  - Santa Monica BI (Beverly Hills) Office Project Fiscal Impact Analysis (Completed 2021)
  - Medical Main Street (Lancaster) Mixed Use Master Plan (Completed 2021)
  - 4th & Cabrillo (Santa Ana) Mixed Use Project (Completed 2020)
  - 4th & Mortimer (Santa Ana) Mixed Use Project (Completed 2020)
  - 651 Sunflower / Legacy (Santa Ana) Multifamily Project (Completed 2019)
  - Ridgeline (San Bernardino) Retail Project (Completed 2015)

## EXECUTIVE SUMMARY

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Based on the Project description, assumptions, and methodology outlined herein, RSG projected the following impacts:

- **Approximately \$473,850 in annual net new revenue to the City once the project is fully built and stabilized in FY 2028-29.** These revenues include the following:
  - Property tax revenues of approximately \$274,350. This includes the City General Fund, Library District, Street Lighting District, and Placentia Enhanced Infrastructure Financing District (“EIFD”) tax increment revenue.
  - Property tax in-lieu of motor vehicle license fee revenues of approximately \$87,950.
  - Business license fees of approximately \$1,900.
  - Statutory sales taxes of approximately \$27,950, plus an additional \$27,950 from the City’s Measure U 2018 ballot initiative.
  - Utility taxes collected on communications, electricity, and gas usage of \$53,750.

Over the 27-year forecast period, the Project is projected to generate **total cumulative revenues of \$15.8 million** (\$7.9 million in 2024 dollars)<sup>1</sup>. The forecast includes assumed inflation rates based on industry standards.

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<sup>1</sup> The analysis uses a 5 percent discount rate based on the recent municipal debt rates.

- Employment projections for the entire Orange County region show **about 25 permanent jobs** from the ongoing operation of the retail space and residential units coupled with **1,198 temporary construction jobs** during the development of the project.

Table 1 below provides a summary of the 27-year cumulative revenue forecast and net present value by revenue type:

**Table 1 Fiscal Impact Projection Summary: Construction Period + 25 Year Recurring Tax Forecast**

	Property Taxes			Property Tax In-Lieu of VLF	Business License Fees	Sales and Transaction Taxes		Utility Tax	Total Tax Revenues
	General Fund	Library and Lighting	EIFD			Statutory	Measure U		
<b>Annual Revenue (2028-29)</b>	\$ 80,392	\$ 81,659	\$ 112,303	\$ 87,952	\$ 1,884	\$ 27,963	\$ 27,963	\$ 53,749	\$ 473,866
<b>27-year Cumulative Total</b>	<b>2,653,458</b>	<b>2,695,268</b>	<b>3,706,711</b>	<b>2,896,290</b>	<b>55,297</b>	<b>1,024,831</b>	<b>1,024,831</b>	<b>1,735,705</b>	<b>15,792,392</b>
<b>Net Present Value*</b>	<b>\$ 1,320,892</b>	<b>\$ 1,341,706</b>	<b>\$ 1,845,203</b>	<b>\$ 1,443,065</b>	<b>\$ 29,380</b>	<b>\$ 513,329</b>	<b>\$ 513,329</b>	<b>\$ 890,156</b>	<b>\$ 7,897,060</b>

\*Net Present Value assumes 2024 dollars at a 5% discount rate

## PROJECT DESCRIPTION

The Project, located at 777 West Orangethorpe Avenue in Placentia, California, is approximately 2.72 acres in size and consists of a closed auto dealership and paved lot. The Property is presently vacant and generates little fiscal benefit to the City. The Developer anticipates a 24-month buildout of the Project beginning in summer of 2025, which has been factored into the projections within this Report.

According to the Developer’s submittal set<sup>2</sup>, the Project site would be redeveloped primarily as multi-family residential and will include 248 units consisting of studios, 1- and 2-bedroom units as well as 6,400 square feet of on-site amenities<sup>3</sup>. It would also include designated retail space, open space, and up to 335 resident and guest parking spaces within a 6-tiered above ground parking garage.

Table 2 below summarizes the proposed Project at build out.

<sup>2</sup> Dated May 22, 2024.

<sup>3</sup> On site amenities would include a clubhouse, pool deck, co-working space, and a fitness center.

**Table 2: Project Summary**

	<b>Square Footage</b>	<b>Residential Units</b>	<b>Parking Spaces</b>
<b>Residential</b>			
Studio	24,685	44	
1 Bedroom	95,546	136	
2 Bedroom	72,336	68	
<b>Total</b>	<b>192,567</b>	<b>248</b>	
<b>Amenities</b>			
Leasing/ Lobby	1,481		
Club	1,444		
Fitness	1,571		
Co-Work	874		
Mail	1,046		
<b>Total</b>	<b>6,416</b>		
<b>Commercial</b>			
Retail	<b>2,703</b>		
<b>Parking</b>			
Parking Structure	<b>132,017</b>		335
<b>Total</b>	<b>333,703</b>	<b>248</b>	<b>335</b>

Source: Architectural Set 5/22/24

# FISCAL IMPACT ANALYSIS

RSG estimates that the Project would provide financial benefits to the City in the form of new site-specific tax revenues generated from the Project on a recurring basis, less any revenue already generated from the site.

## METHODOLOGY AND ASSUMPTIONS

In this Fiscal Impact Analysis, RSG projected the total revenues derived from the improvements, resident activity in the community, and the business operations on the Site.

Annual net new tax revenues are the estimated recurring site-specific taxes and one-time fees generated by the proposed development less the costs of providing municipal services to the new development. Total revenues are calculated as the amount generated by the Project at the end of the 27-year period, which consists of a 2-year construction period and 25 years of operation.

RSG anticipates that the City may realize material increases in the following impacts:

- Property Tax
- Property Tax In-Lieu of Motor Vehicle License Fees
- Business License Fees
- Sales and Transaction Taxes
- Utility Taxes

## FISCAL IMPACT SUMMARY

The net new tax revenue presented in the forecast begins with the 2-year construction period which spans three fiscal years, from FY 2025-26 through FY 2027-28. This is followed by a 25-year operating forecast from FY 2028-29 through FY 2052-53. In the first year of stabilization, once the Project is fully built and leased, the estimated net new revenues generated by the project are estimated to be \$473,850. Over the 27-year projection period the total cumulative new revenues will be \$15.8 million (\$7.9 million in 2024 dollars at a 5 percent discount rate). RSG's implied discount rate is based on our analysis of recent municipal debt costs to provide a reasonable proxy for discounting tax revenues.

Table 3 provides a summary by revenue source of the net new revenues to the City over the 2-year construction period and the 25-year projection period. The analysis incorporates current market conditions and assumptions, as provided by the Developer. Should the scope of the project, schedule, or market conditions change, the fiscal impacts projected in this Report may be different.

**Table 3 Construction Period + 25-Year Recurring Tax Forecast**

Year	Property Taxes			Property Tax In-Lieu of VLF	Business License Fees	Sales and Transaction Taxes <sup>4</sup>		Utility Tax	Total Tax Revenues	
	General Fund	Library and LLMD	EIFD			Bradley Burns (City)	Measure U			
Remediation	2024-25									
CY1	2025-26									
CY2	2026-27	\$ 7,911	\$ 8,036	\$ 11,051	\$ 8,795				\$ 35,794	
CY3	2027-28	63,324	64,322	88,460	70,362	\$ 1,286	\$ 5,319	\$ 5,319	\$ 8,777	307,168
<b>1</b>	<b>2028-29</b>	<b>80,392</b>	<b>81,659</b>	<b>112,303</b>	<b>87,952</b>	<b>1,884</b>	<b>27,963</b>	<b>27,963</b>	<b>53,749</b>	<b>473,866</b>
2	2029-30	82,021	83,313	114,578	89,711	1,902	28,802	28,802	54,835	483,964
3	2030-31	83,682	85,000	116,898	91,505	1,921	29,666	29,666	55,942	494,281
4	2031-32	85,376	86,721	119,265	93,336	1,940	30,556	30,556	57,072	504,822
5	2032-33	87,104	88,477	121,679	95,202	1,960	31,473	31,473	58,226	515,593
6	2033-34	88,867	90,267	124,141	97,106	1,980	32,417	32,417	59,403	526,598
7	2034-35	90,665	92,093	126,653	99,048	2,001	33,389	33,389	60,604	537,843
8	2035-36	92,499	93,956	129,215	101,029	2,022	34,391	34,391	61,830	549,333
9	2036-37	94,369	95,856	131,828	103,050	2,045	35,423	35,423	63,081	561,074
10	2037-38	96,277	97,794	134,493	105,111	2,068	36,485	36,485	64,357	573,070
11	2038-39	98,223	99,771	137,211	107,213	2,091	37,580	37,580	65,660	585,330
12	2039-40	100,208	101,787	139,984	109,357	2,116	38,707	38,707	66,990	597,858
13	2040-41	102,233	103,844	142,813	111,545	2,141	39,869	39,869	68,347	610,659
14	2041-42	104,298	105,942	145,698	113,775	2,167	41,065	41,065	69,732	623,741
15	2042-43	106,405	108,081	148,640	116,051	2,193	42,297	42,297	71,146	637,109
16	2043-44	108,553	110,264	151,642	118,372	2,220	43,566	43,566	72,589	650,771
17	2044-45	110,745	112,490	154,704	120,739	2,249	44,872	44,872	74,061	664,733
18	2045-46	112,980	114,761	157,826	123,154	2,278	46,219	46,219	75,564	679,001
19	2046-47	115,261	117,077	161,012	125,617	2,308	47,605	47,605	77,099	693,583
20	2047-48	117,586	119,439	164,261	128,130	2,339	49,033	49,033	78,665	708,486
21	2048-49	119,959	121,849	167,575	130,692	2,370	50,504	50,504	80,263	723,716
22	2049-50	122,378	124,307	170,955	133,306	2,403	52,020	52,020	81,895	739,283
23	2050-51	124,846	126,814	174,403	135,972	2,437	53,580	53,580	83,561	755,192
24	2051-52	127,364	129,371	177,919	138,692	2,471	55,187	55,187	85,261	771,453
25	2052-53	129,932	131,979	181,506	141,465	2,507	56,843	56,843	86,997	788,073
<b>Grand Total<sup>2</sup></b>		<b>\$ 2,653,458</b>	<b>\$ 2,695,268</b>	<b>\$ 3,706,711</b>	<b>\$ 2,896,290</b>	<b>\$ 55,297</b>	<b>\$ 1,024,831</b>	<b>\$ 1,024,831</b>	<b>\$ 1,735,705</b>	<b>\$ 15,792,392</b>
<b>NPV</b>	<b>5.0%</b>	<b>\$ 1,320,892</b>	<b>\$ 1,341,706</b>	<b>\$ 1,845,203</b>	<b>\$ 1,443,065</b>	<b>\$ 29,380</b>	<b>\$ 513,329</b>	<b>\$ 513,329</b>	<b>\$ 890,156</b>	<b>\$ 7,897,060</b>
<i>Inflation Rate<sup>3</sup></i>		<i>2%</i>	<i>2%</i>	<i>2%</i>	<i>2%</i>	<i>3%</i>	<i>3%</i>	<i>3%</i>	<i>4.81%</i>	

<sup>1</sup>Summary of the first 25 years after construction has been completed following the close of Construction Year 3, in Summer 2027.

<sup>2</sup>Grand Total represents the total revenues produced in the 3-year construction period and the 25 years afterward.

<sup>3</sup>Inflation rate projected at 2% for property related revenues. Sales and business related revenues increase at 3% the average rate of increase over the past 5 years as determined by the Bureau of Labor Statistics for the Los Angeles/ Orange County area.

<sup>4</sup>Sales and Transaction Taxes for the City (Bradley Burns) + Measure U (2018), are assumed for 2027-28 following issuance of the final certificate of occupancy.

# RECURRING REVENUES

## PROPERTY TAX

The City receives a portion of ad valorem property taxes to pay for the cost of providing municipal services for General Fund expenses, Library District operations, and maintenance of street lighting. According to the Orange County Auditor-Controller, the City’s General Fund share of the FY 2023-24 property taxes within the Project’s tax area is approximately 13.40 percent of the one percent property tax levy. The City also collects property taxes to pay for costs associated with the Placentia Library District and Street Lighting District amounting to approximately 3.04 percent and 3.76 percent of the one percent levy, respectively.

RSG’s forecast of property taxes is based on the anticipated amount of construction that may be completed by the January 1 lien date. RSG’s projections do not include any potential Supplemental Roll assessments during the construction period which may increase the amount of property taxes captured during construction.

### Placentia EIFD

Separately, the City benefits from growth in property taxes to fund the EIFD created in partnership with the County of Orange to fund capital projects and economic development within specified subareas throughout the City. In 2019, the City established the EIFD, which gives a maximum of 50 percent of the City General Fund and 50 percent of the County General Fund’s property tax share to infrastructure improvements within specific non-contiguous regions in south Placentia.

Therefore, of the City’s 13.40 percent tax share, one-half - or 6.70 percent - is allocated to the EIFD, while the remaining 6.70 percent stays in the City’s General Fund. The EIFD also receives 46 percent of the 5.79 percent Orange County General Fund property tax share, which amounts to approximately 2.66 percent. The total share of property taxes collected by the EIFD is 9.36 percent. In total, the City and its subordinate districts collect around 22.87 percent of the one percent property tax levy across all property tax revenues.

### Total Property Taxes to Placentia

Table 4 below summarizes the property tax shares of each of the tax fund revenue areas.

<b>City of Placentia - General Fund</b>	<b>6.70%</b>
13.40% less 50% EIFD allocation	
<b>Lighting District</b>	<b>3.04%</b>
<b>Library District</b>	<b>3.76%</b>
<b>EIFD</b>	<b>9.36%</b>
50% of City General Fund (13.40%)	6.70%
46% of County General Fund (5.79%)	2.66%
<b>Total</b>	<b>22.86%</b>

*Source: Orange County Auditor Controller, City of Placentia  
 EIFD Infrastructure Financing Plan*

RSG used an assumed construction cost of \$475,000 per unit, or \$117,800,000 total based on RSG’s experience of current costs for this type of construction. Construction is projected to begin in Summer 2025 with the final certificate of occupancy issued in late 2027.

The City is not expected to receive any net new property taxes until 2026-27 given the added value of the first construction year (2025) is reassessed on the following fiscal year’s tax roll. Based on the existing assessed value of the property and assumed development costs and schedule, the City is expected to generate approximately \$27,000 in new tax revenues in FY 2026-27<sup>4</sup>. This amount includes \$7,911 in City General Fund dollars, \$8,036 for the Library and Lighting Districts, and \$11,051 for EIFD allocations. In FY 2028-29 (year 1 after Project completion), the City is expected to generate approximately \$274,350 in new property tax revenues, based on the full added value of the completed Project. Assuming property taxes will increase at a rate of two percent each year after completion and no resale occurs, the total property tax revenues allocated to the City would be approximately **\$9.1 million** over the construction and 25-year projection period, or \$4.5 million in 2024 dollars.

Property tax revenues are presented in Table 5. For more detailed projections, see Appendix 1.

**Table 5: Property Tax Revenue**

Current Property Valuation	\$ 1,475,507
Proposed Development Cost	117,800,000
<b>Net New Value</b>	<b>\$ 116,324,493</b>
City General Fund Property Tax Rate (less EIFD)	6.70%
Proposed Tax Revenue Year 1	80,392
Subsidiary Dist. Tax Rate (Library and Lighting)	6.80%
Proposed Tax Revenue Year 1	81,659
EIFD Tax Rate	9.36%
Proposed Tax Revenue Year 1	112,303
<b>Annual Net New Revenue Year 1 (2028-29)</b>	<b>\$ 274,355</b>
<b>Cumulative Net New Revenue (2024-2053)</b>	<b>\$ 9,055,437</b>
<b>Cumulative Net New Revenue, 2024 Dollars</b>	<b>\$ 4,507,801</b>

*Source: Orange County Auditor Controller, Orange County Assessor, RSG Inc*

**PROPERTY TAX IN-LIEU OF MOTOR VEHICLE LICENSES FEES**

Established in 1935, the Motor Vehicle License Fee (“VLF”) is an annual tax on vehicle ownership. The State of California (“State”) collects VLF annually once vehicles are registered, and the revenues historically have been distributed to cities and counties based on a statutory formula.

During the State’s budget crisis in 2004, about 90 percent of each city’s VLF revenue was replaced with property tax revenue, and cities began to receive an allocation of property tax from the Educational Revenue Augmentation Fund (“ERAF”). The ERAF allocations are generally equal to what each incorporated city would have received previously under the VLF allocation formula.

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<sup>4</sup> The estimated property taxes are based on the Developer’s total construction budget.

Under current law, the property tax in-lieu of VLF revenue increases based on assessed value growth within an agency’s jurisdiction. For this fiscal impact analysis, the estimated net new revenues are based on changes in the assessed value created by the Project.

Considering the Project would increase the assessed value of the City, the City General Fund will experience a corresponding increase in PTIL revenues once the Project is developed. To estimate the additional amount of PTIL revenue, RSG utilized the total estimated development cost as a proxy for the Project’s assessed value under the assumption that the Orange County Assessor would reassess the Site based on development cost, which is estimated to be \$117.8 million.

The current assessed value of the site from the Orange County Assessor is \$1.5 million, and when multiplied by the City’s PTIL, amounts to \$1,102 of PTIL revenue generated from the site. The Project is expected to add approximately \$8,800 in net new PTIL in FY 2026-27 once construction is completed and reassessed on the tax roll in 2025. Following this trend, the net new PTIL in FY 2028-29 would be approximately \$87,950 based on the total estimated Project development cost. Assuming a 2 percent inflation rate of property taxes, the Project would generate approximately **\$2.9 million** in cumulative net new property tax in-lieu of VLF revenues, or \$1.4 million in 2024 dollars as depicted in Table 6.

<b>Table 6: Motor Vehicle License In-Lieu Revenue</b>	
Current Property Valuation	\$ 1,475,507
Proposed Development Cost	117,800,000
<b>Net New Value</b>	<b>\$ 116,324,493</b>
Current Property Tax In-Lieu of VLF (2023-24)	6,706,892
<b>Annual Net New Revenue Year 1 (2028-29)</b>	<b>\$ 87,952</b>
<b>Cumulative Net New Revenue (2024-2053)</b>	<b>\$ 2,896,290</b>
<b>Cumulative Net New Revenue, 2024 Dollars</b>	<b>\$ 1,443,065</b>

*Sources: Orange County Auditor Controller, CaliforniaCityFinance.com, RSG Inc*

**SALES AND TRANSACTION TAXES**

The generation of sales and transaction tax revenue is expected for the City due to the construction of additional retail square footage and anticipated spending by new residents residing in the proposed 248 residential units. This section describes the methodology and assumptions for both sources of taxable commercial activity.

From taxable sales transactions, the City receives one (1) percent of gross sales through the Bradley Burns Sales Tax and one percent coming from the City’s Measure U (2018) initiative.<sup>5</sup>

Measure U establishes a separate Transactions and Use Tax in addition to the existing Bradley Burns tax rate. Transactions and Use Taxes are taxes levied on the gross receipts of any retailer in a city. These taxes can only be imposed through a voter approved ballot initiative set up by the governing board of the City. Section 3.32.101 of the Placentia Municipal Code states that “there shall be levied and collected a transaction and use tax at a rate of one percent.” Per the Ordinance, the Measure U Tax shall continue without a sunset date, unless terminated by the voters. In state law, the name “Transactions and Use Tax” is used to differentiate between the Bradley Burns levies for the city, county, and state, called a “Sales and Use Tax,” and one passed by the voters of the city or district.

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<sup>5</sup> Local sales tax rate is 8.75% and there are no sunset dates for Measure U.

- **Project-Based Retail Activity:** The Project includes 2,703 square feet of retail space, which is expected to generate sales and transaction tax revenues for the City’s General Fund. Based on RSG's experience with similar mix-use projects regarding the volume of taxable sales for various retail functions, RSG utilized an estimate of \$350 of sales per square foot in 2024 which is estimated to increase at a rate of 3 percent per year. This assumption is subject to change once the developer knows who the tenant will be and their corresponding retail activity. Based on these assumptions, RSG estimates the Project’s commercial tenant(s) would generate approximately \$532,394 of taxable sales in FY 2027-28. This amount is discounted by 50 percent to account for a ramp-up period of the retail operations. Once the retail space is fully operational in FY 2028-29, their gross sales are expected to be \$1.1 million.
  
- **Resident Consumer Spending:** The City is expected to gain added sales and transaction tax revenue due to new consumer spending from the completion of the 248 new residential units. Realistically, not all Project residents may choose to make their taxable goods purchases at stores in Placentia, so RSG estimates the percentage of new consumer spending to occur within the City. Utilizing data produced from CoStar on the percentage of existing retail and commercial square footage within a 10-minute drive time radius from the Project, the analysis assumes approximately 18 percent of the transactions from the new households created by the Project will remain in Placentia. RSG’s calculations also account for a gradual lease up period beginning in FY 2027-28 upon Project completion. In that first year of leasing, the project is assumed to reach 30 percent capacity, with full occupancy, less a 5 percent vacancy rate by FY 2028-29. Based on these assumptions, RSG estimates that new residents may generate approximately \$1.7 million of taxable sales within Placentia once max occupancy (95 percent units leased) is achieved in FY 2028-29.

Combining the Project-based and consumer-based taxable sales activity assumptions, the annual sales and transaction tax revenues are projected to be approximately **\$55,900** in FY 28-29 once the Project is fully stabilized. This consists of \$27,950 from the Bradley Burns Sales and Use Tax and \$27,950 from the Measure U Transaction and Use Tax. Over the 27-year forecast period, the retail and residential spending sales are estimated to generate a cumulative total new tax revenues of \$1 million each for the Bradley Burns and Measure U taxes (\$513,300 in 2024 dollars each).

Table 7 below summarizes the total sales and transaction tax revenues.

**Table 7: Sales & Transaction Tax Revenues**

<b>Annual Sales Receipts Generated in Placentia Year 1 (2028-29)</b>	<b>\$</b>	<b>2,796,305</b>
Cumulative Retail Sales		1,096,731
Cumulative Residential Sales		1,699,574
Bradley Burns Tax	1.00%	27,963
Measure U (2018)	1.00%	27,963
<b>Annual Net New Revenue Year 1 (2028-29)</b>	<b>\$</b>	<b>55,926</b>
<b>Cumulative Net New Revenue (2024-2053)*</b>	<b>\$</b>	<b>2,049,662</b>
<b>Cumulative Net New Revenue, 2024 Dollars*</b>	<b>\$</b>	<b>1,026,659</b>

Source: ESRI Business Analyst, RSG Inc.

\*Bradley Burns and Measure U combined

**BUSINESS LICENSE FEE**

The City imposes an annual business license fee on all retail and rental property businesses within Placentia.

- For rental properties over three units, there is a fee of \$33 for the first four units plus \$5 for each additional unit, per year. With 248 units total, the property will contribute \$1,253 in rental property license fees per year once the project is built.
- The City also charges a minimum fee of \$33 for the first year for all new businesses opening within the City. For each year after opening, businesses must pay \$33 plus \$.55 cents per \$1,000 of gross receipts in excess of \$10,000.

To calculate the retail business license fees, RSG utilized an estimate of \$350 in sales per square foot generated in 2024 which is estimated to increase at a rate of 3 percent per year. Based on the assumed total sales per retail square foot, RSG estimates the retail component of the Project will generate \$631 in retail business license fees in FY 2028-29 once the retail space is fully operational. As shown in Table 8 below, RSG estimates the Project can generate about \$55,300 in cumulative business license fees over 28 years (\$29,400 in 2024 dollars). Once the commercial tenant is identified and operational, actual taxable sales may be higher or lower.

<b>Table 8: Business License Fees</b>	
<b>Rental Property License Fee:<sup>1</sup></b>	
Total number of units	248
Annual Rental Property License Fees	\$ 1,253
<b>Retail Business License Fee:<sup>2</sup></b>	
Retail square feet	2,703
Assumed sales per retail square foot (FY 2023-24)	\$ 350
Annual Business License Fees Opening Year (FY 2027-28)	\$ 33
Annual Business License Fees Year 1 (FY 2028-29)	\$ 631
<b>Cumulative Net New Revenue (2024-2053)</b>	<b>\$ 55,297</b>
<b>Cumulative Net New Revenue, 2024 Dollars</b>	<b>\$ 29,380</b>

<sup>1</sup>Rental Property License Fee Formula: (\$33 first 4 units)+(\$5 x additional unit)  
<sup>2</sup>Business License Fee Formula: \$33 for the first year then \$33 plus \$.55 cents per \$1,000 gross receipts in excess of \$10,000  
 Sources: Placentia Municipal Code

**UTILITY USER TAX**

Per section 3.28.020-040 of the City’s municipal code, the City assesses a utility user tax of 3.5 percent on communication services, electricity, and gas usage within Placentia. Similar to the Measure U transaction and use tax, the utility user taxes shall remain as is unless otherwise amended by voters.

