



# Placentia Planning Commission Agenda

Regular Meeting

March 11, 2025

6:30 p.m.

City Council Chambers

401 E. Chapman Avenue, Placentia, CA

**Frank Perez**  
Chair

**Matthew Rocke**  
Vice Chair

**Brandon Evans**  
Commissioner

**Juan Guerrero**  
Commissioner

**Thomas Ingalls**  
Commissioner

**Juan Navarro**  
Commissioner

## Procedures for Addressing the Commission

*Any person who wishes to speak regarding an item on the agenda or on a subject within the Planning Commission's jurisdiction during the "Oral Communications" portion of the agenda should fill out a "Speaker Request Form" and give it to the Commission Secretary BEFORE that portion of the agenda is called. Testimony for Public Hearings will only be taken at the time of the hearing.*

*The Commission encourages free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks brief. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of an entire group. To encourage all views, the Commission discourages clapping, booing or shouts of approval or disagreement from the audience.*

**PLEASE SILENCE CELL PHONES AND OTHER ELECTRONIC EQUIPMENT WHILE THE COMMISSION IS IN SESSION.**

## Special Accommodations

*In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (714) 993-8231. Notification 48 hours prior to the meeting will generally enable City staff to make reasonable arrangements to ensure accessibility.  
(28 CFR 35.102.35.104 ADA Title II)*

*Copies of all agenda materials are available for public review in the Office of the City Clerk, City Planning Division Counter, Placentia Library Reference Desk and the internet at [www.placentia.org](http://www.placentia.org) under the Planning Commission page. Persons who have questions concerning any agenda item may call the City Planning Division at (714) 993-8124 to make inquiry concerning the nature of the item described on the agenda.*

**City of Placentia**  
401 E Chapman Avenue  
Placentia, CA 92870

**Phone: (714) 993-8124**

**Fax: (714) 528-4640**

**Website: [www.placentia.org](http://www.placentia.org)**

*In compliance with California Government Code Section 54957.5, any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda that are not exempt from disclosure under the Public Records Act will be made available for public inspection at the City Clerk's Office at City Hall, 401 East Chapman Avenue, Placentia, during normal business hours.*

*Study Sessions are open to the public and held in the City Council Chambers or City Hall Community Room.*

**REGULAR MEETING**  
6:30 p.m. – City Council Chambers

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**CALL TO ORDER:**

**ROLL CALL:** Commissioner Evans  
Commissioner Guerrero  
Commissioner Ingalls  
Commissioner Navarro  
Vice Chair Rocke  
Chair Perez

**PLEDGE OF ALLEGIANCE:**

**ORAL COMMUNICATIONS:**

At this time the public may address the Planning Commission concerning any agenda item, which is not a public hearing item, or on matters within the jurisdiction of the Planning Commission. There is a five (5) minute time limit for each individual addressing the Planning Commission.

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**CONSENT CALENDAR:**

1. **Planning Commission Regular Meeting Minutes – February 11, 2025**

**RECOMMENDATION:** Approve

**PUBLIC HEARINGS:**

1. **Applicant:** CARLA HUTCHINSON DBA NO LIMITS CREATIVE ARTS

**Project Location:** 350 S. HIGHLAND AVENUE (USE PERMIT NO. 2024-09)

**Request:** USE PERMIT NO. 2024-09. A REQUEST TO PERMIT THE ESTABLISHMENT AND OPERATION OF A CREATIVE ART STUDIO FOR SPECIAL NEEDS STUDENTS, INCLUDING DANCE, VOICE, YOGA, AND ART INSTRUCTION CLASSES, WITHIN AN EXISTING 1,930-SQUARE-FOOT TENANT SPACE LOCATED AT 350 S. HIGHLAND AVENUE, UNIT B, WITHIN THE COBBLESTONE SHOPPING CENTER, LOCATED AT E. ORANGETHORPE AVENUE AND LAKEVIEW AVENUE.

**RECOMMENDATION**

It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit No. UP 2024-09; and

2. Receive the staff report and consider all public testimony; and
3. Close the public hearing; and
4. Adopt Resolution PC 2025-02, a Resolution of the Planning Commission of the City of Placentia making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15301 (Class 1 – Existing Facilities) and the City of Placentia environmental guidelines, and approving UP 2024-09 allowing the establishment and operation of a creative arts studio within a 1,930-square foot tenant space at 350 S. Highland Avenue.

**2. Applicant: GLEN GWATNEY OF ANACAL ENGINEERING, REPRESENTING THE PROPERTY OWNER GREENLEAF, LLC**

**Project Location: 975 S. LAKEVIEW AVENUE (TENTATIVE PARCEL MAP NO. TPM 2024-143)**

**Request: TENTATIVE PARCEL MAP NO. TPM 2024-143. A REQUEST TO SUBDIVIDE A 2.66-ACRE PARCEL AT 975 S. LAKEVIEW AVENUE (APN 346-341-29) INTO TWO PARCELS OF 1.38 ACRES (PARCEL 1) AND 1.27 ACRES (PARCEL 2) WITHIN THE C-M (COMMERCIAL MANUFACTURING) ZONING DISTRICT.**

**RECOMMENDATION:**

It is recommended that the Planning Commission take the following actions:

1. Open the Public Hearing concerning TPM 2024-143; and
2. Receive the Staff Report, consider all public testimony, ask any question of Staff; and
3. Close the public hearing; and
4. Adopt Resolution PC-2025-03, a Resolution of the Planning Commission of the City of Placentia, to make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines, and recommending to the City Council approval of TPM 2024-143 to permit the subdivision of an existing 2.66-acre parcel into two (2) parcels measuring 1.38-acres (Parcel 1) and 1.27-acres (Parcel 2) for property located within the C-M (Commercial Manufacturing) Zoning District located on property at 975 S. Lakeview Avenue (Assessor's Parcel Number 346-341-29 & 346-341-30).

**REGULAR AGENDA:**

1. **Applicant:** City of Placentia

**Project Location:** Citywide

**STUDY SESSION REGARDING RESIDENTIAL DEVELOPMENT STANDARDS**

**Recommended Actions:** It is recommended that the Planning Commission take the following actions:

1. Discuss the updated Residential Development Standards Survey Data; and
2. Provide staff direction as appropriate.

**DEVELOPMENT REPORT:**

**DIRECTOR'S REPORT:**

**PLANNING COMMISSION REQUESTS**

Commission members may make requests or ask questions of Staff. If a Commission member would like to have formal action taken on a requested matter, it will be placed on a future Commission Agenda.

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**ADJOURNMENT**

The Planning Commissioners ADJOURN to the next regular meeting on April 8, 2025, at 6:30 p.m. in the City Council Chambers located at 401 East Chapman Avenue, Placentia CA, 92870.

**CERTIFICATION OF POSTING**

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, hereby certify that the Agenda for the March 11, 2025, Regular Meeting of the Planning Commission of the City of Placentia was posted on March 6, 2025.

  
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Joseph M. Lambert, Secretary

**PLACENTIA PLANNING COMMISSION  
MINUTES  
REGULAR MEETING  
February 11, 2025  
6:30 p.m. – City Council Chambers  
401 E. Chapman Avenue, Placentia, CA**

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**CALL TO ORDER:** Commissioner/Chair Perez called the meeting to order at 6:35 p.m.

**ROLL CALL:**

PRESENT: Commissioner Guerrero, Navarro, Rocke, Perez  
ABSENT: Commissioner Evans, Ingalls

**STAFF PRESENT:**

Assistant City Attorney Kristi J. Smith, Director of Development Services Joseph Lambert, Associate Planner Lesley Whitaker, Planning Technician Sen Liyanage, Deputy Director of Public Works Gabriel Gabany-Guerrero, Administrative Assistant Margie McCoy

**PLEDGE OF ALLEGIANCE:** Commissioner Guerrero

Chair Perez and Director Lambert welcomed new Planning Commissioner Juan Guerrero to the meeting and highlighted his extensive past experience as a Planning Commissioner for the City of La Habra.

**ORAL COMMUNICATIONS:** None

**CONSENT CALENDAR:**

1. **Minutes  
Placentia Planning Commission Regular Meeting of:  
November 12, 2024**

Recommended Action: Approve  
**(Approved 3-0-1-2 as recommended)**

**Motion by Rocke second by Navarro and carried on a (3-0-1-2) vote to approve the Consent Calendar.**

Ayes: Navarro, Rocke, Perez  
Noes: None  
Abstain: Guerrero  
Absent: Evans, Ingalls

**PUBLIC HEARING:**

1. **Applicant:** Gilad Ganish, on behalf of Orangethorpe Investment Partners, LLC  
  
**Project Location:** 776 S. Placentia Avenue and 777 W. Orangethorpe Avenue (APN 339-112-27)

**ZONING CODE AMENDMENT (ZCA) NO. 2024-01 AMENDING CHAPTER 23.105, SPECIFIC PLAN NO. 5, SECTION 23.105.050, PERMITTED USES FOR PARCELS 9 AND 11, BY MODIFYING THE MINIMUM RESIDENTIAL DENSITY OF PARCEL NO. 9 FROM 65 DWELLING UNITS PER ACRE TO 15 DWELLING UNITS PER ACRE PER ACRE ON PROPERTY LOCATED AT 776 S. PLACENTIA AVENUE AND 777 W. ORANGETHORPE AVENUE (APN 339-112-27)**

Recommended Action: Approve

Chair Perez opened the public hearing at 6:50 p.m.

Director Lambert presented the Staff Report, stating that this item is a Zoning Code Text Amendment and is a request to modify the minimum residential density of parcel 9 of Specific Plan 5 from 65 dwelling units per acre to 15 units per acre. Approximately 5 months ago, the City Council reviewed and approved a Mixed-Use development on parcel 9 of Specific Plan 5, 776 S. Placentia Avenue, also known as 777 W. Orangethorpe Avenue. The Planning Commission recommendation on the development and the Specific Plan Amendment was denial. However, ultimately it was approved by City Council and that approved project includes development of a 5-story 248-unit residential building with ground floor commercial space and a 6-level parking structure.

After City Council deliberations regarding the project, a Resolution was adopted approving the project and adopting the CEQA determination. There was an Ordinance that changed the Municipal Code as it relates to Specific Plan 5, because Specific Plan 5 did not allow residential at all. Specific Plan 5 was amended to allow a Mixed-Use project on this parcel, parcel nine, with up to 248 units at a density range of 65 minimum to 95 maximum dwelling units per acre. During the Public Hearing process at City Council, it was brought up by the applicant, at the dais, asking if the minimum density could be lowered. At that time, the City Council elected not to make that part of their motion for approval. The Code was changed to allow a density range with a minimum of 65 units per acre and a maximum of 95 units per acre.

As a follow up to the City Council's decision, the applicant, Mr. Ganish, asked staff how to amend that code, and after conferring with our city attorneys, including Kristi Smith, it was surmised that Mr. Ganish could apply for a Zoning Code Amendment. This application is a text amendment, and what he has applied for is to change that minimum density from 65 dwelling units per acre to 15 dwelling units per acre. Since Mr. Ganish applied for that, being a development related application, it went to the City Council, Housing, Community and Economic Development Committee. This meeting took place last week, and there were two members of the City Council on that committee. One of the City Council members initially questioned the proposed density reduction, however, by the end of the meeting there was consensus from the two members that eliminating the minimum density requirement altogether would provide the applicant with the greatest flexibility while keeping the 95 dwelling unit ceiling on the maximum density requirement. Based on the committee's recommendation and what the applicant applied for, the Resolution presented is set up for approval, recommending changing the minimum density for this parcel from 65 units per acre to 15 units per acre.

Commissioner Navarro asked if Planning Staff were in support. Director Lambert stated that Staff is in support of the 15-unit minimum density, so yes, Staff is in support of the 15-unit minimum density. Director Lambert noted that when this ordinance was crafted for approval, Staff gave it a minimum/maximum range to match our TOD Zone, or something similar to our Transit-Oriented Development zone, although this is not the same zone, but it's a similar

idea, in that it allows that high level of density along with other uses. However, if you look in some of our other zoning codes throughout the city, R-1 doesn't have a minimum density, but has a maximum density of approximately 7 units per acre. In the R-3 zone, the maximum density is 30, and it doesn't state a minimum in that code. If however, you're building one house on an R-3 property, you do need a use permit. So technically, a single house in an R-3 zone is permitted with a use permit and we researched other city codes. And it's split. Some cities include minimum/maximum, some cities just have a maximum. It's hard to argue that one way is right, and one way is wrong.

Commissioner Guerrero asked for clarification on the location of Parcel 9 and Director Lambert showed the Commissioner and the rest of the Commissioners the location of Parcel 9 on his iPad.

The first public comment from Craig Green of 650 Nenno Avenue included that he had spoken against this item when it first came before City Council. He strongly opposed this project as it changed the Zoning Code from Commercial to Residential, which would deprive the city of a badly needed revenue source. His concerns at that time pertained to safety issues, number of parking spaces per unit, fire and safety vehicle access, etc. The loss of Commercial zoning to Residential for this parcel is what Mr. Green feels is the biggest issue. He is requesting that this item be tabled until more specific information can be obtained from the developer.

Mr. Joe Queen, 835 Iowa Place, a resident across the street from the project, spoke about the eyesore the property presents in terms of graffiti, trash, etc. as it has remained vacant for quite some time. He and other residents are hoping this trash and graffiti will be cleaned up. The other issue Mr. Queen raised is the proposed retail space below the project and the concern is that it will likely remain vacant for some time and attract more trash and cause other security issues.

Applicant Gilad Ganish clarified that if there are any major changes to the existing entitlements that they would be brought to the Planning Commission at a later date. He also stated that there have been no changes to the project and there are no intended changes at this time.

Vice Chair Rocke and Commissioner Navarro expressed concerns about the potential for frequent changes to the approved development on parcel 9 and the impact on housing goals it may have.

Chair Perez and Commissioner Guerrero discussed the potential for future developers to request lower densities and the timeline for such changes.

Chair Perez closed the public hearing at 7:40 p.m.

**Motion by Rocke second by Navarro and carried on a (3-1-0-2) vote to adopt Resolution PC-2025-01 with findings recommending denial of ZCA 2024-01.**

Ayes: Navarro, Rocke, Perez  
Noes: Guerrero  
Abstain: None  
Absent: Evans, Ingalls

Director Lambert stated that this recommendation will be forwarded to the City Council.

## **REGULAR AGENDA:**

**1. Applicant: City of Placentia**

**Project Location: Citywide**

**Study Session Regarding Residential Development Standards**

Recommended Actions: It is recommended that the Planning Commission take the following actions:

1. Discuss the Residential Development Standards Survey Data
2. Provide staff direction as appropriate

Director Lambert stated that the item on the agenda is a Study Session and is related to the Planning Commission's direction that Staff received over the past 18-months to begin to look at the possibility of updating various City Residential Development Standards. In November of 2023, the Planning Commission requested that Staff work with the Streetscape and Transportation Advisory Commission. At that time, it was noted in the minutes that Staff would begin the work to study alternatives for residential driveway widths and gates across driveways as well as other Standards. Residential driveway approach Standards are a Public Works Standard and not necessarily a Development Standard under the purview of Development Services and the Planning Commission. But they do often relate to development. We had the Commission's direction to study some of these Standards.

The information presented at this meeting is broken down into single family residential and multiple family residential for single family garage space dimensions, like the interior of a garage, usable outdoor driveway dimensions, if any, and drive approach widths. We also researched front yard fencing height limits, rear yard fencing height limits, and any driveway gate regulations, meaning gates that may roll or swing across single family driveways, and then multifamily residential, developments like the Hudson condominium town home projects that this commission has seen where we covered topics such as covered parking space dimensions, uncovered parking space dimensions, guest parking dimensions, and backup distance from guest parking. Internal, private street widths, those without street parking, internal, private street widths, when they have garages on both sides, drive approach widths and in general, fence heights and regulations.

One of our newest members in Development Services, Mr. Sen Liyanage, who was a former intern, has been promoted to a part-time Planning Technician. Sen and Associate Planner Lesley Whittaker have helped with the survey of several local cities and each city's Standards. Discussion may span more than one Planning Commission meeting. Deputy Director of Public Works and City Engineer, Gabe Gabany-Guerrero, was in attendance at tonight's meeting. If the Commission recommends Code Amendments, then Staff will communicate that to City Council through the Interim City Administrator to make sure that City Council has an appetite for Staff to continue moving forward with the discussion. If Staff gets a sense overall that there is a desire to make some changes to our Code, then we would just have to make sure, through memos, working through our City Administrator, to communicate to Council. Director Lambert then presented slides showing the city survey data with each category's results, going through each line by line and there was discussion about each item.

The Commission agreed to seek Staff recommendations on potential garage space dimensions

After some discussion, Commissioner Guerrero suggested that Staff research each of the items; outdoor driveway space dimensions including separating one-way and two-way requirements, investigating County of Orange Standards on backup distances, including requirements, residential lighting Standards in single and multiple family districts, Fire Department access and alignment with Fire Code requirements. Commissioners agreed that this is an efficient way to proceed and that a possible update of the Standards is in order. Assistant City Attorney Smith stated that if the Standards are specific and not left up to interpretation, that this will establish a track record and will avoid subjective interpretations and potential litigation. Commissioner Navarro discussed the recently presented issue of a vehicular gate being proposed at the property line, which blocked a crosswalk and conflicted with pedestrians. He suggested a setback for the gate to avoid these conflicts. Commissioner Guerrero added that evaluating past complaints or issues related to specific line items could help prioritize areas of concern. Vice Chair Rocke highlighted the importance of considering the aesthetic impact of wide driveways and garages, suggesting they could look unsightly. Director Lambert mentioned the challenges of Fire Truck access in mixed-use projects and the need for special parking spots on the street. There was consensus on the need for thorough Staff analysis and Commission feedback on proposed changes.

**OLD BUSINESS: None**

**NEW BUSINESS: None**

**DEVELOPMENT REPORT: None**

**DIRECTOR'S REPORT:**

Director Lambert gave a brief update on various projects, including Chick-fil-A, Toll Brothers and a new commercial building.

**PLANNING COMMISSION REQUESTS: None**

**ADJOURNMENT:**

Chair Perez adjourned the Regular Meeting of the Planning Commission at 8:45 p.m. to the regular meeting of Tuesday, March 11, 2025, at 6:30 p.m. in the City Council Chambers at 401 East Chapman Avenue, Placentia, CA.

**Submitted by,**

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Joseph M. Lambert,  
Secretary to the Planning Commission



# Placentia Planning Commission

## AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: LESLEY WHITTAKER, ASSOCIATE PLANNER

DATE: MARCH 11, 2025

SUBJECT: **USE PERMIT NO. UP 2024-09; 350 S. HIGHLAND AVENUE (NO LIMITS CREATIVE ARTS)**

### **RECOMMENDATION**

It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit No. UP 2024-09; and
2. Receive the staff report and consider all public testimony; and
3. Close the public hearing; and
4. Adopt Resolution PC 2025-02, a Resolution of the Planning Commission of the City of Placentia making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15301 (Class 1 – Existing Facilities) and the City of Placentia environmental guidelines, and approving UP 2024-09 allowing the establishment and operation of a creative arts studio within a 1,930-square foot tenant space at 350 S. Highland Avenue.

### **REQUEST**

A request to permit the establishment and operation of a creative art studio for special needs students, including dance, voice, yoga, and art instruction classes, within an existing 1,930-square-foot tenant space located at 350 S. Highland Avenue, in the Neighborhood Commercial (C-1) Zoning District.

### **STRATEGIC PLAN STATEMENT**

The item is consistent with the City Council-approved 5-Year Strategic Goal to achieve:

*Continue seeking ways to diversify the City's revenue sources to prevent over-reliance on any one source (Measure U/Property Tax).*

### **PROJECT BACKGROUND AND DESCRIPTION**

The applicant, Carla Hutchinson, dba No Limits Creative Arts, is seeking a Use Permit to permit the establishment and operation of a creative art studio for special needs students, including dance,

voice, yoga, and art instruction classes, within an existing 1,930-square-foot tenant space located at 350 S. Highland Avenue, Unit B, within the Cobblestone Shopping Center, located at E. Orangethorpe Avenue and Lakeview Avenue.

No Limits Creative Arts is a nonprofit organization dedicated to making the creative arts accessible to individuals of all abilities, with a particular focus on those with disabilities in the Orange County area. Founded a decade ago by Carla Hutchison, the program was inspired by her son's desire to dance and perform like his older sister. With over 20 years of experience in dance education, Carla developed a curriculum that not only fosters artistic expression but also builds essential life skills for children with disabilities.

What started with just three students has since expanded into a thriving program that serves over 80 individuals across 16 different classes, offering instruction in musical theater, voice, and a variety of dance genres. No Limits Creative Arts operates with a team of one full-time staff member and eight part-time employees, providing classes on weekday afternoons and evenings as well as Saturday mornings.

Currently, the program is spread across eight different locations in Southern California. As part of its continued growth and mission to create a more accessible and inclusive learning environment, No Limits Creative Arts is seeking approval for a Use Permit to consolidate its operations into a single location in Placentia. This move will allow for greater efficiency in programming, enhanced accessibility for students, and a strengthened sense of community within the organization.

The surrounding land uses are predominantly commercial and residential. The adjacent residential land uses are to the north and west of the site. Being in the Cobblestone Plaza multitenant commercial center, there are several nearby commercial uses. Said uses include fast food restaurants and retail shops. The property is presently accessible from one driveway from E. Highland Avenue. The applicant, Hutchinson, lists herself as the current operator of the No Limits Creative Arts studio. The application was submitted on December 02, 2024.

The proposed hours of operation are Monday through Friday, from 3:00PM to 8:00PM, and Saturday from 9:00AM to 12:00PM.

<b>Proposed Operating Hours</b>	
Monday – Friday	3:00PM – 8:00PM
Saturday	9:00AM – 12:00PM
Sunday	Closed

**Applicable Code Section : Placentia Municipal Code**

The subject property is within the Neighborhood Commercial (C-1) Zoning District. An art studio is not permitted by right in the C-1 Zoning District. Studios, such as dance and music, that are instructionally based, are permitted with an approved UP within the C-1 Zoning District. The creative art studio is in the same vein as other instructionally based uses as described in PMC Section 23.33.030(15), which is deemed as permissible subject to obtaining a use permit.