Residential utility costs were estimated per household with data from ESRI Business Analyst’s House and Home Expenditure Report for 2023. Residential utility expenditures were assumed to be: \$210 per month for communication services, \$213 for electricity, and \$65 for gas. This amounts to \$5,854 annually in 2023 and reflects an assumed 2 percent annual inflation rate. RSG also assumed 30 percent

occupancy in the first year of lease for FY 2027-28, with full occupancy, less a 5 percent vacancy rate, achieved in FY 28-29.

To account for the 2,703 square feet of retail space, RSG used US Energy Information Administration (“EIA”) estimates to extrapolate commercial utility expenses. Retail establishments in the western region average around \$1.51 per square foot in energy expenses while restaurants average \$4.62 per square foot. Since the nature of the retail tenant is unknown, RSG used an average of these two amounts for an expense of \$3.07 per square foot. RSG also used the percent change in Consumer Price Index (“CPI”) for all utilities in the Los Angeles region over the last 10 years, to determine the appropriate inflation rate to use for the 27-year projection. The calculated inflation rate is 4.81%.

Based on these assumptions, RSG estimates utility user tax revenues generated by the residential and commercial portions of the Project will be \$53,750 annually at stabilization. This equates to \$1.7 million in taxes over the full forecast period (\$890,150 in 2024 dollars).

Table 9 below details the Utility User Tax at buildout.

<b>Table 9: Utility User Tax Revenue</b>	
Energy Expenditures per Household (2023)	\$ 5,854
Households (95% occupancy)	236
<b>Annual Residential Energy Expenses</b>	<b>\$ 1,379,096</b>
Energy Expenditure per Retail Sq Ft	\$ 3.07
Retail Sq Ft	2,703
<b>Annual Retail Energy Expenses</b>	<b>\$ 8,285</b>
City Tax Rate	3.5%
<b>Annual Net New Revenue Year 1 (2028-29)</b>	<b>\$ 53,749</b>
<b>Cumulative Net New Revenue (2024-2053)</b>	<b>\$ 1,735,705</b>
<b>Cumulative Net New Revenue, 2024 Dollars</b>	<b>\$ 890,156</b>

*Source: US Energy Information Administration, RSG, Inc., ESRI BAO*

## ECONOMIC IMPACT ANALYSIS

### METHODOLOGY

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In this Economic Impact Analysis, RSG utilized the economic impact software IMPLAN to estimate the total direct, indirect, and induced economic impacts (jobs and economic output) that will result from the proposed Project development.

IMPLAN is an input-output analysis modeling software that measures the relationship between a given set of demands for final goods and services and the inputs needed to satisfy those demands based on specific industry data and economic trends for the local region. Different activities generate different amounts of employment or economic value and similarly have varying indirect and induced impacts on the larger regional economy. IMPLAN can be used to measure the varying impacts from both temporary activities, such as construction, and ongoing operations that will be generated by the new businesses located in the Project. RSG analyzed these temporary and permanent impacts using the most recent data year available (2022) for Orange County, adjusted for 2024 dollars.

IMPLAN breaks down the resulting economic impacts into three categories: direct, indirect, and induced.

- Direct Effects: Direct effects that occur on the project site resulting from development costs and operational sales revenue.
- Indirect Effects: Changes in sales, jobs, and/or income within the businesses that supply goods and services to the Project. Indirect effects do not occur directly on the project-site but are an indirect effect on surrounding or related businesses.
- Induced Effects: Regional changes resulting from additional spending earned either directly or indirectly from the Project.

For example, if a retail clothing store is being built, IMPLAN will determine how many direct temporary construction jobs will be needed to build the store, based on the total construction budget. IMPLAN will also project the number of indirect jobs generated from any expenditures on goods and services by a developer during construction such as building materials. Finally, IMPLAN tabulates any new employment created through the increased expenditures on goods and services by the direct and indirect employees generated by the Project as induced jobs.

Full-Time Equivalency (“FTE”) employment is used in economic impact projections to determine how many full-time employees would be derived from a total headcount of full and part-time workers. This is done by taking the total anticipated workable hours and dividing that into the number of FTE employees. It is more informative to use FTE as it relays the employment impacts by aggregate hours worked rather than by individuals working.

IMPLAN also provides the resulting labor income, increases to economic output from new jobs, and spending caused by the Project.

### ANALYSIS

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IMPLAN’s analysis of temporary construction impacts is based on the assumed Project development cost of \$117.8 million. Whereas permanent impacts from the annual operation of the apartment and retail

developments are based on the estimated operating income from those Project components. Table 10 presents the major economic impact findings.

- **Aggregate Construction Period Employment:** During the 2-year construction period beginning FY 2025-26 and ending FY 2027-28, the Project is estimated to generate **875** direct jobs, **66** indirect (business-to-business) jobs, and **257** induced (consumer spending) jobs.
- **Aggregate Construction Period Economic Impact:** Including the direct investment of \$117,800,000 million in project costs as well additional indirect and induced economic activity generated due to the Project’s construction, the total economic impact of the construction of the Project is estimated to be \$182.9 million over the two-year period.
- **Annual Permanent Employment:** Based on the estimated operating income generated by the retail and residential components, IMPLAN estimates the Project would produce **18** permanent direct jobs, **3** indirect jobs, and **4** induced jobs.<sup>6</sup>
- **Annual Permanent Economic Impact:** Based on the economic activity, including jobs and business and consumer spending, the Project is estimated to create an annual economic impact of \$9 million in Orange County.

**Table 10: Employment and Economic Outputs: Construction and Permanent Impacts**

<b>Construction Impacts</b>	<b>Direct</b>	<b>Indirect</b>	<b>Induced</b>	<b>Total</b>
Employment	875	66	257	1,198
Economic Output	\$ 117,800,000	\$ 14,776,426	\$ 50,290,450	\$ 182,866,877
<b>Permanent Impacts</b>	<b>Direct</b>	<b>Indirect</b>	<b>Induced</b>	<b>Total</b>
New Employment	18	3	4	25
Economic Output	\$ 7,609,500	\$ 715,165	\$ 712,983	\$ 9,037,648

Sources: IMPLAN, US Census Bureau, U.S. Business Reporter, RSG Inc.

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<sup>6</sup>It is worth noting that IMPLAN returns all jobs created in the County not just those that will result in the City.

**Appendix 1: Property Taxes**

Assessed Value Forecast						Property Tax Forecast				
Fiscal Year		Existing Valuation <sup>2</sup>	New Construction <sup>3</sup>	Total	Incremental Value	Total Property Tax 1%	City General Fund <sup>4</sup> 6.70%	Library and Lighting 6.80%	Placentia EIFD 9.36%	Total City Property Taxes
<i>Current</i>	2023-24	\$ 1,475,507		\$ 1,475,507						
Remediation	2024-25	1,505,017		1,505,017						
CY 1 <sup>1</sup>	2025-26	1,535,117		1,535,117						
CY 2	2026-27	1,565,820	\$ 11,780,000	13,345,820	\$ 11,810,702	\$ 118,107	\$ 7,911	\$ 8,036	\$ 11,051	\$ 26,998
CY 3	2027-28	13,612,736	82,460,000	96,072,736	94,537,619	945,376	63,324	64,322	88,460	216,106
1	2028-29	97,994,191	23,560,000	121,554,191	120,019,073	1,200,191	80,392	81,659	112,303	274,355
2	2029-30	123,985,275		123,985,275	122,450,157	1,224,502	82,021	83,313	114,578	279,912
3	2030-31	126,464,980		126,464,980	124,929,863	1,249,299	83,682	85,000	116,898	285,580
4	2031-32	128,994,280		128,994,280	127,459,162	1,274,592	85,376	86,721	119,265	291,362
5	2032-33	131,574,165		131,574,165	130,039,048	1,300,390	87,104	88,477	121,679	297,260
6	2033-34	134,205,649		134,205,649	132,670,531	1,326,705	88,867	90,267	124,141	303,275
7	2034-35	136,889,762		136,889,762	135,354,644	1,353,546	90,665	92,093	126,653	309,411
8	2035-36	139,627,557		139,627,557	138,092,440	1,380,924	92,499	93,956	129,215	315,669
9	2036-37	142,420,108		142,420,108	140,884,991	1,408,850	94,369	95,856	131,828	322,053
10	2037-38	145,268,510		145,268,510	143,733,393	1,437,334	96,277	97,794	134,493	328,564
11	2038-39	148,173,880		148,173,880	146,638,763	1,466,388	98,223	99,771	137,211	335,205
12	2039-40	151,137,358		151,137,358	149,602,241	1,496,022	100,208	101,787	139,984	341,980
13	2040-41	154,160,105		154,160,105	152,624,988	1,526,250	102,233	103,844	142,813	348,889
14	2041-42	157,243,307		157,243,307	155,708,190	1,557,082	104,298	105,942	145,698	355,937
15	2042-43	160,388,174		160,388,174	158,853,056	1,588,531	106,405	108,081	148,640	363,126
16	2043-44	163,595,937		163,595,937	162,060,820	1,620,608	108,553	110,264	151,642	370,459
17	2044-45	166,867,856		166,867,856	165,332,738	1,653,327	110,745	112,490	154,704	377,938
18	2045-46	170,205,213		170,205,213	168,670,095	1,686,701	112,980	114,761	157,826	385,567
19	2046-47	173,609,317		173,609,317	172,074,200	1,720,742	115,261	117,077	161,012	393,349
20	2047-48	177,081,503		177,081,503	175,546,386	1,755,464	117,586	119,439	164,261	401,286
21	2048-49	180,623,134		180,623,134	179,088,016	1,790,880	119,959	121,849	167,575	409,382
22	2049-50	184,235,596		184,235,596	182,700,479	1,827,005	122,378	124,307	170,955	417,640
23	2050-51	187,920,308		187,920,308	186,385,191	1,863,852	124,846	126,814	174,403	426,063
24	2051-52	191,678,714		191,678,714	190,143,597	1,901,436	127,364	129,371	177,919	434,654
25	2052-53	195,512,289		195,512,289	193,977,171	1,939,772	129,932	131,979	181,506	443,417
<b>Total</b>			<b>\$ 117,800,000</b>			<b>\$ 39,613,876</b>	<b>\$ 2,653,458</b>	<b>\$ 2,695,268</b>	<b>\$ 3,706,711</b>	<b>\$ 9,055,437</b>
<b>NPV</b>	<b>5.0%</b>					<b>\$ 19,719,805</b>	<b>\$ 1,320,892</b>	<b>\$ 1,341,706</b>	<b>\$ 1,845,203</b>	<b>\$ 4,507,801</b>
<i>Inflation Rate</i>		2%		2%		2%				

Sources: Orange County Auditor Controller, Orange County Assessor, RSG Inc

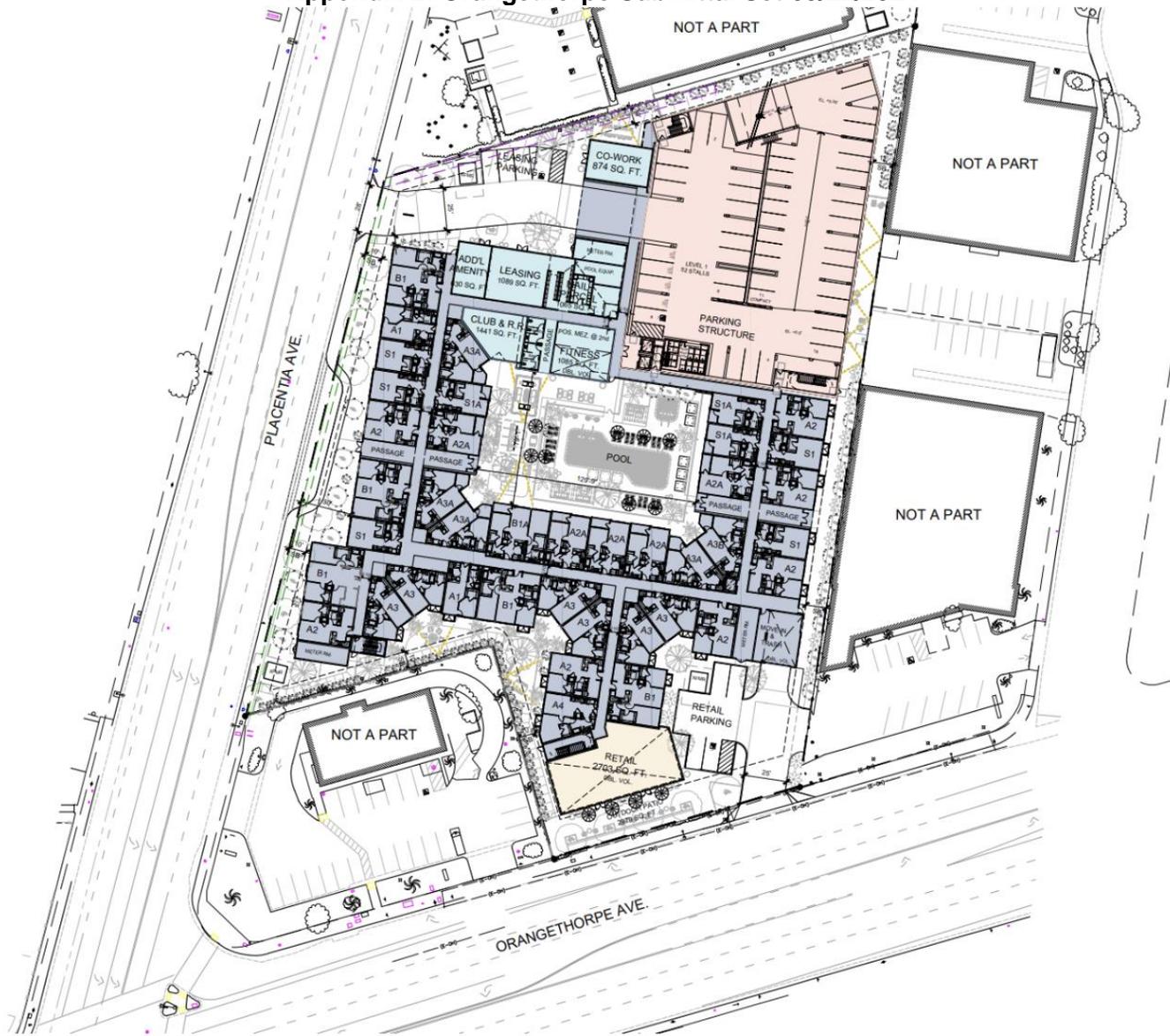
<sup>1</sup>Construction is expected to start Summer 2025 and take two calendar years to complete.

<sup>2</sup>Total assessed value of parcels sourced from ParcelQuest

<sup>3</sup>Total assumed construction cost based on developer and local comparable projects

<sup>4</sup>City tax allocation sourced from the Orange County Apportionment Reports

**Appendix 2: Orangethorpe Submittal Set 05/22/2024**



Source: Architectural Set

**Andrew Gonzales**

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**From:** Gilad Ganish <gilad@blackwood.com>  
**Sent:** Monday, August 19, 2024 7:56 PM  
**To:** Andrew Gonzales; Joseph Lambert  
**Cc:** Gilad Ganish  
**Subject:** Blackwood - Placentia & Orangethorpe [RK Engineering]  
**Attachments:** RK20103.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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Don't reply, click on a link or open an attachment unless you recognize the sender and know the content to be safe. If you believe this email to be unsafe, please use the [Report Phish](#) button in Outlook and notify the IT department.

Hi Andrew and Joe-

Here is a supplemental letter from RK Engineering regarding move-in/move-out, trash, and stuff like that.

Thanks!  
Gilad

Gilad Ganish  
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(949) 510-8255 Direct  
(949) 625-9202 Fax  
gilad@blackwood.com

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AUG 19 2024  
PLANNING

August 19, 2024

Mr. Gilad Ganish  
ORANGETHORPE INVESTMENT PARTNERS, LLC.  
2881 East La Cresta Avenue  
Anaheim, CA 92806

**Subject: Supplemental Letter for the NEC Orangethorpe Avenue & Mixed Use Project  
Revised Traffic Impact Analysis, dated April 26, 2024, City of Placentia, CA**

Dear Mr. Ganish:

### **Introduction**

RK ENGINEERING GROUP INC. (RK) is pleased to provide this supplemental letter for the proposed NEC Orangethorpe Avenue & Mixed-Use Project (hereinafter referred to as "project"). The purpose of this letter is to clarify information on move-in/move-out operations, waste management operations, and how vehicle traffic is not expected to spill onto Orangethorpe based on findings and analysis documented in the *NEC Orangethorpe Avenue & Mixed Use Project Revised Traffic Impact Analysis*, dated April 26, 2024.

### **Move-In and Move-Out Operations**

Residents moving in or out of the proposed project are expected to utilize the designated moving stage area that is located on the southeast corner of the site, accessible via the Orangethorpe Avenue driveway. This area will operate by appointment only, ensuring a limited number of vehicles on-site to minimize conflicts and facilitate smooth, efficient move-in and move-out processes. Upon scheduling an appointment, on-site management will provide details about truck size limitations. Residents are expected to utilize move-in trucks suitable for items equivalent to those found in a 1-bedroom home or a 2-bedroom apartment, approximately 22.6 feet in length with a cargo box bed around 15 feet long. On-site management will also guide residents on accessing the moving stage area. After entering via the Orangethorpe Avenue driveway, moving trucks will proceed directly to the designated area, bypassing the commercial parking spaces.

In a scenario where a moving truck enters the Orangethorpe Avenue driveway but is unable to pull into the designated moving stage area (likely due to lack of an appointment and the area being occupied by another truck), the moving truck would simply queue at the entrance to the staging

area temporarily until on-site management can assist, or use the hammerhead to exit and come back later. It is not expected for vehicle(s) to ever queue back onto Orangethorpe Avenue.

### **Waste Management Operations**

Solid waste and recycling bins for the residential portion of the project are located on Level 1 of the parking structure in the trash room, which serves as the terminus for trash and recycling chutes as well as the collection area. According to the waste management plan detailed in Section 9.6.1 of the traffic study, trash collection bins will be moved from the trash room to the staging area where disposal by trash trucks will take place. The trash trucks will follow a designated route: entering via the Orangethorpe Avenue driveway, proceeding to the turn-around area, parking near the trash staging area, and then performing the trash pick-up. Upon completion, the trucks will exit the property via the Orangethorpe Avenue driveway. As shown in **Exhibit A**, based on the project's waste management plan, trash trucks can efficiently navigate the Orangethorpe Avenue driveway, execute a two-point turn at the designated area, and exit the site without any circulation issues.

### **Spillover onto Orangethorpe Avenue and Placentia Avenue**

The traffic study performed a review of on-site stacking distance provided to the Orangethorpe Avenue and Placentia Avenue driveways. As detailed in Section 9.4 of the traffic study, the Orangethorpe Avenue driveway, which will only serve a small amount of traffic, does not have a gate blocking the entrance to the parking area. There is adequate space for the minimal vehicles to enter this driveway without stacking back onto Orangethorpe Avenue. For the Placentia Avenue driveway, there is approximately 170 feet of stacking distance from Placentia Avenue until vehicles enter the parking structure. Additionally, while there is a gate within the parking structure for residents, this gate is located further inside the parking structure. Once a vehicle enters the structure, there are several ungated parking spaces designated for the public/retail portion of the project. This provides additional stacking distance for residents entering the gate, in addition to the previously mentioned 170-foot driveway throat. As such, there appears to be adequate space for vehicles to enter this driveway without stacking back onto Placentia Avenue. Both driveway study intersections are forecasted to operate at acceptable levels of service (LOS) under all analyzed analysis scenarios.

**Conclusions**

RK appreciates the opportunity to work with ORANGETHORPE INVESTMENT PARTNERS, LLC. and the City of Placentia. If you have any questions regarding this letter or would like further review, please do not hesitate to contact us at (949) 474-0809.

Respectfully Submitted,  
RK ENGINEERING GROUP, INC.



Justin Tucker, P.E., T.E.  
Associate Principal

Attachments:



## Exhibits



**Andrew Gonzales**

---

**From:** Gilad Ganish <gilad@blackwood.com>  
**Sent:** Monday, August 19, 2024 7:54 PM  
**To:** Andrew Gonzales; Joseph Lambert  
**Cc:** Gilad Ganish  
**Subject:** Blackwood - Placentia & Orangethorpe [LLG]  
**Attachments:** LLG - Orangethorpe Avenue Mixed-Use Parking Demand Analysis Memorandum - Placentia, 08-19-24.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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Hi Andrew and Joe-

Here is a parking study that LLG completed.

Thanks!  
Gilad

Gilad Ganish  
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gilad@blackwood.com

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AUG 19 2024  
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# TECHNICAL MEMORANDUM

To: Gilad Ganish  
Orangethorpe Investment Partners LLC

Date: August 19, 2024

From: Keil D. Maberry, P.E.  
Linscott, Law & Greenspan, Engineers

LLG Ref: 2.24.4812.1

Subject: **Parking Demand Analysis for the Proposed Orangethorpe Avenue Mixed-Use Project – Placentia**

2 Executive Circle  
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Irvine, CA 92614  
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www.llgengineers.com

Pasadena  
Irvine  
San Diego

This memorandum has been prepared by Linscott, Law & Greenspan, Engineers (LLG) to provide a parking demand analysis related to the proposed Orangethorpe Avenue Mixed-Use project at 777 Orangethorpe Avenue in the City of Placentia (the “Project”). The Project proposes the development of 248 multi-family residential units and 2,703 square feet (SF) of ground floor retail within a five-story building with a total proposed parking supply of 335 parking spaces. **Figure 1**, attached, presents the proposed site plan prepared by Architects Orange. Specifically, the proposed apartment project will include 44 studio dwelling units, 136 one bedroom dwelling units, and 68 two bedroom dwelling units totaling 316 bedrooms with a proposed residential parking supply of 320 parking spaces within a six-level attached parking structure plus four (4) leasing office surfaces parking spaces and eleven (11) retail parking spaces (4 surface parking spaces and 7 parking structure spaces) for a total of 335 parking spaces. Based on the proposed 320 on-site residential parking spaces for the 248 dwelling units and 316 bedrooms, results in a parking supply ratio of **1.29 parking spaces per dwelling unit** or **1.01 parking spaces per bedroom**.

It should be noted that while the eleven (11) retail parking spaces are not designated to be shared as part of this parking demand analysis, many of the seven (7) retail parking spaces within the parking structure will be shared parking with the guest parking demand given that the retail time-of-day parking profile and the guest time-of-day parking profile peak at different times of the day. Furthermore, the retail parking demand is likely to be reduced by internal capture from the apartment resident.

The proposed Project will provide approximately 50 spaces per level with the following breakdown per floor:

- 1<sup>st</sup> Floor: 52 guest spaces (includes 11 compact spaces and 6 EV spaces)
- 2<sup>nd</sup> Floor: 55 resident spaces (includes 11 compact spaces and 6 EV spaces)
- 3<sup>rd</sup> Floor: 55 resident spaces (includes 11 compact spaces and 6 EV spaces)
- 4<sup>th</sup> Floor: 55 resident spaces (includes 11 compact spaces and 6 EV spaces)
- 5<sup>th</sup> Floor: 55 resident spaces (includes 11 compact spaces and 6 EV spaces)
- 6<sup>th</sup> Floor: 55 resident spaces (includes 11 compact spaces and 6 EV spaces)

David S. Shender, PE  
John A. Boarman, PE  
Richard E. Barretto, PE  
Keil D. Maberry, PE  
KC Yellapu, PE  
Dave Roseman, PE  
Shankar Ramakrishnan, PE



Furthermore, reserved resident spaces will be unbundled and allocated during leasing, which will generally include one (1) parking space per dwelling unit plus an additional one (1) parking space to half of the two bedroom units, if requested. In addition, as part of the parking supply program, a total of 66 compact parking spaces will be provided, which is appropriate since the compact spaces will be at least 8’ wide x 16’ deep and allocated to only a minimal number of guest spaces (11 spaces on 1<sup>st</sup> Floor), that will likely only turn over once or twice per day and consist of less than 25% of the total parking supply (19.7%).

**Table 1** summarizes the proposed parking demand allocation for the residential component of Project based on similar residential projects developed by the Developer.

**Table 1  
 Residential Parking Demand Summary**

<b>Project Description</b>	<b>Size</b>	<b>Recommended Parking Ratio</b>	<b>Spaces</b>
<u><i>Orangethorpe Avenue Apartments</i></u>			
▪ Studio Units	44 units	1.0 spaces per unit	44
▪ One Bedroom Units	136 units	1.0 spaces per unit	136
▪ Two Bedroom Units	68 units	1.5 spaces per unit	102
▪ Guest Parking	248 units	0.15 spaces per unit	38
<b>Total Residential Parking Demand</b>			<b>320</b>

Focusing to the predominant land use in the Project, multi-family residential, the following three methods were utilized in this analysis to justify the recommended parking demand and therefore the parking supply provided for the multi-family housing component of the proposed Project:

- a. Comparative Method #1 (using industry and jurisdictional standards)
- b. Comparative Method #2 (using multi-family residential ratios approved for projects that have not yet been built)
- c. Comparative Method #3 (using empirical ratios derived from a parking demand survey recently conducted in May 2023 at 580 Anton Boulevard Apartments)

Individual multi-family residential projects and local settings have unique parking and tripmaking characteristics that may not be well represented in typical city code requirements. There are increasing concerns among parking/traffic engineering and planning experts that citywide code parking ratios and parking minimums are outdated, and that the “one-size-fits-all” approach to estimating parking requirements may not reflect actual, more current and realistic parking needs, operations, and management.

There is also the issue of “perceived” versus “actual” parking deficiencies. Perceived inadequacies in parking standards are often related to older multi-family developments built to outdated standards instead of newer market-rate housing projects built to current code. This underscores the importance of keeping parking standards current, and which “right size” required supply by being responsive to changing markets, demographics, decline in car ownership patterns, mobility/travel mode choices, creation of live/work/play environments and mixed-use settings, parking management strategies (i.e., unbundling parking), and emerging technologies.

### **Comparative Method #1 [using industry (ULI) standards]**

*Table 2* presents the proposed Project recommended parking ratios for multi-family residential (per resident and per guest) were compared against industry standards developed by Urban Land Use (ULI) and contained in the *Shared Parking Manual (3<sup>rd</sup> Edition)*.

As shown in the bottom portion of *Table 2*, the proposed Project’s recommended composite parking ratio is 1.29 spaces per unit while application of ULI’s residential ratios per dwelling unit by bedroom type for the proposed Project, results in a composite ratio of 1.24 parking spaces per unit. This comparison illustrates that the proposed Project recommended parking demand and composite parking ratio is greater than the recommended composite parking ratio recommended by ULI, which is a highly respected parking reference.



**Table 2**  
**Proposed Project vs. ULI Parking Requirements for Multifamily Residential**

Project	Dwelling Units	Proposed Project Parking Demand		ULI Shared Parking (3rd Ed) Residential	
		Ratio	Spaces	Ratio	Spaces
<b>Multi-Family Residential</b>					
Studio (18%)	44	1 sp/unit	44	0.85 sp/unit	37
1-Bedroom (55%)	136	1 sp/unit	136	0.90 sp/unit	122
2-Bedroom (27%)	68	1.5 sp/unit	102	1.65 sp/unit	112
<b>Total Resident:</b>	<b>248</b>		<b>282</b>		<b>271</b>
<b>Resident Guest Parking</b>					
Studio (18%)	44	0.15 sp/unit	7	0.15 sp/unit	7
1-Bedroom (55%)	136	0.15 sp/unit	21	0.15 sp/unit	20
2-Bedroom (27%)	68	0.15 sp/unit	10	0.15 sp/unit	10
<b>Total Guest:</b>	<b>248</b>		<b>38</b>		<b>37</b>
<b>Total Proposed/Required</b>		--	<b>320</b>	--	<b>308</b>
Composite Parking Ratio (spaces per unit)		--	<b>1.29</b>	--	<b>1.24</b>

**Comparative Method #2 [using multi-family residential ratios approved for projects that have not yet been built]**

Other data points that are noteworthy, are the multi-family residential ratios that have been approved for projects that have not yet been built. For example, the City of Brea approved a composite parking ratio of 1.3 spaces per unit for the Brea Plaza Shopping Center Project based on empirical studies of other comparable sites in the City. This ratio is consistent with the proposed Project’s parking supply ratio of 1.29 spaces per unit.

**Comparative Method #3 [using empirical ratios derived from the survey recently conducted at 580 Anton Boulevard Apartments]**

In order to supplement the Comparative Methods #1 and #2, a parking demand survey was conducted in May 2023 at 580 Anton Boulevard Apartments, which is considered to be comparable to the proposed multi-family residential component of the Project, and is located in a similar setting at the northeast corner of the Avenue of the Arts and Anton Boulevard intersection in the South Coast Metro area of the City of Costa Mesa. *Table 3* presents the results of the parking demand surveys performed on Wednesday, May 10, 2023 and Saturday, May 20, 2023, and indicates empirical parking ratios of 1.28 and 1.24 spaces per occupied unit were derived, respectively. These empirical ratios from 580 Anton Apartments are consistent with the ULI composite ratio of 1.24 spaces per unit from *Table 2*, which is considered to be an

appropriate parking ratio for estimating the parking needs of the multi-family residential component of the Project.

**Table 3**  
**580 Anton Boulevard Apartments Parking Demands**

Time of Day	Parking Demand	
	Wed, May 10, 2023	Sat, May 20, 2023
6:00 PM	209	238
7:00 PM	214	240
8:00 PM	238	235
9:00 PM	263	259
10:00 PM	270	264
11:00 PM	284	272
12:00 AM	295	288
1:00 AM	297	288
2:00 AM	<b>298</b>	288
3:00 AM	296	<b>290</b>
<b>Peak Demand</b>	<b>298</b>	<b>290</b>
<b>Occupied Units</b>	<b>233</b>	<b>233</b>
<b>Parking Ratio (spaces per occupied unit)</b>	<b>1.28</b>	<b>1.24</b>

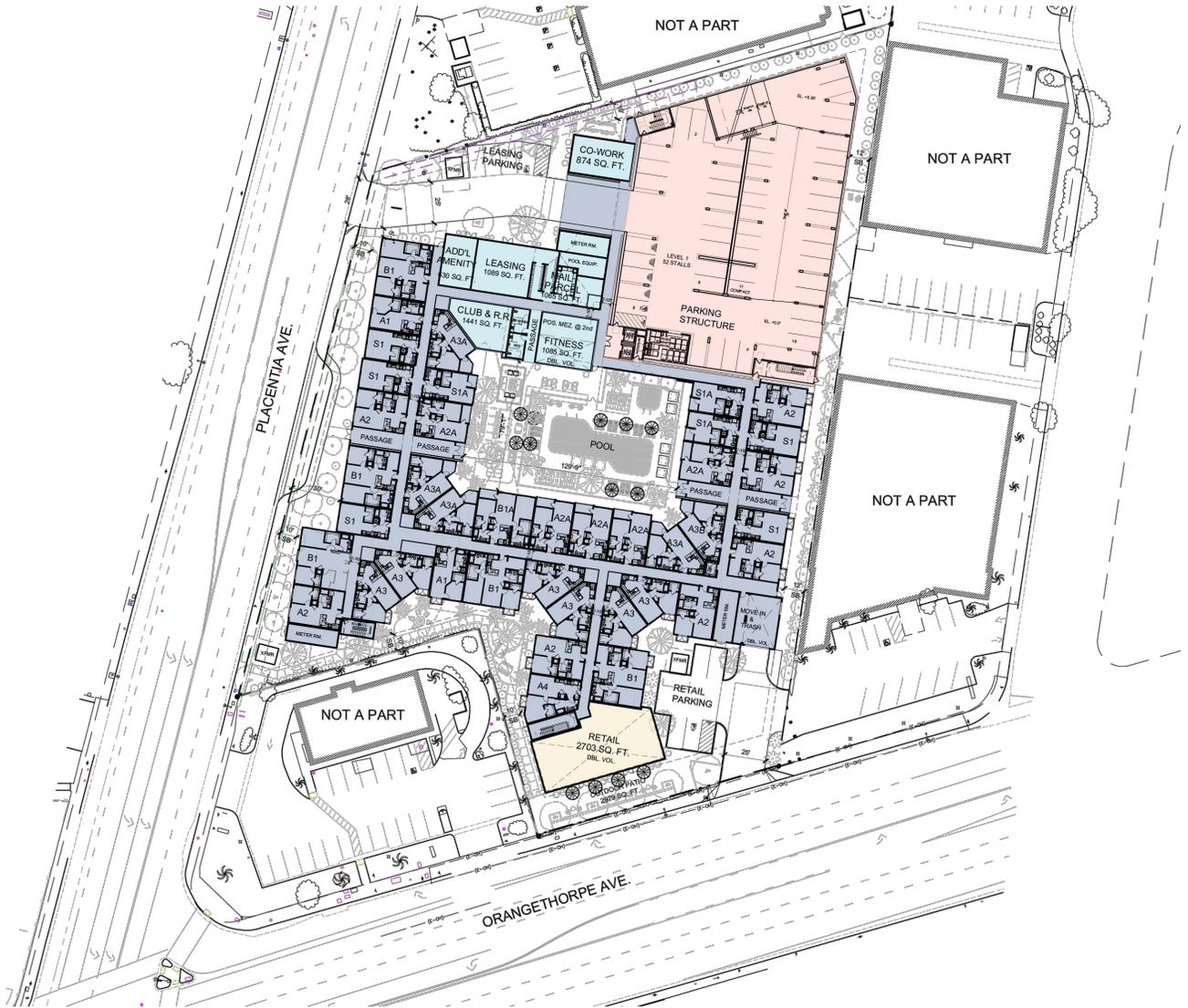
### Conclusion

Based on the three (3) comparative methods described above and a recommended composite parking ratio of 1.29 parking spaces per unit (320 residential parking spaces), the proposed parking supply of 320 residential parking spaces (1.29 spaces per unit) plus four (4) leasing office parking spaces and eleven (11) retail parking spaces for a total of 335 parking spaces will adequately accommodate the parking demand for the proposed 248-unit (316 bedrooms) Orangethorpe Avenue Mixed-Use Project.

We appreciate the opportunity to provide this Technical Memorandum. Should you have any questions regarding the memorandum, please contact us at (949) 825-6175

### Attachments





n:\4800\2244812 - orangethorpe mixed-use, placentia\dwg\4812 f-1.dwg LDP 09:40:22 06-03-2024 aguiar

SOURCE: ARCHITECTS ORANGE

FIGURE 1



PROPOSED SITE PLAN  
 ORANGETHORPE AVENUE MIXED USE, PLACENTIA

**Andrew Gonzales**

**From:** Gilad Ganish <gilad@blackwood.com>  
**Sent:** Wednesday, August 14, 2024 2:21 AM  
**To:** Andrew Gonzales  
**Cc:** Gilad Ganish  
**Subject:** Project - Sidewalk / Frontage  
**Attachments:** 1404-007-cg02cg-Layout1.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**EMAIL FROM EXTERNAL SOURCE**

Don't reply, click on a link or open an attachment unless you recognize the sender and know the content to be safe. If you believe this email to be unsafe, please use the [Report Phish](#) button in Outlook and notify the IT department.

Hi Andrew-

I had our civil engineer prepare an exhibit showing 8' wide sidewalks on both frontages. That would be wider than what we currently have in our plan set along Placentia Avenue and as you can see it now gets pretty close to the building.

I am sending this to you because I am fine doing that if you guys want, but not if it sends me back to Planning Commission or delays our process.

I would also be open to adding some benches or street furniture along either/both frontages.

Again, only if that doesn't change our current City Council hearing date.

I know this stuff won't make you love the project, but I want to try to do the right thing so I'm offering this if you're interested.

Or if you want to brainstorm anything else let me know.

Thanks!  
 Gilad

Gilad Ganish  
 Blackwood Real Estate  
 1000 Newport Center Drive  
 Newport Beach, California 92660  
 (949) 510-8255 Direct  
 (949) 625-9202 Fax  
 gilad@blackwood.com

RECEIVED  
 AUG 14 2024  
 PLANNING

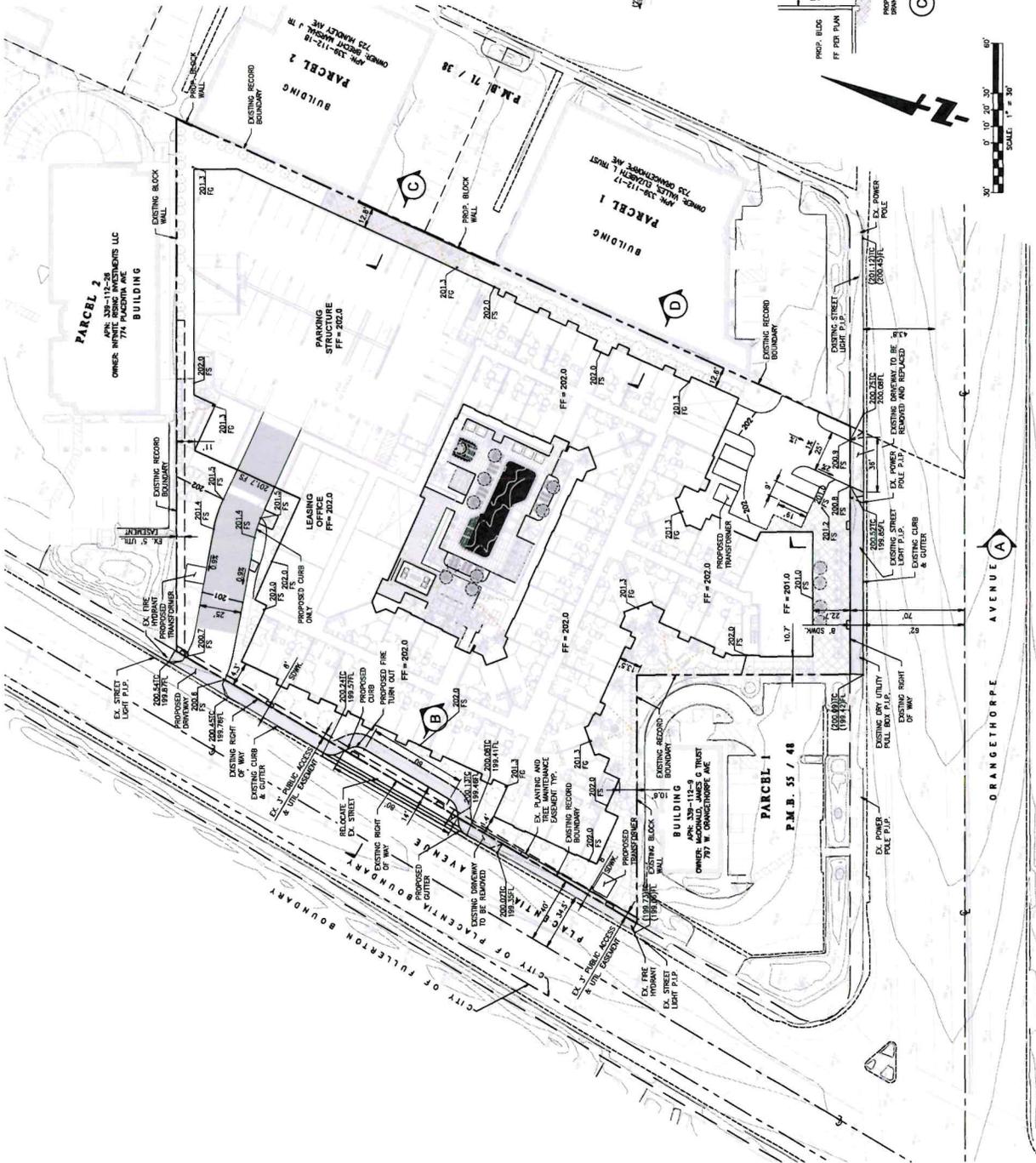
**LEGEND**

- EXISTING CONTOUR
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING TELECOMMUNICATION PULL BOX
- EXISTING ELECTRIC PULL BOX
- EXISTING MANHOLE (SM, SWM or DM)
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING POWER POLE
- EXISTING UT AND/OR
- EXISTING SIGN
- EXISTING STREET LIGHT POLE
- EXISTING TRAFFIC SIGNAL LIGHT
- EXISTING CHAIN LINK FENCE
- EXISTING WALL
- PROPOSED BUILDING FOOT PRINT
- PROPOSED CURB AND GUTTER
- PROPOSED RIGHT OF WAY
- EXISTING RECORD BOUNDARY
- PROPOSED CURB AND GUTTER
- PROPOSED BUILDING FOOT PRINT

**ABBREVIATIONS**

- A.C. ASPHALT CONCRETE
- AGG. AGGREGATE BASE
- ASPH. ASPHALT
- CA. CURB
- CB. CATCH BASIN
- CL. CENTER LINE
- CL. CENTER LINE
- CONC. CONCRETE
- DM. DOMESTIC WATER
- EA. EXISTING
- EL. ELEVATION
- EX. EXISTING
- EX. EXISTING
- FF. FINISHED FLOOR
- FL. FLOW LINE
- FS. FINISHED SURFACE
- FW. FIRE WATER
- GB. GRADE BREAK
- GR. GRADE
- HW. HOT WATER
- IF. INSULATION
- LF. LOW POINT
- LS. LUMP SUM
- LS. LUMP SUM
- MAX. MAXIMUM
- MIN. MINIMUM
- MANH. MANHOLE
- PA. PARKING AREA
- P.C. PORTLAND CEMENT
- PROP. PROPOSED
- P.V.C. POLYETHYLENE VINYL CHLORIDE
- P.V.C. POLYETHYLENE VINYL CHLORIDE
- R.C.F.A. RECYCLED FILL AGGREGATE
- R/W. RIGHT OF WAY
- SS. SAND
- SW. SAND
- S/W. SAND
- ST. STREET
- TD. TOP OF DRIVE
- TC. TOP OF CURB
- TOP. TOP OF GRADE
- TY. TYPICAL
- UT. UTILITY
- W. WATER

NOTE:  
 1. DRIVEWAYS SHALL BE REFINISHED PER 0.2" M.  
 2. 24" HOURS WILL BE INSTALLED AS REQUIRED.



**ORANGETHORPE & PLACENTIA**  
 PLACENTIA, CA

CONCEPTUAL GRADING PLAN



## 777 Orangethorpe Avenue - Special Conditions - Explanation of Changes

<u>Condition</u>	<u>Notes</u>
6	Condition adversely affects project viability.
7	Condition adversely affects project viability.
8	Condition adversely affects project viability.
12	Condition adversely affects project viability.
13a	Condition adversely affects project viability.
13c	Clarification.
16a	Clarification.
16b	Condition modified for project viability and art installation viability.
17a	Clarification.
17b	Clarification.
17c	Condition not necessary given location.
23	Clarification.
25	Clarification.
26	Clarification.
29	Condition not necessary.
33	Clarification.
34	Condition adversely affects project viability.
36	Clarification.
37	Condition adversely affects project viability.
48	Clarification.
55	Not feasible as drafted (e.g. the grading permit cannot be held up by a final landscape plan).
57	Clarification.
60	Clarification.
62	Other than fire department truck parking, street changes are not being made.
63	Modified to be conditioned on Final C of O, rather than First C of O.
64	Condition adversely affects project viability.
65	Condition adversely affects project viability.
66	Condition adversely affects project viability.
71	With both Orangethorpe and Placentia being existing streets and the site having less runoff than the existing condition, there isn't a nexus for this project to address the drainage capacity of the streets.
73	Sewer capacity has been previously studied, and then the line was upgraded.
75	Project already has ingress and egress, no dedication is necessary.
77	Project already has sewer connection.
78	Not necessary, previously studied.
79	Analysis not necessary.
81	Condition adversely affects project viability.
82	Condition adversely affects project viability.
83	Condition adversely affects project viability.
84	Condition adversely affects project viability.
85	Condition adversely affects project viability.
89	Clarification, does not modify the intent, meaning, or substance of the condition.
98	Clarification, does not modify the intent, meaning, or substance of the condition.
99	Clarification, does not modify the intent, meaning, or substance of the condition.
103	Clarification on bike room design.
108	Clarification to match site conditions (walls vs fences).
109	Clarification to confirm with construction stages.
111	Project is monitored by on-site staff and is private property.

**Attachment “D”**  
**Special Conditions of Approval and Standard Development Requirements for**  
**General Plan Amendment No. GPA 2022-01 and Development Plan Review No.**  
**DPR 2021-02**  
**777 W. Orangethorpe Avenue & 776 S. Placentia Avenue**  
**(APN 339-112-27)**

**SPECIAL CONDITIONS**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Development Plan Review No. DPR 2021-02 is valid for a period of twenty-four (24) months from the date of final determination, unless extended pursuant to Placentia Municipal Code (PMC) Section 23.75.080. If the development of the site and/or use approved by this action is not established by obtaining Building Permits within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved.
2. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
3. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant’s project. The applicant shall pay the City’s defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including

Resolution No. PC-2024-60

Attachment “D” Page

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but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.

4. The site plan, floor plans, elevation plans, open space plan, egress plan, fire plan, building composite plan, irrigation plan, lighting plan, conceptual grading plan, conceptual perspectives, and all associated architectural and civil drawings, including the colors and materials palette, dated received on May 20, 2024, shall be the conceptually approved design.
5. Any significant modifications to the approved site plan, elevation plans, open space plan, egress plan, fire plan, building composite plan, irrigation plan, lighting plan, conceptual grading plan, conceptual perspectives, including any modifications which will change, expand, or intensify the use(s) shall be subject to review and approval by the Director of Development Services. The Director of Development Services or his or her designee may determine if such modifications require approval by the City of Placentia Planning Commission or may be approved administratively by City staff.
6. Prior to the issuance of a Final Certificate of Occupancy, applicant shall voluntarily make a one-time Community Benefits payment to the City in the amount of \$80,000.
7. Developer and/or property owner agrees to annex into the Community Facilities District No. CFD 2014-01 (Public Services), or any successor to CFD 2014-01, pursuant to the provisions of California Government Code Section 53311, et seq. Said annexation into the CFD No. 2014-01 or successor CFD shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project. The successor to CFD 2014-01 is a new CFD that is intended to replace Community Facilities District No. CFD 2014-01 (Public Services).
8. Developer and/or property owner agrees to annex into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
9. Developer and/or property owner agrees to annex into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.

Resolution No. PC-2024-60

Attachment "D" Page

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10. Prior to issuance of building permits, except as otherwise noted, the following shall be completed:

- a. The Developer shall pay in full to the City of Placentia all applicable citywide Development Impact Fees so long as the fees are materially similar to those that were included in the fee estimate provided by the City to the applicant via email sent on December 18, 2020. Project fees shall materially conform to the fee estimate provided by the City to the applicant via email sent on December 18, 2020.
- b.
- c. Project plans shall be submitted for the review and certification for inclusion into the entitlement file by the Director of Development Services and shall include the following information:
  - i. All Special Conditions of Approval and Standard Development Requirements of GPA 2022-01, SPA 2021-01, and DPR 2021-02. Include any project revisions on the applicable sheets of the project plans. Additionally, include separate sheets with approved Special Conditions of Approval and Standard Development Requirements to be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12point.
  - ii. Typical cross section views and details through the property and across each property line as directed by the Director of Development Services.
  - iii. Location of transformers, meters, and other aboveground appurtenances.
  - iv. All mechanical equipment shall be screened from public view to the satisfaction of the Development Services Director.
- d. An exterior lighting (photometric) plan showing location, type of fixtures and areas of illumination shall be submitted and reviewed for compliance with City standards and the Placentia Municipal Code. Lighting shall neither materially negatively impact adjacent properties nor the public right-of-way.

- e. Submit landscape and irrigation plans. The applicant must follow the procedure for approval under the MWELo for the proposed landscaping. A MWELo procedure and approval package is available from the front counter in the Development Services Department.
- f. Postmaster approval of the location and design of the mailboxes, if applicable.
- g. All applicable provisions of the Placentia Municipal Code (PMC) shall be met prior to issuance of Building Permits and shall be adhered to at all times.

11. The following conditions shall be completed prior to issuance of a grading permit:

- a. The developer shall submit for City approval a construction staging plan that indicates how safe vehicular and pedestrian access to the site will be maintained for the duration of the construction period. The construction stage plan shall include measures such as, but not limited to the following:
  - i. A telephone number and name of a designated contact person(s) for registering complaints or comments shall be posted in a clearly visible manner along the perimeter of the site.
  - ii. When construction vehicles accessing the site are expected to obstruct pedestrian and vehicular access along W. Orangethorpe Avenue and S. Placentia Avenue, a flag person or an approved alternative method shall be employed to direct traffic effectively.
  - iii. If any sidewalk is blocked during construction, alternate routes for pedestrians and bicycles shall be clearly marked with signs approved by the City.
  - iv. All access points shall be clearly marked during construction, and if an access point is blocked during construction, a detour sign to an alternate access point shall be clearly posted.
  - v. A detailed timeline outlining the course of major ground disturbing activities as trenching, excavation, and grading, including all construction work that will take place on the property.