**Subject Site and Surrounding Land Uses**

The subject site is an existing commercial space located within an existing, multitenant commercial shopping center located at 350 S. Highland Avenue. Located on the east side of South Highland Avenue just north of East Orangethorpe Boulevard, the subject property is within the City’s southeastern quadrant. Neighboring tenants include a dance studio, insurance office, and several restaurants. The subject site is presently vacant.

**Subject Site and Surrounding Land Uses:**

The table below illustrates the site and surrounding existing land uses, General Plan Land Use designation, and zoning:

<b>Location</b>	<b>Existing Land Use</b>	<b>Land Use Element General Plan Designation</b>	<b>Zoning Map Designation</b>
<b>Subject Site</b>	Commercial	Commercial	Neighborhood Commercial (C-1)
<b>North</b>	Multi-Family Residences	High Density Residential	R-3 (O-1) (High Density Residential, with Oil Overlay)
<b>West (Across Highland Ave.)</b>	Multi-Family Residences	Medium Density Residential	R-G (O) (Medium Density Multiple Family Residential. Oil overlay)
<b>South</b>	Commercial tenants	Commercial	C-1 (O-1)
<b>East</b>	Commercial tenants	Commercial	C-1 (O-1)

**SITE PLAN AND PARKING**

The four parcels that make up Cobblestone Shopping Center contain a total of 314 onsite parking spaces. Based off of the total square footage of all existing commercial tenant spaces, the site requires a total of 267 onsite parking stalls, which results in a total parking surplus of 47 spaces. There is a reciprocal parking and access agreement between all abutting commercial property owners that grants vehicular access rights over adjoining parcels and shared parking spaces that satisfies meeting the city’s minimum parking requirements. The standards for the C-1 Zoning District requires four (4) parking spaces to be provided per every 1,000 square feet of gross floor area. The proposed business would require eight (8) parking spaces, which has already been provided when the shopping center was developed.

Entry to the site is provided by two primary entrances off of S. Highland Avenue located on the westerly side of the shopping center. Parking spaces are located both north and south of the location, with ADA spaces located on the southern side. The primary mode of transportation for guests will be via private vehicle. Many students are dropped off by family members or caregivers and picked up after class. Staff does not have reason to believe that parking will be an issue for this

location. Classes are staggered to give ample time for pickup, before the next students begin arriving.

## **ZONING COMPLIANCE ANALYSIS**

### **Site Development Standards**

The project is located within the C-1 Zoning District. According to PMC section 23.78.030, this proposal currently meets the minimum number of off-street parking spaces required. As per the standards for the C-1 Zoning District, of which the proposed location is located within, the number of required parking spaces is 8. There are multiple ADA-accessible parking spaces, complete with a ramp, as well as an ADA-compliant path of travel from the main entrance to the handicapped-accessible parking space.

According to the applicant, most participants will arrive and depart via private transportation, with many of these being parents dropping off and picking up their children. Parking lots are presently accessible from two driveways from E. Highland Avenue, as well as on-street parking along E. Highland Avenue.

The scope of tenant improvement primarily centers around renovating the existing commercial space into an open layout suitable for the operation of an art studio. Space is needed for dance and yoga instruction, as well as other arts offered. No other changes are to be made, and there will be no changes to the building exterior, except for new signage.

Planning staff is of the opinion that the proposed creative arts studio does not negatively impact the quantity of existing parking spaces, as the required parking is located onsite.

### **Other Departments' Concerns and Requirements**

Project plans and information were submitted to different City department. These included the Building Division, Public Works, Police Department, and Fire and Life Safety Department. Relevant concerns and input were formally taken into account, and into conditions of approval for the project but had no major concerns with the proposal that could not be addressed via conditions of approval. All applicable code requirements and conditions of approval have been incorporated in a resolution for consideration by the Planning Commission.

## **ISSUES ANALYSIS:**

### **General Plan Consistency**

In an overall review of the General Plan, the proposed creative arts studio is found to be consistent with City policies, programs, and goals. General Plan policies advocate to: (a) increase the tax base of the City by supporting revenue-producing businesses that provide residents with basic and enhanced services; and, (b) create a more vibrant business community that benefits both residents and existing businesses; (c) Promote the development of distinct, well-designed focus areas that are served by transit, contain a mix of commercial or civic activities, are supported by adjacent residential areas, and serve as focal points in the community. The proposed project will fulfill these policies by

both offering services and employment opportunities to surrounding residents, thereby protecting, and ensuring its long-term success.

No Limits Creative Arts will provide a valuable service to Placentia residents and families from the surrounding region by offering specialized art classes for students with special needs. This unique and inclusive program will not only enrich the local community by fostering creativity and self-expression but also contribute to the City's goal of supporting diverse educational opportunities.

The location of the proposed business is strategically positioned to attract students from Placentia as well as nearby cities such as Anaheim, Yorba Linda and Fullerton. Increased patronage of Cobblestone Plaza will encourage further investment in the community, enhancing the City's economic vitality, particularly in its southeastern quadrant.

Additionally, since the existing building is fully self-contained, No Limits Creative Arts' operations will not impact sensitive land use receptors. No exterior modifications or activities are currently proposed. As designed, the business aligns with the stated goals and actions of the Placentia General Plan, supporting both economic growth and the City's commitment to inclusive educational programs.

### **PMC Consistency**

Adoption of the recommended conditions of approval will result in a project that complies with the provisions of the Neighborhood Commercial Zoning District. The proposed project, with the incorporation of the recommended conditions of approval, will meet or exceed the requirements of the Neighborhood Commercial Zoning District and other applicable provisions of the PMC.

### **Land Use Compatibility**

The General Plan designation for 350 S. Highland Avenue is commercial. Given that the proposed scope of work involves no changes to the building footprint or profile, the project will be compatible with the surrounding land uses. It is staff's belief that this business use will complement existing nearby land uses.

### **CEQA:**

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgment and find that UP 2024-09 is exempt from CEQA pursuant to State CEQA Guidelines § 15301 Class 1-Existing Facilities as it applies to the operation, repair, leasing or minor alteration of existing public or private structures, of facilities or features involving "negligible or no expansion of use".

### **PUBLIC NOTIFICATION:**

Legal notice was published in the Placentia News Times on February 27, 2025, and legal notices were sent to property owners of record within a 300-foot radius of the subject property and posted at the Civic Center on February 27, 2025, pursuant to all applicable provisions of the PMC. As of March 6, 2025, staff has received no comments in support of or opposition of the request.

**CONCLUSION:**

The proposed project is consistent with the City's General Plan and meets the minimum development standards of the PMC. Moreover, the project builds upon the stated goals and objectives of the C-1 Zoning District, which aims to guide development in the City's professional office-oriented commercial areas. This includes the provisioning and establishment of uses consistent with this objective. It is within this context that a permit to permit the establishment and operation of a creative arts studio is found to be within reason and compatible with the objectives of the C-1 Zoning District.

**RECOMMENDATION:**

The Planning Division recommends that the Planning Commission of the City of Placentia adopt Resolution PC 2025-02 recommending approval of Use Permit No. UP 2024-09; and finding that it is exempt from further CEQA review, pursuant to Section 15301 of the State CEQA Guidelines.

**Prepared and submitted by:**



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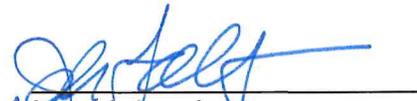
Lesley Whittaker  
Associate Planner

**Reviewed and approved by:**



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Andrew Gonzales  
Planning Manager



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Joseph Lambert  
Director of Development Services

**Attachments:**

1. Resolution No. PC-2025-02
2. Vicinity Map
3. Project Plans Dated and Received December 2, 2024
4. Statement of Use Submitted by the Applicant Dated and Received December 2, 2024
5. Site Photos
6. Signed Affidavit of Mailing, Legal Hearing Notice, Radius Map, and Mailing List

**RESOLUTION NO. PC-2025-02**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA MAKING FINDINGS THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) SET FORTH IN TITLE 14 CCR § 15301 (CLASS 1 – EXISTING FACILITIES) AND THE CITY OF PLACENTIA ENVIRONMENTAL GUIDELINES APPROVING AND APPROVING UP 2024-09 ALLOWING THE ESTABLISHMENT AND OPERATION OF A CREATIVE ARTS STUDIO WITHIN A 1,930-SQUARE FOOT TENANT SPACE AT 350 S. HIGHLAND AVENUE;**

**A. Recitals.**

**WHEREAS**, Carla Hutchinson, representing “No Limits Creative Arts” (“Applicant” hereinafter), located at 350 S. Highland Avenue, filed an application for approval of Use Permit No. UP 2024-09, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Use Permit request is referred to as the “Application”;

**WHEREAS**, on March 11, 2025 the Planning Commission conducted a duly noticed public hearing, as required by law, and after careful consideration of all pertinent testimony and the staff report offered in the case, the Planning Commission voted to approve UP 2024-09; and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.**

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Placentia as follows:

**Section No. 1:** Based on the evidence presented and the findings set forth, UP 2024-09 is hereby found to be consistent with the Placentia General Plan and the implementation thereof.

**Section No. 2:** Based upon the evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff reports, verbal testimony and development plans, this Commission hereby specifically finds as follows:

- a. The proposed request for the establishment and operation of a creative arts studio, will not be: (1) detrimental to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed use or within the city, or (2) injurious to the property or improvements within the

neighborhood or within the City. Subject to compliance with the attached Conditions of Approval and Standard Development Requirements (Attachment "A"), this use complies with all applicable code requirements and development standards of the Neighborhood Commercial (C-1) District and (3) it is not anticipated that the creative arts studio will generate any negative impacts onto adjacent properties and businesses. All primary activities shall be conducted within the enclosed building, while maintaining an environment free from objectionable noise, odor, or other nuisances, subject to compliance with the attached Special Conditions of Approval and Standard Development Requirements.

- b. The proposed request for the establishment and operation of a creative arts studio is consistent with the City's General Plan. A creative arts studio is permitted as a studio via Use Permit in the C-1 Zoning District, pursuant to PMC 23.33.040 (15). The General Plan Land Use designation for the subject site is Commercial.
- c. The proposed request for the establishment and operation of a creative arts studio, subject to the attached Conditions of Approval and Standard Development Requirements (Attachment "A"), is consistent with the provisions of the Zoning Ordinance, or regulations applicable to the property. The proposed request for the operation of creative arts studio is conditionally permitted use in the C-1 Zoning District in the City of Placentia. Approval of the Use Permit for the proposed request will be consistent with the zoning, as the site can accommodate the use, and other similar uses have been conditionally permitted within the C-1 Zoning District.
- d. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions, are made part of the use permit approval process. Attachment "A" contains Conditions of Approval and Standard Development Requirements specific to UP 2024-09 to ensure compliance with the Placentia Municipal Code (PMC).

**Section No. 3:** Based upon the environmental review of the project, the Planning Commission finds that UP 2024-09 is exempt from the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia pursuant to the State CEQA Guidelines § 15301 (Class 1 – Existing Facilities) as the permit would be issued to an existing structure or facility, and no expansion of the use is contemplated.

**Section No. 4:** The Planning Commission hereby directs that, upon approval of UP 2024-09, a Notice of Exemption shall be filed with the Orange County Clerk/Recorder.

**Section No. 5:** Based upon the findings and conclusions set forth herein, this Planning Commission hereby approves UP 2024-09, subject to the Conditions of Approval contained in Attachment A hereto.

**Section No. 6:** The Secretary to the Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a copy of this Resolution to the Applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED THIS 11<sup>TH</sup> DAY OF MARCH, 2025

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FRANK PEREZ, CHAIR

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 11<sup>th</sup> day of March, 2025, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 11<sup>th</sup> day of March, 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

ATTEST:

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JOSEPH M. LAMBERT,  
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM:

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CITY ATTORNEY

Attachment A: Conditions of Approval for Use Permit No. 2024-09

**Attachment "A":  
Special Conditions of Approval and Standard Development Requirements for  
Use Permit No. UP 2024-09  
350 S. Highland Avenue  
(APN: 339-081-29)  
SPECIAL CONDITIONS**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

All of the following special conditions shall be adhered to in accordance with the approval of Use Permit No. UP 2024-09.

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Use Permit No. UP 2024-09 is valid for a period of one (1) year from the date of final determination. If the use approved by this action is not established within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved by the Director of Development Services.
2. UP 2024-09 shall expire and be of no further force or effect if the use is discontinued or abandoned for a period of one (1) year.
3. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
4. The applicant shall, as a condition of approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such a defense. The applicant shall further pay any adverse financial award which may be issued against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
5. Any changes or modifications to UP 2024-09 shall be subject to review and approval by the Director of Development Services or designee, with substantial changes or modifications subject to Planning Commission review and approval.

6. Any modifications to the approved floor plan or changes to the business operation hours, which do not expand or intensify the present use, shall be reviewed by the Director of Development Services, and may be modified administratively. Modifications may be brought to the Planning Commission for modification at the discretion of the Director of Development Services.
7. If at any time in the future, the Director of Development Services determines that a parking/circulation study is necessary to address parking and/or circulation issues relative to the use, the applicant, current business owner, and/or property owner, shall be responsible for the cost of a parking and/or circulation study prepared by a consultant selected by the City. The applicant, current business owner, and/or property owner shall also be responsible for the implementation costs of any mitigation measures deemed appropriate by the City based upon the findings of this study.
8. The applicant, current business owner, and/or property owner, shall be responsible for maintaining the property, including the landscaped areas, walkways, business signage, and all paved surfaces, free from graffiti, debris, and litter. Graffiti shall be removed by the applicant, current business owner, and/or property owner within 48 hours of defacement and/or upon notification by the City. The paint utilized to cover the graffiti must substantially match the existing structure. In the event that the paint finish of the abated area is noticeably distinguishable from the rest of the structure, the property owner shall paint additional portions of the building to minimize the disparity, subject to the approval of the Director of Development Services.
9. The applicant, current business owner, and/or property owner shall obtain approval of a Building and Zoning Compliance Application and shall obtain approval of a city business license. The applicant, current business owner, and/or property owner shall always maintain a valid city business license during operation of the business.
10. This Use Permit may be reviewed at the discretion of the Director of Development Services in order to determine if the business is operating in compliance with all required Special Conditions of Approval and Standard Development Requirements.
11. There shall be no special promotional events held on the property, unless a written request for such is received and approved by the City of Placentia Development Services Director and the Police Department's Administrative Lieutenant at least 14 days in advance.
12. The use shall comply with the following:
  - a. Prior to any changes to the days and hours of operation, the applicant shall obtain written approval from the Director of Development Services or his/her designee. The following are the specified days and hours of operation:

Monday through Friday: 3:00PM to 8:00PM

Saturday: 9:00AM – 12:00PM

Sunday: CLOSED

- b. All doors shall be shut during normal business hours to avoid free unrestricted access into the facility.
- c. There shall be a 15-minute interval between when one class booking ends, and the next class booking begins.
- d. No outdoor activities associated with the instruction operations can occur outside of the facility.
- e. No outside storage, including the display of vehicles within the parking lot area or displays, shall be permitted at any time.
- f. The use shall comply with all provisions of the PMC, including Chapter 23.76 Noise Control.

**DEVELOPMENT SERVICES DEPARTMENT: BUILDING DIVISION:**

Upon approval of the conditional use permit, the following requirements shall be reflected on the plans submitted to Building Division for plan check.

- 13. On the title sheet, indicate if the building is protected by fire sprinklers, and the existing and proposed occupancy groups.
- 14. Provide occupant load calculations, itemize the occupant load of each room.
- 15. On the site plan, depict with dashed lines and arrows an accessible route from the access aisle of ADA Stall 1 to one of the entrances into the tenant space.
- 16. Provide a door schedule, all of the new and existing doors shall be 3 feet wide, equipped with lever-type hardware, except for the storage and cabinet doors, provide a typical elevation.
- 17. Provide an enlarged floor plan for the accessible toilet, show the dimensions, elevations, clear floor spaces, turning space, and maneuvering clearance.
- 18. Provide accessibility details and elevations for plumbing fixtures and reception counter.
- 19. If the occupant load is over 30 and the building is not protected by fire sprinklers, the corridor walls shall be one-hour construction and the doors open to the corridor shall be 20-minute fire doors activated by smoke detectors, provide a cross section to show the corridor walls and the ceiling. Print the manufacturer cut sheet for the 20-minute self-closing fire door on the plan.

**CITY OF PLACENTIA LIFE AND SAFETY DEPARTMENT:**

- 20. The Placentia Fire & Life Safety Department at time of plan or permit submission will charge certain fees for plan review and inspections. Fees will be determined at the time of plan review and/or inspections.

21. The proposed project shall comply with the applicable codes and standards of Title 24, Part 1-12.

**Prior to Construction**

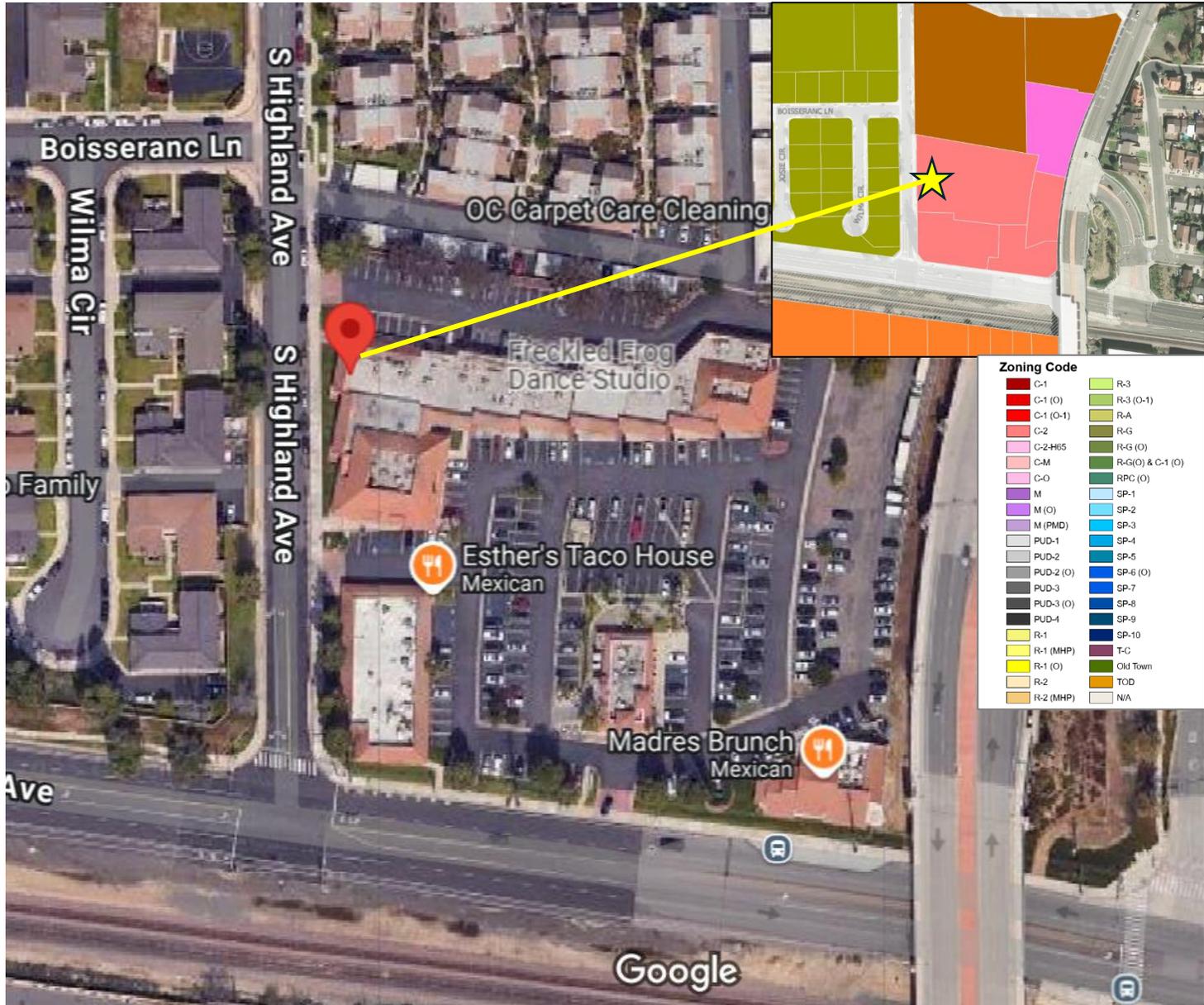
22. Present fire protection systems, if applicable, shall not be modified without prior written approval from the Placentia Fire and Life Safety Department. A separate submittal and permit are required to modify or alter fire protection systems.

**Prior to Occupancy**

23. Occupant load is stated as 39 on the submittal cover page. Any increase to 50 or above requires prior approval from the Building Official and would require additional fire and life safety features.
24. Provide plans as a PDF file for pre-fire planning use by the fire department. Information shall include locations of fire hydrants, fire department connections, post indicator valves, backflow prevention, gas, electrical, water, fire sprinkler risers and standpipe valves and shutoffs. The symbols used for the pre-fire plan must be obtained from Placentia Fire & Life Safety Department.