12. During demolition, grading, site development, and/or construction, the following shall be adhered to:

- a. Construction equipment shall be maintained in peak operating condition to reduce emissions.

- b. Use low sulfur (0.5%) fuel by weight for construction equipment.
  - c. Truck idling shall be prohibited for periods longer than 5 minutes.
  - d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.
  - e. Discontinue operation during second stage smog alerts.
  - f. Ensure clearly visible signs are posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/ grading activity.
  - g. All Placentia Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday – Friday, 7:00 AM to 7:00 PM, and Saturdays 9:00 AM to 6:00 PM. Such activities are prohibited on Sundays and Federal holidays.
13. The Final Certificate of Occupancy cannot be approved until the following is completed for each respective portion of the property:
- a. The property owner(s) and/or their successor(s) willfully agree to annex into those district(s) for the project area identified by reference to CFD 2014-01, LMD 1992-01, and SLD 1981-01. If the subject property is sold prior to annexation into the three districts, the future property owner(s) must complete the annexation process and no Final Certificates of Occupancy shall be issued prior to completion of annexation.
  - b. Submission, approval, and installation of an on-site public art installation shall be required. It is strongly recommended that the chosen public art piece reflects the rich history of the City of Placentia, focusing on significant aspects such as the citrus growing industry or early oil production eras that contributed to the city's development. Alternatively, the artwork may capture the essence and diversity of the city's community fabric. The public art piece will undergo evaluation and approval by the Development Services Director and the Housing, Community, and Economic Development Committee. The total cost of submission, approval, installation, and lighting of the on-site public art element shall not be required to cost the applicant more than \$75,000. If, 60 days prior to the issuance of the first Temporary Certificate of Occupancy the applicant has not yet received final approval for the public art element from all necessary approval bodies, the applicant may pay the City \$75,000 to satisfy this Condition, less any actual related costs incurred. The public art element shall adhere to the following parameters:

- i. The public art element shall not be commercial in nature, a reproduction, or mass produced.
- ii. Artwork siting and its visibility are important project design considerations and shall be clearly visible to the public.
- iii. The art piece shall be a permanent part of the development and must remain in place for the life of the development. The work must be fixed and located at or adjacent to the site and visible to the public.
- iv. Outdoor artwork must be illuminated sufficiently to ensure clear visibility from the nearby right-of-way during evening hours.

14. The use shall comply with the following:

- a. The applicant, property owner(s), and/or respective land management company shall be responsible for maintaining their respective properties, including the landscaped areas, walkways, and all on-site paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the applicant/business owner(s) within 72 hours of defacement and/or upon notification by the City.
- b. The primary vehicular access gates and pedestrian gates shall be fabricated of high gauge metal to withstand continual wear and tear.
- c. Onsite alcoholic beverage sales for the purposes of either onsite or offsite consumption shall be prohibited unless a Use Permit is submitted, reviewed, and approved by the City of Placentia Planning Commission at a publicly noticed public hearing.

## 18. CEQA MITIGATION MEASURES

### Cultural Resources

**CR-1:** If evidence of an archaeological site or other suspected historical resource as defined by CEQA Guidelines § 15064.5, including darkened soil representing past human activity (“midden”), that could conceal material remains (e.g., worked stone, fired clay vessels, faunal bone, hearths, storage pits, or burials) are discovered during any project-related earth-disturbing activities, all earth-disturbing activities within 100 feet of the find shall be halted until the City of Placentia is notified. The project applicant shall retain an archaeologist who meets the Secretary of the Interior’s Professional Qualifications Standards for Archaeology to assess the significance of the find. Any identified cultural resources shall be recorded on the appropriate DPR 523 (A-L) form and filed with the South Central Coastal Information Center (SCCIC).

Construction activities may continue on other parts of the Proposed Project Site while evaluation and treatment of prehistoric archaeological resources takes place.

### **Geology and Soils**

**GEO-1:** If fossils or fossil bearing deposits are encountered during ground disturbing activities, work within a 25-foot radius of the find shall halt (buffer area) and a professional vertebrate paleontologist (as defined by the Society for Vertebrate Paleontology) (the Qualified Paleontologist) shall be contacted immediately to evaluate the find. The paleontologist shall have the authority to stop or divert construction, as necessary. Documentation and treatment of the discovery shall occur in accordance with Society of Vertebrate Paleontology standards. Work shall be allowed to continue outside of the buffer area. At the Qualified Paleontologist's discretion and to reduce any construction delay, the grading and excavation contractor shall assist in removing rock samples for initial processing and evaluation of the find. All significant fossils shall be collected by the Qualified Paleontologist. Collected fossils shall be prepared to the point of identification and cataloged before they are submitted to their final repository. Any fossils collected shall be curated at a public, nonprofit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County, if such an institution agrees to accept the fossils. If no institution accepts the fossil collection, they shall be donated to a local school in the area for educational purposes. Accompanying notes, maps, photographs, and a technical report shall also be filed at the repository and/or school.

### **Hazards and Hazardous Materials**

**HAZ-1:** The following are some simple practices that would be included in the Proposed Project and implemented on site:

- Keep potential sources of pollution out of the rain as practicable (e.g., inside a building, covered with plastic or tarps, or sealed tightly in a leak-proof container).
- Clearly identify a protected, lined area for concrete truck washouts. This area should be located away from streams, storm drain inlets, or ditches and should be cleaned out periodically.
- Park, refuel, and maintain vehicles and equipment in one area of the site to minimize the area exposed to possible spills and fuel storage. This area should be well away from streams, storm drain inlets, or ditches. Keep spill kits close by and clean up any spills or leaks immediately, including spills on pavement or earthen surfaces.
- Practice good housekeeping. Keep the construction site free of litter, construction debris, and leaking containers. Keep all waste in one area to minimize cleaning.

- Never hose down paved surfaces to clean dust, debris, or trash. This water could wash directly into storm drains or streams. Sweep up materials and dispose of them in the trash. Never bury trash or debris.
- Dispose of hazardous materials properly.

**HAZ-2:** A California Division of Occupational Safety and Health (DOSH/CalOSHA) Certified Asbestos Consultant should be contracted to conduct monitoring and clearance of any removal/abatement of Asbestos-Containing Materials/Asbestos Containing Construction Materials (ACMs/ACCMs) and materials containing asbestos.

**HAZ-3:** To protect construction workers contact or ingestion of contaminated soils during grading, the following note shall be placed on grading plans prior to issuance of grading permits: “Disposable gloves shall be worn by personnel who need to have contact with contaminated soil during grading and excavation. Consideration shall be given to the requirement for tear resistant gloves; Overalls shall be worn if there is the potential for contaminated soil to contact other parts of the body (legs, arms etc.); Boot covers shall be worn by personnel who need to traverse contaminated soils during grading and excavation or washable boots worn with a boot wash in place and utilized.”

**HAZ-4:** A soil vapor intrusion barrier with a venting system shall be installed beneath proposed future residential buildings located on the Site, in accordance with Regional Water Quality Control Board (RWQCB), the Department of Toxic Substances Control (DTSC).

#### **Tribal Cultural Resources**

**TCR-1:** Prior to issuance of a grading permit, the applicant shall retain a Native American Monitor Prior to Commencement of Ground-Disturbing Activities:

- A. The project applicant shall retain a Native American Monitor from or approved by the Gabrieleño Band of Mission Indians – Kizh Nation. The monitor shall be retained prior to the commencement of any “ground-disturbing activity” for the subject project at all project locations (i.e., both on-site and any off-site locations that are included in the project description/definition and/or required in connection with the project, such as public improvement work). “Grounddisturbing activity” shall include, but is not limited to, demolition, pavement removal, potholing, auguring, grubbing, tree removal, boring, grading, excavation, drilling, and trenching.
- B. A copy of the executed monitoring agreement shall be submitted to the lead agency prior to the earlier of the commencement of any ground disturbing

activity, or the issuance of any permit necessary to commence a grounddisturbing activity.

- C. The monitor will complete daily monitoring logs that will provide descriptions of the relevant ground-disturbing activities, the type of construction activities performed, locations of ground-disturbing activities, soil types, cultural-related materials, and any other facts, conditions, materials, or discoveries of significance to the Tribe. Monitor logs will identify and describe any discovered TCRs, including but not limited to, Native American cultural and historical artifacts, remains, places of significance, etc., (collectively, tribal cultural resources, or “TCR”), as well as any discovered Native American (ancestral) human remains and burial goods. Copies of monitor logs will be provided to the project applicant/lead agency upon written request to the Tribe.
- D. On-site tribal monitoring shall conclude upon the latter of the following (1) written confirmation to the Kizh from a designated point of contact for the project applicant/lead agency that all ground-disturbing activities and phases that may involve ground-disturbing activities on the project site or in connection with the project are complete; or (2) a determination and written notification by the Kizh to the project applicant/lead agency that no future, planned construction activity and/or development/construction phase at the project site possesses the potential to impact Kizh TCRs.
- E. Upon discovery of any TCRs, all construction activities in the immediate vicinity of the discovery shall cease (i.e., not less than the surrounding 50 feet) and shall not resume until the discovered TCR has been fully assessed by the Kizh monitor and/or Kizh archaeologist. The Kizh will recover and retain all discovered TCRs in the form and/or manner the Tribe deems appropriate, in the Tribe’s sole discretion, and for any purpose the Tribe deems appropriate, including for educational, cultural and/or historic purposes.

**TCR-2:** Prior to issuance of grading permit, the following notes shall be listed on the grading plans for the project:

**Unanticipated Discovery of Human Remain and Associated Funerary Object**

- A. Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in Public Resources Code, Section 5097.98, are also to be treated according to this statute.

- B. If Native American human remains and/or grave goods discovered or recognized on the project site, then all construction activities shall immediately cease. Health and Safety Code, Section 7050.5, dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and all ground-disturbing activities shall immediately halt and shall remain halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe they are Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission, and Public Resources Code, Section 5097.98, shall be followed.
- C. Human remains and grave/burial goods shall be treated alike per California Public Resources Code section 5097.98(d)(1) and (2).
- D. Construction activities may resume in other parts of the project site at a minimum of 200 feet away from discovered human remains and/or burial goods, if the Kizh determines in its sole discretion that resuming construction activities at that distance is acceptable and provides the project manager express consent of that determination (along with any other mitigation measures the Kizh monitor and/or archaeologist deems necessary). (CEQA Guidelines Section 15064.5(f).)
- E. Preservation in place (i.e., avoidance) is the preferred manner of treatment for discovered human remains and/or burial goods.
- F. Any discovery of human remains/burial goods shall be kept confidential to prevent further disturbance.

**TCR-3:** Prior to issuance of grading permit, the following notes shall be listed on the grading plans or the project:

**Procedures for Burials and Funerary Remains**

- A. As the Most Likely Descendant (“MLD”), the Koo-nas-gna Burial Policy shall be implemented. To the Tribe, the term “human remains” encompasses more than human bones. In ancient as well as historic times, Tribal Traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains.
- B. If the discovery of human remains includes four or more burials, the discovery location shall be treated as a cemetery and a separate treatment plan shall be created.

- C. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects. Cremations will either be removed in bulk or by means as necessary to ensure complete recovery of all sacred materials.
- D. In the case where discovered human remains cannot be fully documented and recovered on the same day, the remains will be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24hour guard should be posted outside of working hours. The Tribe will make every effort to recommend diverting the project and keeping the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed.
- E. In the event preservation in place is not possible despite good faith efforts by the project applicant/developer and/or landowner, before ground-disturbing activities may resume on the project site, the landowner shall arrange a designated site location within the footprint of the project for the respectful reburial of the human remains and/or ceremonial objects.
- F. Each occurrence of human remains and associated funerary objects will be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony will be removed to a secure container on site if possible. These items should be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site but at a location agreed upon between the Tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.
- G. The Tribe will work closely with the project's qualified archaeologist to ensure that the excavation is treated carefully, ethically and respectfully. If data recovery is approved by the Tribe, documentation shall be prepared and shall include (at a minimum) detailed descriptive notes and sketches. All data recovery data recovery-related forms of documentation shall be approved in advance by the Tribe. If any data recovery is performed, once complete, a final report shall be submitted to the Tribe and the NAHC. The Tribe does not authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains.

**DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION:**

19. The development project shall comply with the latest City of Placentia adopted and amended Editions of California Building Codes as CBC, CMC, CPC, CEC, CALGreen, and State Title 24 Energy Standards.
20. Submit approved precise grading plans upon submitting plans to the Building Division.
21. All public accommodation buildings and their parking stalls for accessibility requirements shall be in compliance with chapter 11B of CBC.
22. The apartments for accessibility requirements shall comply with Chapter 11A of CBC.
23. Shall provide sufficient accessible parking stalls per CBC.
24. The guest parking stalls shall have access to each designated unit on site.
25. All required site accessibility and at-grade accessible parking stalls shall be addressed on the approved precise grading plans.
26. At-grade visitors parking stalls and accessible stalls shall be addressed on the precise grading plans along with the delineated path of access to the building's entry.
27. Complete Building, Electrical, Mechanical, Plumbing, & approved Civil plans are required for building plan check.
28. A photometric plan(s) shall be provided to address access from all apartment units to the public accommodation area(s) on site and to the public right-of-ways.
30. Submit a complete Geotechnical Investigation Report for the whole project site as part of the plan check submittal for the development project.
  31. All foundation design plans, calculations, and details for conformance with the Geotechnical Report shall be reviewed and verified in writing with submission of two package sets of project plans.
  32. The development project shall be equipped with the minimum required photovoltaic systems per the latest State Title 24 Energy Standards Code.

**PUBLIC WORKS DEPARTMENT:**

33. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required, or submitted digitally if approved by the Public Works Department.
34. Prior to recordation of the final map, the public improvement plans as required shall signed by the City Engineer.
35. Prior to issuance of a Final Certificate of Occupancy, the engineer of record shall submit all approved project plans on an approved electronic format to the Public Works Department. If the required files are unavailable, the applicant shall pay a scanning fee to cover the cost of scanning the as-built plans.

### Demolition

36. Provide a full set of plans for demolition of the existing facilities and utilities, including above ground and underground structures, footings, utilities, vaults, fences, walls, sewer lines, storm drainpipes, waterlines, etc., Plans shall address conditions and procedures, as are necessary, to show that the demolition work will be conducted without creating a hazardous condition, when excavating next to other existing footings, walls and slopes. A separate demolition permit is required from the Building Department, prior to performing any kind of demolition on site. Prepare and submit a Construction and Demolition Waste Management Plan (WMP) for City approval. An approved WMP is required in order to obtain a demolition permit.
37. A copy of the Grant deed and owner's permission on the application for demolition is required at the time of issuance of the permit.
38. The existing on-site sanitary sewer lateral lines must be removed and capped at the property lines. The sewer cap shall be inspected and shall not be covered until an inspection has been made by the Department of Public Works Inspector. This inspection shall be requested at least 24 hours before the inspection is needed.
39. Provide AQMD Rule 1403 permit number, prior to starting any demolition work
40. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and removal of the existing utilities, vaults and meters. It is also the applicant's responsibility to ensure applicant notifies the

Building Inspection Division that these utilities have been properly disconnected.

41. Provide an erosion control, Storm Water Pollution Prevention Plans (SWPPP) for protection of the site during construction activities.

### **Grading**

44. Prior to the issuance of a **precise** grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/glltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long-term maintenance responsibilities. The plan shall be prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.
45. Prior to the issuance of a **precise** grading permit, the applicant shall prepare a Water Quality Management Plan (WQMP) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the locations of structural BMP's, and assignment of long-term maintenance responsibilities (which shall also be included in the Maintenance Agreement). The plan shall be prepared to the general form and content shown in the City of Placentia's WQMP Template and shall be submitted to the City Engineer for review and approval. Website available at (<http://www.placentia.org/index.aspx?nid=262>)
46. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtained under the California's General Permit for Discharge of Storm Water Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. Prior to the issuance of a grading permit, the applicant shall submit to the City Engineer for review a Stormwater Pollution Prevention Plan (SWPPP). A copy

of the approved SWPPP shall be kept at the project site and available for review upon request.

47. Prior to the issuance of precise grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.
48. Prior to approval of the final design plans and issuance of a grading permit, the applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected as necessary. The report shall provide grading and structural design recommendations for avoiding liquefaction, subsidence or collapse for each of the proposed structures and percolation test for infiltration rate fulfilled per Appendix VII of OCTGD. The recommendations shall be implemented by the Applicant.
49. Prior to the issuance of a grading permit, erosion control plans and notes shall be submitted and approved by the Engineering Division of Public Works Department.
50. All private slopes of 4 feet or more in vertical height and of 4:1 or greater slope, but less than 2:1 slope, shall be, at minimum, irrigated and landscaped with appropriate ground cover for erosion control. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy.
51. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
52. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
53. The final grading plan for the parcels shall be substantially the same, specifically with regard to pad elevations, size, and configuration; as the proposed grading illustrated

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on the approved site plan. If there is a significant deviation between the two plans, the Community Development Director and the City Engineer will review the plans and determine if a finding of substantial conformance can be made prior to the issuance of a grading permit. The Director of Development Services and the City Engineer may refer the matter to the Planning Commission for an opinion before making a decision. Failure to achieve such a finding will require processing a revised site plan.

54. All parking, common, and storage areas shall be lit to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photocell.
55. Prior to issuance of grading permit, the applicant shall submit a preliminary title report no older than 90 days.
56. The applicant shall provide a quitclaim or relocation of easement, if necessary, as applicable in plan review process prior to issuance of grading permit.
57. Provide and identify all pavement and driveway paving materials used inside the development areas.
58. Identify all storm drain structures, types, sizes and specifications on the plans.
59. Prior to issuance of a Final occupancy permit, all public improvements shown on the plans shall be constructed to City Standards.
60. Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD.

#### **Public Improvements and Construction**

62. Prior to issuance of the Final occupancy permit, all new public improvements shall be constructed satisfactorily to City Standards.
63. All the “on-site” improvements shall follow and comply with applicable City standards, in addition to the following requirements:
  - a. Driveways shall conform to the applicable City of Placentia standards and shall be shown on the street improvement plans.

- b. Driveways shall be located at a minimum of two (2) feet from the property line as measured where the driveway meets the property line.
- c. Widened 8' concrete sidewalks shall be constructed along the Placentia Avenue frontage of the Project (the Orangethorpe Avenue frontage sidewalk is already 8' wide). New work shall be in accordance with City Standards and all curb ramps shall be constructed to current ADA or CBC standards. Applicant will be required to utilize the services of the City's CASp inspector at applicant's expense to provide inspection and certification of that all new ADA facilities constructed within the public right-of-way are ADA-compliant.
- d. The minimum centerline and flowline grades shall be one percent unless otherwise approved by the City Engineer and Fire Marshall.
- e. The existing southernmost fire hydrant on the east side of Placentia Avenue shall be relocated to provide for ADA compliance. The relocation of the hydrant shall be approved by the Placentia Fire and Life Safety Department, but shall not be required to be moved more than 10' from its existing location.
- f. Up to two decorative street benches, with a final location to be agreed upon, with the style being similar to other new benches in the City.
- g. Up to two decorative trash cans, with a final location to be agreed upon, with the style being similar to other new trash cans in the City.
- h. Up to two decorative bike racks, with a final location to be agreed upon, with the style being similar to other new bike racks in the City.
- i. All engineered street and public improvement plans and specifications shall be prepared in accordance with City and County of Orange Standards. Shop

drawings and product data shall be provided for the City's review and approval for all the public improvement items listed above, PRIOR to their installation.

### **Storm Drain Improvements and Construction**

67. Unless otherwise approved by the Public Works Director, the project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points.
68. Provided there is adequate capacity in the Placentia Avenue and Orangethorpe Ave. storm drains, the development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. The storm drain catch basins shall be upsized if there is not adequate capacity. If a drainage crossing a property line is altered and involves the use of drainage pipes, culverts, and V-gutters to conduct the storm water to an approved City storm drain system, a drainage easement shall be established by the recordation of Covenants Agreements and Restrictions for the benefit of each lot. Drainage easement shall be indicated on the precise grading plans.
69. Drainage easements, when required, shall be shown on the grading plans and noted as follows: "Drainage Easement – no buildings, obstructions, or encroachments by landfills are allowed."
70. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual.
71. Drainage facilities with sump conditions shall be designed to convey the tributary 25year storm flows. Secondary emergency flow bypass shall also be provided as approved by City Engineer.

### **Sewer Line Improvements and Construction**

73. Onsite water improvement and fire protection plans shall be approved by the Fire Marshal, the local water district, and City Engineer. The water distribution lines and appurtenances shall conform to the applicable laws and adopted regulations enforced by the Golden State Water Company.

74. The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.

### **Traffic**

78. Parking and on-site circulation requirements shall be maintained at all times.

- a. All pavement markings and signage including parking spaces, directional designations, no parking designations and fire land designations shall be clearly defined and said signage and markings shall be maintained in good condition at all times.
- b. Parking site circulation and street surfaces shall be maintained in good condition at all times and shall be swept at least as frequently as public streets in Placentia.
- c. All areas of landscaping shall be permanently and continuously maintained by the property owner.

### **FIRE AND LIFE SAFETY DEPARTMENT**

86. The project shall comply with all requirements set forth by the California Code Regulations Title 24 Parts 1-12 respectively.

87. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Placentia Municipal Code shall apply at the time the architectural plans are submitted for construction permits.

88. Prior to the issuance of a grading permits, evidence of sufficient fire flow hours shall be provided to the City of Placentia Fire Prevention. The City of Placentia Fire Prevention Water Available/Fire Flow Form shall be utilized.
89. A fire department access road complying with the California Fire Code, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
90. The fire department access road shall be inspected by Placentia Fire Prevention Bureau prior to building construction.
91. The fire department access road shall remain unobstructed at all times.
92. A fire department connection (FDC) shall be provided and located within 100 feet of a public fire hydrant. The use of a private hydrant may be used with the use of an aboveground check valve to prevent the flow from the FDC back to the fire hydrant, and with the approval of Placentia Fire Prevention Fire Prevention Bureau. The fire hydrant that supports the FDC shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
93. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
94. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
95. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
96. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
97. Placentia Fire Prevention Bureau approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
98. The building shall be provided with an automatic fire sprinkler system in accordance with California Fire Code. Construction plans shall be submitted for review and approval to the City of Placentia Fire Prevention Division prior to installation.

99. The building shall be provided with an automatic fire alarm system in accordance with California Fire Code. Construction plans shall be submitted for review and approval to the City of Placentia Fire Prevention Division prior to installation.
100. Prior to issuance of a Certificate of Occupancy, the building shall be provided with a Knox Lock key box located no more than six feet above the finished surface and near the main entrance door.
101. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsections. The system shall be installed and inspected by the City of Placentia Fire Prevention Bureau prior to the Certificate of Occupancy being issued.
102. A copy of all approved alternate means and methods shall be placed on the architectural plans prior to submitting them for review and approval by the city.

### **POLICE DEPARTMENT**

103. Open bicycle storage areas shall be designed and protected as follows:
- a. Located in areas highly visible to users of the facility.
  - b. Bicycle racks in residential complexes shall be in enclosed access-controlled bike rooms or protected by see-through metal fencing which either fully encloses the racks with fencing or have floor to ceiling fencing and secured either with an access control system locking device or mechanical door lock. Padlocks are prohibited.
104. Show any vehicle access control gates in the parking structure.
105. Show all pedestrian travel paths.
106. Provide details on fencing and gates.
107. Provide details on the mail/parcel room showing compliance with the Placentia Police Department Standard Development Requirements. Mailboxes not located within a room, in multi-family complexes are to be located in high visible areas adjacent to common area activity amenities and not directly accessed from inside parking structures. Mail rooms are to have glass doors and/or windows to provide visibility into them from the surrounding area. The room is to be always illuminated with a minimum five foot-candles of light on the floor at all times.

108. The dog park shall be secured as follows:
- a. The perimeter of the dog park shall have a fence, or wall as applicable, at least five feet in height. Fencing shall be tubular steel with openings between pickets not more than three inches in width and designed to prevent dogs from crawling under it.
  - b. Gates shall be a double gated entry system where one gate must be closed before the other can be opened.
  - c. Access to the dog park is to be controlled by an access control system if park is part of a residential complex.
  - d. Provide waste bag station and trash container.
  - e. All surfaces of the park shall be illuminated with a minimum maintained 0.5 footcandles of light at ground level, during the hours of operation, including one hour thereafter.
  - f. A site plan shall be provided showing the park, buildings, parking area, walkways, detailed landscaping with tree legend (if pole lights are used) and shrub legend (if bollards are used), fixture schedule, mounting height, lighting ratio and a point-by-point photometric calculation of the required light levels. If the park is equipped with an occupancy sensor, then a point-by-point photometric calculation is required to show it meets the required minimum level of light. Foot-candles shall be measured at grade on a horizontal plane and conform to a uniformity ratio of six to one (6:1) average/minimum. Landscaping shall not be planted so as to obscure required light levels with light fixtures exceeding eight feet in height installed at least two feet from a tree's canopy at 70 percent maturity.
109. The parking structure plans may be submitted independently from the main residential structure. Separate submittals for the development project and the parking structure shall be permitted.
110. Provide elevations of all sides of the parking structure.

**Attachment “D”**  
**Special Conditions of Approval and Standard Development Requirements for**  
**General Plan Amendment No. GPA 2022-01 and Development Plan Review No.**  
**DPR 2021-02**  
**777 W. Orangethorpe Avenue & 776 S. Placentia Avenue**  
**(APN 339-112-27)**

**SPECIAL CONDITIONS**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Development Plan Review No. DPR 2021-02 is valid for a period of twenty-four (24) months from the date of final determination, unless extended pursuant to Placentia Municipal Code (PMC) Section 23.75.080. If the development of the site and/or use approved by this action is not established by obtaining Building Permits within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved.
2. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
3. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant’s project. The applicant shall pay the City’s defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including

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but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.

4. The site plan, floor plans, elevation plans, open space plan, egress plan, fire plan, building composite plan, irrigation plan, lighting plan, conceptual grading plan, conceptual perspectives, and all associated architectural and civil drawings, including the colors and materials palette, dated received on May 20, 2024, shall be the conceptually approved design.
5. Any significant modifications to the approved site plan, ~~floor plans~~, elevation plans, open space plan, egress plan, fire plan, building composite plan, irrigation plan, lighting plan, conceptual grading plan, conceptual perspectives, including any modifications which will change, expand, or intensify the use(s) shall be subject to review and approval by the Director of Development Services. The Director of Development Services or his or her designee may determine if such modifications require approval by the City of Placentia Planning Commission or may be approved administratively by City staff.
- ~~6. Prior to the issuance of building permits, the applicant and/or property owner must make a lump sum payment of \$50,000, which will be deposited into a dedicated account for the preparation of a Parking Management Plan (PMP). One year after the issuance of the certificate of occupancy, all onsite parking will be evaluated, and this evaluation will continue annually with reports submitted to the City Council. This process will persist, as will the collection of \$50,000 annually, until the City Council determines that no further evaluations are necessary for the development. If at any time the report identifies significant parking issues, the City Council will direct the Director of Development Services to initiate preparation of an updated PMP to mitigate these issues. The PMP will be reviewed by the Director of Development Services and the City's Traffic Manager (or designees) to address any parking concerns related to the project.~~
- ~~7.6. Prior to the issuance of a Final Certificate of Occupancy, Developer applicant shall enter voluntarily make a one-time into a Community Benefits payment to the City in the amount of \$80,000 Agreement as approved by the City of Placentia City Council.~~
- ~~8. Prior to the submission of building plans, the applicant and/or property owner, and/or their designee shall submit a one-time payment of \$30,000. This payment is the applicant and/or property owner's fair share payment required for the preparation of a streetscape master plan for Specific Plan No. 5 (SP 5). The amount shall be earmarked in a designated account for the acquisition of a professional consultant who will enter into a professional services agreement with the City of Placentia. The~~

~~consultant will be responsible for the preparation, completion, and adoption of the streetscape master plan for SP-5. As a catalyst site/development for the SP-5 area, the project is responsible for financing the streetscape master plan. Compliance with this condition is mandatory and must be satisfied before the submission of any building plans for the development. Failure to comply may result in delays or rejection of the building plan submission.~~

9.7. Developer and/or property owner agrees to annex into the Community Facilities District No. CFD 2014-01 (Public Services), or any successor to CFD 2014-01, pursuant to the provisions of California Government Code Section 53311, et seq. Said annexation into the CFD No. 2014-01 or successor CFD shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project. The successor to CFD 2014-01 is a new CFD that is intended to replace Community Facilities District No. CFD 2014-01 (Public Services).

10.8. Developer and/or property owner agrees to annex into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.

11.9. Developer and/or property owner agrees to annex into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.

~~12. Developer and/or property owner agrees that the City may, at its sole election, require that the project shall be incorporated into a new Community Facilities District serving the subject property and/or properties within SP-5 (Specific Plan 5) to be created by the City pursuant to the provision of California Government Code Section 53311, et seq. Developer and/or property owner agrees to approve the incorporation of the project into said Community Facilities District as prescribed by Condition of Approval No. 37.~~

13.10. Prior to issuance of building permits, except as otherwise noted, the following shall be completed:

- a. The Developer shall pay in full to the City of Placentia all applicable citywide Development Impact Fees so long as the fees are materially similar to those that were included in the fee estimate provided by the City to the applicant via email sent on December 18, 2020. Project fees shall materially conform to the

fee estimate provided by the City to the applicant via email sent on December 18, 2020.

~~a.b. \_\_\_\_\_ required under Title 5 of the Placentia Municipal Code, including sewer impact fees for the Transit Oriented Development (TOD) area, upon connection to the Crowther Avenue sewer line. Alternatively, the City Council may direct City Staff to establish Specific Plan 5 (SP-5) Development Impact Fees scaled to finance necessary public improvements and mitigate the impacts of new development within the SP-5 area. These fees will cover the development's fair share of construction costs for civic improvement projects, public safety, sewer projects, traffic mitigation, and parks.~~

b.c. \_\_\_\_\_ Project plans shall be submitted for the review and certification for inclusion into the entitlement file by the Director of Development Services and shall include the following information:

- i. All Special Conditions of Approval and Standard Development Requirements of GPA 2022-01, SPA 2021-01, and DPR 2021-02. Include any project revisions on the applicable sheets of the project plans. Additionally, include separate sheets with approved Special Conditions of Approval and Standard Development Requirements to be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12point.
- ii. Typical cross section views and details through the property and across each property line as directed by the Director of Development Services.
- iii. Location of transformers, meters, and other aboveground appurtenances.
- iv. All mechanical equipment shall be screened from public view to the satisfaction of the Development Services Director.

~~e.d. \_\_\_\_\_ An exterior lighting (photometric) plan showing location, type of fixtures and areas of illumination shall be submitted and reviewed for compliance with City standards and the Placentia Municipal Code. Lighting shall neither materially negatively impact adjacent properties nor the public right-of-way.~~

~~d.e. \_\_\_\_\_ Submit landscape and irrigation plans. The applicant must follow the procedure for approval under the MWELo for the proposed landscaping. A MWELo~~

procedure and approval package is available from the front counter in the Development Services Department.

e.f. Postmaster approval of the location and design of the mailboxes, if applicable.

f.g. All applicable provisions of the Placentia Municipal Code (PMC) shall be met prior to issuance of Building Permits and shall be adhered to at all times.

14.11. The following conditions shall be completed prior to issuance of a grading permit:

- a. The developer shall submit for City approval a construction staging plan that indicates how safe vehicular and pedestrian access to the site will be maintained for the duration of the construction period. The construction stage plan shall include measures such as, but not limited to the following:
  - i. A telephone number and name of a designated contact person(s) for registering complaints or comments shall be posted in a clearly visible manner along the perimeter of the site.
  - ii. When construction vehicles accessing the site are expected to obstruct pedestrian and vehicular access along W. Orangethorpe Avenue and S. Placentia Avenue, a flag person or an approved alternative method shall be employed to direct traffic effectively.
  - iii. If any sidewalk is blocked during construction, alternate routes for pedestrians and bicycles shall be clearly marked with signs approved by the City.
  - iv. All access points shall be clearly marked during construction, and if an access point is blocked during construction, a detour sign to an alternate access point shall be clearly posted.
  - v. A detailed timeline outlining the course of major ground disturbing activities as trenching, excavation, and grading, including all construction work that will take place on the property.

15.12. During demolition, grading, site development, and/or construction, the following shall be adhered to:

- a. Construction equipment shall be maintained in peak operating condition to reduce emissions.
- b. Use low sulfur (0.5%) fuel by weight for construction equipment.

- c. Truck idling shall be prohibited for periods longer than 5 minutes.
- d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.
- e. Discontinue operation during second stage smog alerts.
- f. Ensure clearly visible signs are posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/ grading activity.
- g. All Placentia Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday – Friday, 7:00 AM to 7:00 PM, and Saturdays 9:00 AM to 6:00 PM. Such activities are prohibited on Sundays and Federal holidays.

~~16-13.~~ The ~~final~~ Final Certificate of Occupancy cannot be approved, ~~and utilities cannot be released~~ until the following is completed for each respective portion of the property:

- a. The property owner(s) and/or their successor(s) willfully agree to annex into those district(s) for the project area identified by ~~Condition Nos. 8-12~~ above reference to CFD 2014-01, LMD 1992-01, and SLD 1981-01. If the subject property is sold prior to annexation into the three districts, the future property owner(s) must complete the annexation process and no Final Certificates of Occupancy shall be issued prior to completion of annexation.
- b. Submission, approval, and installation of an on-site public art installation shall be required. It is strongly recommended that the chosen public art piece reflects the rich history of the City of Placentia, focusing on significant aspects such as the citrus growing industry or early oil production eras that contributed to the city's development. Alternatively, the artwork may capture the essence and diversity of the city's community fabric. The public art piece will undergo evaluation and approval by the Development Services Director and the Housing, Community, and Economic Development Committee. The total cost of submission, approval, installation, and lighting of the on-site public art element shall not be required to cost the applicant more than \$75,000. If, 60 days prior to the issuance of the first Temporary Certificate of Occupancy the applicant has not yet received final approval for the public art element from all necessary approval bodies, the applicant may pay the City \$75,000 to satisfy this Condition, less any actual related costs incurred. The public art element shall adhere to the following parameters:

- i. The public art element shall not be commercial in nature, a reproduction, or mass produced.
- ii. Artwork siting and its visibility are important project design considerations and shall be clearly visible ~~and accessible~~ to the public.
- iii. The art piece shall be a permanent part of the development and must remain in place for the life of the development. The work must be fixed and located at or adjacent to the site and ~~accessible-visible~~ to the public.
- iv. Outdoor artwork must be illuminated sufficiently to ensure clear visibility from the nearby right-of-way during evening hours.

17.14. The use shall comply with the following:

- a. The applicant, property owner(s), and/or respective land management company shall be responsible for maintaining their respective properties, including the landscaped areas, walkways, and all on-site paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the applicant/business owner(s) within 72 hours of defacement and/or upon notification by the City.
- b. The primary vehicular access gates and pedestrian gates shall be ~~decorative in nature and~~ fabricated of high gauge metal to withstand continual wear and tear. ~~All walls and gates shall be designed with colors, materials, and of design satisfactory to the Development Services Director or his/her designee.~~
- ~~c. The property owner(s), land management company, landlord, or similar entity shall furnish all prospective tenants with a disclosure agreement, informing them of the potential for noise and odor arising from nearby industrial activities or businesses. It is mandatory for all tenants to sign this agreement, thereby acknowledging and accepting the existence of these potential impacts. A copy of the disclosure agreement must be provided to the City's Development Services Department for inclusion in the entitlement file.~~
- d.c. Onsite alcoholic beverage sales for the purposes of either onsite or offsite consumption shall be prohibited unless a Use Permit is submitted, reviewed, and approved by the City of Placentia Planning Commission at a publicly noticed public hearing.

## 18. CEQA MITIGATION MEASURES

### Cultural Resources

**CR-1:** If evidence of an archaeological site or other suspected historical resource as defined by CEQA Guidelines § 15064.5, including darkened soil representing past

human activity (“midden”), that could conceal material remains (e.g., worked stone, fired clay vessels, faunal bone, hearths, storage pits, or burials) are discovered during any project-related earth-disturbing activities, all earth-disturbing activities within 100 feet of the find shall be halted until the City of Placentia is notified. The project applicant shall retain an archaeologist who meets the Secretary of the Interior’s Professional Qualifications Standards for Archaeology to assess the significance of the find. Any identified cultural resources shall be recorded on the appropriate DPR 523 (A-L) form and filed with the South Central Coastal Information Center (SCCIC). Construction activities may continue on other parts of the Proposed Project Site while evaluation and treatment of prehistoric archaeological resources takes place.

### **Geology and Soils**

**GEO-1:** If fossils or fossil bearing deposits are encountered during ground disturbing activities, work within a 25-foot radius of the find shall halt (buffer area) and a professional vertebrate paleontologist (as defined by the Society for Vertebrate Paleontology) (the Qualified Paleontologist) shall be contacted immediately to evaluate the find. The paleontologist shall have the authority to stop or divert construction, as necessary. Documentation and treatment of the discovery shall occur in accordance with Society of Vertebrate Paleontology standards. Work shall be allowed to continue outside of the buffer area. At the Qualified Paleontologist’s discretion and to reduce any construction delay, the grading and excavation contractor shall assist in removing rock samples for initial processing and evaluation of the find. All significant fossils shall be collected by the Qualified Paleontologist. Collected fossils shall be prepared to the point of identification and cataloged before they are submitted to their final repository. Any fossils collected shall be curated at a public, nonprofit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County, if such an institution agrees to accept the fossils. If no institution accepts the fossil collection, they shall be donated to a local school in the area for educational purposes. Accompanying notes, maps, photographs, and a technical report shall also be filed at the repository and/or school.

### **Hazards and Hazardous Materials**

**HAZ-1:** The following are some simple practices that would be included in the Proposed Project and implemented on site:

- Keep potential sources of pollution out of the rain as practicable (e.g., inside a building, covered with plastic or tarps, or sealed tightly in a leak-proof container).
- Clearly identify a protected, lined area for concrete truck washouts. This area should be located away from streams, storm drain inlets, or ditches and should be cleaned out periodically.

- Park, refuel, and maintain vehicles and equipment in one area of the site to minimize the area exposed to possible spills and fuel storage. This area should be well away from streams, storm drain inlets, or ditches. Keep spill kits close by and clean up any spills or leaks immediately, including spills on pavement or earthen surfaces.
- Practice good housekeeping. Keep the construction site free of litter, construction debris, and leaking containers. Keep all waste in one area to minimize cleaning.
- Never hose down paved surfaces to clean dust, debris, or trash. This water could wash directly into storm drains or streams. Sweep up materials and dispose of them in the trash. Never bury trash or debris.
- Dispose of hazardous materials properly.

**HAZ-2:** A California Division of Occupational Safety and Health (DOSH/CalOSHA) Certified Asbestos Consultant should be contracted to conduct monitoring and clearance of any removal/abatement of Asbestos-Containing Materials/Asbestos Containing Construction Materials (ACMs/ACCMs) and materials containing asbestos.

**HAZ-3:** To protect construction workers contact or ingestion of contaminated soils during grading, the following note shall be placed on grading plans prior to issuance of grading permits: “Disposable gloves shall be worn by personnel who need to have contact with contaminated soil during grading and excavation. Consideration shall be given to the requirement for tear resistant gloves; Overalls shall be worn if there is the potential for contaminated soil to contact other parts of the body (legs, arms etc.); Boot covers shall be worn by personnel who need to traverse contaminated soils during grading and excavation or washable boots worn with a boot wash in place and utilized.”

**HAZ-4:** A soil vapor intrusion barrier with a venting system shall be installed beneath proposed future residential buildings located on the Site, in accordance with Regional Water Quality Control Board (RWQCB), the Department of Toxic Substances Control (DTSC).

### **Tribal Cultural Resources**

**TCR-1:** Prior to issuance of a grading permit, the applicant shall retain a Native American Monitor Prior to Commencement of Ground-Disturbing Activities:

- A. The project applicant shall retain a Native American Monitor from or approved by the Gabrieleño Band of Mission Indians – Kizh Nation. The monitor shall be retained prior to the commencement of any “ground-disturbing activity” for the subject project at all project locations (i.e., both on-site and any off-site locations that are included in the project description/definition and/or required in

connection with the project, such as public improvement work). “Grounddisturbing activity” shall include, but is not limited to, demolition, pavement removal, potholing, auguring, grubbing, tree removal, boring, grading, excavation, drilling, and trenching.

- B. A copy of the executed monitoring agreement shall be submitted to the lead agency prior to the earlier of the commencement of any ground disturbing activity, or the issuance of any permit necessary to commence a grounddisturbing activity.
- C. The monitor will complete daily monitoring logs that will provide descriptions of the relevant ground-disturbing activities, the type of construction activities performed, locations of ground-disturbing activities, soil types, cultural-related materials, and any other facts, conditions, materials, or discoveries of significance to the Tribe. Monitor logs will identify and describe any discovered TCRs, including but not limited to, Native American cultural and historical artifacts, remains, places of significance, etc., (collectively, tribal cultural resources, or “TCR”), as well as any discovered Native American (ancestral) human remains and burial goods. Copies of monitor logs will be provided to the project applicant/lead agency upon written request to the Tribe.
- D. On-site tribal monitoring shall conclude upon the latter of the following (1) written confirmation to the Kizh from a designated point of contact for the project applicant/lead agency that all ground-disturbing activities and phases that may involve ground-disturbing activities on the project site or in connection with the project are complete; or (2) a determination and written notification by the Kizh to the project applicant/lead agency that no future, planned construction activity and/or development/construction phase at the project site possesses the potential to impact Kizh TCRs.
- E. Upon discovery of any TCRs, all construction activities in the immediate vicinity of the discovery shall cease (i.e., not less than the surrounding 50 feet) and shall not resume until the discovered TCR has been fully assessed by the Kizh monitor and/or Kizh archaeologist. The Kizh will recover and retain all discovered TCRs in the form and/or manner the Tribe deems appropriate, in the Tribe’s sole discretion, and for any purpose the Tribe deems appropriate, including for educational, cultural and/or historic purposes.

**TCR-2:** Prior to issuance of grading permit, the following notes shall be listed on the grading plans for the project:

**Unanticipated Discovery of Human Remain and Associated Funerary Object**

- A. Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in Public Resources Code, Section 5097.98, are also to be treated according to this statute.
- B. If Native American human remains and/or grave goods discovered or recognized on the project site, then all construction activities shall immediately cease. Health and Safety Code, Section 7050.5, dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and all ground-disturbing activities shall immediately halt and shall remain halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe they are Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission, and Public Resources Code, Section 5097.98, shall be followed.
- C. Human remains and grave/burial goods shall be treated alike per California Public Resources Code section 5097.98(d)(1) and (2).
- D. Construction activities may resume in other parts of the project site at a minimum of 200 feet away from discovered human remains and/or burial goods, if the Kizh determines in its sole discretion that resuming construction activities at that distance is acceptable and provides the project manager express consent of that determination (along with any other mitigation measures the Kizh monitor and/or archaeologist deems necessary). (CEQA Guidelines Section 15064.5(f).)
- E. Preservation in place (i.e., avoidance) is the preferred manner of treatment for discovered human remains and/or burial goods.
- F. Any discovery of human remains/burial goods shall be kept confidential to prevent further disturbance.

**TCR-3:** Prior to issuance of grading permit, the following notes shall be listed on the grading plans or the project:

**Procedures for Burials and Funerary Remains**

- A. As the Most Likely Descendant (“MLD”), the Koo-nas-gna Burial Policy shall be implemented. To the Tribe, the term “human remains” encompasses more than human bones. In ancient as well as historic times, Tribal Traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains.

- B. If the discovery of human remains includes four or more burials, the discovery location shall be treated as a cemetery and a separate treatment plan shall be created.
- C. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects. Cremations will either be removed in bulk or by means as necessary to ensure complete recovery of all sacred materials.
- D. In the case where discovered human remains cannot be fully documented and recovered on the same day, the remains will be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24hour guard should be posted outside of working hours. The Tribe will make every effort to recommend diverting the project and keeping the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed.
- E. In the event preservation in place is not possible despite good faith efforts by the project applicant/developer and/or landowner, before ground-disturbing activities may resume on the project site, the landowner shall arrange a designated site location within the footprint of the project for the respectful reburial of the human remains and/or ceremonial objects.
- F. Each occurrence of human remains and associated funerary objects will be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony will be removed to a secure container on site if possible. These items should be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site but at a location agreed upon between the Tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.
- G. The Tribe will work closely with the project's qualified archaeologist to ensure that the excavation is treated carefully, ethically and respectfully. If data recovery is approved by the Tribe, documentation shall be prepared and shall include (at a minimum) detailed descriptive notes and sketches. All data recovery data recovery-related forms of documentation shall be approved in

advance by the Tribe. If any data recovery is performed, once complete, a final report shall be submitted to the Tribe and the NAHC. The Tribe does not authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains.

**DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION:**

19. The development project shall comply with the latest City of Placentia adopted and amended Editions of California Building Codes as CBC, CMC, CPC, CEC, CALGreen, and State Title 24 Energy Standards.
20. Submit approved precise grading plans upon submitting plans to the Building Division.
21. All public accommodation buildings and their parking stalls for accessibility requirements shall be in compliance with chapter 11B of CBC.
22. The apartments for accessibility requirements shall comply with Chapter 11A of CBC.
23. Shall provide sufficient ~~No. of guest~~ accessible parking stalls per ~~chapters 11A & 11B~~CBC.
24. The guest parking stalls shall have access to each designated unit on site.
25. All required site accessibility and at-grade accessible parking stalls shall be addressed on the approved precise grading plans.
26. At-grade Visitors-visitors parking stalls and accessible stalls shall be addressed on the precise grading plans along with the delineated path of access to the building's entry.
27. Complete Building, Electrical, Mechanical, Plumbing, & approved Civil plans are required for building plan check.
28. A photometric plan(s) shall be provided to address access from all apartment units to the public accommodation area(s) on site and to the public right-of-ways.
- ~~29. Prior to the issuance of a building permit, a complete acoustical report for the project shall be submitted to the Building Division that has been prepared and signed off by a certified acoustical consultant.~~
30. Submit a complete Geotechnical Investigation Report for the whole project site as part of the plan check submittal for the development project.

31. All foundation design plans, calculations, and details for conformance with the Geotechnical Report shall be reviewed and verified in writing with submission of two package sets of project plans.
32. The development project shall be equipped with the minimum required photovoltaic systems per the latest State Title 24 Energy Standards Code.

### **PUBLIC WORKS DEPARTMENT:**

33. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required, or submitted digitally if approved by the Public Works Department.
- ~~34. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances. All existing utility poles and associated overhead utility lines located along the project/property frontage shall be removed.~~
- ~~35-34.~~ 34. Prior to recordation of the final map, the public improvement plans as required shall signed by the City Engineer.
- ~~36-35.~~ 35. Prior to issuance of a Final Certificate of Occupancy, the engineer of record shall submit all approved project plans on an approved electronic format to the Public Works Department. If the required files are unavailable, the applicant shall pay a scanning fee to cover the cost of scanning the as-built plans.
- ~~37. Applicant agrees to be the catalyst project site and initiate the establishment of a new Community Facilities District (CFD) to fund ongoing maintenance costs of all new public improvements constructed as part of this project. The CFD boundary shall encompass the boundaries of SP-5 which include Placentia Avenue to the west, Orangethorpe to the south, 57 Freeway to the east, and Crowther Avenue to the north. Applicant will need to annex itself into the new CFD as a condition of approval and prior to receiving certificate of occupancy.~~

### **Demolition**

- ~~38-36.~~ 36. Provide a full set of plans for demolition of the existing facilities and utilities, including above ground and underground structures, footings, utilities, vaults, fences, walls, sewer lines, storm drainpipes, waterlines, etc., Plans shall

address conditions and procedures, as are necessary, to show that the demolition work will be conducted without creating a hazardous condition, when excavating next to other existing footings, walls and slopes. A separate demolition permit is required from the Building Department, prior to performing any kind of demolition on site. Prepare and submit a Construction and Demolition Waste Management Plan (WMP) for City approval. An approved WMP is required in order to obtain a demolition permit.

39-37. A copy of the Grant deed and owner's permission on the application for demolition is required at the time of issuance of the permit.

40-38. The existing on-site sanitary sewer lateral lines must be removed and capped at the property lines. The sewer cap shall be inspected and shall not be covered until an inspection has been made by the Department of Public Works Inspector. This inspection shall be requested at least 24 hours before the inspection is needed.

41-39. Provide AQMD Rule 1403 permit number, prior to starting any demolition work

42-40. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and removal of the existing utilities, vaults and meters. It is also the applicant's responsibility to ensure applicant notifies the Building Inspection Division that these utilities have been properly disconnected.