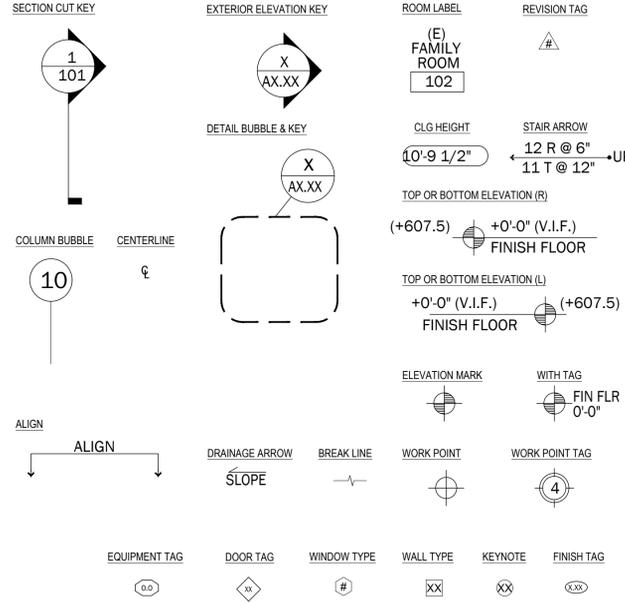
ATTACHMENT 2. VICINITY MAP  
 UP 2024-09; 350 S.HIGHLAND AVENUE (APN: 343-361-13)



**ABBREVIATIONS**

& AND	EA. EACH	MIN. MINIMUM	SQ. SQUARE
@ AT	E.J. EXPANSION JOINT	MISC. MISCELLANEOUS	S.S. STAINLESS STEEL
Ø DIAMETER	EL. ELEVATION	MULL. MULLION	STL. STEEL
# NUMBER	ELEC. ELECTRIC(AL)	N NORTH	STN. STAINED
A/C AIR CONDITIONING	ELEV. ELEVATION	(N) NEW	STOR. STORAGE
A. ACOUSTICAL	EQ. EQUAL	N/A NOT APPLICABLE	STRUCT. STRUCTURE(E) (AL)
ADJ. ADJUSTABLE or ADJACENT	EQUIP. EQUIPMENT	N.I.C. NOT IN CONTRACT	SUSP. SUSPENDED
A.F.F. ABOVE FINISH FLOOR	EXH. EXTERIOR	N.T.S. NOT TO SCALE	SYM. SYMMETRICAL
ALT. ALTERNATE	EXG. EXISTING	NO. NUMBER	T & G TONGUE & GROOVE
ALUM. ALUMINUM	FDN. FOUNDATION	O/ OVER	T.B.D. TO BE DETERMINED
APPROX. APPROXIMATE(LY)	F.F. FINISH FLOOR	OBS. OBSCURED	T.C. TOP OF CURB
ARCH. ARCHITECT(URAL)	F.G. FINISH GRADE	O.C. ON CENTER	T.E. TEMPERED
AV AUDIOVISUAL	FIN. FINISH	O.D. OUTSIDE DIAMETER	THK THICK
BM BEAM	FLR. FLOOR	O.H. OVERHANG	THRES. THRESHOLD
BLKG. BLOCKING	F.O.U. FACE OF STUD	OPER. OPERATION (BLE)	T.O. TYPICAL
BLDG. BUILDING	F.O.W. FACE OF WALL	OPP. OPPOSITE	T.W. TOP OF WALL
B.O. BOTTOM OF	FR. FRAME	P.A. PLANTING AREA	U.B.C. UNIFORM BUILDING CODE
BTW BETWEEN	F.R. FIRE RATED	PERF. PERFORATED	U.O.N. UNLESS OTHERWISE NOTED
BW BOTTOM OF WALL	F.S. FINISH SURFACE	P.L. PROPERTY LINE	VCT VINYL COMPOSITION TILE
CAB. CABINET	FT. FEET or FOOT	PLAM PLASTIC LAMINATE	VERT. VERTICAL
CEM. CEMENT	FTG. FOOTING	PLAS. PLASTER	VEN. VENEER
C.I.P. CAST IN PLACE	GA. GAUGE	PLYWD. PLYWOOD	V.I.O. VERIFY IN FIELD
C.J. COLD JOINT	GAL. GALLON	P.O.P. POINT OF CONNECTION	W WEST or WIDTH
C.L. CENTER LINE	GALV. GALVANIZED	PROJ. PROJECTION	W/ WITH
CLG. CEILING	GL. GLASS	P.S.I. POUNDS PER SQUARE INCH	W.C. WATER CLOSET
CLO. CLOSET	GYP. BD. GYPSUM WALLBOARD	PVC POLYVINYL CHLORIDE	WD. WOOD
CLR. CLEARANCE	H.B. HOSE BIBB	PT(D) PAINT(ED)	W.H. WATER HEATER
CMU CONCRETE MASONRY UNIT	HDR. HEADER	RAD. RADIUS	W/O WITHOUT
COL. COLUMN	HDWR. HARDWARE	RCP REFLECTED CEILING PLAN	W.P. WATERPROOFING
CONC. CONCRETE	HORIZ. HORIZONTAL	REQ(D) REQUIRED	
COND. CONDITION	HR. HOUR	REFRIG. REFRIGERATOR	
CONSTR. CONSTRUCTION	HT. HEIGHT	RM. ROOM	
CONT. CONTINUOUS	HVAC HEATING VENTILATING & AIR CONDITIONING	R.O. ROUGH OPENING	
CTR. CENTER	I.D. INSIDE DIAMETER	RWD. REDWOOD	
DBL. DOUBLE	INT. INTERIOR	S SOUTH	
D.G. DECOMPOSED GRANITE	INSUL. INSULATION	SCHED. SCHEDULE	
DIVS. DIAMETER	LAV. LAVATORY	SECT. SECTION	
DM. DIMENSION	LAM. LAMINATED	S.F. SQUARE FEET or FOOT	
DN. DOWN	MATL. MATERIAL	SGL. SINGLE	
DRWR. DRAWER	MAX. MAXIMUM	SHT. SHEET	
DTL. DETAIL	MECH. MECHANICAL	SIM. SIMILAR	
DW. DISHWASHER	MTL. METAL	S.L. SCORE LINE	
DWG. DRAWING	MFR. MANUFACTURER	SPEC. SPECIFICATION	
E EAST			
(EX) EXISTING			

**SYMBOL KEY**



**VICINITY MAP**



# NO LIMITS CREATIVE ARTS

350 S HIGHLAND AVE, PLACENTIA, CA 92870



**PROJECT TEAM**

**OWNER**  
CARLA HITCHINSON  
350 S HIGHLAND AVE  
PLACENTIA, CA 92870  
714-381-5854

**ARCHITECT**  
BLD INC  
BENJAMIN LIN  
BEN@BLD-INFO.COM  
585-490-6941

**TITLE 24 ENERGY ANALYST**  
VIRANCHI SHAH  
GET TITLE 24  
VIRANCHI@GETTITLE24.COM  
718-888-4736

**GENERAL CONTRACTOR**

Name: TBD  
Address:  
T:  
Contact:

**PROJECT DATA**

**PROJECT DESCRIPTION**

- PLANNING USE PERMIT APPLICATION FOR A STUDIO SPACE FOR SPECIAL NEEDS INDIVIDUALS IN (E) COMMERCIAL TENANT SPACE
- TENANT IMPROVEMENT WITH MINOR WALL MODIFICATION. DEMOLISH (E) INTERIOR PARTITION WALL AND ADD (N) INTERIOR PARTITION WALLS & OPENINGS
- RELOCATE (E) INDOOR HEAT PUMP UNIT TO ADJACENT EXTERIOR WALL

**APPLICABLE CODES**  
2022 CALIFORNIA BUILDING CODE  
2022 CALGREEN BUILDINGS STANDARDS CODE  
2022 CA TITLE 24 ENERGY STANDARDS - CA TITLE 24  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ELECTRICAL CODE 2022  
CALIFORNIA FIRE CODE 2022  
CITY OF PLACENTIA MUNICIPAL CODE

**PROJECT ADDRESS**  
350 S HIGHLAND AVE, PLACENTIA, CA 92870

**ZONING / LEGAL DESCRIPTION**

APN /PARCEL #: 343-361-13  
LEGAL DESCRIPTION: P BK 148 PG 12 PAR 1  
YEAR BUILT: 1979

UNIT SIZE: 1,930 SF  
ZONING: COMMERCIAL C-1 (O-1)

COASTAL ZONE: NOT IN COASTAL ZONE  
FLOOD ZONE: NOT IN FLOOD ZONE  
FIRE ZONE: NOT IN FIRE HAZARD SEVERITY ZONES

MAX HEIGHT LIMITS: 35'-0"  
BUILDING HEIGHTS: 14'-0" EXISTING, V.I.F.

SETBACKS: NA  
OCCUPANCY: B  
OCCUPANCY LOAD: 1930 / 50 = 39  
CONSTRUCTION TYPE: TYPE V-B

STORIES: 1 STORY  
LOT COVERAGE: NO ADDITIONAL FOOTPRINT PROPOSED  
GRADING: NONE

PARKING: NO CHANGE TO PARKING

**SHEET INDEX**

ISSUED FOR PLANNING  
USE PERMIT 11/25/2024

**GENERAL**

- C-0.00 COVER SHEET
- G-0.01 GENERAL NOTES

**DEMOLITION**

- D-0.00 DEMO NOTES
- D-1.00 DEMO PLAN

**ARCHITECTURAL**

- A-1.00 SITE PLAN
- A-1.10 PROPOSED FLOOR PLAN
- A-2.00 EXTERIOR ELEVATIONS

**WALL DEMOLITION CALCULATION**

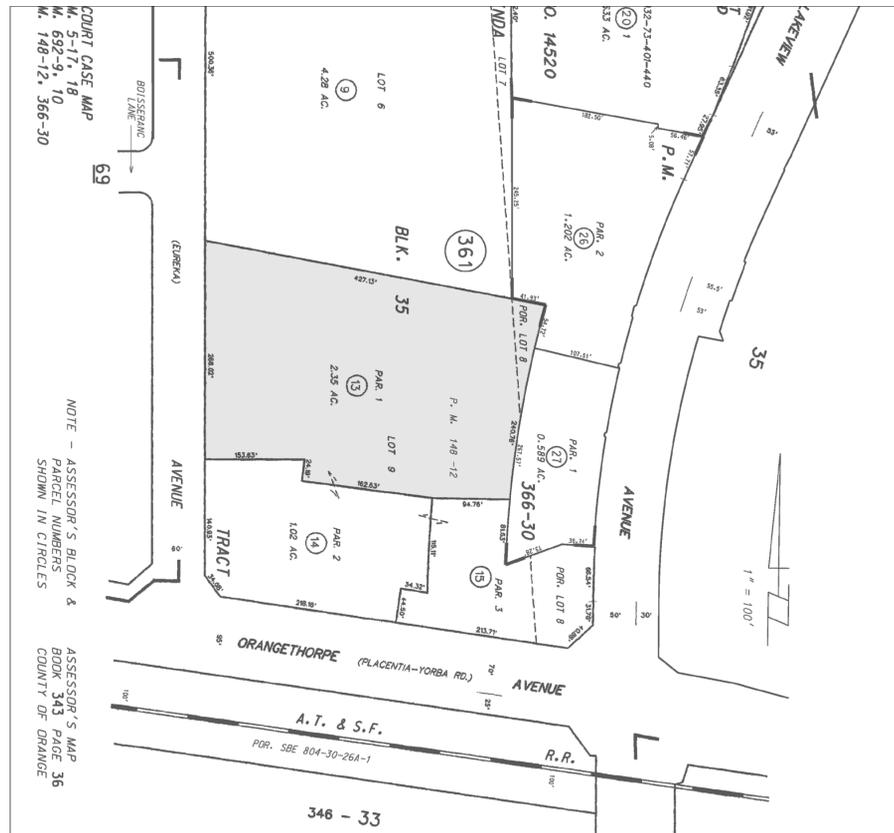
EXTERIOR WALL - NO WORK  
FENESTRATION - NO WORK

TOTAL EXTERIOR WALL LINEAR FT - 204'-2 3/4"  
TOTAL INTERIOR WALL LINEAR FT - 122'-5 3/4"  
TOTAL WALL LINEAR FT - 326'-8 1/2"

INTERIOR WALL LINEAR FT DEMOLISHED - 48'-8 1/8"

% OF INTERIOR WALL LINEAR FT DEMOLISHED  
48'-8 1/8" INTERIOR WALL DEMO LF / 326'-8 1/2" TOTAL WALL LF = 14.9%

**ASSESSOR'S PARCEL MAP**



**BLD.**  
ARCHITECTURE + DESIGN



DIGITAL STAMP

BENJAMIN LIN  
RA, NCIDQ, LEED AP ID+C  
WWW.BLDINC-INFO.COM  
BEN@BLDINC-INFO.COM  
585.490.6941

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CONSULTANTS

PROJECT NAME

**NO LIMITS CREATIVE ARTS**

PROJECT ADDRESS  
350 S HIGHLAND AVE  
PLACENTIA, CA 92870  
APN: 343-361-13

REVISION

ISSUE PERMIT APPLICATION 11/25/2024

DRAWN BY: JL CHECKED BY: BL

DATE: 11/05/2024

COVER SHEET

**C-0.00**

GENERAL NOTES

- 1.0 **GENERAL**
- 1.01 THE PROVISIONS OF THE AMERICAN INSTITUTE OF ARCHITECTS (AIA) DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE A PART OF THESE CONTRACT DOCUMENTS EXCEPT AS SPECIFICALLY AGREED TO IN WRITING BY ALL PARTIES.
- 1.02 REFERENCES IN THESE NOTES TO APPLICABLE CODES SHALL INCLUDE COMPREHENSIVELY THE LATEST EDITION OF ALL FEDERAL, REGIONAL, STATE, CITY, FIRE DEPARTMENT AND LOCAL CODES, LAWS, ORDINANCES, ORDERS, RULES, AND GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY WITH THE APPLICABLE CODES AND COMPLY FULLY AS REQUIRED.
- 1.03 REFERENCES IN THESE NOTES TO THE CONTRACTOR SHALL APPLY TO THE CONTRACTOR, THEIR AGENTS, ALL SUB CONTRACTORS AND ALL OTHERS EMPLOYED BY THE CONTRACTOR FOR THE PURPOSE OF THE EXECUTION OF THE WORK.
- 1.04 REFERENCES IN THESE NOTES TO THE BUILDING OWNER OR ARCHITECT SHALL INCLUDE ALL AUTHORIZED AGENTS OR REPRESENTATIVES OF THESE PARTIES.
- 1.05 REFERENCES IN THESE NOTES TO THE WORK SHALL INCLUDE ALL ELEMENTS AND COMPONENTS OF THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS WHETHER OR NOT SPECIFICALLY IDENTIFIED.
- 2.0 **CODES**
- 2.01 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LABOR CODES. DISCRIMINATION IN ANY FORM WILL NOT BE PERMITTED OR TOLERATED.
- 2.02 THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, THE GOVERNING MUNICIPAL CODE, 2022 C.M.C., 2022 C.P.C., 2022 G.E.C.
- 2.03 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND CONSTRUCTION SAFETY CODES.
- 2.04 THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING LIFE SAFETY PROVISIONS DURING THE COURSE OF CONSTRUCTION IN COMPLIANCE WITH APPLICABLE CODES, AND TO THE SATISFACTION OF THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, FIRE AND SECURITY ALARMS, RATED ENCLOSURES, AND OTHER PERTINENT PROVISIONS.
- 2.05 THE OWNER OR ARCHITECT DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH APPLICABLE CODES.
- 2.06 WHERE DISCREPANCIES OR CONFLICTS OCCUR BETWEEN APPLICABLE CODES AND/OR THE CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENTS SHALL APPLY UNLESS AGREED TO IN WRITING BY THE GOVERNING JURISDICTION.
- 2.07 ALL UTILITY CONDUCTORS INCLUDING ELECTRICAL SERVICE, TELEPHONE SERVICE, AND CABLE TELEVISION MUST BE PLACED UNDERGROUND FROM THEIR POINT OF ORIGIN AT THE SCE TRANSFORMER OR UTILITY YARD BOX TO THE SERVICE METER OR TERMINATION POINT AT THE STRUCTURE.
- 3.0 **LICENSING**
- 3.01 THE CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE A VALID LICENSE APPROPRIATE FOR THE WORK PERFORMED UNDER THIS CONTRACT AS REQUIRED. COPIES OF THESE LICENSES SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.
- 3.02 ALL CONTRACTORS, ARCHITECTS, DESIGNERS, & ENGINEERS SHALL MAINTAIN A CURRENT CITY BUSINESS LICENSE
- 4.0 **INSURANCE**
- 4.01 CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE WORKMENS COMPENSATION INSURANCE AS REQUIRED BY THE APPLICABLE CODES. COPIES OF CERTIFICATES OF INSURANCE SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.
- 4.02 CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE LIABILITY INSURANCE AS REQUIRED BY THE CONTRACT FOR CONSTRUCTION. THE LIMITS AND AMOUNTS OF INSURANCE COVERAGE SHALL BE AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION. COPIES OF CERTIFICATES OF INSURANCE SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.
- 5.0 **BUILDING OWNER**
- 5.01 THE CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO DETERMINE ALL RULES GOVERNING THE EXECUTION OF THE WORK AT THE SITE OR WITHIN THE BUILDING AND SHALL FULLY COMPLY WITH SUCH RULES TO THE SATISFACTION OF THE BUILDING OWNER THROUGHOUT THE COURSE OF CONSTRUCTION.
- 5.02 ALL LIMITATIONS ON THE EXECUTION AND COMPLETION OF THE WORK SHALL BE IDENTIFIED PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS AND SHALL BE CONSIDERED AND INCLUDED IN THE COST OF THE WORK.
- 5.03 USE OF BUILDING FACILITIES FOR DELIVERY, LOADING, STORAGE, TRANSPORT AND PLACEMENT OF MATERIALS AND EQUIPMENT NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SCHEDULED AND APPROVED AS REQUIRED BY THE BUILDING OWNER.
- 5.04 UNDER NO CIRCUMSTANCES WILL ADDITIONAL COMPENSATION BE ALLOWED FOR THE EXECUTION AND COMPLETION OF THE WORK SOLELY AS A RESULT OF THE OWNER'S REQUIREMENTS
- 5.05 ALL PROJECT CORRESPONDENCE ORIGINATING FROM THE CONTRACTOR TO THE BUILDING OWNER OR ARCHITECT SHALL BE COPIED TO THE OTHER PARTY.
- 6.0 **PROJECT SITE**
- 6.01 THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR THE COORDINATION OF THE WORK WITH ALL CONDITIONS AND DIMENSIONS OF THE PROJECT SITE AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION OF THE PLANS PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS FOR THE WORK.
- 6.02 UNDER NO CIRCUMSTANCES WILL ADDITIONAL COMPENSATION BE ALLOWED FOR THE EXECUTION OF THE WORK SOLELY AS A RESULT OF THE EXISTING CONDITIONS.
- 6.03 SUBMITTAL OF CONSTRUCTION BIDS SHALL BE DEEMED AS EVIDENCE THAT THE CONTRACTOR HAS REVIEWED THE EXISTING CONDITIONS AND HAS INCLUDED COSTS FOR THE INHERENT CONDITIONS AND/OR DIFFICULTIES WHICH AFFECT THE EXECUTION AND COMPLETION OF THE WORK.
- 6.04 THE CONTRACTOR SHALL FURNISH AND PAY THE COST OF ALL TEMPORARY SERVICES COMPLETELY AS REQUIRED FOR THE EXECUTION AND COMPLETION OF THE WORK. UPON COMPLETION OF THE WORK, SUCH TEMPORARY FACILITIES ARE TO BE REMOVED AND CONDITIONS RESTORED TO THEIR ORIGINAL STATE AT THE CONTRACTORS EXPENSE.
- 6.05 THROUGHOUT ALL PHASES OF CONSTRUCTION, INCLUDING SUSPENSION OF THE WORK, AND UNTIL FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL KEEP THE PROJECT SITE CLEAN AND FREE FROM THE ACCUMULATION OF RUBBISH AND DEBRIS. THE CONTRACTOR SHALL ABATE DUST NUISANCE AS NECESSARY. ALL RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AS LAWFULLY REQUIRED.
- 6.06 MATERIALS AND EQUIPMENT SHALL BE REMOVED FROM THE PROJECT SITE AS SOON AS THEY ARE NO LONGER NECESSARY FOR THE EXECUTION OF THE WORK.
- 7.0 **PERMITS**
- 7.01 NO WORK IS TO BE PERFORMED WITHOUT PERMITS REQUIRED BY THE APPLICABLE CODES.
- 7.02 THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR THE COSTS OF ALL PERMITS, APPROVALS, TESTING, AND INSPECTIONS REQUIRED BY THE APPLICABLE CODES UNLESS AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION.
- 7.03 THE CONTRACTOR SHALL PROVIDE COPIES OF ALL PERMITS AS REQUESTED BY THE BUILDING OWNER OR THE ARCHITECT.