43-41. Provide an erosion control, Storm Water Pollution Prevention Plans (SWPPP) for protection of the site during construction activities.

### **Grading**

44. Prior to the issuance of a **precise** grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/qltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long-term maintenance responsibilities. The plan shall be prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.

45. Prior to the issuance of a **precise** grading permit, the applicant shall prepare a Water Quality Management Plan (WQMP) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the locations of structural BMP's, and assignment of long-term maintenance responsibilities (which shall also be included in the Maintenance Agreement). The plan shall be prepared to the general form and content shown in the City of Placentia's WQMP Template and shall be submitted to the City Engineer for review and approval. Website available at (<http://www.placentia.org/index.aspx?nid=262>)
46. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtained under the California's General Permit for Discharge of Storm Water Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. Prior to the issuance of a grading permit, the applicant shall submit to the City Engineer for review a Stormwater Pollution Prevention Plan (SWPPP). A copy of the approved SWPPP shall be kept at the project site and available for review upon request.
47. Prior to the issuance of **precise** grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.
48. Prior to approval of the final design plans and issuance of a grading permit, the applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected **as necessary**. The report shall

provide grading and structural design recommendations for avoiding liquefaction, subsidence or collapse for each of the proposed structures and percolation test for infiltration rate fulfilled per Appendix VII of OCTGD. The recommendations shall be implemented by the Applicant.

49. Prior to the issuance of a grading permit, erosion control plans and notes shall be submitted and approved by the Engineering Division of Public Works Department.
50. All private slopes of 4 feet or more in vertical height and of 4:1 or greater slope, but less than 2:1 slope, shall be, at minimum, irrigated and landscaped with appropriate ground cover for erosion control. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy.
51. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
52. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
53. The final grading plan for the parcels shall be substantially the same, specifically with regard to pad elevations, size, and configuration; as the proposed grading illustrated on the approved site plan. If there is a significant deviation between the two plans, the Community Development Director and the City Engineer will review the plans and determine if a finding of substantial conformance can be made prior to the issuance of a grading permit. The Director of Development Services and the City Engineer may refer the matter to the Planning Commission for an opinion before making a decision. Failure to achieve such a finding will require processing a revised site plan.
54. All parking, common, and storage areas shall be lit to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photocell.

~~55. Prior to issuance of any permits (such as grading, tree removal, encroachment or building), the site grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency with each other and for consistency with the requirements and standards of the City of Placentia.~~

~~56-55.~~ Prior to issuance of grading permit, the applicant shall submit a preliminary title report no older than 90 days.

~~57-56.~~ The applicant shall provide a quitclaim or relocation of easement, if necessary, as applicable in plan review process prior to issuance of grading permit.

~~58-57.~~ Provide and identify all pavement and driveway paving materials used inside the development areas.

~~59-58.~~ Identify all storm drain structures, types, sizes and specifications on the plans.

~~60-59.~~ Prior to issuance of a Final occupancy permit, all public improvements shown on the plans shall be constructed to City Standards.

~~61-60.~~ Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD.

### **Public Improvements and Construction**

~~62. Prior to issuance of grading permits, the applicant shall prepare and submit a street improvement plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department. All public improvements shown on the plans and/or tentative map shall be constructed to City of Placentia standards, ordinances, and policies.~~

~~63-62.~~ Prior to issuance of <sup>1<sup>st</sup></sup>the Final occupancy permit, all new public improvements shall be constructed satisfactorily to City Standards ~~and match the adjacent public improvements.~~

~~64. Prior to the issuance of a building permit, the applicant shall enter into an agreement and post security bond, in a form and amount acceptable to the City Engineer, guaranteeing the construction of public improvements in conformance with the forthcoming referenced SP-5 Streetscape Master Plan, applicable City standards, and City Code, including, but not limited to the following improvements:~~

~~a. Street improvements including but not limited to: pavement, curb and gutter, sidewalks, driveway approaches, streetlights, signing, striping, traffic signal systems and other traffic control devices as appropriate~~

~~b. Storm drain facilities~~

~~c. Landscaping~~

~~d. Sewer systems~~

~~e. Street lighting~~

~~f. All streetscape furnishings and other elements~~

~~65.63. All of the street improvements immediately adjacent to and within the boundaries of the project/property area to the centerline of Orangethorpe Avenue and Placentia Avenue are referred to as “on-site” improvements. The applicant shall remove all overhead utility lines and utility poles located along the project frontage and underground said utilities, unless they are determined to be electric transmission lines. All overhead electric distribution lines and other overhead utilities shall be removed and placed underground. All the “on-site” street improvements shall follow and comply with forthcoming referenced SP-5 Streetscape Master Plan, applicable City standards, and City Codes, and the following design standards throughout, including but not limited to tree grates, tree guards, benches, trash receptacles, bike racks, landscaping, street and pedestrian lights, in addition to the following requirements:~~

a. Driveways shall conform to the applicable City of Placentia standards and shall be shown on the street improvement plans.

b. Driveways shall be located at a minimum of two (2) feet from the property line ~~prolongation at the curbs~~ as measured where the driveway meets the property line.

~~c. Provide a new raised landscape median on Placentia Avenue and on Orangethorpe Avenue.~~

~~d.c.~~ Widened 8' concrete sidewalks shall be constructed along the Placentia Avenue frontage of the Project (the Orangethorpe Avenue frontage sidewalk is already 8' wide). ~~New work shall be all public street frontages~~ in accordance with City Standards and all curb ramps shall be constructed to current ADA or CBC standards. Applicant will be required to utilize the services of the City's CASp inspector at applicant's expense to provide inspection and certification of that all new ADA facilities constructed within the public right-of-way are ADA-compliant.

~~e.d.~~ The minimum centerline and flowline grades shall be one percent unless otherwise approved by the City Engineer and Fire Marshall.

~~f.e.~~ The existing southernmost fire hydrant on the east side of Placentia Avenue shall be relocated to provide for ADA compliance. The relocation of the hydrant shall be approved by the Placentia Fire and Life Safety Department, but shall not be required to be moved more than 10' from its existing location and shall be shown on the Street Improvement Plans.

- ~~g. Decorative street/pedestrian combination lights with banner attachment poles shall be provided along Placentia Avenue and Orangethorpe Avenue along the project frontage.~~
- ~~h. Provide irrigation service to the new trees planted in the ROW — the City will assume ownership of all the equipment and irrigation costs once installed.~~
- ~~i. Provide landscape up-lighting for the new trees in the street medians — the City will own all the related electrical equipment and electricity costs once installed.~~
- ~~j. Provide 36-inch box Drake Chinese Elm Trees in the sidewalk parkways — must include tree grates and tree guards at each tree location.~~
- ~~k. Provide 36-inch box Australian Willow trees in street medians. Subject to change pursuant to forthcoming streetscape master plan.~~
- ~~l. Decorative street/pedestrian combination lights with banner attachment poles.~~
- m.f. Up to two Decorative-decorative street benches, with a final location to be agreed upon, with the style being similar to other new benches in the City.
- n.g. Up to two Decorative-decorative trash cans, with a final location to be agreed upon, with the style being similar to other new trash cans in the City.
- e.h. Up to two Decorative-decorative bike racks, with a final location to be agreed upon, with the style being similar to other new bike racks in the City.
- ~~p. Provide decorative and enhanced visibility crosswalks at the Orangethorpe/Placentia Avenue intersection.~~
- ~~q. Applicant shall provide the development's fair share of the construction cost for the installation of the wayfinding gantry sign on Orangethorpe Avenue, which has been determined to be \$60,000, as outlined in the City's adopted wayfinding signage program. Fair share cost was determined based on the ratio of the subject project's acreage to the total specific plan acreage (approximately 0.15). This ratio was then multiplied by the estimated average cost to construct the gantry sign (\$400,000).~~
- ~~r. Two (2) decorative bus shelters. One to be installed on Placentia Avenue and one on Orangethorpe Avenue.~~

~~s. The full width of Placentia Avenue and Orangethorpe Avenue along the project frontage shall be repaved.~~

t.i. All engineered street and public improvement plans and specifications shall be prepared in accordance with City and County of Orange Standards. Shop drawings and product data shall be provided for the City's review and approval for all the public improvement items listed above, PRIOR to their installation.

~~66. Improvement plans shall be based upon a centerline profile extending beyond the project boundaries a minimum distance of 150 feet at a grade and alignment approved by the City Engineer.~~

### **Storm Drain Improvements and Construction**

67. Unless otherwise approved by the Public Works Director, the project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points.

68. Provided there is adequate capacity in the Placentia Avenue and Orangethorpe Ave. storm drains, the development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. The storm drain catch basins shall be upsized if there is not adequate capacity. If a drainage crossing a property line is altered and involves the use of drainage pipes, culverts, and V-gutters to conduct the storm water to an approved City storm drain system, a drainage easement shall be established by the recordation of Covenants Agreements and Restrictions for the benefit of each lot. Drainage easement shall be indicated on the precise grading plans.

69. Drainage easements, when required, shall be shown on the grading plans and noted as follows: "Drainage Easement – no buildings, obstructions, or encroachments by landfills are allowed."

70. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual.

~~71. Prior to the approval of the improvement plans, the hydrology study shall show that the 25-year storm flow will be contained within the street from curb to curb and the 100-year storm flow shall be contained within the street right-of-way. When either of these criteria are exceeded, additional drainage facilities shall be installed. All analysis shall comply with the Orange County Hydrology Manual and County Local Drainage Manual.~~

~~72.71.~~ Drainage facilities with sump conditions shall be designed to convey the tributary 25-year storm flows. Secondary emergency flow bypass shall also be provided as approved by City Engineer.

### **Sewer Line Improvements and Construction**

~~73. The applicant shall prepare a sewer capacity analysis including CCTV to address the future development demands. The developer shall coordinate and incorporate the results of this study into the sanitary sewer development and design. Sewer flow calculations justifying sewer line design up to the connection points shall be prepared by a registered civil engineer and submitted as part of a sanitary sewer improvement plan for approval by the City Engineer.~~

~~74.73.~~ Onsite water improvement and fire protection plans shall be approved by the Fire Marshal, the local water district, and City Engineer. The water distribution lines and appurtenances shall conform to the applicable laws and adopted regulations enforced by the Golden State Water Company.

~~75. Prior to the issuance of a building permit, the applicant shall dedicate ingress and egress of the access route within the project site and improve it fully operational as required by the City of Placentia Fire Department and satisfaction to the City Engineer.~~

~~76.74.~~ The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.

~~77. Install new sanitary sewer manholes at the proposed connection to the existing City sewer line.~~

### **Traffic**

~~78. Provide new and modify the existing striping modifications on Orangethorpe Ave and on Placentia Avenue based on the results of the traffic impact study.~~

~~79. Provide Site Access Analysis and maintain sight distance for vehicles exiting at the public driveway on Orangethorpe Ave and on Placentia Avenue.~~

~~80.78.~~ Parking and on-site circulation requirements shall be maintained at all times.

- a. All pavement markings and signage including parking spaces, directional designations, no parking designations and fire land designations shall be clearly defined and said signage and markings shall be maintained in good condition at all times.
- b. Parking site circulation and street surfaces shall be maintained in good condition at all times and shall be swept at least as frequently as public streets in Placentia.
- c. All areas of landscaping shall be permanently and continuously maintained by the property owner.

~~81. Install Iteris Vantage Next Video Detection System at Placentia/Orangethorpe intersection to improve intersection performance and safety.~~

~~82. Install touchless accessible pedestrian system (APS) pushbutton and new pedestrian countdown system at Placentia/Orangethorpe intersection, in accordance with the recent federal PROWAG guidelines~~

~~83. Replace all obsolete 8-inch signal indications with 12-inch indications at Placentia/Orangethorpe intersection~~

~~84. Install decorative traffic signal poles and luminaire fixtures at Placentia/Orangethorpe intersection; and increase the luminaire fixtures from 4 fixtures to 8 fixtures to better illuminate the crosswalks at night and in inclement weather~~

~~85. To maintain necessary traffic safety on Placentia Avenue, the proposed main access on Placentia must be configured to a right-in/right-out access only with a new median island on Placentia Avenue as well as at the driveway to prohibit vehicles from making left turns in any travel direction at the main access point. If right-in/right-out access cannot be provided, the developer shall install a new traffic signal at the proposed main access to minimize traffic safety concerns associated with the project access.~~

#### **FIRE AND LIFE SAFETY DEPARTMENT**

86. The project shall comply with all requirements set forth by the California Code Regulations Title 24 Parts 1-12 respectively.

87. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Placentia Municipal Code shall apply at the time the architectural plans are submitted for construction permits.

Resolution No. PC-2024-60

Attachment "D" Page

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88. Prior to the issuance of a grading permits, evidence of sufficient fire flow hours shall be provided to the City of Placentia Fire Prevention. The City of Placentia Fire Prevention Water Available/Fire Flow Form shall be utilized.
89. A fire department access road complying with the [California Fire Code](#) ~~GFC~~, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
90. The fire department access road shall be inspected by Placentia Fire Prevention Bureau prior to building construction.
91. The fire department access road shall remain unobstructed at all times.
92. A fire department connection (FDC) shall be provided and located within 100 feet of a public fire hydrant. The use of a private hydrant may be used with the use of an aboveground check valve to prevent the flow from the FDC back to the fire hydrant, and with the approval of Placentia Fire Prevention Fire Prevention Bureau. The fire hydrant that supports the FDC shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
93. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
94. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
95. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
96. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
97. Placentia Fire Prevention Bureau approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
98. The building shall be provided with an automatic fire sprinkler system in accordance with [California Fire Code](#) ~~NFPA-13~~. Construction plans shall be submitted for review and approval to the City of Placentia Fire Prevention Division prior to installation.

99. The building shall be provided with an automatic fire alarm system in accordance with [California Fire Code NFPA-72](#). Construction plans shall be submitted for review and approval to the City of Placentia Fire Prevention Division prior to installation.
100. Prior to issuance of a Certificate of Occupancy, the building shall be provided with a Knox Lock key box located no more than six feet above the finished surface and near the main entrance door.
101. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsections. The system shall be installed and inspected by the City of Placentia Fire Prevention Bureau prior to the Certificate of Occupancy being issued.
102. A copy of all approved alternate means and methods shall be placed on the architectural plans prior to submitting them for review and approval by the city.

### **POLICE DEPARTMENT**

103. Open bicycle storage areas shall be designed and protected as follows:
- a. Located in areas highly visible to users of the facility.
  - b. Bicycle racks in residential complexes shall be [in enclosed access-controlled bike rooms or](#) protected by see-through metal fencing which either fully encloses the racks with fencing or have floor to ceiling fencing and secured either with an access control system locking device or mechanical door lock. Padlocks are prohibited.
104. Show any vehicle access control gates in the parking structure.
105. Show all pedestrian travel paths.
106. Provide details on fencing and gates.
107. Provide details on the mail/parcel room showing compliance with the Placentia Police Department Standard Development Requirements. Mailboxes not located within a room, in multi-family complexes are to be located in high visible areas adjacent to common area activity amenities and not directly accessed from inside parking structures. Mail rooms are to have glass doors and/or windows to provide visibility into them from the surrounding area. The room is to be always illuminated with a minimum five foot-candles of light on the floor at all times.

108. The dog park shall be secured as follows:

- a. The perimeter of the dog park shall have a fence, or wall as applicable, at least five feet in height, ~~with no more than 40 percent of it being of solid construction~~. Fencing shall be tubular steel with openings between pickets not more than three inches in width and designed to prevent dogs from crawling under it.
- b. Gates shall be a double gated entry system where one gate must be closed before the other can be opened.
- c. Access to the dog park is to be controlled by an access control system if park is part of a residential complex.
- d. Provide waste bag station and trash container.
- e. All surfaces of the park shall be illuminated with a minimum maintained 0.5 footcandles of light at ground level, during the hours of operation, including one hour thereafter.
- f. A site plan shall be provided showing the park, buildings, parking area, walkways, detailed landscaping with tree legend (if pole lights are used) and shrub legend (if bollards are used), fixture schedule, mounting height, lighting ratio and a point-by-point photometric calculation of the required light levels. If the park is equipped with an occupancy sensor, then a point-by-point photometric calculation is required to show it meets the required minimum level of light. Foot-candles shall be measured at grade on a horizontal plane and conform to a uniformity ratio of six to one (6:1) average/minimum. Landscaping shall not be planted so as to obscure required light levels with light fixtures exceeding eight feet in height installed at least two feet from a tree's canopy at 70 percent maturity.

109. The parking structure plans ~~may indicate shall~~ be submitted independently from concurrently with the main residential structure remainder of the development project. Separate submittals for the development project and the parking structure shall be ~~prohibited~~permitted.

110. Provide elevations of all sides of the parking structure.

~~111. Prior to the issuance of building permits, provide Remote Recreation Area Surveillance Camera Plan showing camera coverage of the Fireside Chat, The Hangout recreations locations and Dog Park. Images are to clearly identify who is~~

using these spaces and be saved on a digital video recorder and stored for at least 30 days.

DRAFT

**PLACENTIA PLANNING COMMISSION  
MINUTES  
REGULAR MEETING  
July 9, 2024  
6:30 p.m. – City Council Chambers  
401 E. Chapman Avenue, Placentia, CA**

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**CALL TO ORDER:** Commissioner/Chair Perez called the meeting to order at 6:34 p.m.

**ROLL CALL:**

PRESENT: Commissioner Evans, Ingalls, Navarro, Roche, Perez  
ABSENT: Commissioner Silvestri, Polichetti

**STAFF PRESENT:**

Assistant City Attorney Kristi J. Smith, Assistant City Attorney Russell Hildebrand (via Zoom) Director of Development Services Joseph Lambert, Planning Manager Andrew Gonzales, Associate Planner Lesley Whitaker, Planning Technician Devan Wells, Deputy Director of Public Works and City Engineer Chris Tanio, Transportation Manager Kyra Tao, Deputy Director of Administrative Services Jeannette Ortega, Senior Management Analyst Kiana Louie, Fire Chief Jason Dobine, Consultant Patricia Nahill, Administrative Assistant Margie McCoy

**PLEDGE OF ALLEGIANCE:** Commissioner Roche

**ORAL COMMUNICATIONS:** None

**CONSENT CALENDAR:**

1. **Minutes  
Placentia Planning Commission Meeting of:  
May 14, 2024**

Recommended Action: Approve  
**(Approved 5-0-0-2 as recommended)**

**Motion by Roche second by Evans and carried on a (5-0-0-2) vote to approve the Consent Calendar.**

Ayes: Evans, Ingalls, Navarro, Roche, Perez  
Noes: None  
Abstain: None  
Absent: Silvestri, Polichetti

**REGULAR AGENDA: None**

**PUBLIC HEARING:**

1. **Applicant: Toffoli Investments**  
**Project Location: 440 N. Jefferson Street**

**TENTATIVE PARCEL MAP NO. TPM 2024-113. A REQUEST TO SUBDIVIDE A +/- 4.97-ACRE LOT INTO FOUR PARCELS, WITH A REMAINDER PARCEL DESIGNATED SOLELY FOR FINANCIAL PURPOSES, LOCATED AT 440 N. JEFFERSON STREET WITHIN THE R-3 (HIGH DENSITY MULTIPLE-FAMILY) ZONING DISTRICT.**

Chair Perez opened the public hearing at 6:36 p.m.

Director of Development Services Joseph Lambert introduced Associate Planner Lesley Whittaker to present the Staff Report. Ms. Whittaker presented an aerial view of the property and noted that the applicant is the developer of the Hudson Development directly to the east. Request is to subdivide the property from two parcels into four with one remainder lot. The property land use is High Density Residential, and zoning is R-3, which allows for up to 30 dwelling units per acre. The applicant has submitted conceptual plans for the intended project, which will come to the Planning Commission to be considered in the future and the development will be similar in size and density to Hudson. Ms. Whittaker noted that Condition #11 was omitted due to a lack of clarity and Staff is recommending an exemption from CEQA based on section 15315 class 15 minor land division requirements. Further CEQA requirements will be based on the development submittal in the future. The applicant, Alan Toffoli, was present and stated that the reason for the request for subdivision is to keep finance costs down.

Commissioner Rocke asked for clarification about the financing hurdles as well as about continuity of design throughout the project. The applicant reiterated that the overall development will be a community and will be a continuous build throughout the phases of the project. Commissioner Ingalls asked about the reason for Staff's CEQA recommendation. Associate Planner Whittaker stated that the submittal meets requirements for exemption as a minor land division. Director Lambert clarified that the CEQA action remains for the subsequent submittal for development.

Chair Perez closed the public hearing at 7:00 p.m.

Recommended Action: Approve  
**(Approved 5-0-0-2 as recommended)**

**Motion by Rocke second by Evans and carried on a (5-0-0-2) vote to approve the motion as amended with the omission of Condition #11 as recommended by Staff.**

Ayes: Evans, Ingalls, Navarro, Rocke, Perez  
Noes: None  
Abstain: None  
Absent: Silvestri, Polichetti

**2. Applicant: Gilad Ganish, on behalf of Orangethorpe Investment Partners, LLC**

**Project Location: 777 W. Orangethorpe Avenue**

**GENERAL PLAN AMENDMENT NO. 2022-01, SPECIFIC PLAN AMENDMENT NO. SPA 2021-01, AND DEVELOPMENT PLAN REVIEW NO. DPR 2021-02. A REQUEST TO MODIFY THE GENERAL PLAN LAND USE ELEMENT TO ALLOW MIXED-USE (RESIDENTIAL-COMMERCIAL DEVELOPMENT) AS A PERMISSIBLE LAND USE CATEGORY WITHIN**

**PARCEL 9 OF SPECIFIC PLAN NO. 5 BY AMENDING TABLES 2-4 - SPECIFIC PLANS, TABLE 2-5 - GENERAL PLAN/ZONING RELATIONSHIP-SPECIFIC PLANS, AND TABLE 2-7 - GENERAL PLAN LAND USE DESIGNATION - POTENTIAL DEVELOPMENT BUILDOUT, AND AMENDING SPECIFIC PLAN NO. 5 TO ALLOW FOR MIXED-USE (RESIDENTIAL COMMERCIAL DEVELOPMENT) WITHIN THE SP-5 PARCEL 9 BOUNDARIES AND ESTABLISHING DEVELOPMENT STANDARDS FOR NEW MIXED USE LAND USE TYPES, INCLUDING BUT NOT LIMITED TO BUILDING SETBACKS, FLOOR AREA RATIO, RESIDENTIAL DENSITY, DWELLING UNIT SIZE, IN CONJUNCTION WITH THE PROPOSED DEVELOPMENT AND OPERATION OF A FIVE-STORY MIXED USE BUILDING CONSISTING OF 248 RESIDENTIAL UNITS, UP TO 3,000 SQUARE FEET OF GROUND FLOOR COMMERCIAL RETAIL, AND A 6-LEVEL PARKING STRUCTURE ON A 2.72-ACRE SITE, ON PROPERTY LOCATED AT 776 S. PLACENTIA AVENUE AND 777 W. ORANGETHORPE AVENUE (APN 339-112-27).**

Recommended Action: Adopt Resolution recommending that the City Council Deny the project.

**(Resolution Adopted 5-0-0-2 as recommended)**

Assistant City Attorney, Kristi J. Smith asked Chair Perez and the rest of the Commissioners to disclose if any discussions were had with the developer about the project. Chair Perez disclosed that he spoke with the applicant. Director of Development Services Joseph Lambert mentioned that Assistant City Attorney, Russell Hildebrand was joining the meeting via Zoom and may answer some questions and also reminded the Commissioners again to disclose during their comments if they had met with the applicant or representatives prior to tonight's meeting.

Chair Perez opened the public hearing at 7:10 p.m.

Director Lambert introduced Planning Manager Andrew Gonzales to present the Staff Report. Mr. Gonzales stated that there have been two public communications received since the agenda was posted. The first was from the law firm of Lozeau Drury, LLP, on behalf of Supporters Alliance for Environmental Responsibility (SAFER) who are questioning the merits of the environmental determination for the project. A Mitigated Negative Declaration was prepared for this development. They contend that an Environmental Impact Report (EIR) should have been prepared for this project with studies to justify this. City Staff does not concur with that determination. Second communication was from Litta Queen of 835 Iowa Place, who is expressing excitement about economic investment on this site but expresses concern regarding past and future parking issues. During special events at The Bruery, there is spillage of parking into the neighborhood. She'd like to find out how the developer will address parking. Planning Manager Gonzales also stated that because of this project's scope, there have been many team players that participated with the review of this project; Director of Public Works Chris Tanio, Transportation Manager Kyra Tao, Deputy Director of Administrative Services, Jeannette Ortega, Senior Management Analyst Kiana Louie, Consultant Patricia Nahill, Assistant City Attorney, Kristi J. Smith, Assistant City Attorney Russell Hildebrand and Fire Chief Jason Dobine.