- 8.0 **CONTRACT DRAWINGS AND DOCUMENTS**
- 8.01 ALL DETAILS, SECTIONS AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OTHERWISE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 8.02 DIMENSIONS ARE CONSIDERED TO BE "NOMINAL" UNLESS OTHERWISE NOTED. ALL MEASUREMENTS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
- 8.03 ALL DIMENSIONS HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS
- 8.04 IN THE EVENT THAT QUESTIONS ARISE WITH RESPECT TO THE INTENT OF THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION OF THE INTENT.
- 8.05 IT IS THE INTENTION OF THESE DOCUMENTS TO PROVIDE A PROJECT COMPLETE AND READY FOR OCCUPANCY IN EVERY RESPECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS RESULT AND SHALL NOTIFY THE ARCHITECT OF APPARENT DEFICIENCIES PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS.
- 8.06 THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ANY REQUESTS FOR MODIFICATIONS TO THE CONTRACT DOCUMENTS IN THE FORM OF FIELD DRAWINGS, SHOP DRAWINGS, SAMPLES OR OTHER MEANS APPROPRIATE WITH SPECIFIC CHANGES IDENTIFIED FOR REVIEW.
- 9.0 **CONSTRUCTION FACILITIES**
- 9.01 THE CONTRACTOR SHALL PROVIDE THROUGH THE COURSE OF CONSTRUCTION A JOBSITE OFFICE COMPLETE WITH TEMPORARY TELEPHONE SERVICE AND A DEVICE FOR DISPLAY OF ELECTRONIC MEDIA. THE ARCHITECT SHALL BE NOTIFIED AS TO THE TELEPHONE NUMBERS.
- 9.02 THE CONTRACTOR SHALL MAINTAIN ON THE PROJECT SITE A CURRENT SET OF THE CONSTRUCTION DOCUMENTS FOR REFERENCE BY ALL TRADES, AND SHALL UPDATE SUCH DOCUMENTS TO INSURE COORDINATION OF ANY CHANGES WHICH OCCUR DURING THE CONSTRUCTION PHASE.
- 9.03 THE CONTRACTOR SHALL DESIGNATE A REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR AND SHALL BE PRESENT AT THE PROJECT SITE WHENEVER WORK IS IN PROGRESS. THE ARCHITECT SHALL BE NOTIFIED AS TO THE NAME OF THE REPRESENTATIVE.
- 9.04 THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE SANITATION FACILITIES FOR CONSTRUCTION PERSONNEL THROUGH THE COURSE OF CONSTRUCTION AS APPROVED BY THE BUILDING OWNER AND AS REQUIRED BY GOVERNING AUTHORITIES.
- 10.0 **COORDINATION**
- 10.01 THE CONTRACTOR, UPON COMMENCING WITH THE WORK SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE BUILDING OWNER AND THE ARCHITECT DESCRIBING THE CHRONOLOGICAL PHASES OF THE EXECUTION AND COMPLETION OF THE WORK.
- 10.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR TRADES AND SHALL SCHEDULE THESE TRADES TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE WORK.
- 10.03 THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR THE SIZE AND LOCATION OF WALL, FLOOR AND ROOF AND SHAFT OPENINGS, WALL OFFSETS, PROVISIONS FOR EQUIPMENT, ATTACHMENT AND MOUNTING OF FIXTURES, BACKING, INSERTS, OTHER EMBEDDED ITEMS, HARDWARE, PIPE, VENT, DUCT AND CONDUIT AND SCHEDULE THE INSTALLATION OF THESE ITEMS TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE WORK.
- 10.04 THE CONTRACTOR SHALL ALSO COORDINATE AND COOPERATE WITH ALL OTHER TRADES UNDER SEPARATE CONTRACT WITH THE OWNER TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE PROJECT.
- 11.0 **PROTECTION**
- 11.01 THE CONTRACTOR SHALL PROTECT EXISTING CONDITIONS AND NEW CONSTRUCTION FROM DAMAGE DURING CONSTRUCTION.
- 11.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE AREA OF WORK AS REQUIRED TO PREVENT DAMAGE AND/OR LOSS OF MATERIALS, EQUIPMENT, AND PRODUCTS ASSOCIATED WITH THE WORK.
- 11.03 THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS AND SHORING REQUIRED FOR SUPPORT OF ALL CONSTRUCTION LOADS AND PROTECTION OF EXISTING CONDITIONS TO REMAIN DURING DEMOLITION AND/OR CONSTRUCTION.
- 11.04 THE CONTRACTOR SHALL PROTECT ALL COMPLETED WORK FROM THE DETRIMENTAL EFFECTS OF THE SUBSEQUENT PHASES OR TRADES AS NECESSARY TO PREVENT DAMAGE AND DEFECTS.
- 11.05 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL, REPAIR, AND REPLACEMENT OF ALL DAMAGED AND DEFECTIVE MATERIALS AND WORKMANSHIP TO THE SATISFACTION OF THE BUILDING OWNER AND THE ARCHITECT.
- 12.0 **MATERIALS AND WORKMANSHIP**
- 12.01 ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE NATIONAL ASSOCIATIONS OF THE VARIOUS TRADES.
- 12.02 UNLESS NOTED TO THE CONTRARY, ALL MATERIALS AND EQUIPMENT ARE TO BE NEW.
- 12.03 ONLY COMPETENT WORKERS SKILLED IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED ON THE WORK.
- 12.04 THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT SITE AT ALL TIMES DURING THE EXECUTION OF THE WORK.
- 12.05 WORKMANSHIP PROVIDED FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL CONFORM TO THE HIGHEST STANDARDS OF THE TRADE.
- 12.06 MATERIALS SHALL BE MANUFACTURED, HANDLED, AND INCORPORATED INTO THE WORK IN A WORKMANLIKE MANNER AND IN CONFORMANCE WITH THE SPECIFICATIONS AND INSTRUCTIONS OF THE MANUFACTURER.
- 12.07 WHERE REQUIRED BY APPLICABLE CODES, MATERIALS SHALL BEAR MARKINGS AND IDENTIFICATION AS REQUIRED.
- 13.0 **CLOSE OUT**
- 13.01 UPON COMPLETION OF THE WORK, CONTRACTOR SHALL LEAVE SITE AND BUILDING CLEAN AND SUITABLE FOR OCCUPANCY TO THE SATISFACTION OF THE ARCHITECT AND THE BUILDING OWNER.
- 13.02 A LIST OF CORRECTIVE MEASURES REQUIRED FOR COMPLETION SHALL BE DEVELOPED AND ADDRESSED BY THE CONTRACTOR IN AN EXPEDITIOUS MANNER.
- 13.03 ALL CONSTRUCTION ACCESS PATHS, DELIVERY AND STORAGE AREAS, SHAFTS, PLENUMS, CONCEALED SPACES, AND OTHER AREAS AFFECTED BY CONSTRUCTION OPERATIONS SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF THE ARCHITECT AND THE BUILDING OWNER.
- 13.04 THE CONTRACTOR SHALL PROVIDE RECORDS OF ALL INSPECTIONS AND TESTS PERFORMED IN CONJUNCTION WITH THE WORK AS WELL AS ALL MANUFACTURERS' WARRANTIES, GUARANTEES, INSTRUCTION SHEETS, AND PARTS LISTS PROVIDED FOR MATERIALS AND EQUIPMENT INCORPORATED INTO THE WORK.
- 13.05 CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST ONE YEAR BEYOND THE DATE OF COMPLETION UNLESS SPECIFICALLY AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION.

SECURITY REQUIREMENTS

GENERAL:

1. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES.

DOORS:

1. DOOR JAMBS SHALL BE INSTALLED WITH SOLID BACKING IN SUCH A MANNER THAT ANY OPEN SPACE BETWEEN TRIMMERS AND WOOD DOORJAMBS SHALL BE SOLID SHIMMED BY A SINGLE PIECE EXTENDING NOT LESS THAN TWELVE INCHES ABOVE AND BELOW THE STRIKE PLATE.

2. DOOR STOPS ON WOODEN JAMBS FOR INSWINGING DOORS SHALL BE OF ONE PIECE CONSTRUCTION WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.

3. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM THE OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/8" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICES FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.

4. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY OPERATED LOCKS ON THE EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.

5. IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR THREE STUD SPACES EACH SIDE OF THE DOOR OPENINGS. TRIMMERS SHALL BE FULL LENGTH FROM THE HEADER TO THE FLOOR WITH SOLID BACKING AGAINST SOLE PLATES.

6. THE STRIKE PLATE FOR DEAD BOLTS ON ALL WOOD FRAMED DOORS SHALL BE CONSTRUCTED OF MINIMUM SIXTEEN U.S. GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS, WHICH MUST PENETRATE AT LEAST TWO INCHES INTO SOLID BACKING BEYOND THE SURFACE TO WHICH THE STRIKE IS ATTACHED.

7. NOT LESS THAN THREE FOUR AND ONE-HALF INCH STEEL BUTT HINGES SHALL BE SYMMETRICALLY FASTENED TO BOTH THE DOOR AND FRAME WITH NOT LESS THAN FOUR NO. 9 BY THREE-FOURTHS-INCH WOOD SCREWS OR TO METAL WITH NOT LESS THAN FOUR NO. 8 MACHINE SCREWS.

8. IN WOOD CONSTRUCTION, AN OPEN SPACE BETWEEN TRIMMERS AND WOOD DOORJAMBS SHALL BE SOLID SHIMMED EXTENDING NOT LESS THAN SIX INCHES ABOVE AND BELOW THE HINGE PLATE. (ADDED BY ORD. NO. 1945CCS § 12, ADOPTED 6/8/99)

9. D PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" AND 3" IN WIDTH.

10. A SINGLE OR DOUBLE DOOR SHALL BE EQUIPPED WITH A SINGLE CYLINDER DEADBOLT LOCK. THIS DEADBOLT LOCK MUST BE ACTUATED BY A KEY FROM THE EXTERIOR AND A KNOB OR THUMB TURN FROM THE INTERIOR AND WHEN PROJECTED BECOMES LOCKED AGAINST RETURN BY END PRESSURE. THE BOLT SHALL HAVE A MINIMUM PROJECTION OF ONE INCH AND BE CONSTRUCTED SO AS TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST THREE-FOURTHS OF AN INCH INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CONTRACTOR SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST ONE-FOURTH OF AN INCH IN DIAMETER. ALL INSTALLATION SHALL BE DONE SO THAT THE PERFORMANCE OF THE LOCKING DEVICE WILL MEET THE INTENDED ANTI-BURGLARY REQUIREMENTS. A DUAL LOCKING MECHANISM CONSTRUCTED SO THAT BOTH DEADBOLT AND LATCH CAN BE RETRACTED BY A SINGLE ACTION OF THE INSIDE DOOR KNOB, OR LEVER, MAY BE SUBSTITUTED PROVIDED IT MEETS ALL OTHER SPECIFICATIONS FOR LOCKING DEVICES.

11. THE INACTIVE LEAF OF DOUBLE DOOR(S) SHALL BE EQUIPPED WITH METAL FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF FIVE EIGHTHS OF AN INCH INTO THE HEAD AND THRESHOLD OF THE DOOR FRAME. SINGLE-SWINGING DOORS AND THE ACTIVE LEAF OF DOORS IN PAIRS SHALL BE EQUIPPED WITH AN APPROVED EXTERIOR KEY OPERATING DEADBOLT WHICH HAS BEEN TESTED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE. SEE CHAPTER 10 OF THE CALIFORNIA BUILDING CODE FOR REQUIREMENTS ON DOOR OPERATION FOR EXITING.

12. METAL OR WOODEN OVERHEAD OR SLIDING DOOR SHALL BE SECURED WITH A CYLINDER LOCK. PADLOCK WITH A MIN 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED.

13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GRATES SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.

SPECIAL HAZARDS

GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED.  
A) INGRESS AND EGRESS DOORS  
B) PANELS IN SLIDING OR SWINGING DOORS  
C) DOORS AND ENCLOSURES FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE OMPARTMENTS WITHIN 5' OF DAMAGING SURFACE).

SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:  
A) IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.  
B) IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED IN A) ABOVE.

PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBEQUE.  
AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIDGELY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.

GARAGE / CARPORTS

1. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES ARE NOT PERMITTED (R302.5.1).

2. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1/8 INCHES THICK. (R302.5.1)

3. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

4. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).

5. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).

6. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

FIRE RESISTANCE RATED CONSTRUCTION

1. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)

2. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)

3. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

4. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

GLAZING:

1. GLAZING IN EXTERIOR DOORS OR WITHIN FORTY INCHES OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS OR RATED BURGLARY-RESISTANT GLAZING, EXCEPT WHEN DOUBLE CYLINDER DEADBOLT LOCKS WITH A KEY RETAINING FEATURE ARE INSTALLED.

2. EXCEPT WHERE CLEAR VISION PANELS ARE INSTALLED, ALL FRONT EXTERIOR DOORS SHALL BE EQUIPPED WITH A WIDE ANGLE (ONE HUNDRED EIGHTY DEGREES) DOOR VIEWER.

2. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.

3. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.

4. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24" FOR THE CLOSEST OPENING THROUGH SUCH MEAT BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.

OPENINGS HIGHER THAN DOORS OR GLAZED OPENINGS:

1. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS NO LESS THAN 6" IN ONE DIMENSION. GARAGE TYPE DOORS:

1. WOOD DOORS SHALL HAVE PANELS A MINIMUM OF FIVE-SIXTEENTHS OF AN INCH IN THICKNESS WITH THE LOCKING HARDWARE BEING ATTACHED TO THE SUPPORT FRAMING.

2. ALUMINUM DOORS SHALL BE A MINIMUM THICKNESS OF .0215 INCHES AND RIVETED TOGETHER A MINIMUM OF EIGHTEEN INCHES ON CENTER ALONG THE OUTSIDE SEAMS. THERE SHALL BE A FULL WIDTH HORIZONTAL BEAM ATTACHED TO THE MAIN DOOR STRUCTURE WHICH SHALL MEET THE PILOT, OR PEDESTRIAN ACCESS, DOOR FRAMING WITHIN THREE INCHES OF THE STRIKE AREA OF THE PILOT OR PEDESTRIAN ACCESS DOOR.

3. FIBERGLASS DOORS SHALL HAVE PANELS A MINIMUM DENSITY OF SIX OUNCES PER SQUARE FOOT FROM THE BOTTOM OF THE DOOR TO A HEIGHT OF SEVEN FEET. PANELS ABOVE SEVEN FEET AND PANELS IN RESIDENTIAL STRUCTURES SHALL HAVE A DENSITY NOT LESS THAN FIVE OUNCES PER SQUARE FOOT.

4. DOORS UTILIZING A CYLINDER LOCK SHALL HAVE A MINIMUM FIVE PIN TUMBLER OPERATION WITH THE LOCKING BAR OR BOLT EXTENDING INTO THE RECEIVING GUIDE A MINIMUM OF ONE INCH.

5. DOORS THAT EXCEED SIXTEEN FEET IN WIDTH SHALL HAVE TWO LOCK RECEIVING POINTS; OR, IF THE DOOR DOES NOT EXCEED NINETEEN FEET, A SINGLE BOLT MAY BE USED IF PLACED IN THE CENTER OF THE DOOR WITH THE LOCKING POINT LOCATED EITHER AT THE FLOOR OR DOOR FRAME HEADER; OR, TORSION SPRING COUNTER BALANCE TYPE HARDWARE MAY BE USED.

6. EXCEPT IN A RESIDENTIAL BUILDING, DOORS SECURED BY ELECTRICAL OPERATION SHALL HAVE A KEYED SWITCH TO OPEN THE DOOR WHEN IN A CLOSED POSITION, OR BY A SIGNAL LOCKING DEVICE.

7. DOORS WITH SLIDE BOLT ASSEMBLIES SHALL HAVE FRAMES A MINIMUM OF .120 INCHES IN THICKNESS, WITH A MINIMUM BOLT DIAMETER OF ONE-HALF INCH AND PROTRUDE AT LEAST ONE AND ONE-HALF INCHES INTO THE RECEIVING GUIDE. A BOLT DIAMETER OF THREE EIGHTHS OF AN INCH MAY BE USED IN A RESIDENTIAL BUILDING. THE SLIDE BOLT SHALL BE ATTACHED TO THE DOOR WITH NONREMOVABLE BOLTS FROM THE OUTSIDE. RIVETS SHALL NOT BE USED TO ATTACH SLIDE BOLT ASSEMBLIES.

8. EXCEPT IN A RESIDENTIAL BUILDING, PADLOCK(S) USED WITH EXTERIOR MOUNTED SLIDE BOLT(S) SHALL HAVE A HARDENED STEEL SHACKLE LOCKING BOTH AT HEEL AND TOE AND A MINIMUM FIVE-PIN TUMBLER OPERATION WITH NONREMOVABLE KEY WHEN IN AN UNLOCKED POSITION. PADLOCK(S) USED WITH INTERIOR MOUNTED SLIDE BOLT SHALL HAVE A HARDENED STEEL SHACKLE WITH A MINIMUM FOUR PIN TUMBLER OPERATION. (ADDED BY ORD. NO. 1945CCS § 12, ADOPTED 6/8/99)

FIRE PROTECTION

1. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS (R315)

BUILDING ENVELOPE

1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902.1.

2. EVERY DWELLING UNIT SHALL BE PROVIDED WITH A WATER CLOSET, LAVATORY, BATHTUB OR SHOWER, AND KITCHEN (R306.1 AND R306.2).

3. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):  
A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:  
1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.  
2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.  
3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.  
4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

D. GLAZING IN GUARDS AND RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATERS EDGE.

G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

4. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.

5. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3)

6. DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1.

7. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4.

8. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

9. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.



DIGITAL STAMP

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CONSULTANTS

PROJECT NAME

NO LIMITS CREATIVE ARTS  
USE PERMIT APPLICATION

PROJECT ADDRESS

350 S HIGHLAND AVE  
PLACENTIA, CA 92870  
APN: 343-361-13

REVISION

ISSUE

USE PERMIT APPLICATION 11/25/2024

DRAWN BY

JL CHESTER BL

DATE

11/05/2024

GENERAL NOTES

G-0.01

# DEMOLITION NOTES

## 1.0 GENERAL

- 1.1 NO DEMOLITION SHALL BE PERFORMED WITHOUT A DEMOLITION PERMIT ISSUED BY THE CITY OF PLACENTIA, DEPARTMENT OF BUILDING AND SAFETY
- 1.2 COMPLETE ALL DEMOLITION WORK INDICATED ON THE DEMOLITION PLAN IN CONFORMANCE WITH ANSI STANDARDS FOR DEMOLITION. A10.6.
- 1.3 ALL DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE PROVISIONS OF FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, REGULATIONS, SAFETY ORDERS, COMMUNITY ORDINANCES. VERIFY LOCAL GUIDELINES AND RESTRICTIONS FOR DEMOLITION WORK, AND DISPOSAL LOCATIONS. CONTRACTOR SHALL AT ALL TIMES OBSERVE AND COMPLY WITH ALL SUCH REGULATIONS.
- 1.4 CONTRACTOR SHALL STRICTLY ADHERE TO ALL PROVISIONS OF THE LABOR CODE IN REGARDS TO WAGES, NONDISCRIMINATION, ETC.. ONLY COMPETENT WORKERS EXPERIENCED IN THEIR SPECIFIC TRADES SHALL BE EMPLOYED ON THE WORK. GENERAL INDUSTRY SAFETY ORDERS ISSUED BY THE STATE DIVISION OF INDUSTRIAL SAFETY SHALL BE POSTED OR OTHERWISE AVAILABLE ON THE PROJECT SITE.
- 1.5 CONTRACTOR SHALL MAINTAIN AND FURNISH CERTIFICATES OF WORKMEN'S COMPENSATION AND LIABILITY INSURANCE AS REQUIRED BY THE OWNER AND GOVERNING AGENCIES.
- 1.6 REMOVAL AND DISPOSAL OF ALL EXISTING ASBESTOS ENCOUNTERED DURING DEMOLITION SHALL BE BY LICENSED PROFESSIONALS EXPERIENCED IN THE HANDLING OF SAID MATERIALS AND SHALL BE PERFORMED IN COMPLIANCE WITH THE STATE OF NEW JERSEY GUIDELINES FOR ENVIRONMENTAL SAFETY AND PROTECTION. NOTIFY OWNER AND ARCHITECT OF THE PRESENCE OF ALL HAZARDOUS AND/OR TOXIC MATERIALS ENCOUNTERED ON THE PROJECT SITE.
- 1.7 MAINTAIN A SAFE, SECURE AND CLEAN PROJECT SITE THROUGHOUT THE COURSE OF WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY, ADEQUACY AND PERFORMANCE OF DEMOLITION METHODS AND MEANS
- 1.8 PERFORM ALL WORK IN A MANNER WHICH CREATES A MINIMAL DISRUPTION TO THE DAILY OPERATION OF THE ADJOINING COMMUNITY, AND PROPERTY OWNERS.
- 1.9 THE CONTRACTOR SHALL MAINTAIN ENCLOSED SANITARY FACILITIES FOR THE USE OF THE EMPLOYEES ENGAGED IN THE WORK IN A NEAT AND SANITARY CONDITION
- 1.10 THE CONTRACTOR SHALL NOT DISCHARGE SMOKE, DUST, OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE THE REGULATIONS OF GOVERNING AUTHORITIES. NOTIFICATION AND APPROVAL OF THE GOVERNING AIR QUALITY MANAGEMENT DISTRICT IS REQUIRED
- 1.11 THE CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN AND REMOVE ALL TEMPORARY UTILITIES AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE WORK.
- 1.12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ADDITIONAL PUBLIC SAFETY ORDERS OR REQUIREMENTS WHICH MAY ARISE DURING THE COURSE OF WORK.

## 2.0 COORDINATION AND REVIEW

- 2.1 GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND BE RESPONSIBLE FOR THE PLANNING AND EXECUTION OF ALL REQUIRED DEMOLITION.
- 2.2 THE STRUCTURAL INTEGRITY OF ALL PORTIONS OF THE EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF WORK, PROVIDE BRACING AND SHORING AS REQUIRED. VERIFY AND PROVIDE ENGINEERING FOR TEMPORARY SUPPORT AS NECESSARY.
- 2.3 PRIOR TO THE COMMENCEMENT OF DEMOLITION, CONTRACTOR SHALL PROVIDE DETAILED INFORMATION ON METHODS, PROCEDURES, SEQUENCING, SCHEDULING, AND PROVISIONS FOR THE EXECUTION OF THE WORK FOR REVIEW BY THE OWNER AND ARCHITECT. CONTRACTOR TO PHASE DEMOLITION TO CAUSE MINIMAL IMPACT TO OTHER AREAS.
- 2.4 FIELD MARKINGS OF THE SCOPE OF DEMOLITION WORK INCLUDING INDICATIONS OF ITEMS TO BE REMOVED OR SALVAGED SHALL BE REVIEWED IN A WALK-THROUGH WITH THE OWNER AND ARCHITECT.
- 2.5 VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF DEMOLITION. WHERE EXISTING UTILITIES OR SERVICES ARE ENCOUNTERED, MEASURES SHALL BE TAKEN TO PROTECT, SECURE, CAP, REMOVE AND/OR MAINTAIN SAME THROUGHOUT THE DEMOLITION AND CONSTRUCTION PHASE. NOTIFY OWNER AND ARCHITECT OF UNFORESEEN OR UNSATISFACTORY CONDITIONS ENCOUNTERED AND RESOLVE SAID CONDITIONS PRIOR TO PROCEEDING WITH RELATED WORK.
- 2.6 CONTRACTOR AND HIS EMPLOYEES SHALL LIMIT THEIR ACTIVITIES ON SITE TO THE PERFORMANCE OF THEIR WORK, VERIFY WITH OWNER ANY ADDITIONAL LIMITATIONS ON SITE ACCESS.
- 2.7 SECURE REQUIRED PERMITS AND/OR APPROVALS FROM GOVERNING AGENCIES FOR STORAGE, HAULING, DISPOSAL OF CONSTRUCTION DEBRIS.