In looking at the Resolution and should the PC proceed, the parking structure is amended to reflect six levels and not seven. He stated that the applicant was present for any questions. The presentation included a Project Overview, Site & Surrounding Land Uses, Zoning and General Plan, Design and Architecture, Environmental Review, Economic Benefit Analysis

and finally the Recommendation to the Planning Commission and City Council. Staff stated that the reasons for recommendation of denial were determined based on several factors, including the land use element of the City of Placentia's General Plan. Residential uses are not identified and were never envisioned for this Specific Plan, so a General Plan Amendment is also required for this project. Director Lambert stated that there are several (10) Specific Plans within our City and that each one has a General Plan land use designation of Specific Plan, and the General Plan states what the permitted uses are. Planning Manager Gonzales stated that there are a number of issues and concerns related to the development of the site. One is that this particular property would be seen as a residential island due to the lack of connectivity to existing residential uses, lack of vision-planning to really make this a multi-modal project site. Multi-modal is a synonymous trait to mixed use development, providing improvements that facilitate walkability, bike travel, landscaped medians and improvements to infrastructure that produce safe walkability with destination points and there are very few included with this proposal. Mr. Gonzales highlighted additional General Plan inconsistencies which include the Land Use Element, Safety Element, Economic Development Element, and Health, Wellness, & Environmental Justice Element. General concerns include inadequate infrastructure for pedestrians and alternative transportation in proximity to major thoroughfares, leading to potential safety concerns, increased demand and effects of funding of essential services such as public safety, infrastructure, and parks and recreation. The current parking plan is insufficient and the overall project conflicts with goals of land use compatibility, sustainable revenue, public health and multimodal transportation. Director Lambert included that this project is also inconsistent with the Housing Element adopted by City Council and certified by the State.

Questions from Commissioners included if there were discussions about proposed commercial developments prior to, or in the future, separate from this proposal. Planning Manager Gonzales commented that at the ICSC Conference in Las Vegas and California each year, there are many investors and developers who are interested in this property for the proximity and the ability to capture the potential revenue generating potential of CSUF, OC Vibe Project and Disney Forward, and consider it a viable hotel site. They comment that the price point of this property is over-valued because value is now speculated based on potential zoning, not the actual zoning. Commissioner Rocke asked if City Council declined to rezone this property during this Housing Element process and Director Lambert stated they declined at that time and the City has long seen this property as a revenue generating site. Commissioner Rocke also asked about the city losing services. Director Lambert stated that certain projects have been dialed back due to budgetary concerns this fiscal year. Commissioner Navarro agreed that there is a lack of vision-planning with this project in terms of streetscape, walkability, multi-modal traffic flow, the lack of onsite parking and the impact to surrounding streets. He also would have liked to have seen some connectivity to the proposed Metrolink Station, which is .91 miles away. He asked if the city would be in favor of a housing project of this magnitude if it was rezoned via the Master Plan as part of the Transit Oriented District (TOD). Director Lambert stated that each of the TOD projects are vetted for sustainability, future General Plan updates and sustainability at an early stage of planning and this involves an analysis of Development Impact Fees concurrent with the Master Capital Improvement Plan (CIP), which are used to fund street improvements, landscaping, street furniture, signals, crosswalks and maintenance costs to the City. Any similar type of project must be master planned. Navarro also stated that parking would be impacted and there would be jaywalking going on as people crossed major streets to find parking. Director Lambert reiterated that the lack of vision planning is a concern.

Transportation Manager Kyra Tao stated that she has many concerns about the project including insufficient parking, the main access location which is on Placentia Avenue, and the placement of the driveway near a major intersection, with freeway access very close. A

huge safety concern from a traffic standpoint. Transportation Manager Tao does not support the project as designed.

Fire Chief Jason Dobine commented that he also has concerns in that his staff is limited, the fire truck is single axle and wouldn't be able to easily access the building, and that the City of Fullerton would have to be called to respond to incidents at this project. He is concerned that the Fire Department would not be able to meet the needs of the residents of this development.

Applicant representative Ryan Leaderman from the law firm of Holland and Knight in Los Angeles stated that the applicant has been working with the city for the last four years. He also noted that this parcel is unutilized and is disappointed with the conclusion that staff has reached today and would request that City Council hears the recommendation of staff.

Commissioner Navarro asked the applicant about vehicles entering the main driveway of the project and where they might navigate a turnaround without a specific turnaround space provided. Mr. Leaderman stated that the project meets all City Code standards.

Commissioner Ingalls asked about the City Fire Department's recommendations and whether it was the City Fire Department that stamped the plans approved and Mr. Leaderman stated that the City Fire Department approved the plans and provided recommendations.

Commissioner Evans asked if the applicant has seen the findings previously, or are they just being seen tonight. (Mr. Leaderman stated that they saw them right before the July 4<sup>th</sup> holiday) and if there are any changes envisioned to comply with the inconsistencies that the City pointed out. Mr. Leaderman stated that the applicant does not believe there are inconsistencies and would like to move on to City Council.

First public comment was from Chase Preciado, 1939 Harrison Street, Suite 150, Oakland, CA from the Law Firm Lozeau Drury LLC, on behalf of Supporters Alliance for Environmental Responsibility (SAFER) who recommends denial of the project based on MMD deficiency and he maintains that an Environmental Impact Report (EIR) is required due to possible unmitigated environmental impacts.

Second public comment was from resident and former Mayor Craig Green, 650 Nenno Avenue who recommends denial of the project based on zoning, traffic, personal safety, public safety burdens, parking deficits and the limiting of City revenue.

Chair Perez closed the public hearing at 8:15 p.m.

**Motion by Navarro to adopt Resolution PC-2024-09 recommending that the City Council deny GPA 2022-01, SPA 2021-01 and DPR 2021-02 with amendment to change all references of a 7-level parking structure to a 6-level parking structure proposed by staff, second by Ingalls and carried on a (5-0-0-2) vote.**

Ayes:	Evans, Ingalls, Navarro, Rocke, Perez
Noes:	None
Abstain:	None
Absent:	Silvestri, Polichetti

**OLD BUSINESS:** None

**NEW BUSINESS:** None

**DEVELOPMENT REPORT:**

Director Lambert reported that Ace Hardware celebrates a Grand Opening this Thursday. Spitz Restaurant is now open. Hudson is constructing the final phase of townhomes. Chick-Fil-A is in building Plan Check.

**DIRECTOR'S REPORT:**

Director Lambert stated that according to our Municipal Code, the reorganizing of Chair and Vice Chair is to be scheduled as close to July as possible and that this reorganization will take place at the September 10th meeting of the Planning Commission, and we will likely go dark in August.

**PLANNING COMMISSION REQUESTS:** None

**ADJOURNMENT:**

Chair Perez closed the regular meeting of the Planning Commission at 8:30 p.m. to the regular meeting of Tuesday, August 13, 2024, at 6:30 p.m. in the City Council Chambers at 401 East Chapman Avenue, Placentia, CA.

**Submitted by,**

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Joseph M. Lambert,  
Secretary to the Planning Commission



# City of Placentia

## ORANGETHORPE AVENUE PROPOSED MIXED USE DEVELOPMENT

City Council  
September 3, 2024

# OVERVIEW

## AGENDA

- Project Overview
- Site & Surrounding Land Uses
- Zoning & General Plan
- Design and Architecture
- Environmental Review
- Economic Benefit Analysis
- Recommendation



# PROJECT OVERVIEW



# Project Overview

- **APPLICATIONS SUBMITTED:** General Plan Amendment (GPA), Specific Plan Amendment (SPA), Development Plan Review (DPR)
- **PROJECT DETAILS:**
  - **Demolition:** Existing car dealership (Premier Chrysler Jeep)
  - **New Construction:** Five-story mixed-use building @ ±250,681 sf
    - **Residential Units:** 248 market rate units (studios, 1-2 bedrooms @ 561 sf – 1,064 sf)
    - **Commercial Space:** Approx. 2,703 sq. ft. ground floor retail
    - **Parking:** 335 stalls (6-level structure @ ±132,017 sf & at-grade)
  - **Height:** ±56'-11" for main building and 68'-6" for the highest point of the parking structure



# Project Overview



## FEATURES:

### • Amenities:

- Mail and parcel room
- Leasing office
- Fitness area
- Club room
- Co-working space
- Central pool courtyard
- 37,817 sq. ft. common open space
- 9,584 sq. ft. private open space

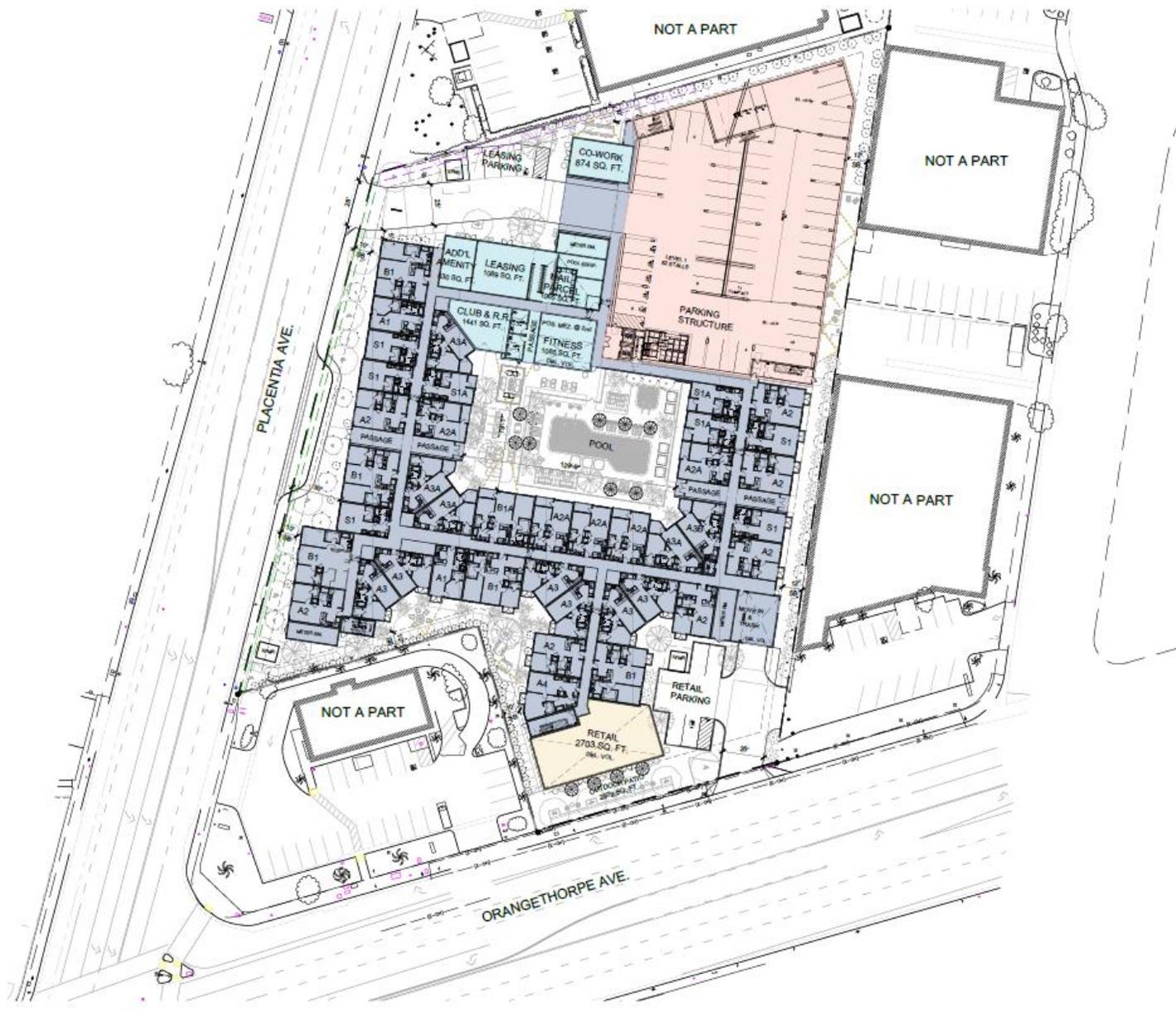
### • Outdoor Areas:

- Pool courtyard with lounge chairs, seating, turf, game lawn, outdoor kitchen, and fire pit
- Retail plaza with café tables, shade trees, pottery, umbrellas
- Dog park adjacent to parking structure

### • Circulation & Access:

- Entry/exit on S. Placentia Ave (access to parking structure)
- Entry/exit on W. Orangethorpe Ave (guest/commercial parking)
- Right-turn ingress/egress





**SITE PLAN NOTES**

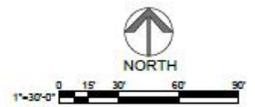
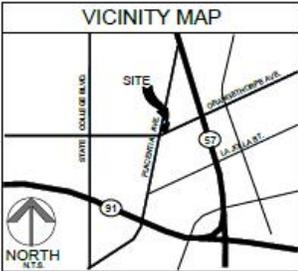
1. THIS ARCHITECTURAL SITE PLAN IS PROVIDED FOR OVERALL SITE REFERENCE. THE LOCATION OF ITEMS INCLUDED IN THIS SET OF PLANS IS FOR AGENCY/DEPARTMENT USE ONLY.
2. THIS SITE PLAN IS FOR REFERENCE ONLY. AS AN ARCHITECTURAL PLAN FOR GENERAL LAYOUT AND IDENTIFICATION PURPOSES ONLY.
3. FOR LOT LINE DIMENSIONS & HORIZONTAL CONTROL, SEE CIVIL DRAWINGS.
4. FOR HARDSCAPE AND ALL SITE IMPROVEMENTS, SEE LANDSCAPE DRAWINGS.
5. FOR PARKING GARAGE, SEE SEPARATE SUBMITTAL PACKAGE.
6. FOR "FIRE LANE" DESIGN, SEE CIVIL AND LANDSCAPE DRAWINGS.
7. FOR PERIMETER FENCING, SEE LANDSCAPE DRAWINGS.
8. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SPECIFIC SITE REQUIREMENTS.
9. ALL PROPERTY LINES, EASEMENTS, AND BUILDINGS, EXISTING AND PROPOSED ARE SHOWN ON THIS PLAN BUT MUST BE VERIFIED WITH THE CIVIL PLANS.
10. BUILDING SIGNAGE IS DESIGNED BY OTHERS AND INSTALLED BY THE GENERAL CONTRACTOR.
11. SITE SIGNAGE IS DESIGNED BY OTHERS AND INSTALLED BY THE CONTRACTOR.
12. SITE WALLS ARE DESIGNED BY OTHERS.
13. DECORATIVE SITE LIGHTING IS DESIGNED BY OTHERS.
14. SURFACE WATER MUST DRAIN AWAY FROM BUILDING. SEE CIVIL AND LANDSCAPE PLANS FOR DRAINAGE DESIGN.

**GENERAL NOTES**

1. SEE SHEETS L1.0 - L4.0 FOR LANDSCAPE.
2. SEE SHEETS C1.0 - C3.0 FOR CIVIL.

**LEGEND**

- INDICATES RESIDENTIAL BUILDING (5-STORY)
- INDICATES GROUND FLOOR RESIDENTIAL AMENITY
- INDICATES GROUND FLOOR RETAIL SPACE
- INDICATES STRUCTURED PARKING (B&S LEVELS)



**ORANGETHORPE AVE MIXED USE**  
 777 ORANGETHORPE AVENUE - PLACENTIA, CA  
 ORANGETHORPE INVESTMENT PARTNERS LLC

RESIDENTIAL BUILDING  
 Site Plan

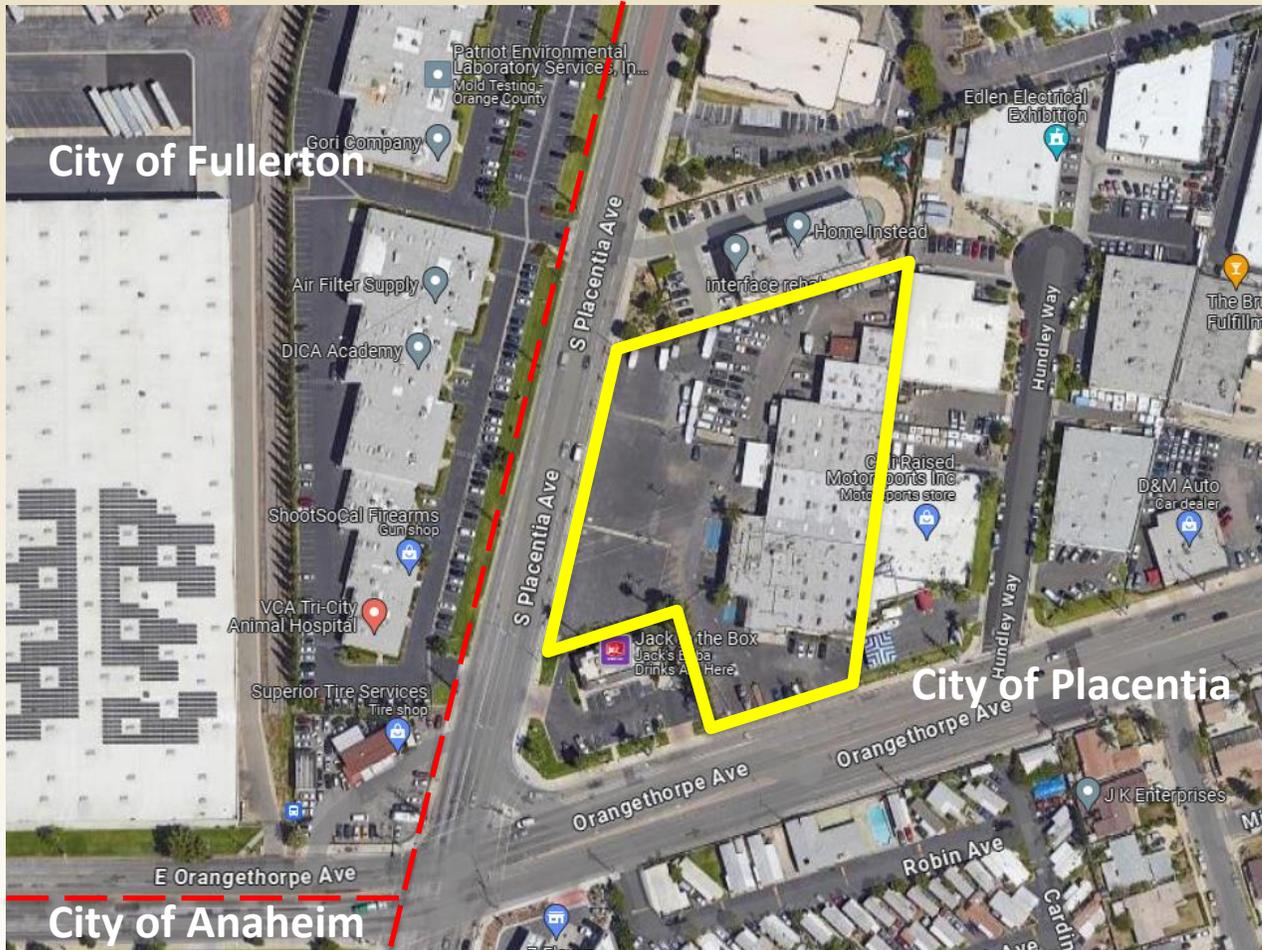


**A1.0**  
 Scale 1" = 30'  
 Job No. 2021-204  
 Date 05-20-2024

# SITE & SURROUNDING LAND USES



# Site & Surrounding Land Uses



## LOCATION

- 776 S. Placentia Avenue & 777 W. Orangethorpe Avenue, NEC of Placentia Avenue and Orangethorpe Avenue
- 2.72-acre site of the former Premier Chrysler Jeep of Placentia auto dealership
- Southwest border of the City of Placentia, abutting the cities of Anaheim and Fullerton



# Site & Surrounding Land Uses



Location	Existing Land Use	Land Use Element General Plan Designation	Zoning Map Designation
<b>Existing</b>	Vacant Car Dealership Site	Specific Plan	Specific Plan No. 5 (SP-5)
<b>Proposed</b>	Five-Story, 248-Residential-Unit Mixed-Use Building and Six-Level Parking Structure	Specific Plan	SP-5
<b>North</b>	Three-Story Office Building Containing Interface Rehab, Inc. & Maxum Therapy	Specific Plan	SP-5
<b>South (Adjacent to the Site &amp; Across W. Orangethorpe Avenue)</b>	Fast Food Restaurant (Jack in the Box), 7-Eleven and Gas Station, Twin Palms Mobile Home Park	Specific Plan, Commercial Manufacturing, & Low Density Residential	SP-5, C-1 (Neighborhood Commercial), & R-1 (MHP) (Single Family Residential – Mobile Home Park)
<b>East</b>	Industrial Uses	Specific Plan & Industrial	SP-5 & Manufacturing (M)
<b>West (Across S. Placentia Avenue)</b>	City of Fullerton – Multi-tenant Industrial Park	City of Fullerton – Industrial	City of Fullerton – Commercial Manufacturing



# Site & Surrounding Land Uses



**Existing Conditions  
Adjacent to the Property**

# ZONING AND GENERAL PLAN



# Zoning and General Plan

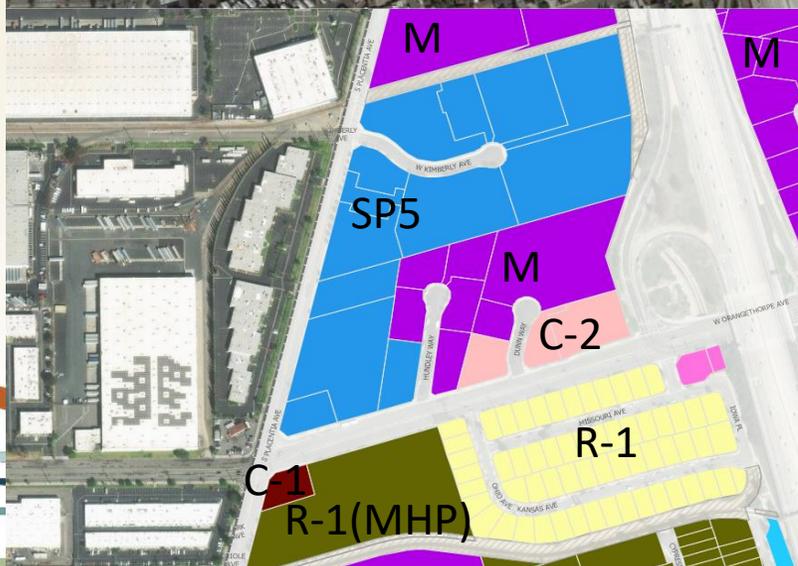


## ZONING

- Specific Plan 5 (SP5) – Parcel 9
  - Vehicle dealerships, hospitality uses, general retail, financial, office, medical, and restaurant uses are permitted
  - Residential uses are not permitted in SP5

## GENERAL PLAN

- Land Use Designation of “Specific Plan”
  - Residential is not identified as an allowed land use



Because of the nonconforming nature of the project, a General Plan Amendment (GPA) and Specific Plan Amendment (SPA) is required

# Zoning and General Plan



Current



Proposed



# Zoning and General Plan

## GENERAL PLAN INCONSISTENCIES

- **Land Use Element**

- **Goal LU-2:** New development must be compatible with surroundings.
- **Policies:** LU-2.1, LU-2.2, LU-2.4, LU-2.21, LU-5.6
- **Issues:** High-density residential in non-residential area; lack of smooth transition, vision planning, and walkability.

- **Safety Element**

- **Policies:** SAF-4.8, SAF-4.9
- **Issues:** Need for buffers between residential and industrial zones; potential disturbances from industrial activities.

- **Economic Development Element**

- **Action ED-2.2-1:** Prioritize tax-generating businesses.
- **Issues:** Permanent loss of tax-producing property; adverse impact on future city revenue.

- **Health, Wellness, & Environmental Justice Element**

- **Policies:** HW/EJ-4.1, HW/EJ-5.9, HW/EJ-10.1, HW/EJ-10.2, HW/EJ-12.3, HW/EJ-12.9, HW/EJ-13.10
- **Issues:** Location contradicts infill development policies; lacks streetscape improvements; potential exposure to pollution; inadequate promotion of alternative transportation.