## 3.0 PREPARATION

- 3.1 PROVIDE PROTECTION OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, EQUIPMENT AND FINISHES TO REMAIN AS INDICATED ON THE PLANS AND AS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK.
- 3.2 VERIFY EXISTING UTILITIES AND SERVICES TO REMAIN IN OPERATION DURING THE COURSE OF WORK. NOTIFY UTILITY COMPANIES IN ADVANCE OF REQUIRED SERVICE MODIFICATIONS.
- 3.3 SCHEDULE DISPOSAL AND ESTABLISH HAULING ROUTES IN ADVANCE TO PREVENT THE ACCUMULATION OF DEMOLITION DEBRIS. SPILLAGE RESULTING FROM HAULING SHALL BE REMOVED IMMEDIATELY.
- 3.4 MEASURES SHALL BE TAKEN AS REQUIRED TO PREVENT DAMAGE TO ADJOINING PROPERTIES AND IMPROVEMENTS PRIOR TO COMMENCEMENT OF THE WORK.
- 3.5 DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF SITE. EFFORT SHALL BE MADE TO RECYCLE REFUSE AND DEBRIS WHENEVER POSSIBLE. CONFORM WITH THE REQUIREMENTS OF THE TOWNSHIP OF PLAINSBORO BEST MANAGEMENT PRACTICES AS APPLICABLE.
- 3.6 MATERIALS, MACHINERY AND EQUIPMENT SHALL NOT BE STORED ON SITE BEYOND THE NECESSARY LENGTH OF TIME REQUIRED FOR USE IN THIS WORK. VERIFY STORAGE LOCATION WITH THE OWNER AND ARCHITECT. MATERIALS SHALL NOT BE STORED OR DEPOSITED WITHIN THE PUBLIC RIGHT OF WAY WITHOUT SPECIFIC APPROVAL FROM THE GOVERNING AGENCY.

## 4.0 EXECUTION

- 4.1 AT THE LIMITS OF DEMOLITION WORK PROVIDE NEAT, ORDERLY AND CLEAN JOINTS, LINES, AND EDGES OF SURFACES. REPAIR OR REPLACE ANY MATERIALS OR SURFACES TO REMAIN WHICH BECOME EXPOSED, OR DAMAGED AS A RESULT OF DEMOLITION WORK.
- 4.2 ITEMS INDICATED AS "TO BE SALVAGED" ON THE DEMOLITION PLANS OR IDENTIFIED IN OWNER/ARCHITECT WALK-THROUGH SHALL BE REMOVED WITH DUE CARE AND STORED FOR REUSE AS REQUIRED IN A LOCATION APPROVED BY THE OWNER AND ARCHITECT. PROVIDE AN INVENTORY OF SUCH ITEMS FOR COORDINATION OF REUSE IN THE PROJECT.
- 4.4 ADDITIONAL ITEMS SALVAGED FROM THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF AT HIS DISCRETION.
- 4.5 DO NOT ALLOW DEBRIS, DEMOLISHED PORTIONS OF THE STRUCTURE, HEAVILY LADEN OR OVERLOADED CONTAINERS OR VEHICLES TO DAMAGE PORTIONS OF THE EXISTING BUILDING OR SITE.
- 4.6 PROVIDE DIRT AND DUST CONTROL AND/OR BARRIERS THROUGHOUT THE COURSE OF WORK. CLEANING, SWEEPING, THE USE OF WATER AND/OR A DUST PALLIATIVE IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 4.7 NECESSARY EXTERMINATION WORK SHALL BE PERFORMED BY LICENSED PROFESSIONAL IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES.
- 4.8 THE USE OF EXPLOSIVES AND/OR MECHANICAL JACKHAMMERS SHALL BE PROHIBITED UNLESS SPECIFIC APPROVALS ARE OBTAINED FROM GOVERNING AGENCIES.
- 4.9 LEAVE ALL PORTIONS OF THE PROJECT SITE AND THE DEMOLITION AREA IN A SAFE, CLEAN, FREE OF RUBBISH OR DEBRIS, AND SANITARY CONDITION THROUGHOUT THE COURSE OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT. PROVIDE REGULARLY SCHEDULED CLEANING AS REQUIRED.
- 4.10 THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING IMPROVEMENTS, WHICH ARE DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. RESTORATION AND/OR REPLACEMENT SHALL BE AS NEAR AS REASONABLY POSSIBLE TO THE ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.

**BLD.**  
ARCHITECTURE + DESIGN



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CONSULTANTS

PROJECT NAME

**NO LIMITS CREATIVE ARTS**  
**USE PERMIT & INTERIOR MODIFICATIONS**

PROJECT ADDRESS

350 S HIGHLAND AVE  
PLACENTIA, CA 92870  
APN: 7072-016-015

REVISION

ISSUE

ISSUED FOR  
PLAN CHECK

11/25/2024

DRAWN BY

JL

CHECKED BY

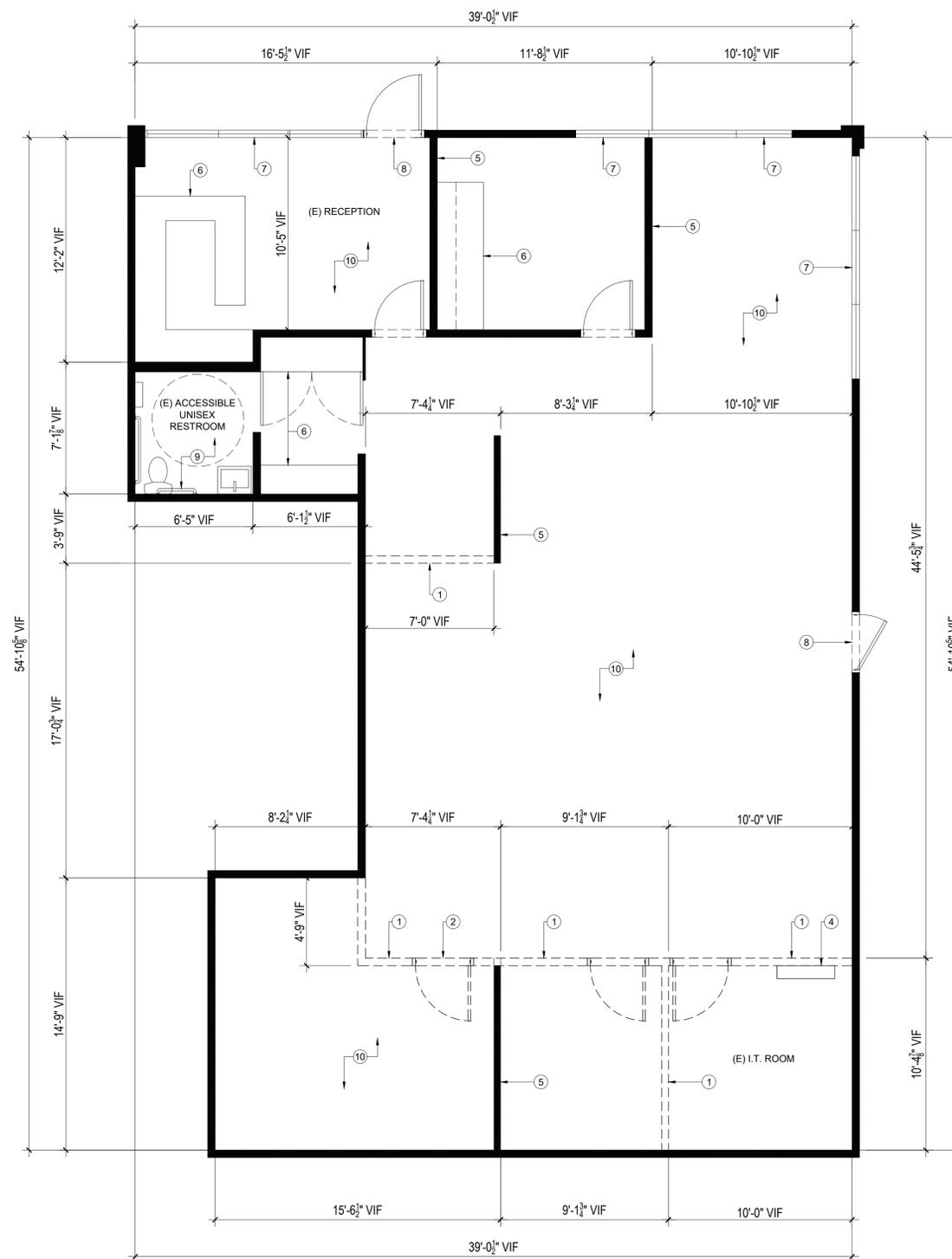
BL

DATE

11/05/2024

DEMO NOTES

**D-0.00**



KEY NOTES - FLOOR PLAN

1. (E) INTERIOR PARTITION WALL TO BE DEMOLISHED
2. (E) INTERIOR DOOR TO BE SALVAGED/RELOCATED
3. NOT USED
4. (E) INDOOR HEAT PUMP TO BE RELOCATED
5. (E) INTERIOR LOAD BEARING PARTITION WALL TO REMAIN
6. (E) RECEPTION DESK/CABINETS TO REMAIN
7. (E) STOREFRONT GLAZING TO REMAIN
8. (E) EGRESS DOOR AND JAMB TO REMAIN
9. (E) PLUMBING FIXTURES, GRAB BARS, RECESSED TRASH BIN, CABINET, MIRROR, AND OTHER ACCESSORIES TO REMAIN.
10. REMOVE DAMAGED ACT AND REPLACE W/ LIKE FINISH. (E) LIGHT FIXTURES AND HVAC SUPPLY & RETURN GRILLE TO REMAIN

LEGEND - FLOOR PLAN

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL
- KEYNOTES

WALL DEMOLITION CALCULATION

EXTERIOR WALL - NO WORK  
 FENESTRATION - NO WORK

TOTAL EXTERIOR WALL LINEAR FT - 204'-2 3/4"  
 TOTAL INTERIOR WALL LINEAR FT - 122'-5 3/4"  
 TOTAL WALL LINEAR FT - 326'-8 1/2"

INTERIOR WALL LINEAR FT DEMOLISHED - 48'-8 3/8"

% OF INTERIOR WALL LINEAR FT DEMOLISHED  
 48'-8 3/8" INTERIOR WALL DEMO LF / 326'-8 1/2" TOTAL WALL LF = 14.9%

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11/05/2024

DEMO PLAN

**D-1.00**



**1** DEMO FLOOR PLAN  
 1/4" = 1'-0"



**SITE PLAN LEGEND**

	(E) CONTAINER/STORAGE TO BE REMOVED
	(E) ROOF OVERHANG TO REMAIN
	(E) PROPERTY LINE
	(E) BUILDING OUTLINE
	(E) AREA/BUILDING NOT IN SCOPE
	(E) CONCRETE WALKWAY TO REMAIN
	(E) SOFTSCAPE TO REMAIN
	(E) TREE TO REMAIN
	(E) ACCESSIBLE AISLE FOR ADA PARKING STALLS TO REMAIN
	(E) ADA PARKING STALLS TO REMAIN

**PARKING CALCULATION**

REQUIRED PARKING: PER ZONING CODE, PROVIDE FOUR (4) SPACES PER ONE THOUSAND (1,000) SQUARE FEET OF GROSS FLOOR AREA	1,930 GSF SUITE AREA (8) PARKING SPACES REQUIRED
PROVIDED PARKING:	(8) PARKING SPACES PROVIDED
ADA PARKING REQUIRED:	(1) ADA STALL REQUIRED
ADA PARKING PROVIDED:	(1) ADA STALL PROVIDED
TOTAL ADA PARKING PROVIDED ON SITE:	(14) ADA PARKING STALLS, INCLUDING (8) ADA VAN STALLS

\*ALL PROPERTY LINE DIMENSIONS PER ORANGE COUNTY ASSESSOR'S PARCEL MAP

**1 SITE PLAN**  
1/32" = 1'-0"

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**NO LIMITS CREATIVE ARTS**  
USE PERMIT APPLICATION

PROJECT ADDRESS  
350 S HIGHLAND AVE  
PLACENTIA, CA 92870  
APN: 7072-016-015

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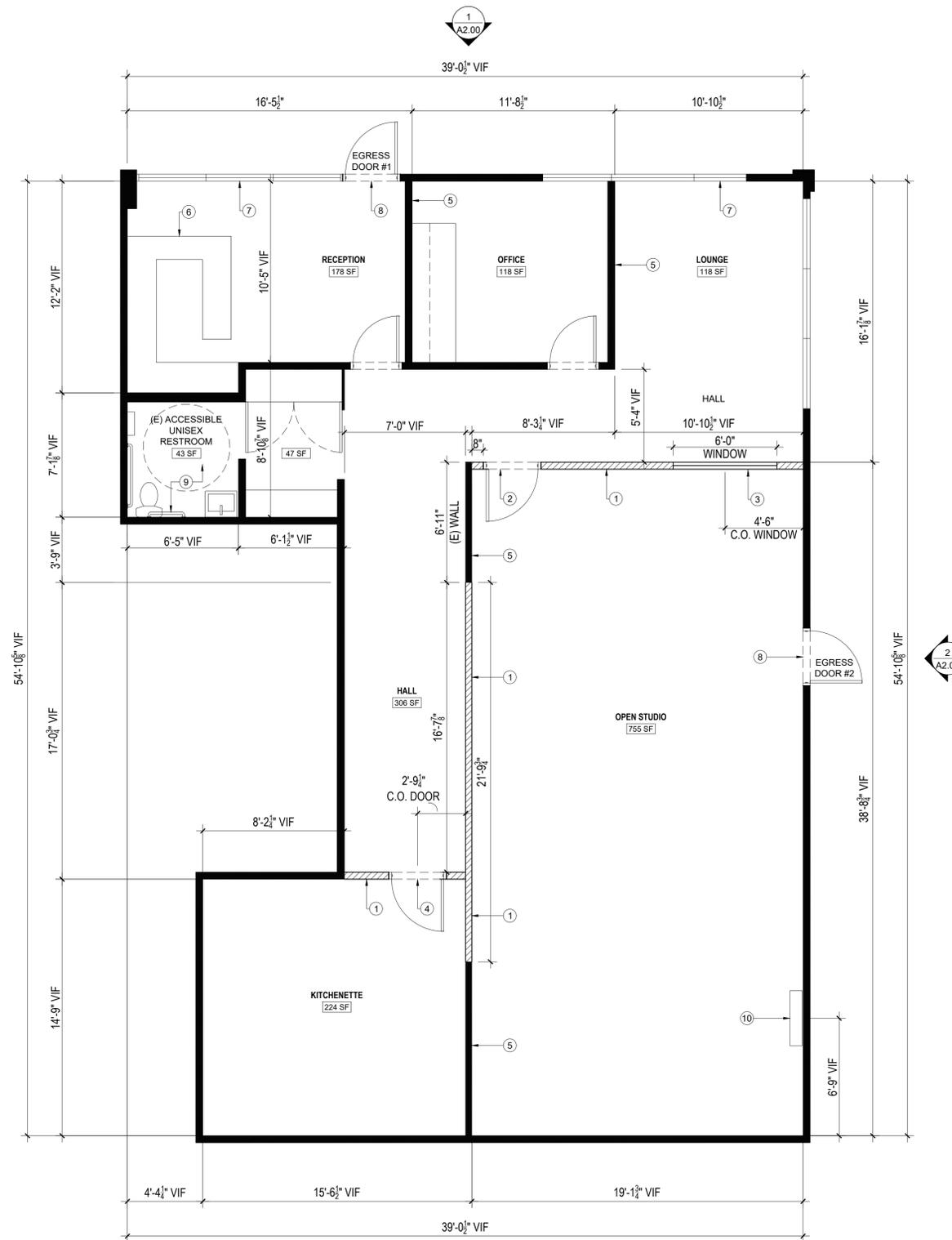
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DATE: 11/05/2024

SITE PLAN

**A-1.00**





KEY NOTES - FLOOR PLAN	
1.	(N) INTERIOR PARTITION WALL
2.	(N) INTERIOR 3'-0" WIDE DOOR
3.	(N) FIXED WINDOW @ 3'-0" A.F.F.
4.	(E) DOOR REINSTALLED AT NEW PARTITION WALL
5.	(E) INTERIOR LOAD BEARING PARTITION WALL TO REMAIN
6.	(E) RECEPTION DESK/CABINETS TO REMAIN
7.	(E) STOREFRONT GLAZING TO REMAIN
8.	(E) EGRESS DOOR AND JAMB TO REMAIN
9.	(E) PLUMBING FIXTURES, GRAB BARS, RECESSED TRASH BIN, CABINET, MIRROR, AND OTHER ACCESSORIES TO REMAIN.
10.	(E) INDOOR HEAT PUMP TO BE RELOCATED

LEGEND - FLOOR PLAN	
	(E) WALL TO REMAIN
	(N) WALL
	KEYNOTES

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ARCHITECTURE + DESIGN



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CONSULTANTS  
PROJECT NAME

**NO LIMITS CREATIVE ARTS**  
USE PERMIT & INTERIOR MODIFICATIONS

PROJECT ADDRESS  
350 S HIGHLAND AVE  
PLACENTIA, CA 92870  
APN: 7072-016-015

REVISION

ISSUE FOR  
PLAN CHECK  
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DRAWN BY: JL  
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DATE: 11/05/2024

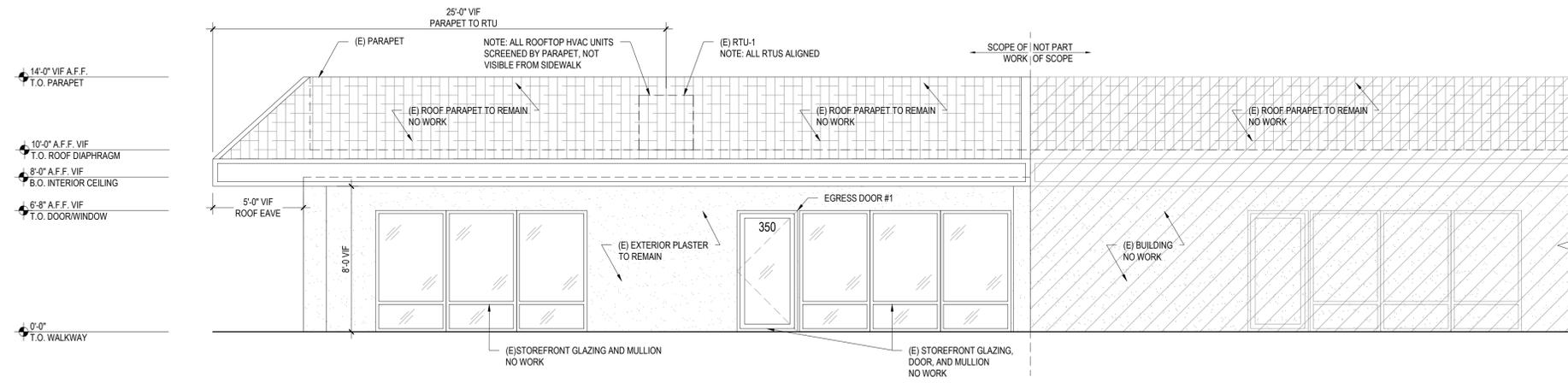
FLOOR PLAN

**A-1.10**



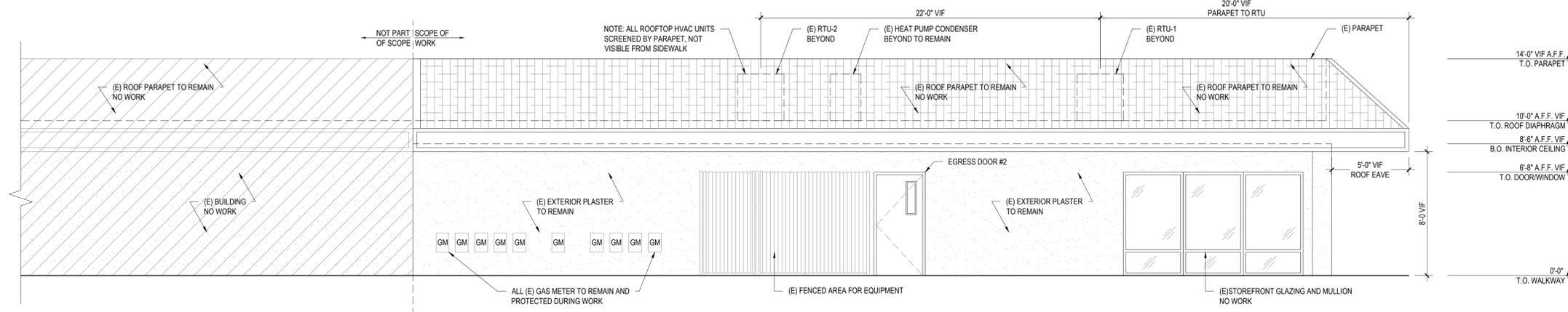
**1** PROPOSED FLOOR PLAN  
1/4" = 1'-0"

NOTE:  
NO EXTERIOR WORK OR SIGNAGE PROPOSED ON BUILDING



**1** NORTH ELEVATION  
1/4" = 1'-0"

NOTE:  
NO EXTERIOR WORK OR SIGNAGE PROPOSED ON BUILDING



**2** EAST ELEVATION  
1/4" = 1'-0"

**BLD.**  
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USE PERMIT & INTERIOR MODIFICATIONS

PROJECT ADDRESS

350 S HIGHLAND AVE  
PLACENTIA, CA 92870  
APN: 7072-016-015

REVISION

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ISSUED FOR PLAN CHECK 11/25/2024

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JL CHECKED BY BL

DATE

11/05/2024

EXTERIOR ELEVATIONS

**A-2.00**



650 N Rose Dr #303 Placentia, Ca 92870

714-408-5986

[www.nolimitscreativearts.org](http://www.nolimitscreativearts.org)

**No Limits Creative Arts** is dedicated to making the creative arts accessible to all, with a particular focus on individuals with disabilities in the Orange County area. Our mission is rooted in inclusivity, offering a wide range of artistic opportunities—including dance, music, visual arts, and more—for people of all abilities.

The organization was founded 10 years ago by Carla Hutchison, who was inspired to create the program in response to her son's desire to dance and perform like his older sister. With more than 20 years of experience in dance education, Carla developed a program that addresses the unique needs of children with disabilities. She designed it not only to help them succeed in the arts, but also to build essential life skills. By fostering an inclusive environment and involving the broader community, including peer mentors, No Limits has grown into a thriving program that empowers students to achieve their fullest potential.

What began with just three students has now blossomed into a dynamic program serving more than 80 individuals across 16 different classes, including musical theater, voice, and a variety of dance genres. As part of our continued growth, we are working to consolidate our classes into a single location in Placentia. Currently, we operate across eight different locations in Southern California.

Our team includes one full-time staff member and eight part-time employees. We are typically open weekdays from 3 PM to 8 PM and on Saturdays from 9 AM to noon.

A handwritten signature in black ink that reads "Carla Hutchison". The signature is fluid and cursive, with the first name "Carla" being the most prominent.

Carla Hutchison

RECEIVED

DEC 02 2024



ATTACHMENT 5. SITE PHOTOS  
UP 2024-09; 350 S.HIGHLAND AVENUE (APN: 343-361-13)



**AFFIDAVIT OF MAILING NOTICE OF PUBLIC HEARING**

STATE OF CALIFORNIA    )  
County of Orange         )    ss

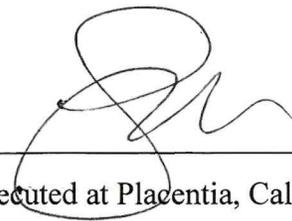
I, Lesley Whittaker say that on the 27th day of February a copy of the notice attached hereto was mailed to each of the persons whose name and address appears on the attached list. Said mailings was done at the City of Placentia City Hall, Planning Division, located at 401 E. Chapman Avenue, Placentia, California

Project Address:         350 S. Highland Avenue  
\_\_\_\_\_

Case No.:                 UP 2024-09  
\_\_\_\_\_

Meeting Date:            March 11, 2025  
\_\_\_\_\_

I declare, under penalty of perjury, that the foregoing is true and correct.

  
\_\_\_\_\_

Executed at Placentia, California on this 27<sup>th</sup> day of February, 2024



## Advanced Listing Services Inc

Ownership Listings & Radius Maps

P.O. Box 2593 • Dana Point, CA • 92624

Office: (949) 361-3921 • Cell: (949) 310-6869

[www.Advancedlisting.com](http://www.Advancedlisting.com) [Denise@Advancedlisting.com](mailto:Denise@Advancedlisting.com)

#12526  
11/22/2024

### 300' Ownership Listing ON-SITE OCCUPANTS

Prepared for:

343-361-13, 14, 15  
COBBLESTONE 1993  
350 S HIGHLAND AVE  
PLACENTIA CA 92870

No Limits Creative Arts  
650 N. Rose Drive #303  
Placentia, Ca 92870

343-351-60  
CITY OF ANAHEIM  
PO BOX 3222  
ANAHEIM CA 92803

343-351-65  
JASON P KIRKLEN  
1749 N BUBACH ST  
ANAHEIM CA 92807

343-351-66  
PATRICIA R TASBY  
1743 N BUBACH ST  
ANAHEIM CA 92807

343-351-72  
MATTHEW K & DANETTE K SCHROEDER  
1731 N BUBACH ST  
ANAHEIM CA 92807

343-351-73  
NITESH N & HIRAL N PATEL  
1737 N BUBACH ST  
ANAHEIM CA 92807

343-361-09  
HOA LLC  
PO BOX 11659  
NEWPORT BEACH CA 92658

343-361-13, 14, 15  
COBBLESTONE 1993  
1667 LINCOLN AVE  
ORANGE CA 92865

343-361-26  
JAMES V CARONE  
PO BOX 400876  
LAS VEGAS NV 89140

343-361-27  
MAIKEL FARAGALLA  
43180 BUSINESS PARK DR #203  
TEMECULA CA 92590

343-691-01  
COVINGTREE HOMEOWNERS ASSOC  
1975 E BOISSERANC LN B  
PLACENTIA CA 92870

343-691-02  
SONIA HEATHER S H MCCORMICK  
MCCORMICK  
PO BOX 621  
LA HABRA CA 90633

343-691-03, 04  
SURENDRA C SHAH  
12727 NOTTINGHAM ST  
CERRITOS CA 90703

343-692-01, 03, 05, 06  
DNG MANAGEMENT  
798 BULL CREEK RD  
MARS HILL NC 28754

343-692-02  
WILLIAM ALLEN RANNEY  
P O BOX 17055  
ANAHEIM CA 92817

343-692-07, 08  
SURENDRA C SHAH  
12727 NOTTINGHAM ST  
CERRITOS CA 90703

343-692-09  
STANLEY M MASHITA  
6752 AUBURN DR  
HUNTINGTON BEACH CA 92647

343-692-18  
COVINGTREE HOMEOWNERS ASSOC  
1369 RIVERSIDE DR  
FULLERTON CA 92831

346-241-02  
ORANGE COUNTY FLOOD CONTROL  
300 N FLOWER ST 6TH FLOOR  
SANTA ANA CA 92703

346-291-26  
ALEMI PROPERTIES  
22 VIA BURRONE  
NEWPORT COAST CA 92657

346-331-03  
CITY OF PLACENTIA  
401 E CHAPMAN AVE  
PLACENTIA CA 92870

346-331-19  
PLACENTIA VETERANS VILLAGE  
1256 MARKET ST  
SAN FRANCISCO CA 94102

346-331-27  
CHERYL SILVA  
1826 E VERDE PL  
ANAHEIM CA 92805

346-331-29  
RODRIGUEZ SANCHEZ  
1138 S SHAWNEE DR  
SANTA ANA CA 92704

346-331-31  
ORANGE COUNTY TRANSPORTATION  
AUTHORITY  
PO BOX 14184  
ORANGE CA 92863

346-331-33  
TIG 8  
3 HUGHES  
IRVINE CA 92618

346-331-35  
HOMES OF CALIFORNIA LLC  
LANDSEA  
7525 IRVINE CENTER DR #200  
IRVINE CA 92618

932-73-401  
FAY A RAE  
4792 LAKEVIEW AVE 225  
YORBA LINDA CA 92886

932-73-402  
JAY GEE  
2015 N ORANGE OLIVE RD  
ORANGE CA 92865

932-73-403  
RICHARD E TRUE  
101 C S LAKEVIEW AVE  
PLACENTIA CA 92870

932-73-404  
RIORUN LLC  
2015 N ORANGE OLIVE RD  
ORANGE CA 92865

932-73-405  
MICHAEL KENT KUESTER  
3142 N HEARTHSIDE ST  
ORANGE CA 92865

932-73-406  
MOHE DEAN HAJJAR  
101 S LAKEVIEW AVE 101F  
PLACENTIA CA 92870

932-73-407  
ELVIRA F JUSTINIANI  
101 G S LAKEVIEW AVE  
PLACENTIA CA 92870

932-73-408  
DANNY MICHAEL DRESSENDORFER  
14031 CHAGALL AVE  
IRVINE CA 92606

932-73-409  
JINHEE KIM  
101 S LAKEVIEW 101I  
PLACENTIA CA 92870

932-73-410  
ANDREW & CHRISTINE AGUILAR  
101 S LAKEVIEW AVE 1  
PLACENTIA CA 92870

932-73-411  
HOLDINGS VALKIN  
2807 LANSDOWNE PL  
ROWLAND HEIGHTS CA 91748

932-73-412  
JACQUELYN GERALI  
101 S LAKEVIEW 101L  
PLACENTIA CA 92870

932-73-413  
LOGAN MAHAN  
101 S LAKEVIEW AVE UN #101M  
PLACENTIA CA 92871

932-73-414  
JAMES ANTON LAI  
101 S LAKEVIEW 101N  
PLACENTIA CA 92870

932-73-415  
RAYMOND EDWARD VILLANUEVA  
101 S LAKEVIEW AVE 101-O  
PLACENTIA CA 92870

932-73-416  
PAMELA S BENDER  
17332 HILLWOOD PL  
YORBA LINDA CA 92886

932-73-417  
MARY M LINAY  
101 S LAKEVIEW AVE Q  
PLACENTIA CA 92870

932-73-418  
RAYMOND FLAMMER  
4654 E GREENWOOD DR  
ANAHEIM CA 92807

932-73-419  
EDGAR GONZALEZ  
101 S LAKEVIEW AVE 101S  
PLACENTIA CA 92870

932-73-420  
RHONIEL DE LIOS  
101 S LAKEVIEW AVE 101T  
PLACENTIA CA 92870

932-73-421  
AMBER PUSKAS  
111 S LAKEVIEW 111A  
PLACENTIA CA 92870

932-73-422  
JEFFREY & YVONNE WHITE  
111 S LAKEVIEW 111B  
PLACENTIA CA 92870

932-73-423  
KARA L DEIMER  
111 S LAKEVIEW AVE 111C  
PLACENTIA CA 92870

932-73-424  
EDDY VO  
4700 SADDLE CT  
ST CLOUD FL 34771

932-73-425  
STEVEN VINH NGUYEN  
111 S LAKEVIEW AVE 111E  
PLACENTIA CA 92870

932-73-426  
DISHA SAMA  
111 S LAKEVIEW F  
PLACENTIA CA 92870

932-73-427  
NINA R & ROBERT P MOSSETT  
111 S LAKEVIEW AVE G  
PLACENTIA CA 92870

932-73-428  
MARK LADNEY  
111 S LAKEVIEW AVE 111H  
PLACENTIA CA 92870

932-73-429  
DAN HAU PHAN  
111 S LAKEVIEW AVE 111I  
PLACENTIA CA 92870

932-73-430  
GENARO A III BRAVO  
111 S LAKEVIEW AVE #111J  
PLACENTIA CA 92870

932-73-431  
LINDA L TILLEY  
121 S LAKEVIEW AVE 121A  
PLACENTIA CA 92870

932-73-432  
DALLAS K MOSIER  
18 WIGGIN AVE  
DEDHAM CA 2026

932-73-433  
SHARON LEVEY  
121 C S LAKEVIEW AVE  
PLACENTIA CA 92870

932-73-434  
PAMELA ORTIZ  
121 S LAKEVIEW AVE 121D  
PLACENTIA CA 92870

932-73-435  
AMANDA SHIVELY  
121 S LAKEVIEW AVE 121E  
PLACENTIA CA 92870

932-73-436  
ALYSSA GRIFFITHS  
121 S LAKEVIEW AVE 121F  
PLACENTIA CA 92870

932-73-437  
KAVEH KARANDISH  
37 VIA AMANTI  
NEWPORT COAST CA 92657

932-73-438  
DOMINIC V & KASSIE E PARISI  
121 S LAKEVIEW AVE 121H  
PLACENTIA CA 92870

932-73-439  
MICHELANGELO MORALES  
121 S LAKEVIEW 121I  
PLACENTIA CA 92870

932-73-440  
MAYUMI KREIGER  
121 S LAKEVIEW AVE 121J  
PLACENTIA CA 92870

939-15-007  
JOSEPH & MICHELLE YANG  
1977 ORCHARD DR  
PLACENTIA CA 92870

939-15-008  
DOUGLAS A HUENNEKENS  
2418 N RIDGEPARK LN  
ORANGE CA 92867

939-15-009  
OSAMA & DIANA NAJJAR  
1973 ORCHARD DR  
PLACENTIA CA 92870

939-15-010  
CHANG WON & JIN LEE  
1971 ORCHARD DR  
PLACENTIA CA 92870

939-15-011  
DANTE MICHAEL & MELANIE  
ALYSSA POLESELLI  
1976 ORCHARD DR  
PLACENTIA CA 92870

939-15-012  
DUANE R HUENNEKENS  
13062 BOW PL  
SANTA ANA CA 92705

939-15-013  
LARRY GORDON CATHER  
1972 ORCHARD DR  
PLACENTIA CA 92870

939-15-014  
MU ZHAN KONG  
1985 ORCHARD DR  
PLACENTIA CA 92870

939-15-015  
MARIA LORENA ANDRADE GUZMAN  
1983 ORCHARD DR  
PLACENTIA CA 92870

939-15-016  
LAUREN REED  
1981 ORCHARD DR  
PLACENTIA CA 92870

939-15-017  
MICHAEL MAKSIMOS  
1979 ORCHARD DR  
PLACENTIA CA 92870

939-15-018  
HIGHLAND PLACENTIA HQT  
1988 ORCHARD DR  
PLACENTIA CA 92870

939-15-019  
DONNA J BRADY  
1986 ORCHARD DR  
PLACENTIA CA 92870

939-15-020  
HIGHLAND PLACENTIA HQT  
789 BOWHUNTER DR  
MARION IA 52302

939-15-021  
IVY LEE  
1982 ORCHARD DR  
PLACENTIA CA 92870

939-15-022  
LORI LUEVANO  
6390 ESCALLONIA DR  
NEWARK CA 94560

343-361-13  
OCCUPANT  
2007 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2025 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2013A E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2013B E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2019B E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2019 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2041 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
350 S HIGHLAND AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2031 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2043 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2049 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2053 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2061 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2065 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2069 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2075 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2081 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2087 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2091 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-13  
OCCUPANT  
2093 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-15  
OCCUPANT  
2099 E ORANGETHORPE AVE  
PLACENTIA CA 92870

343-361-14  
OCCUPANT  
2001 E ORANGETHORPE AVE STE A  
PLACENTIA CA 92870

343-361-14  
OCCUPANT  
2001 E ORANGETHORPE AVE STE B  
PLACENTIA CA 92870

343-361-14  
OCCUPANT  
2001 E ORANGETHORPE AVE STE C  
PLACENTIA CA 92870

343-361-14  
OCCUPANT  
2001 E ORANGETHORPE AVE STE D  
PLACENTIA CA 92870

343-361-14  
OCCUPANT  
2001 E ORANGETHORPE AVE STE E  
PLACENTIA CA 92870

343-361-14  
OCCUPANT  
2001 E ORANGETHORPE AVE STE G  
PLACENTIA CA 92870







# Placentia Planning Commission

## AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: ANDREW GONZALES, PLANNING MANAGER

DATE: MARCH 11, 2025

SUBJECT: **TENTATIVE PARCEL MAP NO. TPM 2024-143 FOR A SUBDIVISION TO REALIGN THE EXISTING SHARED PROPERTY LINE OF TWO EXISTING LOTS TOTALING 2.66 ACRES AT 975 S. LAKEVIEW AVENUE IN THE C-M (COMMERCIAL MANUFACTURING) ZONING DISTRICT.**

### **RECOMMENDATION:**

It is recommended that the Planning Commission take the following actions:

1. Open the Public Hearing concerning TPM 2024-143; and
2. Receive the Staff Report, consider all public testimony, ask any question of Staff; and
3. Close the public hearing; and
4. Adopt Resolution PC-2025-03, a Resolution of the Planning Commission of the City of Placentia, to make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines, and recommending to the City Council approval of TPM 2024-143 to permit the subdivision of an existing 2.66-acre parcel into two (2) parcels measuring 1.38-acres (Parcel 1) and 1.27-acres (Parcel 2) for property located within the C-M (Commercial Manufacturing) Zoning District located on property at 975 S. Lakeview Avenue (Assessor's Parcel Number 346-341-29 & 346-341-30).

### **STRATEGIC PLAN STATEMENT:**

This item is consistent with the City Council approved 5-Year Strategic Goal to:

Tentative Parcel Map No. 2024-143 aligns with the City's Strategic Plan Objective 1.4 of protecting and preserving economic development nodes by ensuring clear property delineation, regulatory compliance, and efficient site management. By properly defining boundaries around the fueling tanks, the adjustment supports the continued viability of a revenue-generating commercial property, enhances land use clarity, and facilitates long-term investment potential. This contributes to the stability and orderliness of the area, ultimately maximizing revenue opportunities for the City.

### **REQUEST/BACKGROUND:**

The applicant, Glen Gwatney of Anacal Engineering, representing the property owner Greenleaf, LLC, is requesting to subdivide a 2.66-acre parcel at 975 S. Lakeview Avenue (APN 346-341-29)

into two parcels of 1.38 acres (Parcel 1) and 1.27 acres (Parcel 2) within the C-M (Commercial Manufacturing) Zoning District. The proposed subdivision map will shift an existing property line northward to provide clear delineation between the two properties and their operations. Per Placentia Municipal Code (PMC) Section 22.80.010(a), a Parcel Map is required for subdivisions of four or fewer parcels, and PMC Section 22.80.060(c) mandates that the Planning Commission recommend conditional approval or denial of the map to the City Council.

**DISCUSSION:**

The subject site is located in the southeastern portion of the City of Placentia, near the border with Anaheim. It is a developed lot that includes a gas station and a warehouse with an associated administrative office to the north. The property is situated west of S. Lakeview Avenue and north of E. Mira Loma Avenue within the C-M Zoning District. The parcels are currently designated as numbered lots, with multiple access points from both S. Lakeview Avenue and E. Mira Loma Avenue.

<b>Parcel No.</b>	<b>Lot Size (square feet)</b>	<b>Minimum Lot Size Required in C-M</b>	<b>Lot Width</b>	<b>Minimum Lot Width Required in C-M</b>
1	60,199 sq. ft.	20,000 sq. ft.	302.67 feet	100 feet
2	55,582 sq. ft.	20,000 sq. ft.	199.90 feet*	100 feet

The proposed Parcel Map will adjust the property line separating the two existing lots but will not create additional parcels or modify the existing land uses. The proposed lot sizes exceed the minimum lot size and width requirements established under the C-M Zoning District, ensuring compliance with zoning regulations. The site is located in an established industrial area, surrounded by a variety of industrial and commercial uses, and is adjacent to the City of Anaheim. The lot line will be centrally positioned within the property and will not negatively impact onsite circulation, access, or parking configurations for existing uses. This subdivision will maintain the functionality, compliance, and operational efficiency of both parcels while supporting orderly development within the industrial zone.

**Subject Site and Surrounding Land Uses:**

The subject site is located within an existing industrial area. The table below shows surrounding existing land uses, zoning, and General Plan land use designations.

**Surrounding Land Uses:**

<b>Location</b>	<b>Existing Land Use</b>	<b>General Plan Land Use Element Designation</b>	<b>Zoning Map Designation</b>
<b>Subject Site</b>	Gas Station & Warehouse with Administrative Offices	Commercial Manufacturing	C-M

<b>North</b>	Industrial Park with a Variety of Commercial and Industrial Uses	Commercial Manufacturing	C-M
<b>South (across E. Miraloma Avenue)</b>	Multi-tenant Industrial Park	City of Anaheim	City of Anaheim
<b>East (across S. Lakeview Avenue)</b>	Multi-tenant Industrial Park	City of Anaheim	City of Anaheim
<b>West</b>	Variety of Commercial and Industrial Uses	Industrial	M(PMD) (Manufacturing – Planned Manufacturing)

**ZONING COMPLIANCE STANDARDS:**

Lot Standards;

Section 22.16.030 of the Placentia Municipal Code (PMC) establishes the development standards for properties within the C-M Zoning District, including minimum requirements for lot width, lot depth, and lot area. Per the C-M zoning regulations, all lots must have a minimum lot size of 20,000 square feet and a minimum lot width of 100 feet to ensure adequate space for industrial and commercial operations. The proposed subdivision not only meets but exceeds these minimum development standards, ensuring compliance with zoning regulations while maintaining the functionality and viability of both parcels for existing and future use.

**CEQA:**

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgment and find that TPM 2024-143 is exempt from CEQA pursuant to State CEQA Guidelines §15315 (Class 15 - Minor Land Divisions), as it applies to the division of property in urbanized areas zoned for four or fewer parcels, the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

**PUBLIC NOTIFICATION:**

Legal notice was published in the Placentia News Times on February 27, 2025, Public Hearing notices were posted at the Civic Center, and on the City website on February 27, 2025. Public Hearing notices were sent to property owners of record within a 300-foot radius of the subject property. As of March 6, 2025, staff has received no comments in support or in opposition of the request.

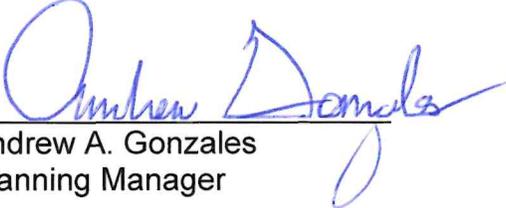
**CONCLUSION:**

The proposed project is consistent with the City's General Plan and meets the minimum development standards of the PMC. Including the recommended conditions of approval, the proposed subdivision located within the existing C-M Zoning District will be compatible with adjacent land uses and will not result in any adverse impacts to the surrounding area.

**RECOMMENDATION:**

Staff recommends that the Planning Commission make findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions) and the City of Placentia Environmental Guidelines, and adopt Resolution PC 2025-03, recommending approval of TPM 2024-143 to the City of Placentia City Council and making the findings to permit the subdivision of a 2.66-acre parcel into two parcels of 1.38 acres (Parcel 1) and 1.27 acres (Parcel 2) within the C-M (Commercial Manufacturing) Zoning District at 975 S. Lakeview Avenue.

**Prepared and submitted by:**

  
Andrew A. Gonzales  
Planning Manager

**Reviewed and approved by:**

  
Joseph M. Lambert  
Director of Development Services

**Attachments:**

1. Resolution No. PC 2025-03 recommending City Council approval of TPM 2024-143
  - 1.a. Conditions of Approval
2. Vicinity Map
3. Proposed Tentative Parcel Map No. 2024-143
4. Affidavit of Mailings, Radius Map, and Address List

## RESOLUTION NO. PC-2025-03

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA, TO MAKE FINDINGS THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) SET FORTH IN TITLE 14 CCR § 15315 (CLASS 15 – MINOR LAND DIVISIONS) AND THE CITY OF PLACENTIA ENVIRONMENTAL GUIDELINES, AND RECOMMENDING TO THE CITY COUNCIL APPROVAL OF TPM 2024-143 TO PERMIT THE SUBDIVISION OF AN EXISTING 2.66-ACRE PARCEL INTO TWO (2) PARCELS MEASURING 1.38-ACRES (PARCEL 1) AND 1.27-ACRES (PARCEL 2) FOR PROPERTY LOCATED WITHIN THE C-M (COMMERCIAL MANUFACTURING) ZONING DISTRICT LOCATED ON PROPERTY AT 975 S. LAKEVIEW AVENUE (ASSESSOR'S PARCEL NUMBERS 346-341-29 & 346-341-30).**

### **A. Recitals.**

(i) Glen Gwatney of Anacal Engineering, ("Applicant" hereinafter), acting on behalf of the property owner, Greenleaf, LLC, regarding the subdivision of property located at 975 S. Lakeview Avenue (APNs 346-341-29, 346-341-30), heretofore filed an application for approval of Tentative Parcel Map No. TPM 2024-143, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Tentative Parcel Map request is referred to as the "Application".