# Zoning and General Plan

## GENERAL PLAN INCONSISTENCIES

### • Land Use Element

- **Goal LU-2:** New development must be compatible with surroundings.
- **Policies:** LU-2.1, LU-2.2, LU-2.4, LU-2.21, LU-5.6
- **Issues:** High-density residential in non-residential area; lack of smooth transition, vision planning, and walkability.

### • Safety Element

- **Policies:** SAF-4.8, SAF-4.9
- **Issues:** Need for buffers between residential and industrial zones; potential disturbances from industrial activities.

### • Economic Development Element

- **Action ED-2.2-1:** Prioritize tax-generating businesses.
- **Issues:** Permanent loss of tax-producing property; adverse impact on future city revenue.

### • Health, Wellness, & Environmental Justice Element

- **Policies:** HW/EJ-4.1, HW/EJ-5.9, HW/EJ-10.1, HW/EJ-10.2, HW/EJ-12.3, HW/EJ-12.9, HW/EJ-13.10
- **Issues:** Location contradicts infill development policies; lacks streetscape improvements; potential exposure to pollution; inadequate promotion of alternative transportation.



# Zoning and General Plan

- **Mobility Element**

- **Policies:** MOB-2.2, MOB-2.6, MOB-2.13, MOB-3.4, MOB-4.14
- **Issues:** Minimal public right-of-way enhancements, lack of protected bike lanes, streetlights, and pedestrian amenities.



Existing Condition



TOD Streetscape Improvements

# Zoning and General Plan

- **Housing Element**

- **Goals:** HE-1, HE-3
- **Issues:** No affordable units; inadequate community planning and connectivity.

## **General Concerns:**

- Inadequate infrastructure for pedestrians and alternative transportation.
- Proximity to major thoroughfares leading to potential safety concerns.
- Increases demand and affects the funding of essential services such as public safety (e.g., Fire & Life Safety Department & Police Department), infrastructure, and parks and recreation.
- Current parking plan is insufficient and may exacerbate existing issues, highlighting the need for a more comprehensive approach to parking management and infrastructure planning.
- Overall project conflicts with goals of compatibility, sustainable revenue, public health, and multimodal transportation.



# Zoning and General Plan

## Proposed PMC Parking Requirements

Unit Type/Land Use	Unit Quantity/Size	Proposal – Orangethorpe Avenue Mixed Use			TOD	
		Proposed Requirement	Qty (Min./Max.)	Provided	PMC	Qty (Min./Max.)
Studio	44	1 min./1 max.	44	<b>44</b>	1 min./1 max.	44
1-Bedroom	136	1 min./1 max.	136	<b>136</b>	1 min./1.5 max.	136/204
2-Bedroom	68	1 min./1.5 max.	102	<b>102</b>	1.5 min / 2 max.	102/136
3-Bedroom	-	2 min./2 max.	-	-	2 min./2.5 max.	0
Guest/Leasing	-	Spaces per 5 units: 1 min./1 max.	50	<b>53</b>	Spaces per 10 units: 2 min / 3 max.	50/75
Retail	2,500	Retail & Residential parking may be shared.	0	<b>0</b>	Spaces per 1,000 SF: 2 min. / 4 max.	5/10
<b>TOTAL</b>	<b>248</b>		<b>332</b>	<b>335</b>		<b>337/469</b>

TOD Parking vs Orangethorpe Avenue Mixed Use								
SPECIFIC PLAN 5			TOD					
Orangethorpe Mixed Use (248 Units/ 91 du/ac)			Herald (215 Units/ 73 du/ac)		Cenza (418 Units/ 83 du/ac)		Metro at Melrose (189 units/ 89 du/ac)	
Proposed Req'ts	Provided	TOD Req'ts	Req'd (min./ max.)	Provided	Req'd (min./ max.)	Provided	Req'd (min./ max.)	Provided
332	<b>335</b>	<b>337/469</b>	316/445	<b>394</b>	591/793	<b>626</b>	257/374	<b>272</b>



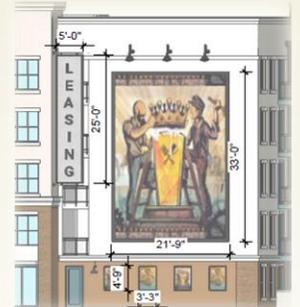
# DESIGN AND ARCHITECTURE



# Design and Architecture

## Contemporary Brownstone Architecture

- **Style:** Contemporary interpretation of traditional Brownstone architecture
- **Elements:** Blend of traditional (brown sandstone facades) and modern design (sleeker lines, larger windows, updated materials).
- **Design Features**
  - Structure: Multiple floors, each with multiple apartment units.
  - Interiors: Spacious layouts, high ceilings, abundant natural light.
- **Facade and Materials**
  - Design: Numerous facade breaks for shade and material transitions.
  - First Floor: High ceilings for commercial storefronts, 20 ft. high brick veneer.
  - Upper Stories: Brick veneer or painted stucco, lighter colors to avoid monolithic appearance.
  - Windows: Strategically placed for maximum natural light.
  - Balconies: Wrought iron-style reminiscent of 19th-century fire escapes.
- **Community Integration**
  - Murals: Potential for blank facades to host murals reflecting community history.
  - **Scale: Building's size and scale not in harmony with the surrounding single-story and two-story neighborhood context.**

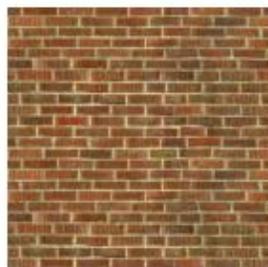




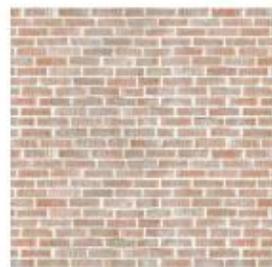
SOUTH ELEVATION



1. Painted Stucco  
- 20/30 Finish



2. Brick Veneer 1



3. Brick Veneer 2



4. Metal Balcony with  
Wire Mesh Railing



5. Foam Trim



6. Vinyl Window / Door



7. Storefront Window / Door



8. Metal Scupper & Downspout



9. Accent Light Fixture



10. Metal Canopy



A. Off-White



B. Rose-Gray



C. Gray 1



D. Slate



E. Gray 2



F. Charcoal

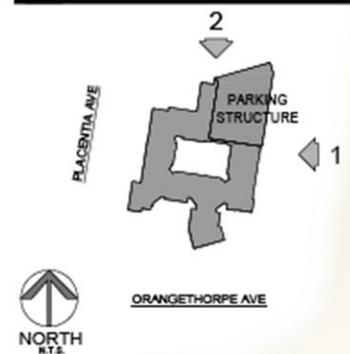


G. Brick Red

# Design and Architecture



## KEY MAP



# Design and Architecture



RETAIL

## KEY MAP



# ENVIRONMENTAL REVIEW



# Environmental Review

- Environmental checklist prepared by Harris and Associates and peer reviewed by the City's CEQA consultant PGN which resulted in the preparation of a Mitigated Negative Declaration document
  - Studies prepared for the document included air quality, asbestos & lead, dry utility report, geotechnical investigation, water quality, sewer analysis, traffic study, water study, soil & soil vapor investigation, Phase 1 environmental analysis, and fire development plan review.
  - Nine mitigation measures in the areas of Cultural Resources, Geology & Soils, Hazards & Hazardous Materials, Tribal Cultural Resources
- Notice of Intent mailed to property owners within 300 ft. of property, published in the local paper, and distributed to the Governor's Office of Planning Research (OPR)/State Clearing House for 30-day public review period.



# Findings for the Environmental Review

## Findings

- **No Impact/Less than Significant Impact:** Most environmental categories.
- **Mitigation Required:** Cultural Resources, Geology and Soils, Hazards and Hazardous Materials, Tribal Cultural Resources.
- **Mitigation Measures:** Proposed to reduce impacts to less than significant levels with seven mitigation measures

## Conclusion

- **Mitigated Negative Declaration:** No significantly adverse impacts with incorporation of nine mitigation measures.
- **City Determination:** MND is sufficient
- **CEQA Guidelines:** Title 14 CCR Section 15270 - Projects which are disapproved are statutorily exempt.



# ECONOMIC BENEFIT ANALYSIS



# Economic Benefit Analysis

## ECONOMIC DEVELOPMENT INCONSISTENCIES

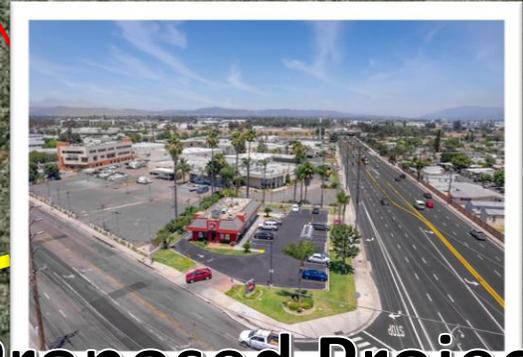
- **Action ED-2.2-1:** Prioritize tax-generating businesses.
- **Issues:** Permanent loss of tax-producing property; adverse impact on future city revenue.

## CITY COUNCIL APPROVED STRATEGIC PLAN INCONSISTENCIES

- **ENSURE LONG-TERM FISCAL SUSTAINABILITY**
  - **Objective 1.4:** *Protect and preserve existing economic development/property nodes to maximize revenue opportunities.*
  - **Objective 1.5:** *Continue diversifying the City's revenue sources to prevent over-reliance on any single source (e.g., Measure U/Property Tax).*
    - Permanently removing a commercially designated and historically tax-producing site from the city's inventory would reduce the already limited commercial land (less than 5% of the city's total area), potentially harming the sustainable revenue stream for the City's General Fund.
- **PROMOTE COMMUNITY AND ECONOMIC DEVELOPMENT**
  - **Objective 3.3:** *Promote Community and Economic Development* by continuing to recruit and attract retail, hotel, and other commercial businesses that complement key City assets (Anaheim Resort District, Cal State Fullerton, OC Vibe, Angel Stadium Projects). Permanently removing this commercially designated site from the City's inventory would eliminate its potential for future commercial use, despite past interest from hoteliers and automobile dealerships.



A new economic impact analysis shows that Cal State Fullerton is a major driver of economic activity statewide, powering \$2.26 billion in economic activity, supporting 15,000 jobs and generating \$126 million in local and state tax revenue. The bulk of that impact is felt in Orange and Los Angeles counties.



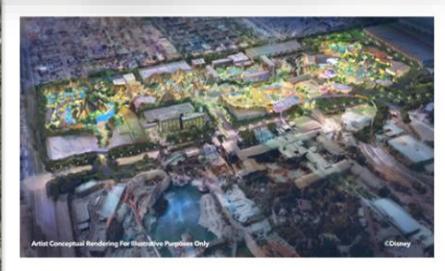
# Proposed Project

4 miles

Plus, the region is likely to see 4,000 new construction jobs and 2,000 ongoing jobs in operating the theme parks.  
The state of California itself is expected to see \$20 million in increased tax revenue.  
The Southern California economy sees \$5.7 billion in benefit from Disneyland, which is the largest employer in Orange County and a major contributor to the region's status as an international tourist destination.

The Anaheim City Council unanimously approved the OCVibe development project on September 27, 2022, and then again on October 4, 2022, with a second vote. The project is a \$4 billion, 100-acre development around the Honda Center in Anaheim, California.

On May 7, 2024, the Anaheim City Council voted to approve a \$1.9 billion, ten-year investment for expansion at the Disneyland Resort, called DisneylandForward.



## Disneyland Forward



# Economic Benefit Analysis

- City issued a Request for Proposals (RFP) for an Economic and Fiscal Impact Analysis to assess the anticipated impacts of three possible development scenarios at the site:
  - High Density Residential
  - Hotel Development
  - New Car Dealership
- Through the RFP process, the City selected Jon Stover & Associates to conduct an independent study to assess the economic impacts of three potential developments including the renovation of the existing on-site commercial building with the site continuing its former use as a car dealership.
- The study also assesses the anticipated state and local tax revenue, or fiscal impact, generated by each potential development scenario.



# Economic Benefit Analysis

- Applicant submitted a response Economic Benefit Analysis prepared by RSG, Inc. received on August 16, 2024. The study stipulated the following.
  - **Report Comparison**
    - City Consultant: Evaluated three development scenarios (residential, hotel, car dealership)
    - RSG: Focused on mixed-use residential with 248 units and commercial space.
  - **Fiscal Impact**
    - City Consultant Revenue Estimate: \$188,097 annually
    - RSG Revenue Estimate: \$473,866 annually (+2.5x greater)
  - **Net Fiscal Impact**
    - City Consultant: -\$58,338
    - RSG: +\$227,430
  - **Key Differences:**
    - RSG included additional tax revenues (Property Tax in Lieu of VLF, EIFD Taxes, Utility Users Tax)
    - City Consultant did not account for these in their revenue projections (JS&A amended memo on next slide)
  - **Conclusions:** The RSG report suggests a significantly higher positive fiscal impact from the proposed development compared to the City's analysis, with a net positive impact even after considering estimated expenditures.

# Executive Summary

## DEVELOPMENT SCENARIOS

	RESIDENTIAL DEVELOPMENT <i>248 Multifamily Rental Units with 2,703 SF of Ground-Floor Retail</i>	HOTEL DEVELOPMENT <i>123 Hotel Rooms with 5,000 SF of Standalone Retail</i>	NEW CAR DEALERSHIP <i>New On-Site Car Dealership No On-Site Retail</i>
<b>Economic Impact<sup>1</sup></b> <i>To what extent does the development create local jobs, wages, and business revenue?</i>	<b>Slight Positive Impact</b> Adds \$10.4 million in annual economic output, 49 annual jobs; \$3.5 million in annual wages to the City once complete.	<b>Strong Positive Impact</b> Adds \$17.4 million in annual economic output, 130 annual jobs; \$7 million in annual wages to the City once complete.	<b>Slight Positive Impact</b> Adds \$11.8 million in annual economic output, 56 annual jobs; \$5.2 million in annual wages to the City once complete.
<b>Fiscal Impact<sup>2</sup></b> <i>To what extent does the development increase general fund reserves?</i>	<b>Slight Positive Impact</b> Net loss of -\$2,000 in fiscal revenue annually; \$1.2 million net fiscal impact over first 15 years.	<b>Strong Positive Impact</b> Generates \$579,000 in net fiscal revenue annually; \$9.9 million net fiscal impact over first 15 years.	<b>Strong Positive Impact</b> Generates \$485,000 in net fiscal revenue annually; \$8.5 million net fiscal impact over first 15 years.
<b>Community Impact<sup>3</sup></b> <i>To what extent does the development achieve stated local planning objectives?</i>	<b>Slight Negative Impact</b> Limited alignment with stated planning objectives; conflicts with the current land use map and zoning; activates a vacant property; helps achieve goal to grow housing supply.	<b>Strong Positive Impact</b> Allowed by-right; aligns with current land use map and zoning; achieves stated economic development goals; activates a vacant property.	<b>Slight Positive Impact</b> Allowed by-right; aligns with current land use map and zoning; activates a vacant property; lacks on-site retail.
	<b>Slight Positive Impact</b> Features slightly net negative annual fiscal returns to City; relatively minimal economic impact.	<b>Strong Positive Impact</b> Features strong annual fiscal returns to City, with strong ongoing job creation.	<b>Slight Positive Impact</b> Features strong annual fiscal returns to City; relatively minimal economic impact; and slight alignment with zoning and local planning objectives.

IMPACT SUMMARY

**OVERALL IMPACT**

 **Economic Impact<sup>1</sup>**  
*To what extent does the development create local jobs, wages, and business revenue?*

 **Fiscal Impact<sup>2</sup>**  
*To what extent does the development increase general fund reserves?*

 **Community Impact<sup>3</sup>**  
*To what extent does the development achieve stated local planning objectives?*

(1) Annually at stabilization; includes direct, indirect, and induced; jobs located within City of Placentia  
 (2) Includes unrestricted General Fund revenues (other revenues and expenses generated onsite are assumed to be roughly revenue neutral)  
 (3) Stated planning objectives according to City of Placentia General Plan, current Land Use Map, 2021-2029 Updated Housing Element

# Key Findings

- **The Hotel Development Scenario** would generate the highest net fiscal return for the City among the three scenarios, generating approximately \$577,000 of additional annual General Fund revenue. This strong fiscal return is largely driven by \$575,733 in Transient Occupancy Tax revenue estimated to be generated annually. A hotel would also result in lower overall fiscal expenditures to accommodate on-site users, as hotel guests typically require fewer municipal services than full-time residents. In its first fifteen years of stabilized operations, it would generate a cumulative \$9.1 million in General Fund revenue.
- **The Proposed Residential Development** would have a negative net annual fiscal impact of \$58,338 upon stabilized operations. This is due to the enhanced municipal services needed to serve the estimated 384 residents that would reside in the development. The residential scenario would generate a positive net return of approximately \$361,808 over its first fifteen years (including one-time tax revenues during construction), significantly lower than the other two scenarios. It would take approximately 22 years for the negative annual fiscal losses to be offset by the \$1.2 million in revenue generated during construction.
- **A New Car Dealership** use would generate approximately \$483,000 in annual tax revenue (predominantly generated through sales taxes), and require a very minimal increase in fiscal expenditures, resulting in an annual net fiscal impact of approximately \$470,000.



# FY 2024/25 Proposed Budget Overview (All Funds)

Fund Type	Revenues & Transfers In	Expenditures & Transfers Out	Net Incr/ (Decr) to Fund Balance
General Fund	\$50,430,128	\$50,925,940	(\$495,812)
Special Revenue	27,579,237	31,021,820	(3,442,583)
Debt Service	407,750	407,750	-
Capital Projects Fund	-	456,000	(456,000)
Enterprise	6,169,640	5,646,040	523,600
Internal Service	4,593,969	4,613,969	(20,000)
Fiduciary	4,657,704	4,662,800	(5,096)
Agency	1,491,050	1,491,050	-
<b>Totals</b>	<b>\$95,329,478</b>	<b>\$99,225,368</b>	<b>(\$3,895,890)</b>



# City's Response to Financial Challenges

- **Initial deficit of \$3.8 million identified at beginning of budget preparation process**
  - Departments were asked to make reductions up to 5%
  - Hiring “frost” implemented for non-public safety or non-revenue generating positions
  - Proposed use of funds from the Section 115 trust to make UAL payment and 75% of retiree medical payments
  - Proposed use of \$495,811 in general reserves
  - Proposed utilization of Measure U reserve contribution of \$888,600 for operating
  - 87% of budget deficit managed through department reductions and other measures



# RECOMMENDATION



# Recommendation

- **Key Issues:**

- **Inconsistency with General Plan:** The project does not align with the City's vision, goals, and policies for sustainable and harmonious community development.
- **PMC Non-Compliance:** Fails to meet the list of allowable uses and development standards for the subject site and surrounding area.
- **Community Impact:** Potential disruption of the established balance between residential, commercial, and public spaces, leading to significant concerns.

- **Staff Recommendation:**

- **Recommendation:** Denial of the proposed project.
- **Action:** City Council to adopt Resolution No. R-2024-56, denying GPA 2022-01, SPA 2021-01, and DPR 2021-02, making findings of denial.



# Alternative Recommendation

- **Action:** Adopt Resolution No. R-2024-60, approving the Initial Study/Mitigated Negative Declaration No. MND 2021-01, related to General Plan Amendment No. GPA 2022-01, Specific Plan Amendment No. SPA 2021-01, and Development Plan Review No. DPR 2021-02. This resolution allows for a five-story mixed-use development with 248 residential units, ground-floor commercial space, and a six-level parking structure on a 2.72-acre site at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue, while amending the General Plan to permit mixed-use development within Parcel 9 of Specific Plan No. 5.
- **Action:** Waive full reading, by title only, and introduce for first reading Ordinance No. O-2024-05, an Ordinance of the City Council of the City of Placentia, California Approving Specific Plan Amendment No. SPA 2021-01, amending Specific Plan No. 5 to permit mixed-use development and parking structures on Parcel 9 and establishing associated development standards on a 2.72-acre site on property located at 777 W. Orangethorpe Avenue and 776 S. Placentia Avenue (APN 339-112-27).



# Questions?



**PLACENTIA**  
Rich Heritage, Bright Future





Agenda Item No: 3.a

## PLACENTIA CITY COUNCIL AGENDA REPORT

Meeting Date: September 3, 2024

Submitted by: Jennifer Lampman

From: Finance

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### **Subject:**

Appeal of Penalties and Interest for Business License Taxes for The Bruery & Offshoot Beer Company

### **Financial Impact:**

#### Fiscal Impact:

\$0 - \$22,611.05 depending upon City Council action.

### **Summary:**

On September 20, 2022, the City Council approved an agreement with Avenu Insights & Analytics, LLC for business license auditing services. During their audit of business license taxes for The Bruery & Offshoot Beer Company (The Bruery) for 2019-2022, they determined the business had incorrectly calculated the amount of tax owed and that the business owes the City \$15,074.04 in back taxes and \$7,537.02 in penalties and interest for a total amount due of \$22,611.05. The business is now appealing and requesting a waiver of the penalties and interest calculated (\$7,537.02) and requesting either a waiver of, or payment plan for the amount of taxes owed (\$15,074.04).

### **Recommendation:**

Recommended Action: It is recommended that the City Council:

1. Consider and approve the appeal of penalties and interest for business license taxes for The Bruery & Offshoot Beer Co. (\$7,537.02); and
2. Authorize the Director of Finance to develop and implement a payment plan for the amount of business license tax owed (\$15,074.04).

### **Strategic Plan Statement:**

This item does not correspond to a specific Strategic Plan Goal or Objective.

### **Discussion:**

On September 20, 2022, the City Council approved an agreement with Avenu Insights & Analytics, LLC for business license auditing services. During their audit of business license taxes for the past few years for The Bruery & Offshoot Beer Company they determined the business had incorrectly calculated the amount of tax owed based upon the profit and loss statements provided by The Bruery. The amounts determined to be owed to the City include \$15,074.04 in business license taxes and \$7,537.02 in penalties for a total amount due of \$22,611.05.

The Bruery was notified of the audit results in a letter dated January 31, 2024, and officially requested an appeal and waiver of amount owed in March 2024.

Per Municipal Code § 6.04.180 Appeal of fee, any person aggrieved by the amount of tax he is required to pay under the provisions of this chapter may appeal to the City Council by filing a written notice thereof with the city clerk within ten days after payment of the license tax. The council shall make a decision within thirty days from the receipt of the notice by the City Clerk, and the decision of the Council, after hearing on the appeal, upon notice to the licensee shall be final and conclusive.

In this case, while the appeal was not submitted to the City Clerk within ten (10) days, City Staff was in contact with The Bruery, acknowledged the request and began to research the appeal process in consultation with the City Attorney's office. The City could not find any record of an appeal of business license fees and did not have a clear process in place, nor did the initial determination letter sent to The Bruery by the auditors provide information on their right to an appeal. Both City Staff and representatives of The Bruery have worked in good faith, and the auditors have confirmed that The Bruery modified their methodology, accurately reported their gross receipts and paid the correct amount for their current year's business license. For these reasons, Staff and the City Attorney recommend the City Council consider the Bruery's appeal.

Municipal Code § 6.04.200 Penalties for delinquent payment of taxes, states a penalty of ten percent of the license fee shall be levied in addition to the amount of the license on all who fail to pay their yearly license, due on the first of July, prior to the first day of September. Said penalty shall be also levied on all who fail to pay their yearly license, due on the first of January, prior to the first day of March and on all persons who fail to secure a license within sixty days after opening for business.

In addition, a penalty of five percent of the original license fee shall be added for each month or portion thereof said license fee is unpaid after the delinquent date. In no case, however, shall the penalty exceed fifty percent of the original license. In the case of a business tax audit, penalties may be waived if delinquent payments are made pursuant to the first notice of the audit.

The Bruery has requested the full waiver of the total amount due, and/or the possibility of a waiver of penalties and a payment plan for the amount of taxes owed.

**ALTERNATIVE OPTIONS:**

1. Consider and deny the waiver of penalties and interest (\$7,537.02); and
2. Authorize the Director of Finance to develop and implement a payment plan for the total amount owed as determined by the auditors (\$22,611.05).

**Or**

1. Consider and approve both the appeal and waiver of the total amount owed as determined by the auditors (\$22,611.05).

**Fiscal Impact Summary:**

The audit determined The Bruery miscalculated the amount of business license taxes owed to the City for the years 2019, 2020, 2021, and 2022 resulting in a balance due of \$15,074.04. Per Placentia Municipal Code 6.04.200, there is also a penalty of up to 5% of the delinquent payment of taxes applied for each month the tax is paid late. The penalty is capped at 50% and has been included within the calculation of penalties totaling \$7,537.02. The total amount owed as determined by the auditors is \$22,611.05.