(ii) On March 11, 2025, the City of Placentia Planning Commission ("Commission") conducted a duly noticed public hearing, as required by law, and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

### **B. Resolution.**

NOW, THEREFORE, it is hereby found, determined and resolved by the Planning Commission as follows:

1. The Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff reports, verbal testimony and development plans, this Commission hereby specifically finds as follows:

a. The proposed project will not be: (1) detrimental to the health, safety or general welfare of the persons residing or working within the neighborhood of the

existing development or within the city, or (2) injurious to the property or improvements within the neighborhood or within the city as it only involves the subdivision of land for the purposes of ensuring clear property delineation, regulatory compliance, and efficient site management of the subject lots. Subject to compliance with the attached Conditions of Approval and Standard Development Requirements (Attachment "A"), this development complies with all applicable code requirements and development standards of Title 23 of the Placentia Municipal Code (PMC), and Title 22, and all applicable Building Codes and other Regulations of the PMC.

b. Accepting that the Planning Commission recommends approval of TPM 2024-143, as the proposed use will be consistent with the City's General Plan. The General Plan Land Use designation for the subject site is Residential, and the proposed use does not involve any change in the land use designation of the subject site. The proposed project involves the subdivision of an existing 2.66-acre parcel into two (2) parcels measuring 1.38-acres (Parcel 1) and 1.27-acres (Parcel 2) within the C-M (Commercial Manufacturing) Zoning District located at 975 S. Lakeview Avenue (Assessor's Parcel Numbers 346-341-29, -30), which the existing development type is consistent with the Commercial Manufacturing land use designation.

c. The proposed project as presented in the staff report and accompanying plans complies with all requirements of PMC Chapter 22.80 (Subdivisions of four or less parcels). The proposed development includes Conditions of Approval and Standard Development Requirements to ensure full compliance with applicable code requirements.

d. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions are made part of this development approval. Attachment "A" contains Conditions of Approval and Standard Development Requirements specific to this development application in order to provide assurances that the proposed subdivision and related on and off-site improvements are in compliance with applicable requirements of the PMC.

e. The proposed map is consistent with the General Plan, as it seeks to reconfigure the size of two existing parcels by realigning their shared property line. This adjustment ensures clear delineation of property boundaries while maintaining compliance with zoning regulations and existing land use designations. In an overall review of the General Plan, the proposed subdivision is consistent with all of the policies, programs, and goals.

f. That the site is physically suitable for the type of development. The site consists of a 2.66-acre parcel within the C-M Zoning District and is designed to accommodate existing industrial and commercial uses. The proposed subdivision will realign the property line between two existing parcels without increasing density or altering the current land use. The site provides adequate access, circulation, and

infrastructure to support continued operations in compliance with C-M zoning standards, ensuring its suitability for ongoing industrial and commercial activities.

g. That the design of the subdivision is not likely to cause serious public health problems. The proposed subdivision is to allow a subdivision will realign the property line between two existing parcels to ensure clear delineation of property boundaries.

h. That the design of the subdivision or the type of future improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. As part of the review of the application, an extensive record research was completed. All of the easements will be protected in place.

i. The design of the subdivision and the proposed lot line adjustment are not likely to cause substantial environmental damage or result in the injury of wildlife or their habitat. The subject site is an already developed property, containing a gas station and a warehouse with associated administrative offices, within the C-M Zoning District. Given its urbanized setting and the absence of designated wildlife habitats within the area, the proposed lot line adjustment will not introduce any new environmental impacts. The subdivision is a minor technical modification that does not involve new development, grading, or changes to land use, ensuring compliance with environmental regulations.

3. The Planning Commission hereby recommends: (a). The City Council of the City of Placentia find that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) guidelines set forth in Title 14 CCR § 15315 (Class 15 – Minor Land Divisions), the City of Placentia Environmental Guidelines, and California Public Resources Code §§ 21000, *et seq.*, and to direct staff to file a Notice of Exemption with respect to the subject Project;

(a). That, based upon the findings set forth below, and changes and alterations which have been incorporated into and conditioned upon the proposed project, no significant adverse environmental effects will occur; and

4. Based upon the findings and conclusions set forth herein, this Planning Commission hereby recommends approval of TPM 2024-143 to the City of Placentia City Council, as modified herein, and specifically subject to the conditions set forth in Attachment “A” attached hereto and by this reference incorporated herein.

5. The Secretary to the Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the Applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED this 11<sup>th</sup> day of March 2025.

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FRANK PEREZ, CHAIR

I, Joseph Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 11<sup>th</sup> day of March 2025, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 11<sup>th</sup> day of March 2025, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAINED:

ATTEST:

---

JOSEPH M. LAMBERT  
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM

---

CITY ATTORNEY

**Attachment A**  
**Special Conditions of Approval for**  
**Tentative Parcel Map No. TPM 2024-143**  
**975 S. Lakeview Avenue (APNs: 346-341-29, 346-341-30)**

**SPECIAL CONDITIONS**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL OF THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE TENTATIVE PARCEL MAP TO CONTINUE IN GOOD STANDING.**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation or amendment of said actions by the City of Placentia Planning Commission.
2. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
3. Approval of TPM 2024-143 and the resulting Final Map is contingent upon City Council approval.
4. TPM 2024-143 shall expire twenty-four (24) months after City Council approval or conditional approval if a final map is not recorded. Upon written request by the developer the time limit may be extended an additional twelve (12) months by City Council.

5. TPM 2024-143 shall not permit any new construction. Any construction activities, except for ongoing maintenance and repair of existing structures or appurtenances, are strictly prohibited under this approval. If the developer or property owner of either lot proposes new onsite construction, a new entitlement application package must be submitted to the City of Placentia for review and approval. Upon approval of a subsequent subdivision or proposed development, the new conditions of approval will supersede and replace the conditions established under this Tentative Parcel Map.
6. A final map shall be prepared by or under the direction of a registered Civil Engineer or licensed land surveyor in the State, as provided for in the Business and Professions Code.
7. TPM 2024-143 and the related Final Map shall comply with the applicable requirements of Title 22 Subdivisions of the Placentia Municipal Code.
8. Any modifications to the approved TPM, including any changes, expansions, or intensifications of use, shall be subject to review and approval by the Director of Development Services. The Director of Development Services or their designee shall determine whether such modifications require approval by the City of Placentia Planning Commission or may be approved administratively by City staff.

**DEVELOPMENT SERVICES DEPARTMENT - BUILDING DIVISION:**

9. The parcel map, after being approved by City Council, shall be recorded by the Orange County Recording Office.

**PUBLIC WORKS DEPARTMENT - ENGINEERING DIVISION:**

**Final Map**

10. The applicant shall prepare and submit a preliminary title report no older than 90 days.
11. Prior to approval of the Final Map, the developer shall provide security in an amount specified in writing by the Registered Civil Engineer or a Licensed Land Surveyor of record. The developer shall enter into an agreement for providing the necessary right-of-way design and construction of missing public improvements, which shall be constructed in coordination with adjacent existing improvements prior to occupancy of the development and subject to review and approval by the City Engineer.
12. Prior to the exoneration of any security, the applicant shall submit one (1) duplicate Mylar of the final map and all as built public improvement plans, in a manner acceptable to the City Engineer.

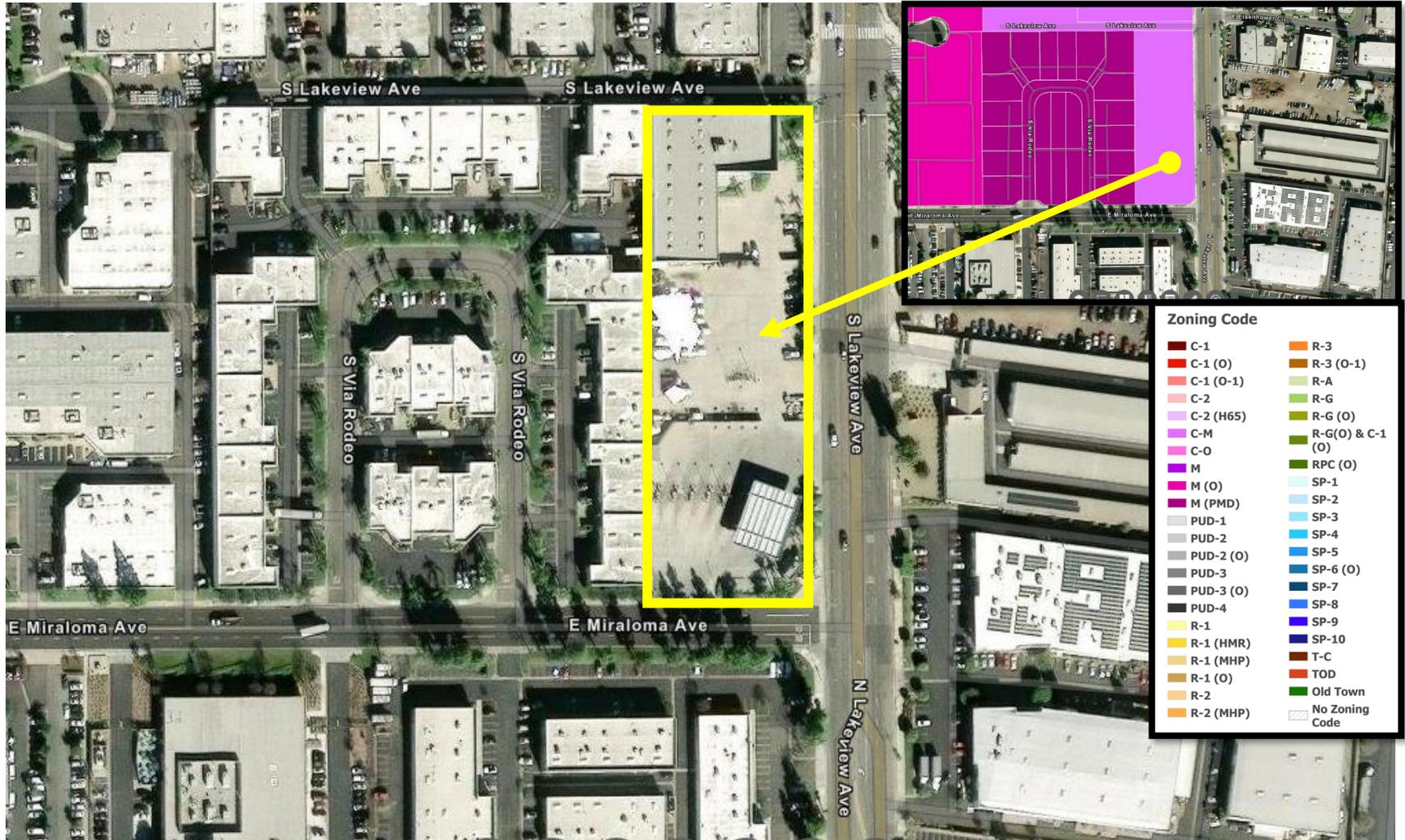
## **Public Improvements and Construction**

13. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
14. Prior to recording the final map, the public improvement plans as required shall be signed by the City Engineer.



ATTACHMENT 2. VICINITY MAP  
 TPM 2024-143; 975 S. LAKEVIEW AVENUE (APN: 346-341-29 & 346-341-361-30)

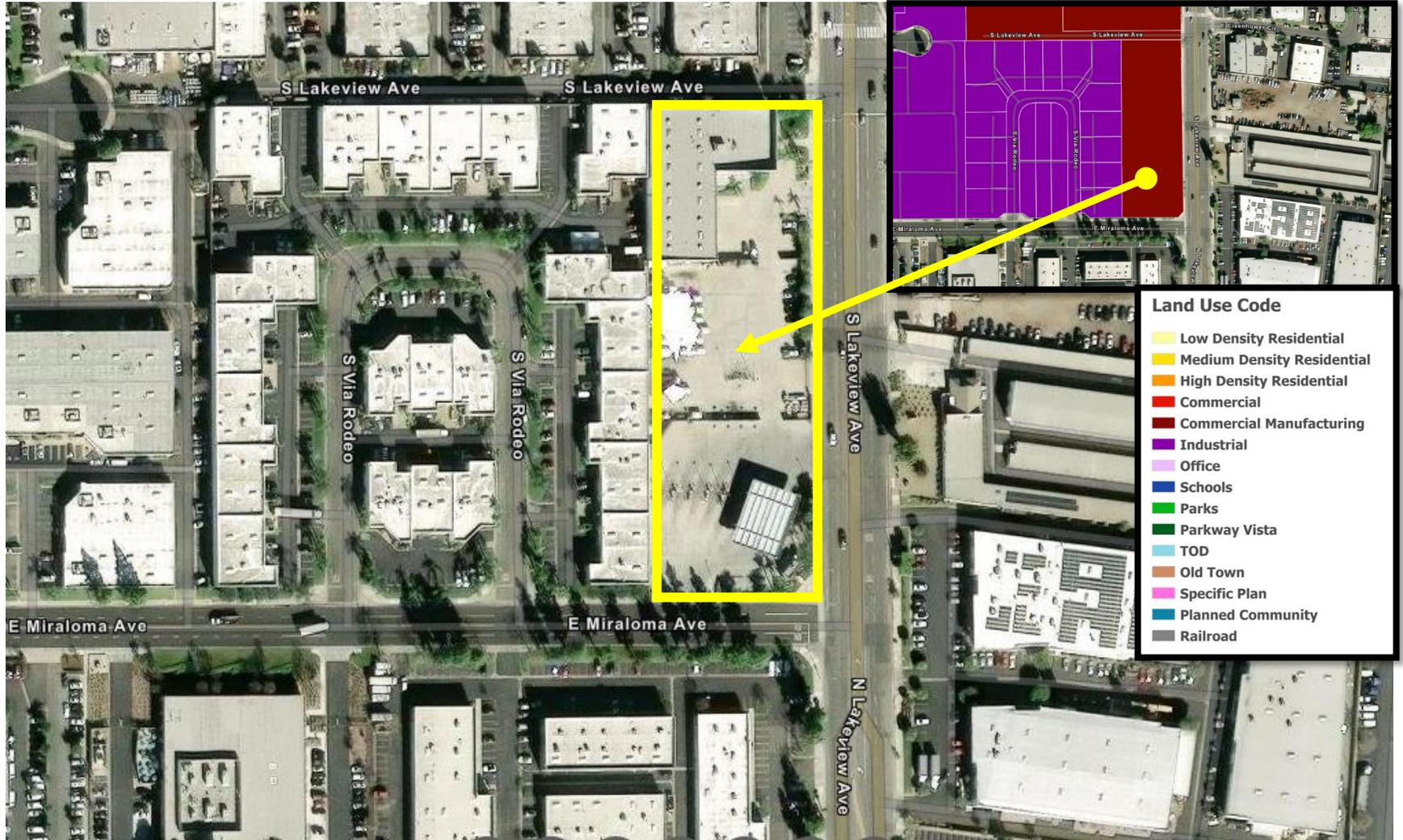
ZONING: COMMERCIAL MANUFACTURING ZONING DISTRICT





ATTACHMENT 2. VICINITY MAP  
TPM 2024-143; 975 S. LAKEVIEW AVENUE (APN: 346-341-29 & 346-341-361-30)

GENERAL PLAN LAND USE DESIGNATION: COMMERCIAL MANUFACTURING

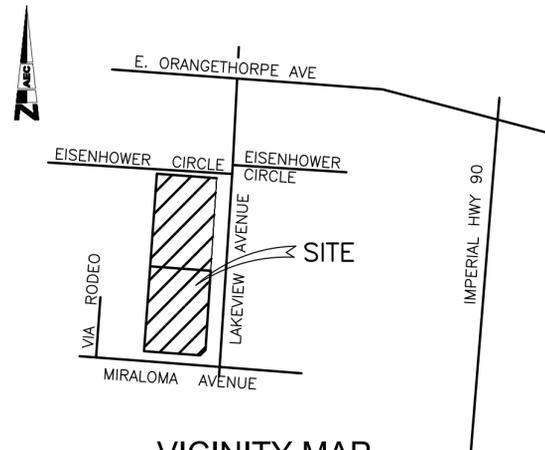


# TENTATIVE PARCEL MAP NO. 2024-143

THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 85-243, AS SHOWN ON A MAP FILED IN BOOK 207, PAGES 10 AND 11 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, LYING EASTERLY OF THE EASTERLY LINES OF PARCELS 11 THROUGH 16 INCLUSIVE OF PARCEL MAP NO. 89-136, AS SHOWN ON A MAP FILED IN BOOK 261, PAGES 28 THROUGH 31 INCLUSIVE OF SAID PARCEL MAPS.

## LEGEND

⊕	FIRE HYDRANT	🌳	TREE
///	EDGE PAVEMENT	🌴	PALM TREE
⊗	WATER VALVE		
□	METER, PULL BOX		
—	SIGN		
—	BLOCK WALL		
⊙	LIGHT STANDARD		
⊙	STREET LIGHT		
♿	HANDICAP STALL		
—	WROUGHT IRON FENCE		
—	CHAINLINK FENCE		
(000.00)	EXISTING ELEVATION		



VICINITY MAP  
NO SCALE

## LAND AREA

**TOTAL LOT:**  
NET/GROSS  
115,772 SQUARE FEET  
2.658 ACRES

**PARCEL 1**  
NET/GROSS  
60,180 SQUARE FEET  
1.382 ACRES

**PARCEL 2**  
NET/GROSS  
55,592 SQUARE FEET  
1.276 ACRES

## ZONING INFORMATION

ZONE: CM

COMMERCIAL MANUFACTURING DISTRICT

SETBACKS:

FRONT: 20'

SIDE: 20' ADJACENT TO PUBLIC RIGHT OF WAY & 10' ADJACENT TO RESIDENTIAL REAR: 25'

DENSITY: N/A

HEIGHT: 35' MAX

PARKING RESTRICTIONS:

4 PER THOUSAND TO 3,000 SF  
2 PER THOUSAND 2,300 SF TO 20,000 SF  
1 PER THOUSAND 20,000 SF +

THIS INFORMATION WAS OBTAINED FROM THE CITY OF PLACENTIA WEB SITE

## PARKING TABLE

### PROPOSED PARCEL 1

USE: COMMERCIAL

BUILDING FLOOR SPACE: 19,317 SQ.FT.

4 PER THOUSAND TO 3,000 SF = 12 SPACES  
2 PER THOUSAND 2,300 SF TO 20,000 SF: 33 SPACES  
45 SPACES IN TOTAL

### PARKING REQUIRED:

45 TOTAL STALLS

### PARKING PROVIDED:

43 REGULAR STALLS

2 ADA STALLS

46 STALLS TOTAL

(1 EXTRA)

### PROPOSED PARCEL 2

USE: COMMERCIAL

BUILDING FLOOR SPACE: 197 SQ.FT.

4 PER THOUSAND TO 3,000 SQ.FT. = 4 SPACES

### PARKING REQUIRED:

4 TOTAL STALLS

### PARKING PROVIDED:

9 REGULAR STALLS

1 ADA STALL

10 TOTAL STALLS

(6 EXTRA)

## GENERAL NOTES

- THE TITLE REPORT IS BY LAWYERS TITLE ORDER NO. 114075165 DATED AUGUST 8, 2014
- ASSESSORS PARCEL NUMBERS FOR THESE PROPERTIES IS 346-341-29 & 346-341-30.
- MAP IS FOR THE DIVISION OF 1 LOT INTO TWO LOTS FOR FINANCE PURPOSES ONLY. THERE IS NO CONSTRUCTION REQUESTED WITH THIS SUBDIVISION.
- SITE IS SERVICES BY PUBLIC SEWER, WATER, GAS AND ELECTRIC.



*David C. Quetzel*

## OWNER/SUBDIVIDER

GREENLEAF LLC  
975 S. LAKEVIEW AVE.  
PLACENTIA, CA. 92870  
PH: 714-943-4537

SHEET TITLE <b>TENTATIVE PARCEL MAP NO. 2024-143</b>		DATE 1/14/25	PROJECT ENGINEER <b>ANACAL ENGINEERING COMPANY</b> CIVIL ENGINEERING & LAND SURVEYING 1211 NORTH TUSTIN AVENUE ~ ANAHEIM, CALIFORNIA 92807 PHONE: (714) 774-1763 FAX: (714) 774-4690 E-MAIL ADDRESS: <a href="mailto:anacal@anacalengineering.com">anacal@anacalengineering.com</a> WEB SITE: <a href="http://anacalengineering.com">anacalengineering.com</a>	REVISIONS			
PROJECT 975 SOUTH LAKEVIEW AVENUE	SCALE NONE	DRAWN G. A. G.	CHECKED D. C. Q.	NO.	DESCRIPTION	DATE	APP'D
SHEET NO. <b>1.2</b>	JOB NO. 24-093TPM	PLACENTIA, CALIFORNIA					

# TENTATIVE PARCEL MAP NO. 2024-143



1 INCH = 40 FT.

## EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN TITLE REPORT NO. 140-2412667-20 DATED SEPTEMBER 27, 2024 BY ORANGE COAST TITLE COMPANY:

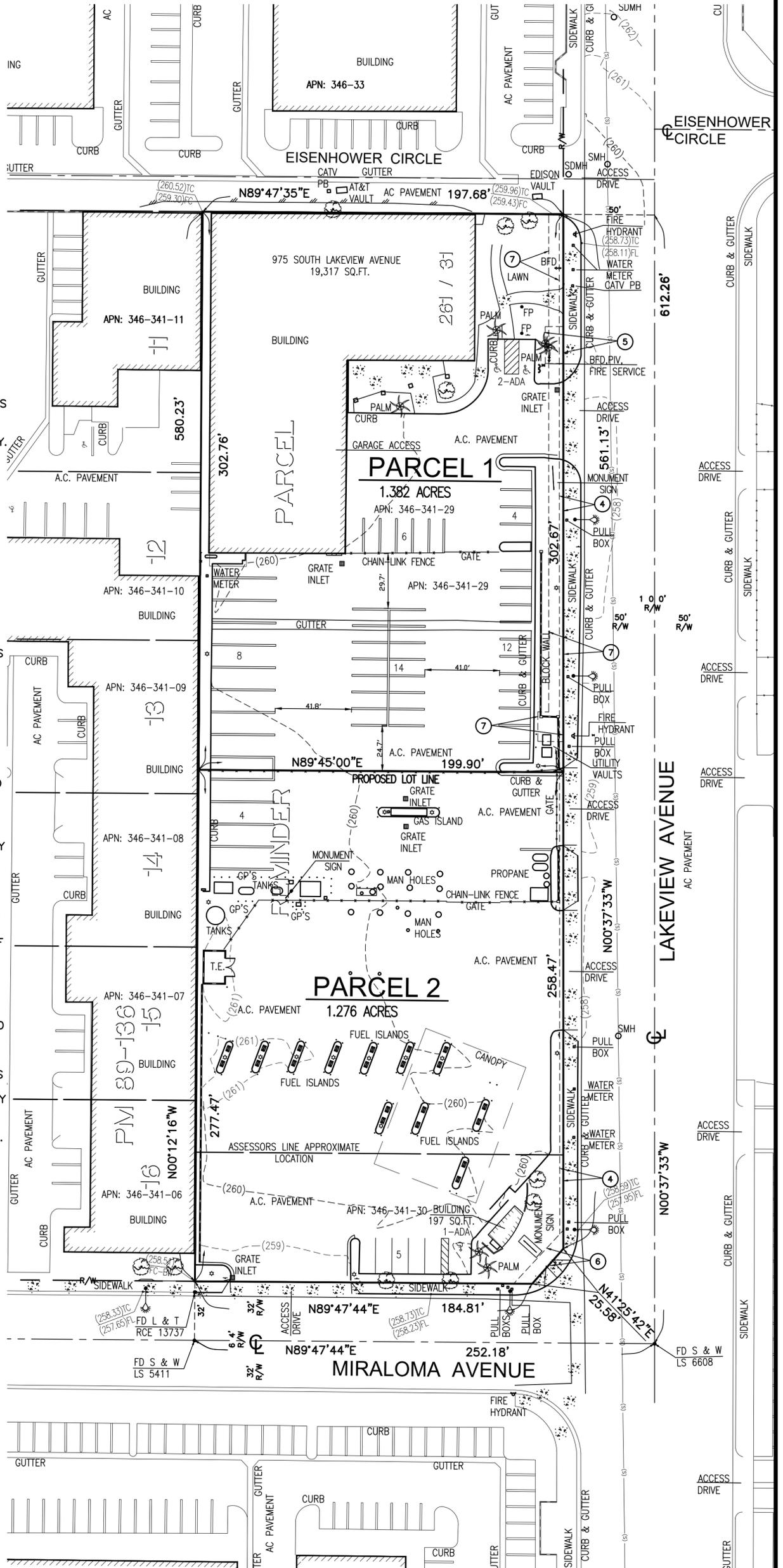
- ① AN EASEMENT FOR RIGHTS OF WAY AND INCIDENTAL PURPOSES AND RIGHTS INCIDENTAL THERETO AS PROVIDED IN AN INSTRUMENT RECORDED: 11/07/1911 IN BOOK 203, PAGE(S) 291 OF DEEDS. IN FAVOR OF : YORBA LINDA WATER COMPANY. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
- ② AN EASEMENT FOR DITCHES, PIPE LINES, FLUMES, ETC AND INCIDENTAL PURPOSES AND RIGHTS INCIDENTAL THERETO AS PROVIDED IN AN INSTRUMENT RECORDED: 02/17/1914 IN BOOK 250, PAGE(S) 66 OF DEEDS. IN FAVOR OF : YORBA IRRIGATION COMPANY, A CORPORATION. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
- ③ THE FACT THAT THE OWNERS OF SAID LAND HAVE NO RIGHT OF VEHICULAR ACCESS TO LAKEVIEW AVENUE EXCEPT THE PUBLIC RIGHT TO TRAVEL SAME, SAID RIGHTS HAVING BEEN RELINQUISHED BY THE DEDICATION PROVISIONS ON THE MAP OF SAID TRACT. AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
- ④ AN EASEMENT FOR TREETWELL AND INCIDENTAL PURPOSES, AS SHOWN ON OR DEDICATED BY THE MAP OF SAID TRACT AS SHOWN ON SAID PARCEL MAP OF SAID LAND RECORDED: IN BOOK 261, PAGE(S) 28-31 OF MAPS EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
- ⑤ AN EASEMENT FOR IRRIGATION AND DOMESTIC PURPOSES AND INCIDENTAL PURPOSES AND RIGHTS INCIDENTAL THERETO AS PROVIDED IN AN INSTRUMENT RECORDED: 11/1/1999 AS INSTRUMENT NO. 1999-763507 OF OFFICIAL RECORDS. IN FAVOR OF : YORBA LINDA WATER DISTRICT, A PUBLIC CORPORATION. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ⑥ AN EASEMENT FOR PUBLIC STREET AND ROAD PURPOSES, PUBLIC UTILITIES, WIRES, CABLES, CONDUITS, STORM SEWERS, SANITARY SEWERS AND WATER PIPE LINES AND INCIDENTAL PURPOSES AND RIGHTS INCIDENTAL THERETO AS PROVIDED IN AN INSTRUMENT RECORDED: 11/4/1999 AS INSTRUMENT NO. 1999-772377 OF OFFICIAL RECORDS. IN FAVOR OF : CITY OF PLACENTIA, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ⑦ AN EASEMENT FOR CONSTRUCT, USE, MAINTAIN, ALTER, ADD TO, REPAIR, REPLACE, RECONSTRUCT, INSPECT, AND/OR REMOVE AT ANY TIME AND FROM TIME TO TIME UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEM, CONSISTING OF WIRES, UNDERGROUND CONDUITS, CABLES, VAULTS, MANHOLES, HANDHOLES, AND INCLUDING ABOVE-GROUND ENCLOSURES, MARKERS AND CONCRETE PADS AND OTHER APPURTENANT FIXTURES AND EQUIPMENT NECESSARY OR USEFUL FOR DISTRIBUTING ELECTRICAL ENERGY AND FOR TRANSMITTING INTELLIGENCE BY ELECTRICAL MEANS IN, ON, OVER AND INCIDENTAL PURPOSES. AS PROVIDED IN AN INSTRUMENT RECORDED: 02/22/2000 AS INSTRUMENT NO. 2000-91777 OF OFFICIAL RECORDS. FOR : IN FAVOR OF : SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.

## NOTE

SEE SHEET 1 FOR GENERAL NOTES, LEGEND, PARKING TABLE, ZONE INFORMATION AND LEGAL DESCRIPTION.



*David C. Quetzel*



SHEET TITLE <b>TENTATIVE PARCEL MAP NO. 2024-143</b>	DATE 1/14/25
PROJECT 975 SOUTH LAKEVIEW AVENUE	SCALE 1" = 40'
SHEET NO. <b>2.2</b>	DRAWN G. A. G.
JOB NO. 24-093TPM	CHECKED D. C. Q.
PLACENTIA, CALIFORNIA	

PROJECT ENGINEER  
**ANACAL ENGINEERING COMPANY**  
 CIVIL ENGINEERING & LAND SURVEYING  
 1211 NORTH TUSTIN AVENUE ~ ANAHEIM, CALIFORNIA 92807  
 PHONE: (714) 774-1763 FAX: (714) 774-4690  
 E-MAIL ADDRESS: [anacal@anacalengineering.com](mailto:anacal@anacalengineering.com)  
 WEB SITE: [anacalengineering.com](http://anacalengineering.com)

REVISIONS			
NO.	DESCRIPTION	DATE	APP'D

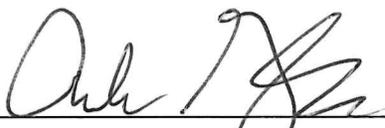
**AFFIDAVIT OF MAILING NOTICE OF PUBLIC HEARING**

STATE OF CALIFORNIA    )  
County of Orange         )    ss

I, Andrew Gonzales say that on the 25th day of February, 2025 a copy of the notice attached hereto was mailed to each of the persons whose name and address appears on the attached list. Said mailings was done at the City of Placentia City Hall, Planning Division, located at 401 E. Chapman Avenue, Placentia, California

Project Address:       975 S. Lakeview Avenue  
Case No.:               Tentative Parcel Map No. TPM 2024-143  
Meeting Date:         Tuesday, March 11, 2025

I declare, under penalty of perjury, that the foregoing is true and correct.

  
Executed at Placentia, California on this 25 day of February, 2025.

## NOTICE OF PUBLIC HEARING

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of Placentia will hold a public hearing in the **City Council Chambers** of the Placentia City Hall, 401 E. Chapman Avenue on **Tuesday, March 11, 2025, at 6:30 p.m.**, or as soon thereafter as the matter may be heard, to consider the following item:

**APPLICANT:** Anacal Engineering, c/o Glen Gwatney  
**PROJECT LOCATION:** 975 S. Lakeview Avenue (West of S. Lakeview Avenue, north of E. Mira Loma Avenue)  
APN: 346-341-29  
**CASE NOS.:** Tentative Parcel Map NO. TPM 2024-143  
**REQUEST:** To permit the subdivision of an existing 2.66-acre (115,782 square feet) parcel into two (2) parcels measuring 1.38 acres (Parcel 1) and 1.27 acres (Parcel 2) for a property located within the C-M (Commercial Manufacturing) Zoning District.

**Environmental Determination (CEQA)** The proposed subdivision is not expected to create a negative impact on the physical environment, in that it is a minor land division and, therefore, staff is recommending a categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guideline § 15315 (Class 15 -Minor Land Divisions) and City Environmental Guidelines.

**ALL INTERESTED PERSONS** are invited to attend this hearing and express opinions upon the items listed above.

**ANY WRITTEN MATERIALS** to be submitted to the Planning Commission should be submitted to the Planning Division at least twenty-four (24) hours prior to the hearing. Ten (10) copies are requested.

**IF YOU CHALLENGE** this proposal in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice or written correspondence delivered to the Planning Commission.

**FURTHER INFORMATION** on these items may be obtained at the Development Services Department, Planning Division, or by telephone: (714) 993-8124.

*Joseph Lambert*

SECRETARY TO THE PLACENTIA PLANNING COMMISSION

PUBLISHED: February 27, 2025  
MAILED: February 27, 2025  
POSTED: February 27, 2025

PARA INFORMACIÓN EN ESPAÑOL, LLAME AL (714) 993-8124

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**CITY OF PLACENTIA**  
Development Services Department  
401 East Chapman Avenue  
Placentia, CA 92870

**OFFICIAL NOTICE**

**AFFECTING YOUR PROPERTY**

**PLEASE READ!**

**AVISO OFICIAL AFECTANDO SU PROPIEDAD**

**FAVOR DE LEER!**



**CITY OF PLACENTIA**  
Development Services Department  
401 East Chapman Avenue  
Placentia, CA 92870

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**FAVOR DE LEER!**



346-341-29,30  
GREENLEAF LLC  
925 S LAKEVIEW AVE  
PLACENTIA CA 92870

346-301-11  
EAST EISENHOWER CIRCLE LLC  
18513 WHITEOAK DR  
YORBA LINDA CA 92886

346-301-12  
MICHAEL /JENNIFER PORTER  
17151 LA COLLETTE PL  
YORBA LINDA CA 92686

346-301-13  
FRENZY PARTNERS LLC  
4510 EISENHOWER CIR  
ANAHEIM CA 92807

346-301-15  
P S PARTNERS VIII LTD  
PO BOX 25025  
GLENDALE CA 91221

346-302-04  
TRICO-TCH II LTD  
3100 PULLMAN ST # A  
COSTA MESA CA 92626

346-302-05  
GLEN A WILSON  
8121 KATELLA AVE  
STANTON CA 90680

346-321-01  
FKC LAKEVIEW LLC  
180 N RIVERVIEW DR # 100  
ANAHEIM CA 92808

346-321-08  
KIRK M HUFFMAN  
316 VIA LIDO NORD  
NEWPORT BEACH CA 92663

346-321-09  
ROBIN L LUNSFORD  
1260 LAKEVIEW AVE  
ANAHEIM CA 92807

346-321-10  
HAPPY KC FAMILY LP  
333 S PERALTA HILLS DR  
ANAHEIM CA 92807

346-331-16,17  
LAKEVIEW INDUSTRIAL PARK LLC  
2020 E ORANGETHORPE AVE # 210  
FULLERTON CA 92831

346-331-37  
AJAX LAKEVIEW DEV LLC  
18 CYPRESS POINT  
NEWPORT BEACH CA 92660

346-341-06-28  
ASPEN RODEO PROPERTIES LP  
5699 HAPPY CANYON RD  
SANTA YNEZ CA 93460

346-341-27  
MICHAEL LINFORD  
4010 SAN ANTONIO RD  
YORBA LINDA CA 92886

346-342-01,02  
ETCHANDY COMMERCE CENTER  
1241 N LAKEVIEW AVE # F  
ANAHEIM CA 92807

939-43-055,056  
SWL ENTERPRISE LLC  
140 N PALM ST  
BREA CA 92821

Orange County Transportation Authority  
(OCTA)  
c/o Jorge Duran, Transit Planning Manager  
550 S. Main Street  
Orange, CA 92868

AT&T  
c/o Valentina Gipson  
Manager – Government Liaison  
3939 E. Coronado Street, 2<sup>nd</sup> Floor  
Anaheim, CA 92807-1608

Southern California Edison  
c/o Michael Saragoza, Planning  
Specialist  
9901 Geary Avenue  
Santa Fe Springs, CA 90670

Regional Water Quality Control Board  
3737 Main Street, Suite 500  
Riverside, CA 92501

Placentia-Yorba Linda USD  
c/o Diane Jepson  
1301 E. Orangethorpe Avenue  
Placentia, CA 92870

Rebecca Davis  
Lozeau Drury LLP  
1939 Harrison Street, Suite 150  
Oakland, CA 94612

Caltrans  
District 12  
1750 East 4<sup>th</sup> Street, Suite 100  
Santa Ana, CA 92705

Charter/Spectrum Communications  
c/o Jefferey Childers  
560 S. Promenade Avenue, Unit No.  
102  
Corona, CA 92879

Golden State Water Company  
c/o Ken Vecchiarelli  
1920 W. Corporate Way  
Anaheim, CA 92801

Lot 318  
536 Dartmouth Drive  
Placentia, CA 92870

Orange County Sanitation District  
18480 Bandilier Circle  
Fountain Valley, CA 92708

Chase Preciado  
Lozeau Drury LLP  
1939 Harrison Street, Suite 150  
Oakland, CA 94612

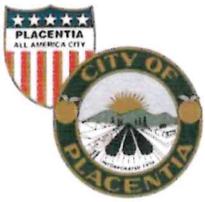
City of Anaheim - Planning & Building  
Department  
c/o Sean Nicholas, Principal Planner  
200 S. Anaheim Boulevard  
1<sup>st</sup> Floor, Suite 162  
Anaheim, CA 92805  
SoCal Gas  
Gabriel Delgado, Planning Manager  
701 N. Bullis Road  
Compton, CA 90221

South Coast Air Quality Management  
District  
c/o Debra Ashby  
21865 Copley Drive  
Diamond Bar, CA 91765

Republic Services  
c/o Michael Hernandez, Operations  
Manager  
1235 N. Blue Gum St.  
Anaheim, CA 92806

Leslie Reider  
Lozeau Drury LLP  
1939 Harrison Street, Suite 150  
Oakland, CA 94612

Madeline Dawson  
Lozeau Drury LLP  
1939 Harrison Street, Suite 150  
Oakland, CA 94612



# City of Placentia

Development Services Department

## MEMORANDUM

**TO:** PLANNING COMMISSION

**FROM:** DEVELOPMENT SERVICES DEPARTMENT

**VIA:** JOE LAMBERT, DIRECTOR OF DEVELOPMENT SERVICES

**DATE:** MARCH 11, 2025

**SUBJECT:** RESIDENTIAL DEVELOPMENT STANDARDS – STUDY SESSION

---

### **BACKGROUND:**

The Planning Commission conducted the first Study Session regarding this topic at their regular meeting of February 11, 2025. After discussion, staff was given direction to add the following to the survey for further discussion: 1. A column for County of Orange development standards; and, 2. A column for staff's recommendations. That data has been added to the attached survey for discussion purposes.

During the regular Planning Commission meeting of November 14, 2023, the Planning Commission requested working with the Streetscape and Transportation Advisory Commission to come up with policy standards for residential driveway widths and gates across driveways. Residential driveway approach standards are a Public Works standard, not a development standard regulated by the Planning Division.

On May 14, 2024, a Commissioner requested an item to be placed on a future agenda to discuss driveway widths and also certain development standards within the Zoning Code including fencing. It became clear to staff at that meeting that a majority of the Commission desired an agenda item to discuss residential driveway, drive approach standards, and certain other standards within the Zoning Code.

Certain standards such as driveway approach widths are the domain of the Public Works Department and therefore, are generally not reviewed by the Planning Commission. However, Public Works staff may elect to study this with the Streetscape and Transportation Advisory Commission. The Planning Commission recommendation, if any, can be forward to the Streetscape and Transportation Advisory Commission.

### **DISCUSSION:**

Staff surveyed six local cities and added the County of Orange (as it relates to unincorporated areas) in addition to Placentia. The topics surveyed are as follows:

Single-Family Residential: Garage Space Dimensions, Outdoor Driveway Space Dimensions, Drive Approach Widths, Front Yard Fence Height Limits, Rear Yard Fence Height Limits, Driveway Gate Regulations

Multiple Family Residential: Covered Parking Space Dimensions, Uncovered Parking Space Dimensions, Guest Parking Space Dimensions, Required Backup Distance from Guest Parking, Internal Private Street Width (without street parking), Internal Private Street Width (garages on both sides), Drive Approach Widths, General Fence Heights and Regulations, Driveway Gate

**Recommended Actions:** It is recommended that the Planning Commission take the following actions:

1. Discuss the Updated Residential Development Standards Survey Data
2. Provide staff direction as appropriate

**ATTACHMENT:**

1. Residential Development Standards Survey Updated for March 11, 2025

# Residential Development Standards Survey

## Residential Parking/Access Dimensions

Single Family Residential	Placentia	Anaheim	<u>Brea</u>	Orange	Yorba Linda	La Habra	Cypress	County of Orange	Staff's Recommendation
Garage Space Dimensions (e.g., 20'x20')	20'x20'	8'x20-25' for tandem spaces	10'x 20' ft ; interior clearance of 9'x19' w/ 7' in height clearance	10'x20' interior	10'x20'	20'x20'	20'x20'	10'x20'	20'x20'
Outdoor Driveway Space Dimensions	10' min width	23' min width 35' max width	9'x19'	12'x20'	24' min width	10' min width (Not to exceed the width of the garage)	Same as the width of the garage/carport (10' min.)	10' min	10' min width
<b>Multiple Family Residential</b>									
Covered Parking Space Dimensions	10'x20'	10'x20'	10'x 20' ft ; interior clearance of 9'x19' w/ 7' in height clearance	9'x18'	10'x20'	9'x18'	9'x18'	10'x20'	10'x20' per space
Uncovered Parking Space Dimensions	9'x19'	8'6"x18'	9'x19'	9-10'x18'	9'x20'	9'x18'	9'x18'	9'x18'	9'x18' or 9' x 19'
Guest Parking Dimensions	Same as above	Same as above	Same as above	Same as above	Same as above	Same as above	Same as above (8' x 16' for compact spaces)	Same as above	9'x18' or 9' x 19' + (8.5' x 16' for compact spaces)

Required Backup/Back out Distance from Guest Parking	20'	20' (4' back-up space for dead ends)	N/A	To the satisfaction of the Community Development Director.	24'	25'-30'	24'	24'	20' minimum 24' maximum
Required Backup/Back out Distance from Covered Parking	20'	20' (4' back-up space for dead ends)	N/A	To the satisfaction of the Community Development Director.	24'	25'-30'	24'	24'	20' minimum 24' maximum
Internal Private Street Width (without street parking)	20' or Fire min.	20' (2-way) 12' (1-way)	Determined by City Engineer	25' (2-way) 12' (1-way)	24' (2-way) 14' (1-way)	25'-30' (2-way) or Fire min.	24' min. (2-way) 16' min. (1-way)	28' min	24' (2-way) maximum 12' (1-way) minimum
Internal Private Street Width (garages on both sides)	20' or Fire min.	24'	Determined by City Engineer	25'	24'	25'-30' or Fire min.	20'	24' min	20' minimum 24' maximum
Drive Approach Widths (SFR & MFR)	20' min 24' max	20'	16'-24' (1-way) 24-40' (2-way)	30' (or to the satisfaction of the Community Development Director)	N/A	25-30' (or to the satisfaction of the Community Development Director)	24' min	28' (two-way) 15' (one-way, 20' if it is a fire lane)	16'-24' (1-way) 24-28' (2-way)

## Residential Fence/Walls Requirements

Single Family Residential	Placentia	Anaheim	Brea	Orange	Yorba Linda	La Habra	Cypress	County of Orange	Staff's Recommendation
Front Yard Fence Height Limit	3-6' *	3-6' *	3' (36 inches)	3.5'	3'-5' *	3'	3.5'	3.5	3-6' *
Rear Yard Fence Height Limit	6-8'	6'	7' above finished grade	6'	6'	6-8'	7'	6'	8' maximum
Driveway Gate Regulations (e.g., swinging direction)	N/A	20' setback- no req of how it swings (could be for MFR as well – unclear)	N/A	N/A	Dictated by building // Treated as fencing/walls	20' setback	N/A	N/A	N/A
Multiple Family Residential									
General Height Limits & Regulations	Same as above	3' (front) 6' (side/rear)	Same as above	Same as above	Same as above	Same as above	Same as above	Same as above	Same as above
Driveway Gate Regulations (e.g., swinging direction)	N/A	See SFR	N/A	N/A	See SFR	See SFR	N/A	N/A	20' setback

“\*” Fencing above 3' minimum must be see-through